

**Town of Kittery
 Planning Board Meeting
 September 12, 2019**

ITEM 3 – Old Post Road / Bridge Street – Cluster Residential Development – Preliminary Plan Review

Accept or deny application. Schedule a Site Walk and Public Hearing. Owner MAC Properties Bridge Street, LLC and applicant Silver Holdings, LLC request consideration of a three (30 building, 11-unit cluster residential development on 3.02+- acre parcel on Old Post Road / Bridge Street (Tax Map 3 Lot 77A) in the Residential – Urban (R-U) Zone. Agent is Shawn Tobey, P.E. Hoyle, Tanner Associates, Inc.

PROJECT TRACKING

REQ'D	ACTION	COMMENTS	STATUS
YES	Sketch Plan Acceptance/Approval	7/11/2019 Meeting	APPROVED
YES	Site Visit	To be scheduled	PENDING
YES	Preliminary Plan Review Completeness/Acceptance	Scheduled for 9/12/2019 Meeting	PENDING
YES	Public Hearing		
YES	Preliminary Plan Approval		
YES	Final Plan Review and Decision		
<p>Applicant: Prior to the signing of the approved Plan any Conditions of Approval related to the Findings of Fact along with waivers and variances (by the BOA) must be placed on the Final Plan and, when applicable, recorded at the York County Registry of Deeds. PLACE THE MAP AND LOT NUMBER IN 1/4" HIGH LETTERS AT LOWER RIGHT BORDER OF ALL PLAN SHEETS. As per Section 16.4.4.L - Grading/Construction Final Plan Required. - Grading or construction of roads, grading of land or lots, or construction of buildings is prohibited until the original copy of the approved final plan endorsed has been duly recorded in the York County registry of deeds when applicable.</p>			

Background

This is now at the preliminary plan acceptance review stage. The proposed cluster residential development located on 3.02+- acre parcel off of Old Post Road and Bridge Street in the Residential – Urban (R-U) Zone. The applicant is proposing the construction of three (3) residential buildings, each three stories high. The residential buildings will contain a total of eleven (11) dwelling units with 22 total parking spaces located within the ground floor garages of each unit.

The existing property contains woods and ledge. There are no wetlands located on site.

Staff Review

As the Board will see from the site development plans all of the zoning requirements of the Residential – Urban (R-U) Zone will be met. At three stories high, the proposed buildings will comply with the 35-foot height limit. There are Cluster Residential Development standards that will need to be met as detailed below, including the calculations for Net Residential Acreage and Net Residential Density.

Cluster Residential Development Requirements

1. The proposed development must comply with requirements of ARTICLE XI Cluster Residential Development of Title 16.

Per 16.3.2.4.D, (3) (a) [1] there is no minimum lot size for cluster subdivision in the R-U zone with the condition that there is a minimum principal building separation as required by the Fire Chief, but not less

than 15 feet. Staff assumes that these will be attached single-family dwellings (townhouses) with condominium ownership on one lot.

The developer must take into consideration, where applicable, points (1) – (5) of Section 16.8.11.6.I. that concern building orientation, utility installation, recreation, buffering, and development setbacks. These standards will be evaluated later during preliminary plan review.

Net Residential Acreage (NRA) / Density

2. Per 16.7.8.1 and 8.2 the land area needs to be determined for the site. In looking at the required deductions, most would not apply but exposed bedrock does apply. Update: The exposed ledge has been calculated at 17,600+- sf and netted out of the NRA calculation.

Parking Requirements / Access

3. Per 16.8.9.4, two (2) spaces are required per dwelling unit. The parking requirement of a minimum of 22 spaces will be met. Each unit will have two (2) garage parking spaces at ground level.
4. A 22-foot wide driveway will be constructed at a 10% maximum slope to access the site from Old Post Road. Update: The proposed 11 units would result in an Average Daily Trip (ADT) count of 110 per the Institute of Transportation Engineers (ITE) publication "Trip Generation, 7th Edition" (ITE, 2003). According to Section 16.8.4.3. G, the proposed roadway would fall under the Private Streets classification, and would be subject to the design and construction standards for streets and pedestrian ways as a Minor Street. The standards require a 20' of pavement with a 5' sidewalk and 2/8 feet wide walk side /opp. side paved shoulders and 2' gravel shoulders. The proposed roadway is shown as 22 feet wide with no sidewalk and 2' shoulders. A turnaround is also required and none is shown on the plan. However, Section 16.3.2.4.D Standards states that the design and performance standards in Chapters 16.8 and 16.9 may be modified by cluster residential development. The Board will need to consider and discuss the road / sidewalk design standards with the applicant during the preliminary plan review process.

Open Space

5. Per 16.8.11.6.E, the open space requirement of a minimum of 50% of the total area will be met with 57% proposed. The open space is proposed for owner recreation and permanently dedicated to protect its natural condition. Update: According the applicant, approximately 72.5% of the total site will be kept in open space. The site plan delineates the areas of open space indicating which portions are common and which are reserved.

Utilities / Site Improvements

6. The plans show general information regarding utilities that will be available to the site development. Proposed water, sewer, underground electric and telecom services serve the project from Bridge Street. Update: The proposed development will be serviced by the Kittery Water District for water service and Town of Kittery Sewer Department for sewer service. Letters of evaluation from both are attached. The locations of the underground electric and telephone lines are shown on plans.

Confirmation of Submittal Content

The application package appears to satisfy the submittal content required by the code.

The plans and supplemental materials have been evaluated at a Technical Review Committee meeting on August 27th. The Fire Chief's comment memorandum is attached. David Rich, Commissioner of Public Works and Jessa Kellogg, Stormwater Coordinator have also provided a memorandum (attached) from that meeting for the Board's consideration as this project moves through the preliminary plan review process.

The plans and supplemental materials are also being reviewed by CMA Engineers.

Recommendation

Staff recommends that the Board accept the preliminary site plan application as complete and schedule a site walk and public hearing.

Move to accept the cluster residential preliminary plan – major subdivision, dated June 20, 2019 as prepared by Hoyle, Tanner & Associates, Inc., for owner MAC Properties Bridge Street, LLC and applicant Silver Holdings, LLC for a three (3) building, 11-unit cluster residential development on 3.02+- acre parcel on Old Post Road / Bridge Street (Tax Map 3 Lot 77A) in the Residential – Urban (R-U) Zone as complete.

Move to schedule a site visit on {date and time} for the cluster residential preliminary plan – major subdivision, dated June 20, 2019 as prepared by Hoyle, Tanner & Associates, Inc., for owner MAC Properties Bridge Street, LLC and applicant Silver Holdings, LLC for a three (3) building, 11-unit cluster residential development on 3.02+- acre parcel on Old Post Road / Bridge Street (Tax Map 3 Lot 77A) in the Residential – Urban (R-U) Zone.

Move to schedule a public hearing on {date} for the cluster residential preliminary plan – major subdivision, dated June 20, 2019 as prepared by Hoyle, Tanner & Associates, Inc., for owner MAC Properties Bridge Street, LLC and applicant Silver Holdings, LLC for a three (3) building, 11-unit cluster residential development on 3.02+- acre parcel on Old Post Road / Bridge Street (Tax Map 3 Lot 77A) in the Residential – Urban (R-U) Zone

August 22, 2019

Adam Causey, AICP
Town of Kittery
200 Rogers Road
Kittery, ME 03904

Re: **Cluster Development
Plan Review Application**
Old Post Road
Kittery, ME 03904
Tax Map Lot 3-77A



Pease International Tradeport
100 International Drive, Suite 360
Portsmouth, New Hampshire 03801
603-431-2520
603-431-8067 fax
www.hoyletanner.com

Dear Mr. Causey,

On behalf of Silver Holdings, LLC, Hoyle, Tanner and Associates is pleased to submit this application for a Cluster Development Plan Review. The proposed development is located on Tax Map 3, Lot 77A, in the Town of Kittery, Maine. The development proposes the construction of three (3) residential buildings each three and a half stories with a total of 11 dwelling units. Each unit will have a two (2) car garage on the lower level with additional parking in front of the garage to accommodate any guests. The development will construct a 22-foot-wide private driveway at a 10% maximum slope to access the proposed residential buildings. The design also includes the construction of supporting utilities, drainage infrastructure, landscaping and lighting. A central stormwater pond will provide a reduction in stormwater runoff rates for the 2-year and 25-year design storms per the Town of Kittery Land Use and Development Code.

A Maine Department of Environmental Protection Permit by Rule (PBR) is required for the project because it will result in more than 1 acre of disturbance. The project will construct less than 1 acre of new impervious cover and developed area will be less than 3 acres; therefore, further stormwater permitting is not required.

The cluster development application requires the applicant to address the following findings (Title 16.10.8.3.4) in writing during the Preliminary Plan application. See below for the cluster development requirements and the responses.

A. The development Conforms to Local Ordinances

The proposed development meets all required ordinances set forth by the Town, as well as, all criteria set forth for a cluster development. The criteria include the maintenance of greater than 50% open space and providing open space greater than 30% of the net residential acreage. The proposed development will cluster the buildings and parking at the center of the site while maintaining the natural woods and site features that surround the perimeter of the parcel. Approximately 72.5% of the total site area will remain open space. Open space will be used for owner recreation and will preserve its natural condition. Please refer to the Site Plan, sheet C5, for detailed calculations of compliance with the Town of Kittery regulations, Title 16: Land Use and Development Code and the Cluster Residential Development standards (16.8.11).

B. Freshwater Wetlands Identified

The site was reviewed by Joseph Noel C.S.S and it was determined that there are no wetlands present on the existing site.

C. River, Stream or Brook Identified

The site was reviewed by Joseph Noel C.S.S and it was determined that there are no rivers, streams or brooks present on the site.

D. Water Supply Sufficient

The proposed development will be serviced by the Town of Kittery Water District. A letter from the Kittery Water District stated that the Water District has adequate water to supply the proposed development. A copy of this letter is included in the application package.

E. Municipal Water Supply Available

The proposed development will be serviced by the Town of Kittery Water District. A letter from the Kittery Water District stated that the Water District has adequate water to supply the proposed development. A copy of this letter is included in the application package.

F. Sewage Disposal Adequate

The proposed development will be serviced by the Town of Kittery Sewer Department. A letter from the Superintendent of Sewer Services stated that they have adequate capacity to accept the estimated flow from the proposed development. A copy of this letter is included in the application package.

G. Municipal Solid Waste Disposal Available

Municipal solid waste disposal for the proposed development will be served by a central dumpster that will be contracted through a professional waste disposal company.

H. Water Body Quality and Shoreland Protected

The proposed development is not located within 250 feet of any wetlands or waterbodies.

I. Groundwater Protected

The proposed development will be served by municipal water and will not draw from the groundwater supply. The proposed stormwater systems do not include any infiltration devices that would adversely affect the groundwater in the surrounding area.

J. Flood Areas Identified and Development Conditioned

The proposed development is not located within a designated flood zone. Please refer to the Federal Emergency Management Administration (FEMA) Flood Insurance Rate Map (FIRM) located in the Drainage Narrative for reference.

K. Stormwater Managed

The stormwater management design was conducted per the Town of Kittery regulations, Title 16: Land Use and Development Code (16.8.8.1 Stormwater Drainage) and analyzes the 2-year and 25-year design storms. The proposed development will reduce the stormwater runoff flow rates at each design point for both the 2-year and 25-year design storms per the Town of Kittery Land Use Regulations.

L. Erosion Controlled

An erosion control plan and details were prepared and are included in the site development plans. The plans detail erosion control measures during construction and post construction. Erosion control measures include a stabilized construction entrance, silt socks, inlets protection, stone check dams, rip-rap level spreaders and erosion control matting.

M. Traffic Managed

The proposed development is anticipated to generate minimal traffic on Old Post Road and the surrounding intersections based on the proposed 11 dwelling units. The proposed driveway entrance provides a sight distance greater than the required 250 feet of sight distance for a 25 mph roadway.

N. Water and Air Pollution Minimized

The proposed development will not generate water or air pollutants.

O. Aesthetic and Natural Values Protected

The proposed development was clustered at a central location on the site to minimize the disturbance to the existing vegetation. There are no historic sites or significant wildlife habitats located onsite. The proposed buildings have been designed to match the architecture of the surrounding coastal area.

P. Developer is Financially and Technically Capable

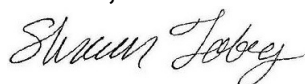
The developer will provide proof of financial capacity prior to obtaining a building permit. For the project the developer has hired a professional civil and structural engineer as well as an architect to manage all aspects of technical design.

Items Q-T do not apply to the project.

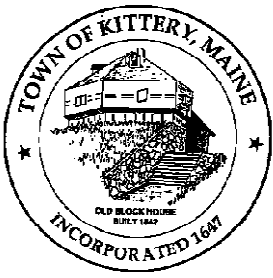
We trust that these responses have thoroughly addressed all cluster development requirements. Please do not hesitate to contact our office with any additional questions or comments regarding this project.

Sincerely,

HOYLE, TANNER & ASSOCIATES, INC.



Shawn M. Tobey, P.E.
Project Manager



TOWN OF KITTEERY MAINE

TOWN PLANNING AND DEVELOPMENT DEPARTMENT

200 Rogers Road, Kittery, Maine 03904

PHONE: (207) 475-1323

Fax: (207) 439-6806

www.kittery.org

CLUSTER DEVELOPMENT PLAN REVIEW

FEES FOR REVIEW: <input checked="" type="checkbox"/> \$500.00 PLUS <input checked="" type="checkbox"/> \$50.00/LOT OR DWELLING UNIT	Application Fee Paid: \$ 1050.00 Date: 8/22/19	Map #: 3 Lot #: 77A Zones: Base R - U Overlay(s) N/A			
	Review Escrow Fee Paid: \$ _____ Date: _____	Physical Address: Old Post Road, Kittery, ME 03904			
PROPERTY OWNER/APPLICANT INFORMATION* (print clearly) <small>*Applicant must also provide owner's signed authorization to act on their behalf.</small>	Owner's Name:	MAC Properties Bridge Street, LLC	Owner's Mailing Address:	209 Gosport Road Portsmouth, NH	
	Phone:	N/A		Applicant's Mailing Address:	1 City Center Portland ME 04101
	Email:	N/A			
	Applicant's Name:	Silver Holdings LLC, C/O: William Wharff			
	Phone:	(617) 767-1897			
Email:	wjwharff@gmail.com				
APPLICANT'S AGENT INFORMATION (print clearly)	Name:	Shawn Tobey, P.E.	Name of Business	Hoyle, Tanner & Associates, Inc.	
	Phone:	(603) 431-2520, ext 29	Mailing Address	100 International Drive, Suite 360 Portsmouth, NH 03801	
	Fax:	(603) 431-8067			
	Email:	stobey@hoyletanner.com			
PROJECT DESCRIPTION	Existing Use(s): The Site is undeveloped and is mostly wooded with scattered outcroppings of ledge.				
	Number of Proposed Lots	11 Dwelling Units	Subdivision Name	TBD	
	Proposed Road Name: N/A - Private Driveway				
	(A separate application is required and approval received from Public Safety/DPW/Planning Board prior to final plan signature.)				
	Ownership: (check)	<input type="checkbox"/> Fee- Simple	Responsibilities: (check)	<input checked="" type="checkbox"/> Total Development	<input checked="" type="checkbox"/> Landscaping
<input checked="" type="checkbox"/> Condominium		<input type="checkbox"/> Other		<input checked="" type="checkbox"/> Road	
ADDITIONAL SUBMITTAL INFORMATION	Article XI, Chapter 8 – Cluster Residential and Cluster Mixed-Use Development				
	To begin Preliminary Plan Review for Cluster Development, the Applicant must have received Sketch Plan acceptance through Planning Board action, including all requirements for Sketch Plan submittal as described in Title 16.8.11.5. As part of the preliminary plan review, sketch plan review submittal information must be attached to this plan application, including documentation of Planning Board action on the sketch plan. All other requirements as outlined in Article XI, Chapter 8 must be addressed at the Preliminary Plan Review level and included herein.				
	To begin Final Plan Review for Cluster Development, the Applicant must have received Preliminary Plan approval through Planning Board action.				
	Throughout plan review, it is the responsibility of the Applicant/Agent to provide information as required in Chapter 16.8 Design and Performance Standards-Built Environment, Chapter 16.9 Design and Performance Standards-Natural Environment and Chapter 16.10 Development Plan Application and Review, and other requirements as referenced.				

Title 16.7.4.1:		In granting modifications or waivers, the Planning Board must require such conditions as will, in its judgment, substantially meet the objectives of the requirements so waived or modified.
REQUESTED WAIVERS	Ordinance Section	Describe why this request is being made.
	EXAMPLE 16.32.560 (B)- OFFSTREET PARKING.	***EXAMPLE*** Requesting a waiver of this ordinance since the proposed professional offices have a written agreement with the abutting Church owned property to share parking.

■ ABUTTER NOTIFICATION

16.10.5.1.1. Preliminary Plan Application Filing and Completeness Review. The application must be accompanied by a Plan and the required fee together with a certification the applicant has notified abutters by mail of the filing of the Plan application for approval.

Submitted Applications must include a list of the names and addresses of the abutters and date notification mailed.
The abutter Notice of Filing must include the owner/applicant name, address and description of the proposed project.

Applications will not be accepted without submittal of all plan requirements as specified herein, and without a complete, signed application page (page 5).

Minimum Plan Submission Requirements (Title 16.10.5.2)

- 15 COPIES OF THIS APPLICATION 15 COPIES OF THE PLAN – 5 OF WHICH MUST BE 24" X 36"
 1 PDF OF THE SITE PLAN SHOWING GPS COORDINATES

Prior to starting the review process, the Planning Board will decide whether sufficient information has been provided and will vote to **DETERMINE COMPLETENESS/ACCEPTANCE**. The applicant is responsible to clearly describe the project. The following requirements must be addressed, and noted if not applicable.

Paper size:

- No less than 11" X 17" (reduced) or greater than 24" X 36" (full)

Scale size:

- Under 10 acres: no greater than 1" = 30'
 10 + acres: 1" = 50'

Title block:

- Applicant's name and address
 Name of preparer of plans with professional information and professional seal
 Parcel's tax map identification (map – lot)
 Date of plan preparation

Boundary survey performed and sealed by licensed surveyor:

- Identify all existing boundary markers
 Show all proposed boundary monuments (per ordinance)

Provide orientation:

- Arrow showing true north and magnetic declination
 Graphic scale Parcel Owners and map and lot
 Deed docket and page numbers Signature blocks

Show location and description of:

- All structures Floor plans
 Elevations of principle structures
 All structures and accesses within 100 feet

Show parcel data:

- Total parcel area Rights-of-way area Wetlands area
 Area to be disturbed Length of street frontage
 Building setback lines Wetland setbacks
 All parcels of land proposed to be dedicated to public use and the conditions of such dedication

Indicate how the existing ground will change by showing:

- Existing contours Proposed contours % grade
 Finished grades Proposed slopes Finished floor elevations

- Show names and addresses of all owners of record on abutting parcels and the assessor's map and lot numbers.

- Label all zoning districts abutting the property boundaries.

- Show locations of natural physical features such as water bodies, watercourses, forest cover, and ledge outcroppings.

Show the locations of existing and proposed utilities and identify which utilities are to be privately owned/ municipally owned:

- Overhead Electric underground electric Water mains Wells
 Gas mains Cable TV Sewer mains Test pits Septic tanks
 Leach fields Storm drain lines Catch basins Culverts
 Gutters Stormwater storage basins Rain gardens
 Nearest fire hydrant

Indicate required landscaping including:

- Type of plant material Plant/Tree sizes
 Placement Irrigation systems

Show natural and historical topography:

- Rock walls Railroad beds
 The location of all natural features or site elements to be preserved.

Provide a **locus map** showing the property in relation to surrounding roads, within 2,000 feet of any property line of the development.

Provide a **vicinity map and aerial photograph** at a scale not more than **400 feet to the inch** showing the relation to other properties and geographic features and show:

- All the area within five hundred (500) feet of the boundary line of the proposed development including roads, geographic features, natural resources (wetlands, etc.), historic sites, applicable comprehensive plan features such as proposed park locations, land uses, Zones and other features;
 Any smaller area between the tract and all existing streets, provided any part of such a street used as part of the perimeter for the vicinity map is at least five hundred (500) feet from any boundary of the proposed development.

Show the locations of any:

- Parks Open space Conservation easement

Identify and locate each:

- Easements Rights-of-way Street alignments
 All intersecting property lines within 50 feet of the parcel.

Include plans, profiles and typical sections of all **roads and other paved ways**, including all relevant street data.

- Intersections or Distance to nearest intersection
 Driveways onsite Distance to nearest driveway
 Sight visibility lines

Show all existing and proposed lighting

- Map of all street lighting, attached lighting, and area lighting
 Location of lighted signs Photo-metrics map

- Indicate the location of any permanently installed machinery likely to cause appreciable noise at the lot lines.

Provide description of these materials stored on the property:

- Hazardous Toxic Raw Waste

Indicate the location and dimensions of (existing and proposed):

- Sidewalks Curbs Driveways
 Fences Retaining walls Other artificial features

Show parking calculations and parking spaces on the site plan and:

- Existing parking, if applicable proposed parking spaces
 Handicapped spaces

Copies of State and Local permit applications:

- Notice of Intent NRPA Permit by Rule
 all other applicable permits

- Copy of **FIRM Map** showing proposed parcel boundary.

PRIOR TO A SITE WALK, TEMPORARY MARKERS MUST BE ADEQUATELY PLACED THAT ENABLE THE PLANNING BOARD TO READILY LOCATE AND APPRAISE THE LAYOUT OF THE DEVELOPMENT.

SUBMITTALS THE TOWN PLANNER DEEMS SUFFICIENTLY LACKING IN CONTENT WILL NOT BE SCHEDULED FOR PLANNING BOARD REVIEW.

Plan Findings of Fact

The following Findings (Title 16.10.8.3.4) must be sufficiently addressed in writing by the applicant/agent and submitted to the Planning Department with the Preliminary Plan application. These Findings must be updated as necessary during the review process, and the Plan must be in compliance with these Findings prior to Final Plan approval by the Planning Board.

- A. *Development Conforms to Local Ordinances*** The proposed development conforms to a duly adopted comprehensive plan as per adopted provisions in the Town Code, zoning ordinance, subdivision regulation or ordinance, development plan or land use plan, if any. In making this determination, the municipal reviewing authority may interpret these ordinances and plans.
- B. *Freshwater Wetlands Identified*** All freshwater wetlands within the project area have been identified on any maps submitted as part of the application, regardless of the size of these wetlands.
- C. *River, Stream or Brook Identified*** Any river, stream or brook within or abutting the proposed project area has been identified on any maps submitted as part of the application. For purposes of this section, "river, stream or brook" has the same meaning as in 38 M.R.S. §480-B, Subsection 9.
- D. *Water Supply Sufficient*** The proposed development has sufficient water available for the reasonably foreseeable needs of the development.
- E. *Municipal Water Supply Available*** The proposed development will not cause an unreasonable burden on an existing water supply, if one is to be used.
- F. *Sewage Disposal Adequate*** The proposed development will provide for adequate sewage waste disposal and will not cause an unreasonable burden on municipal services if they are utilized.
- G. *Municipal Solid Waste Disposal Available*** The proposed development will not cause an unreasonable burden on the municipality's ability to dispose of solid waste, if municipal services are to be used.
- H. *Water Body Quality and Shoreline Protected*** Whenever situated entirely or partially within two hundred fifty (250) feet of any wetland, the proposed development will not adversely affect the quality of that body of water or unreasonably affect the shoreline of that body of water.
- I. *Groundwater Protected*** The proposed development will not, alone or in conjunction with existing activities, adversely affect the quality or quantity of groundwater.
- J. *Flood Areas Identified and Development Conditioned*** All flood-prone areas within the project area have been identified on maps submitted as part of the application based on the Federal Emergency Management Agency's Flood Boundary and Floodway Maps and Flood Insurance Rate Maps, and information presented by the applicant. If the proposed development, or any part of it, is in such an area, the applicant must determine the one hundred (100) year flood elevation and flood hazard boundaries within the project area. The proposed plan must include a condition of plan approval requiring that principal structures in the development will be constructed with their lowest floor, including the basement, at least one foot above the one hundred (100) year flood elevation.
- K. *Stormwater Managed*** The proposed development will provide for adequate stormwater management.
- L. *Erosion Controlled*** The proposed development will not cause unreasonable soil erosion or a reduction in the land's capacity to hold water so that a dangerous or unhealthy condition results.
- M. *Traffic Managed*** The proposed development will:
1. Not cause unreasonable highway or public road congestion or unsafe conditions with respect to the use of the highways or public roads existing or proposed; and
 2. Provide adequate traffic circulation, both on-site and off-site.
- N. *Water and Air Pollution Minimized*** The proposed development will not result in undue water or air pollution. In making this determination, the following must be considered:
1. Elevation of the land above sea level and its relation to the floodplains;
 2. Nature of soils and sub-soils and their ability to adequately support waste disposal;
 3. Slope of the land and its effect on effluents;
 4. Availability of streams for disposal of effluents;
 5. Applicable state and local health and water resource rules and regulations; and
 6. Safe transportation, disposal and storage of hazardous materials.



VICINITY MAP
 PROPOSED 11-UNIT CLUSTER
 RESIDENTIAL DEVELOPMENT PROJECT
 OLD POST ROAD
 KITTERY, ME 03904

APPLICANT:
 SILVER HOLDINGS, LLC
 1 CITY CENTER
 PORTLAND, ME 04101

Hoyle, Tanner & Associates, Inc.
 Pease International Tradeport
 100 International Dr, #360, Portsmouth, NH 03801
 Tel (603) 431-2520 Fax (603) 431-8067 Web: www.hoyletanner.com
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DATE: 08/22/2019

SCALE:	FIGURE:
1"=400'	1



Town of Kittery, Maine

Fire Department

3 Gorges Road
Kittery, Maine 03904
Tel (207) 439-2262

Chief David O'Brien
firechief@kitteryme.org

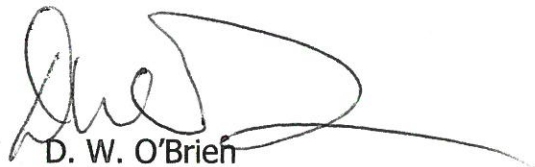
MEMORANDUM

03 September 2019

Subj: Proposed Old Post Road 11-Unit Cluster Development

I have conducted a review of the subject site plan proposal for Tax Map Lot 3-77A. The following are my comments:

- a. The plan presents a combination of a 10% grade over the distance until the sharp left turn with a 20' radius. This grade is higher than the allowed standards and presents access issues for emergency vehicles during winter months.
- b. The 20' radius of the turns entering the access to Building 3 and to Buildings 1 and 2 do not easily allow access by Fire Department apparatus. This issue combined with the 10% grade presents access issues for emergency vehicles.
- c. Trees located in front of the three buildings need to be removed.
- d. An adequate sized "hammerhead" turn around needs to be provided.
- e. All buildings are required to have fire suppression systems installed; including sprinklers, monitored alarm systems and KNOX box keyed entry systems.



D. W. O'Brien
Fire Chief, CFOIII



TOWN OF KITTELY
Department of Public Works
200 Rogers Road, Kittery, ME 03904
Telephone: 207-439-0333 Fax: 207-439-6816

MEMORANDUM

To: Jamie Steffen, Town Planner
From: David Rich, Public Works Commissioner
Jessa Kellogg, Stormwater Coordinator
Subject: Old Post Road/Bridge Street Planning Board review
Subject: September 5, 2019

Upon review of the preliminary plan Public Works staff have the following comments.

There is existing stormwater drainage infrastructure on Old Post Road. It appears there may need to be a catch basin installed on either side of the proposed road entrance and ensure that the existing drainage piping can handle the volume of stormwater discharging from this site.

A minimum 5-foot sidewalk on the private right of way and 6-foot sidewalk along the entire frontage of Old Post Road is required per Title 16.8 Table 1 Design and Construction Standards for Streets and Pedestrianways. Table 1 also addresses maximum allowed longitudinal street gradients. The preliminary plan appears to show a stretch of 10% grade and the code is restricted 8%. The preliminary plan does not show any sidewalks and no waiver for either of these standards appears to be requested. The applicant should address these concerns and Public Works would like to see a sidewalk installed at a minimum along the length of Old Post Road from the private right way entrance to the Bridge Street crosswalk to enhance connectivity.

The applicant should be made aware that there is a five-year moratorium on road entrance permits for newly paved public right of ways. Old Post Road was paved in 2017 and any road entrance conditions of approval would need to include repaving the entire width of the road the entire distance of Old Post Road to Bridge Street and be guaranteed against failure for the remainder of the existing moratorium.

Per Title 16.8.8.2 this development will require a post-construction stormwater management plan to include annual inspections of stormwater infrastructure and annual reports of these inspections and any required maintenance to both the Town of Kittery and Maine Department of Environmental Protection.

SITE DATA

- APPLICANT: SILVER HOLDINGS, LLC
1 CITY CENTER
PORTLAND, ME 04101
- OWNER INFORMATION: MAC PROPERTIES BRIDGE STREET, LLC
C/O ROBERT MACDONALD SOLE MBR
209 GOSPORT ROAD
PORTSMOUTH, NH 03801
- PARCEL INFORMATION: TAX MAP LOT 3-77A
3.02± ACRES
OLD POST ROAD/BRIDGE STREET
- ZONING: RESIDENTIAL-URBAN (R-U)
- TOTAL LOT AREA: 131,500± S.F. (3.02± AC.)
- WETLANDS: NONE
- POORLY DRAINED SOILS: NONE
- FLOODPLAIN: NONE
- EXPOSED LEDGE: 17,600± S.F.
- SLOPES >20%: NO AREAS OF CONTIGUOUS SUSTAINED SLOPES 20% OR GREATER 1 ACRE OR MORE
- DISTURBED AREA: IN ROW = 2,700± S.F. (0.06± AC.)
ONSITE = 76,500± S.F. (1.76± AC.)
TOTAL = 79,200± S.F. (1.82± AC.)
- IMPERVIOUS COVER: IN ROW = 535± S.F. (0.01± AC.)
ONSITE = 34,835± S.F. (0.80± AC.)
TOTAL = 35,370± S.F. (0.81± AC.)
- SIGHT DISTANCE: REQUIRED (25 MPH) = 250 FT
PROVIDED (25 MPH) = 304 FT

CLUSTER RESIDENTIAL STANDARDS

- OPEN SPACE CALCS: OPEN SPACE, COMMON = 41,605 S.F.
OPEN SPACE, RESERVED = 53,780 S.F.
OPEN SPACE TOTAL = 95,385 S.F.
- OPEN SPACE: REQUIRED = 50% OPEN SPACE
= 131,500 S.F. X .5
= 65,750 S.F.
PROVIDED = 72.5% (95,385 S.F.)
- NET RES. AC. CALCS: TOTAL PARCEL = 131,500 S.F.
EXPOSED LEDGE = 17,599 S.F.
NET RES. AC. = 113,901 S.F.
- OPEN SPACE-NET RES: REQUIRED = >30% OF NET RES. AC.
= 113,901 S.F. X .3
= 34,170 S.F.
PROVIDED = 95,385 S.F.

DIMENSIONAL REQUIREMENTS (R-U)

REGULATION	REQUIREMENT	PROVIDED
MIN. LOT AREA:	20,000 S.F.	131,500± S.F.
MIN. STREET FRONTAGE:	100 FT	745.91 FT
MIN. FRONT SETBACK:	30 FT	54.6 FT
MIN. SIDE SETBACK:	15 FT	30.1 FT
MIN. REAR SETBACK:	15 FT	68.1 FT
MIN. SPACE BETWEEN BUILDINGS	15 FT	29.6 FT
MAX. BUILDING HEIGHT:	35 FT	35 FT
MIN. LAND AREA/DWELLING UNIT:	20,000 S.F.	10,355 S.F.*
MAX. BUILDING COVERAGE:	20% (26,300 S.F.)	7.2% (9,405 S.F.)
MIN. OPEN SPACE:	50% (65,750 S.F.)	72.5% (95,385 S.F.)
PARKING:	22 SPACES	33 SPACES
STALL DIMENSIONS:	9X19 FT	10X19 FT
aisle width (90' parking):	24 FT	24 FT

*MINIMUM LAND AREA PER DWELLING UNIT REDUCTION PER CLUSTER DEVELOPMENT DIMENSIONAL STANDARDS MODIFICATION.

PROPOSED BUILDING DATA:

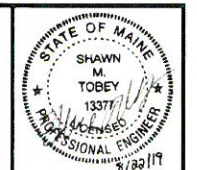
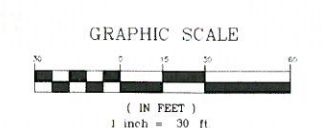
BUILDING	UNITS	STORIES	DIMENSIONS	FOOTPRINT
BUILDING 1	4	3.5	35' X 100'	3,420 S.F.
BUILDING 2	4	3.5	35' X 100'	3,420 S.F.
BUILDING 3	3	3.5	35' X 75'	2,565 S.F.

PARKING CALCULATIONS

- RESIDENTIAL DWELLING
2 SPACES PER EACH DWELLING UNIT
11 DWELLING UNITS X 2 = 22 SPACES

SITE NOTES:

- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
- REFER TO DWGS C11-C15 FOR CONSTRUCTION DETAILS.
- ALL OPEN SPACE BETWEEN THE LIMITS OF COMMON SPACE, RESERVED, THE PROPOSED BUILDING AND THE PROPOSED PAVEMENT SHALL BE DESIGNATED AS OPEN SPACE, COMMON.
- EACH RESIDENTIAL UNIT WILL HAVE A GARAGE WITH TWO PARKING SPACES ON THE GROUND LEVEL.
- THE LOCATION OF PROPOSED BUILDING ENTRANCES AND GARAGE DOORS ARE APPROXIMATE AND SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.



ISSUED FOR KITTERY PLANNING BOARD - PRELIMINARY PLAN	ISSUED FOR COORDINATION	REVISION DESCRIPTION	DATE
2	1		08/22/19
			09/02/19

Hoyle, Tanner & Associates, Inc.
100 International Dr., #360, Portsmouth, NH 03801
Tel: (603) 431-2820 Fax: (603) 431-8067 Web: www.hoyletanner.com
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3-77-1
DAVID H. GOODWILLIE, TRUSTEE
DAVID H. GOODWILLIE FAMILY TRUST
1104E SEVERI HILL LANE
POTOMAC, MD 20854
BK 16688 PG 793 6/5/2013
(9 COOK STREET #1)

3-77-2
SUSAN JACOBSON AVIS
9 COOK STREET, UNIT #2
KITTERY, ME 03904
BK 17085 PG 160 8/26/2015
(9 COOK STREET #2)

3-77-3
ELIZABETH TAUSTA LINDQUIST
TUCKER DAVID LINDQUIST
9 COOK STREET, UNIT #3
KITTERY, ME 03904
BK 14636 PG 690 11/2/2005
(9 COOK STREET #3)

3-77-4
JANET HOWE
RAJESH MANDEKAR
65 ROGERS ROAD
KITTERY, ME 03904
BK 15451 PG 107 7/3/2008
(9 COOK STREET #4)

PROJECT CONDITIONS

- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT BY THE TOWN'S CODE ENFORCEMENT OFFICER, THE DEVELOPER MUST SUBMIT:
 - A RECORDED COPY OF THE PLAN AND ALL RELATED LEGAL DOCUMENTS THAT MAY BE REQUIRED.
 - PAYMENT OF ALL OUTSTANDING FEES ASSOCIATED WITH THE PERMITTING, INCLUDING, BUT NOT LIMITED TO, TOWN ATTORNEY FEES, PEER REVIEW, NEWSPAPER ADVERTISEMENTS AND ABUTTER NOTIFICATION.
 - A PERFORMANCE GUARANTEE AND/OR ESCRO ACCOUNT TO PAY FOR ANY REQUIRED FIELD INSPECTIONS.
- BEFORE CONSTRUCTION OR SOIL DISTURBANCE:
 - THE OWNER AND/OR DEVELOPER MUST STAKE ALL CORNERS OF THE BUILDING ENVELOPE, AS SHOWN ON THE PLAN. THESE MARKERS MUST REMAIN IN PLACE UNTIL THE CODE ENFORCEMENT OFFICE DETERMINES CONSTRUCTION IS COMPLETED AND THERE IS NO DANGER OF DAMAGE TO AREAS THAT ARE, PER PLANNING BOARD APPROVAL, TO REMAIN UNDISTURBED.
 - THE OWNER AND/OR DEVELOPER, IN AN AMOUNT AND FORM ACCEPTABLE TO THE TOWN MANAGER, MUST FILE WITH THE MUNICIPAL TREASURER AN INSTRUMENT TO COVER THE COST OF ALL INFRASTRUCTURE AND RIGHT-OF-WAY IMPROVEMENTS AND SITE EROSION AND STORMWATER STABILIZATION.

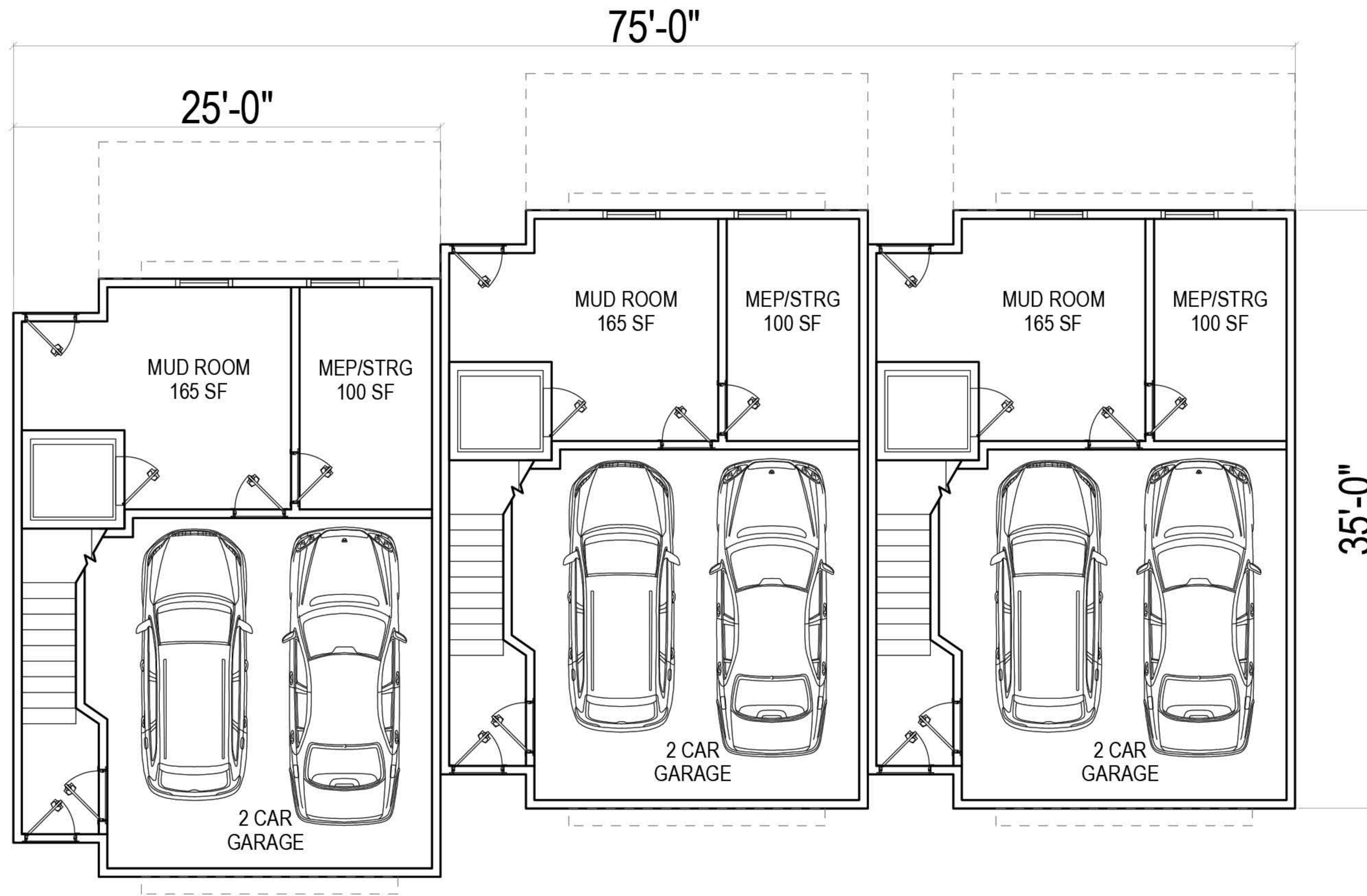
APPLICANT: SILVER HOLDINGS, LLC
1 CITY CENTER
PORTLAND, ME 04101

PROJECT: PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT
TAX MAP LOT 3-77A
OLD POST ROAD, KITTERY, ME 03904

SCALE: ORIGINAL DATE: AUGUST 2, 2019
AS SHOWN

DESIGNED BY: SMT
DRAWN BY: SMT
CHECKED BY: WRD

PROJECT NO. 569501
SHEET 5 OF 15



BUILDING 1
FLOOR 1





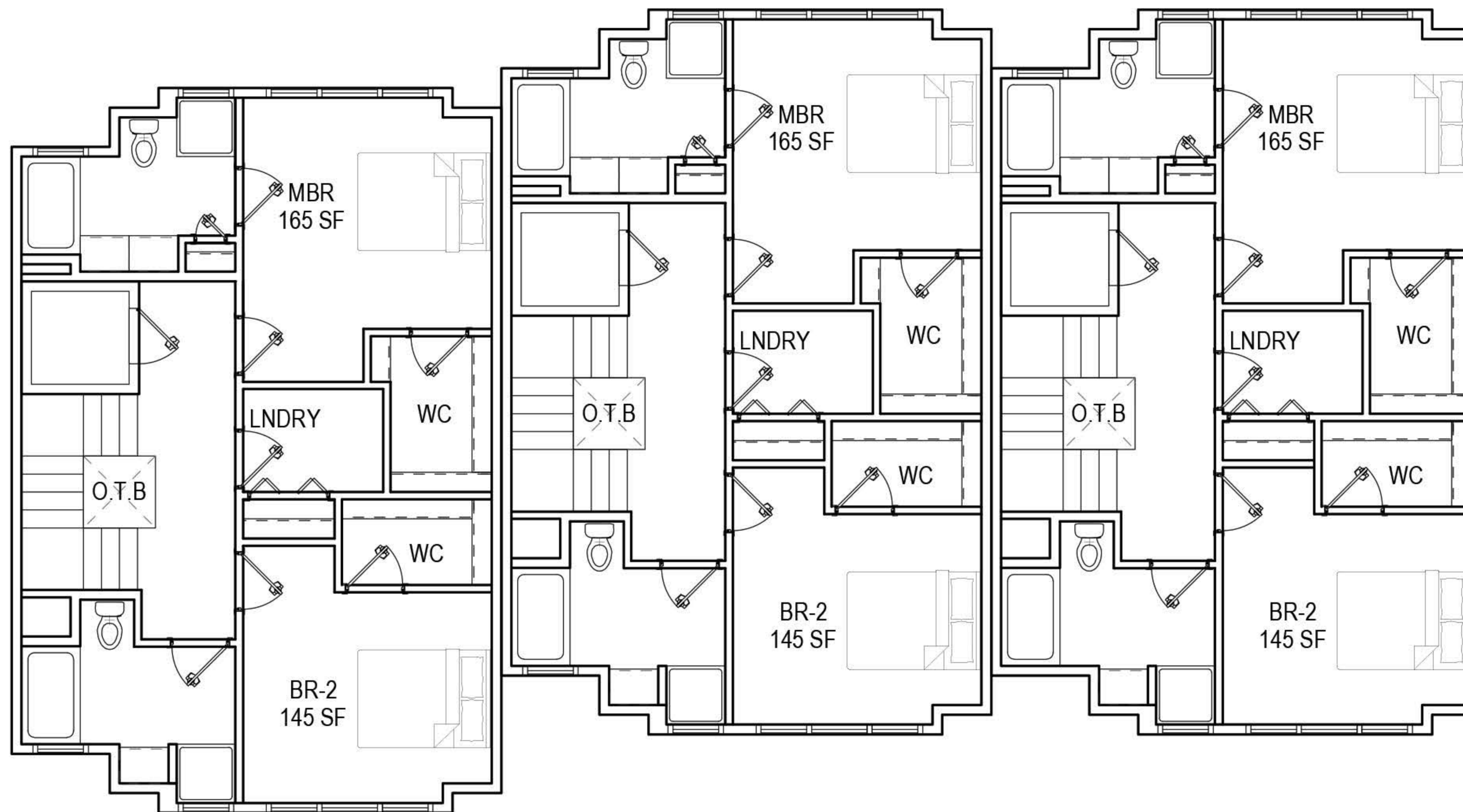
BUILDING 1
FLOOR 2



Old Post Road
Kittery, ME
08.22.19

Conceptual Floor Plans



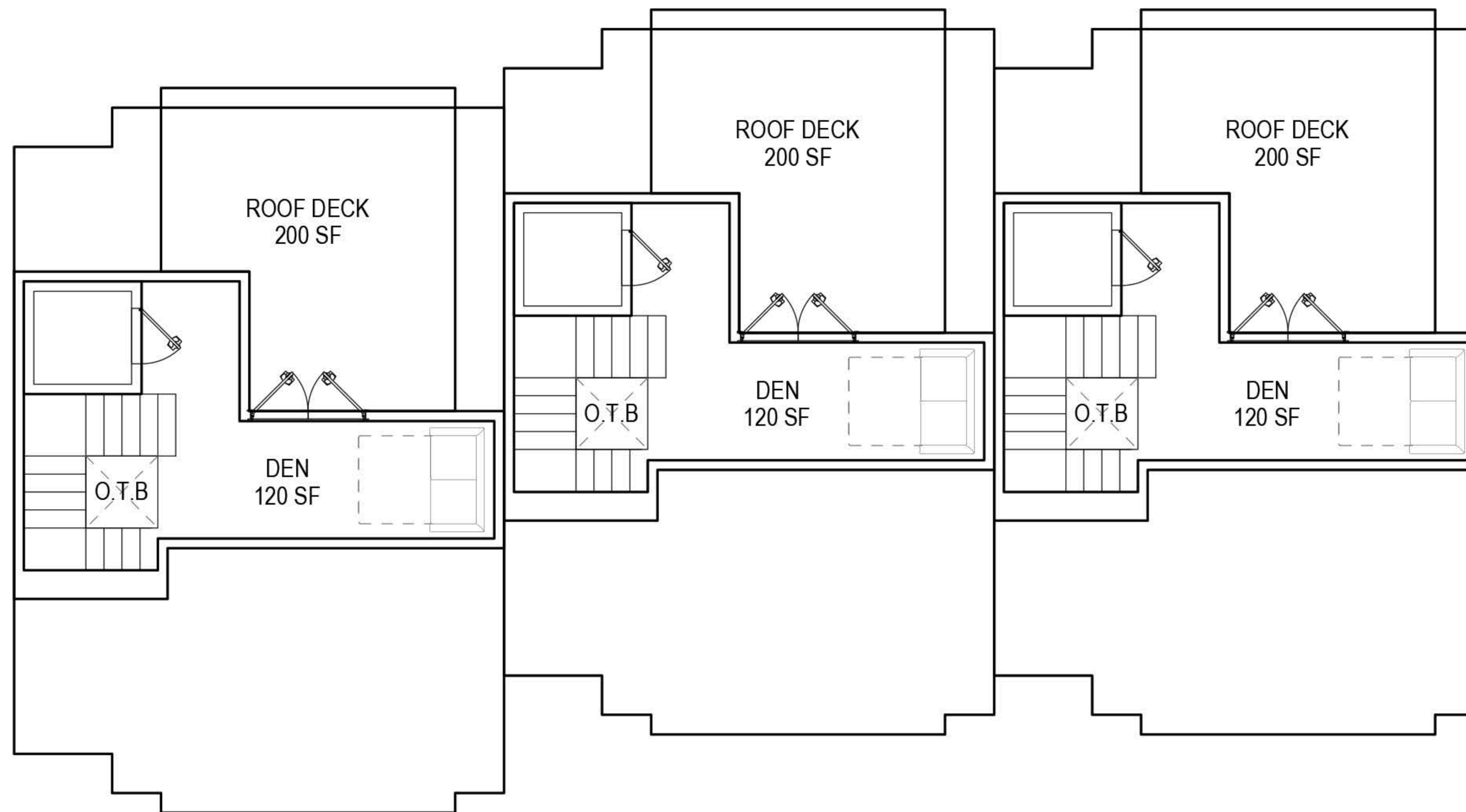


BUILDING 1
FLOOR 3



Old Post Road
Kittery, ME
08.22.19

Conceptual Floor Plans



BUILDING 1
ATTIC



Old Post Road
Kittery, ME
08.22.19

Conceptual Floor Plans








35' Average Roof Height

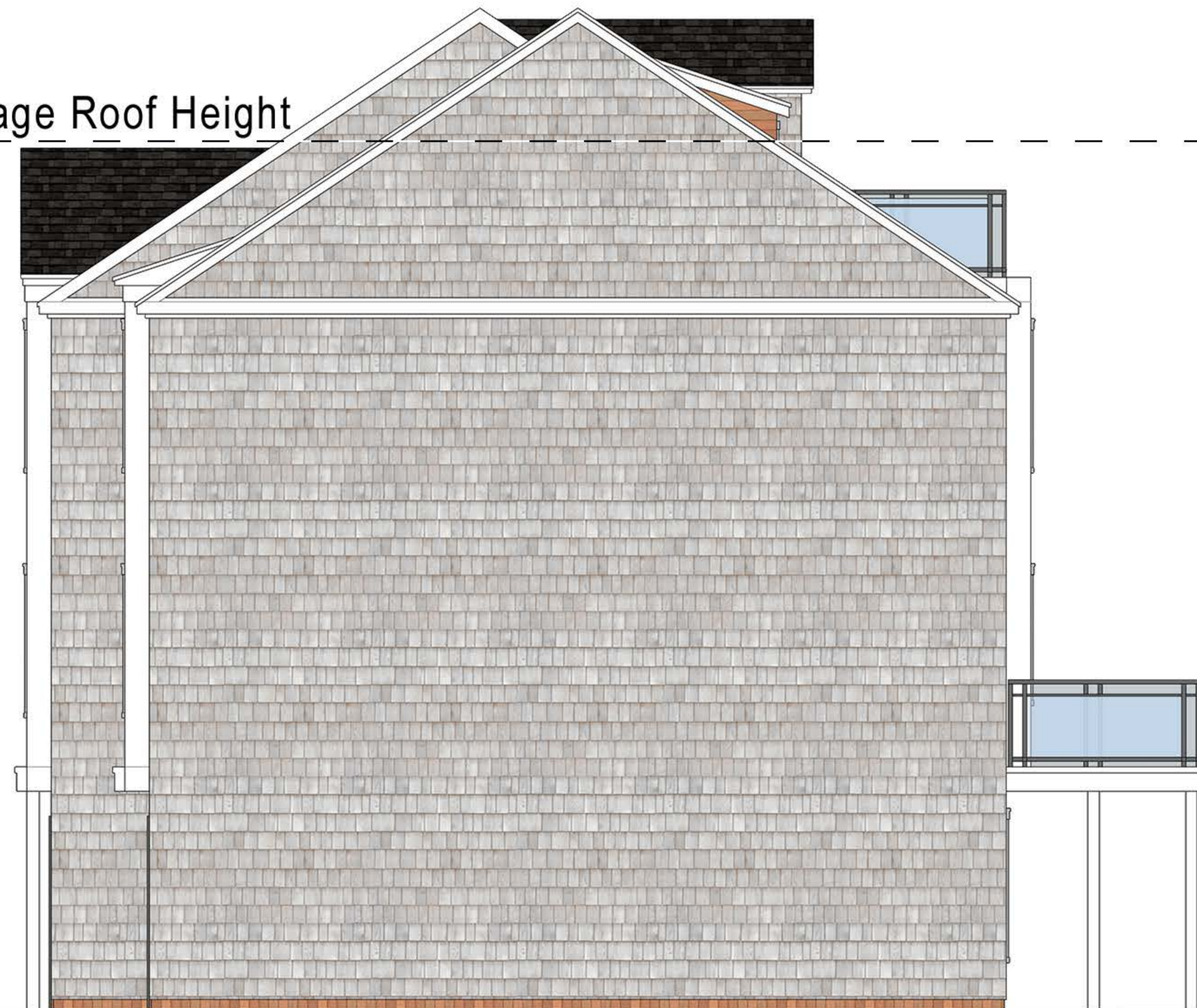


Building 1 Front Elevation

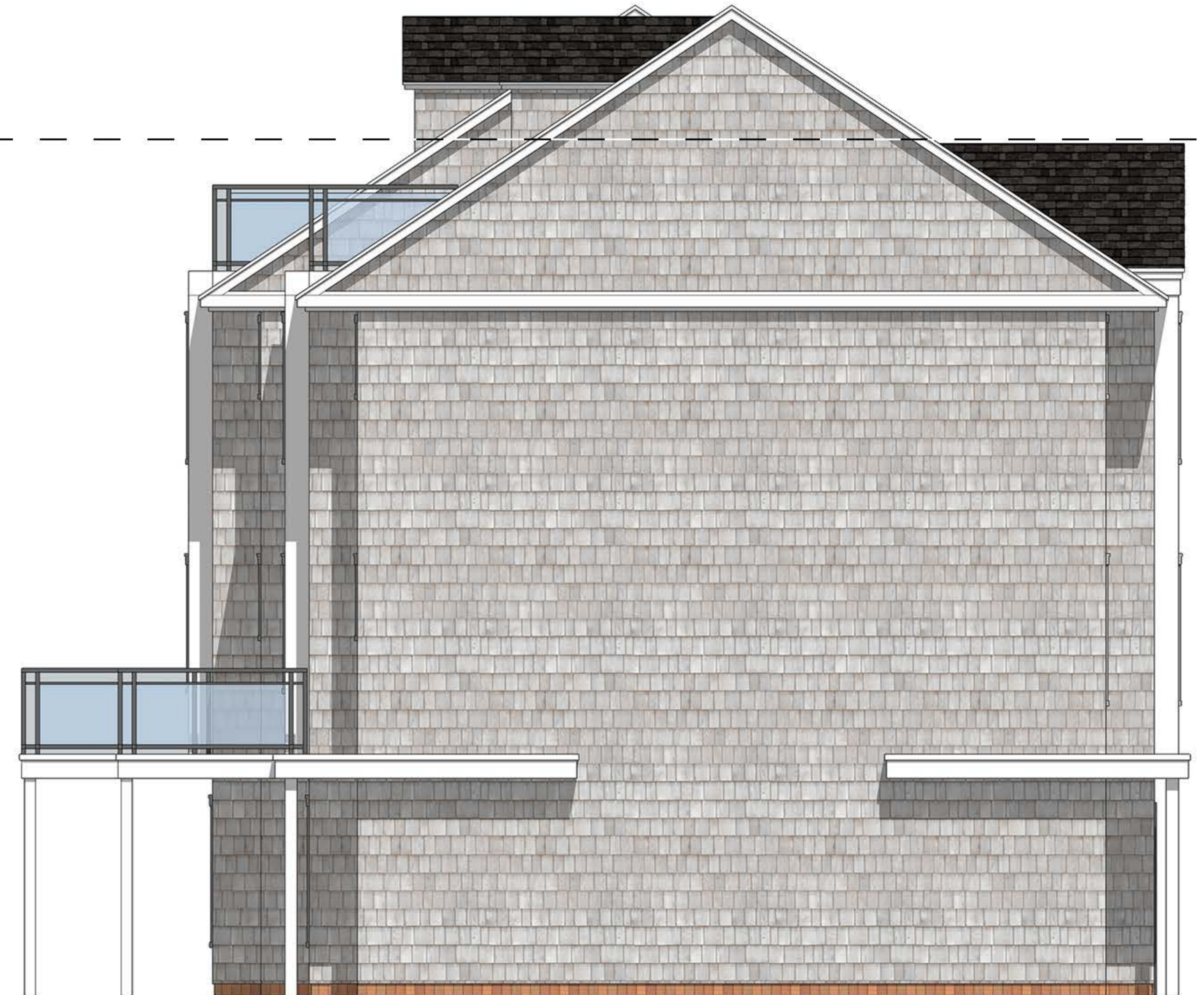
Material Key

-  Asphalt Roof Shingles
-  Fiber Cement Cedar Shakes
-  Fiber Cement Panel
-  Wood Tone Accent
-  Fiber Cement & Garage Door

35' Average Roof Height








Building 1 Left Elevation



Building 1 Right Elevation

Material Key

-  Asphalt Roof Shingles
-  Fiber Cement Cedar Shakes
-  Fiber Cement Panel
-  Wood Tone Accent
-  Fiber Cement & Garage Door

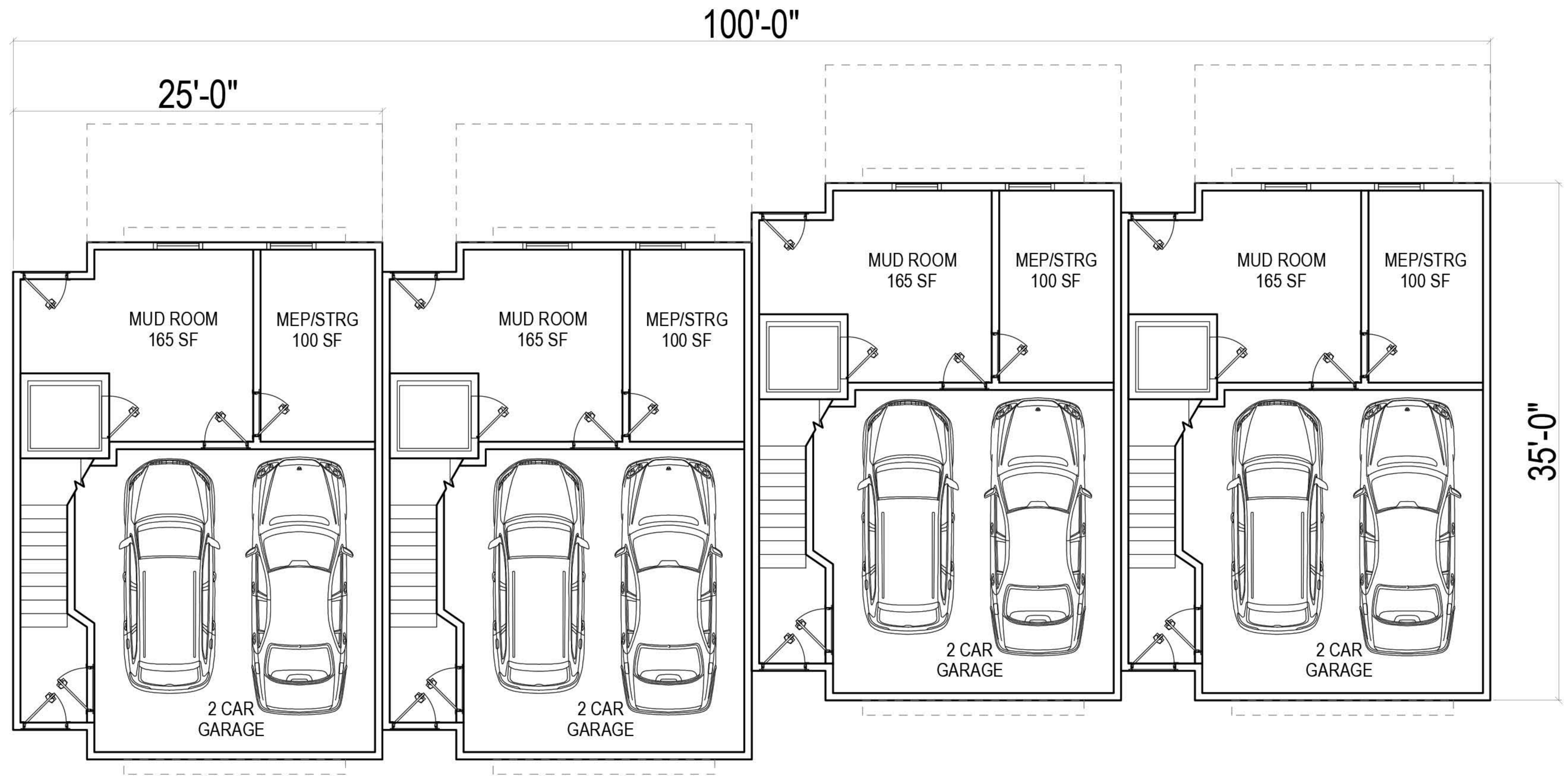
35' Average Roof Height



Building 1 Rear Elevation

Material Key

- Asphalt Roof Shingles
- Fiber Cement Cedar Shakes
- Fiber Cement Panel
- Wood Tone Accent
- Fiber Cement & Garage Door



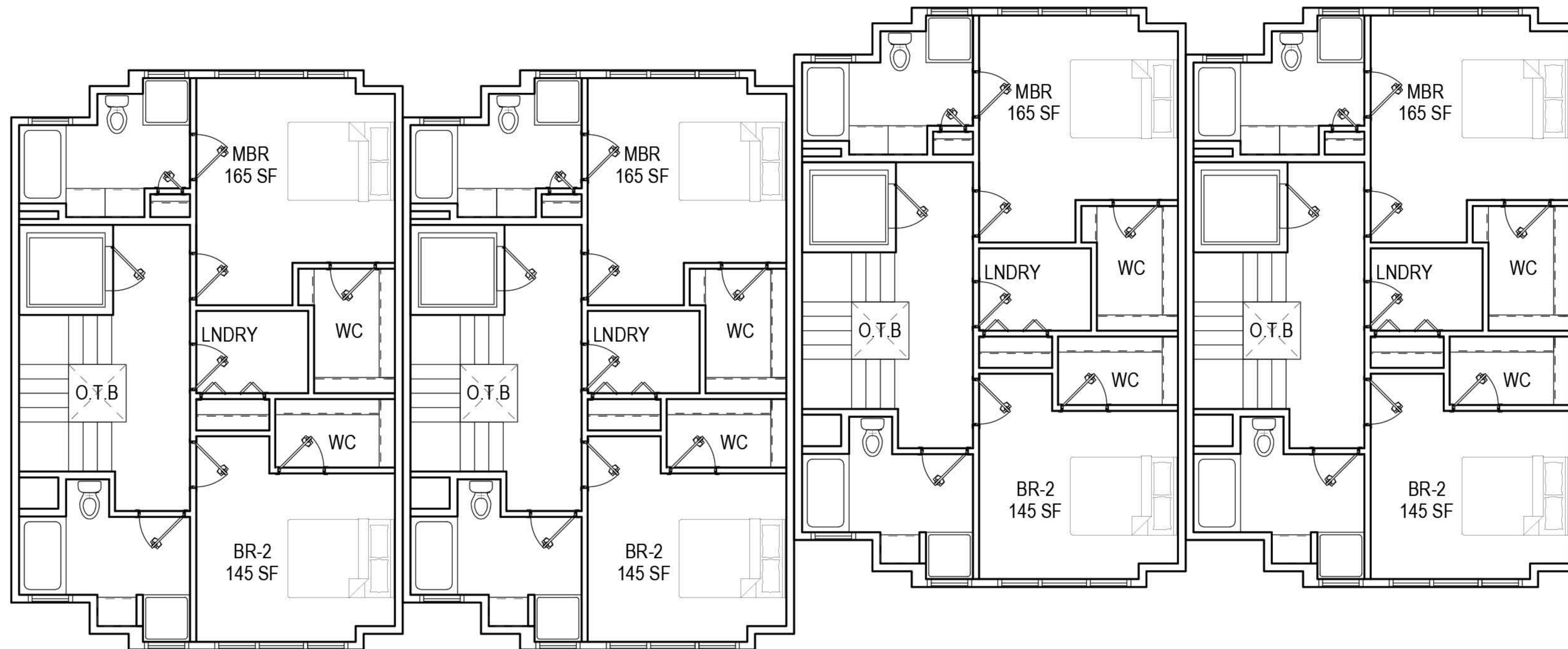
BUILDING 2
FLOOR 1





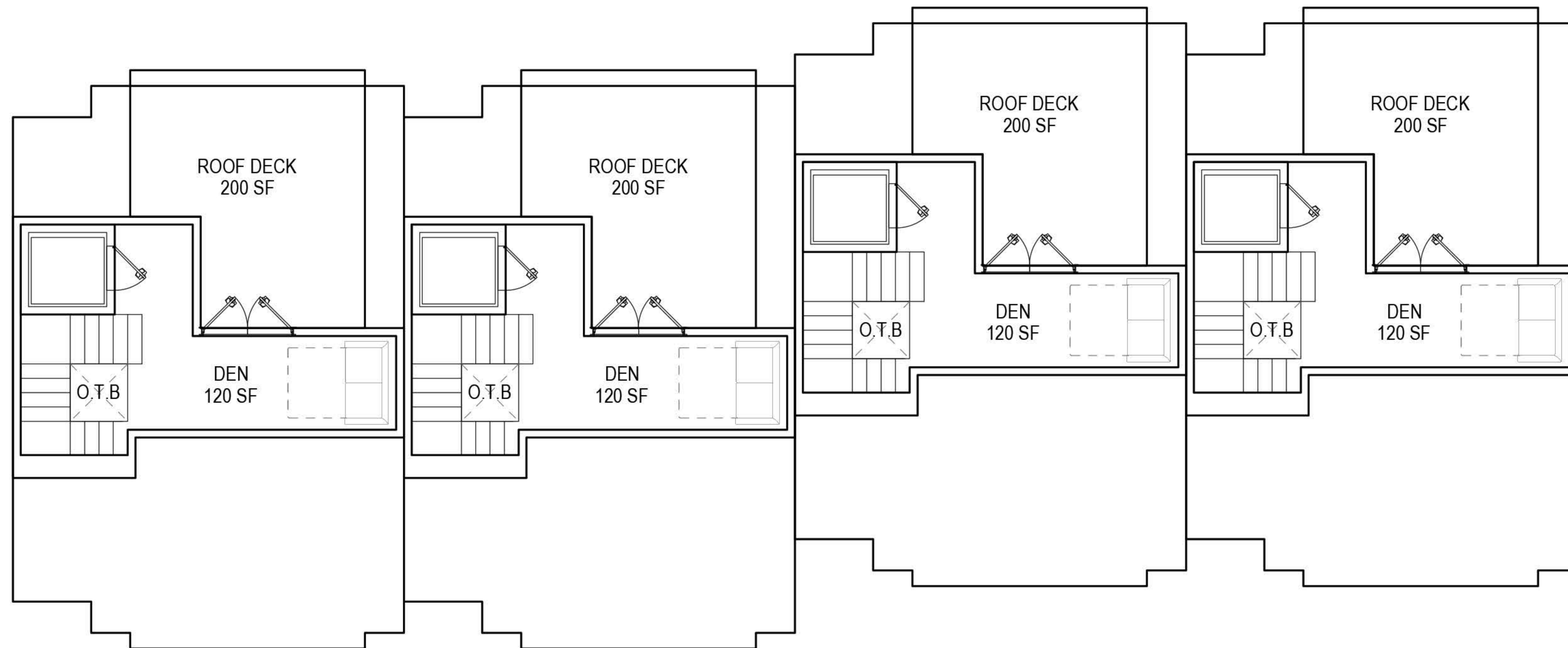
BUILDING 2
FLOOR 2





BUILDING 2
FLOOR 3





BUILDING 2
ATTIC








35' A.R.H.

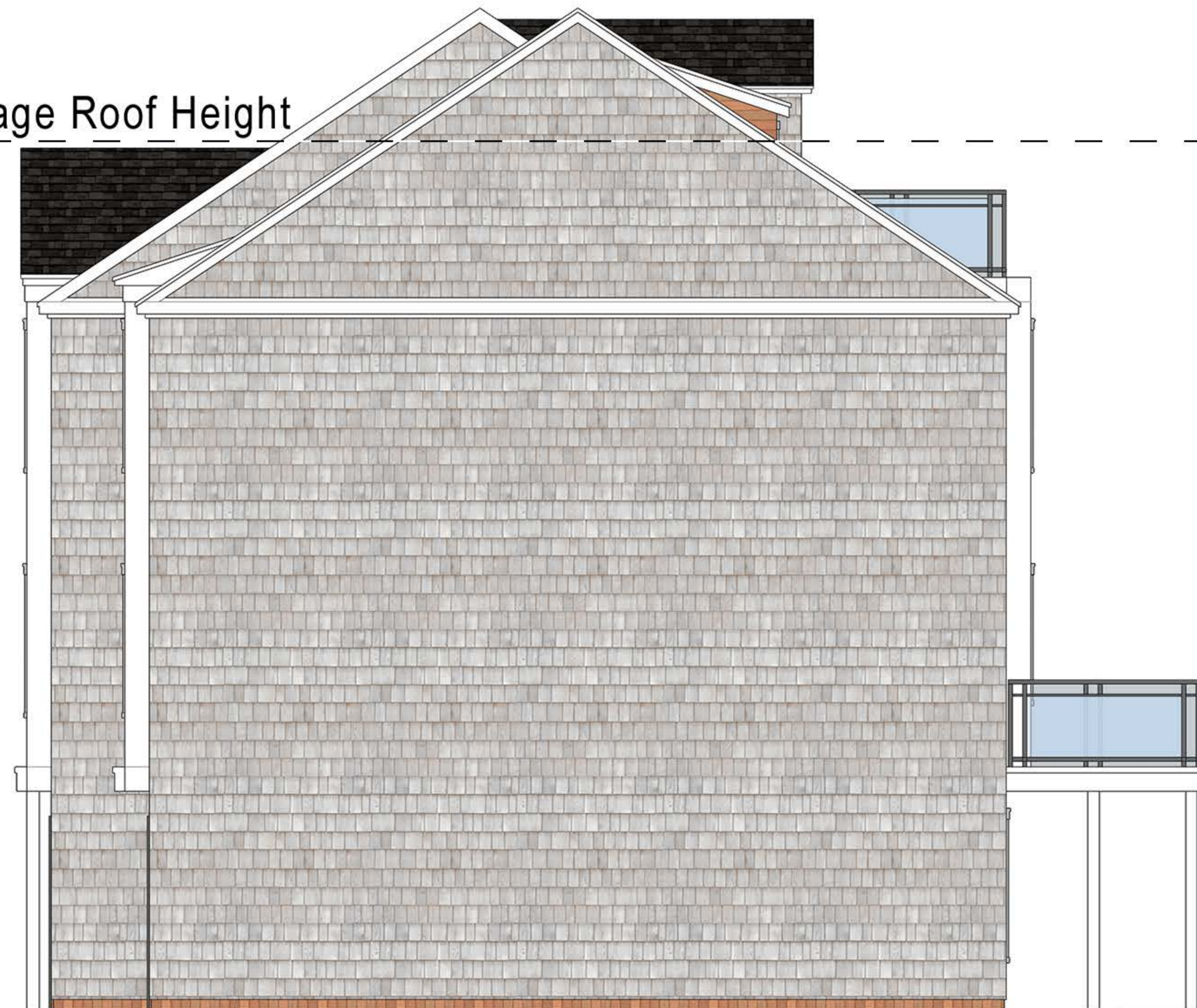


Building 2 North Elevation

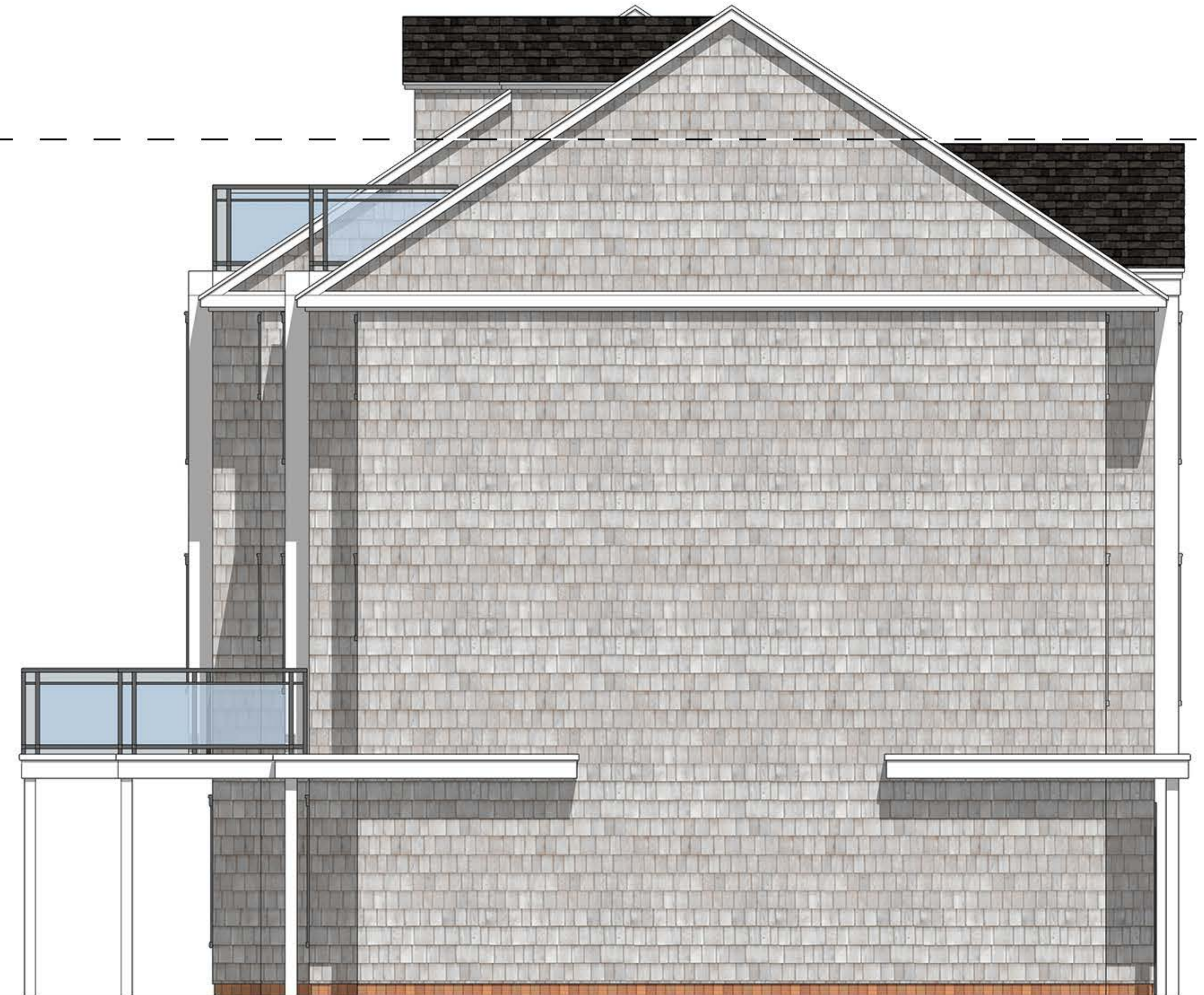
Material Key

-  Asphalt Roof Shingles
-  Fiber Cement Cedar Shakes
-  Fiber Cement Panel
-  Wood Tone Accent
-  Fiber Cement & Garage Door

35' Average Roof Height








Building 2 Left Elevation



Building 2 Right Elevation

Material Key

-  Asphalt Roof Shingles
-  Fiber Cement Cedar Shakes
-  Fiber Cement Panel
-  Wood Tone Accent
-  Fiber Cement & Garage Door

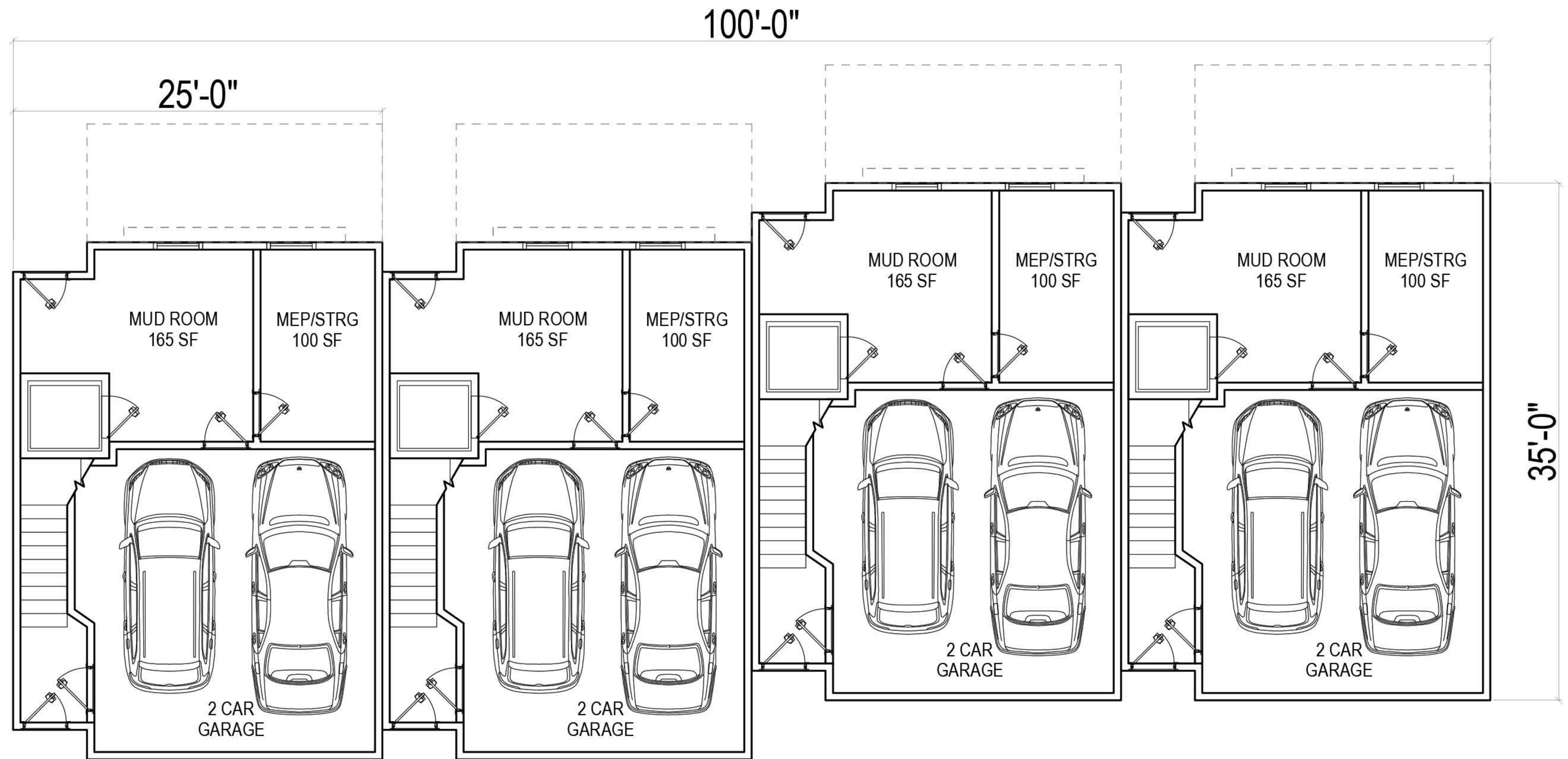
35' A. R. H.



Building 2 Rear Elevation

Material Key

- Asphalt Roof Shingles
- Fiber Cement Cedar Shakes
- Fiber Cement Panel
- Wood Tone Accent
- Fiber Cement & Garage Door



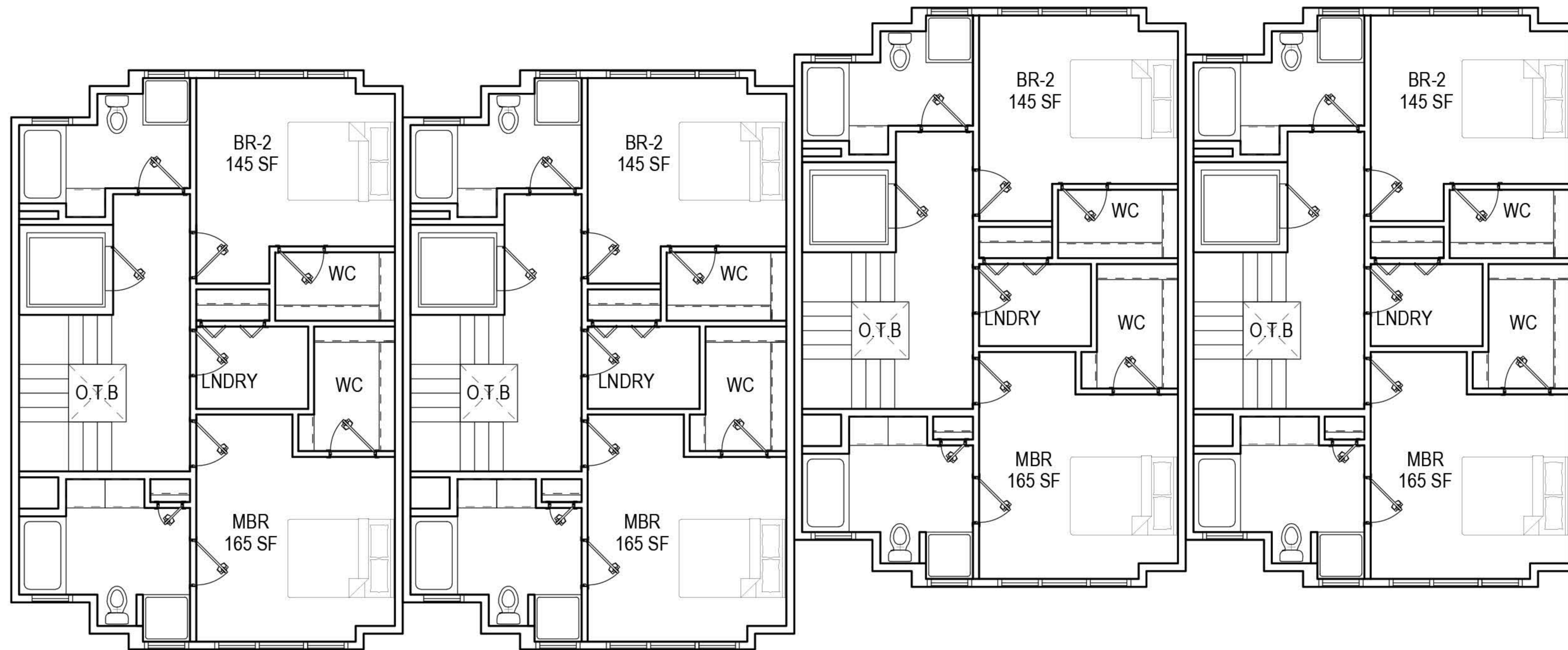
BUILDING 3
FLOOR 1





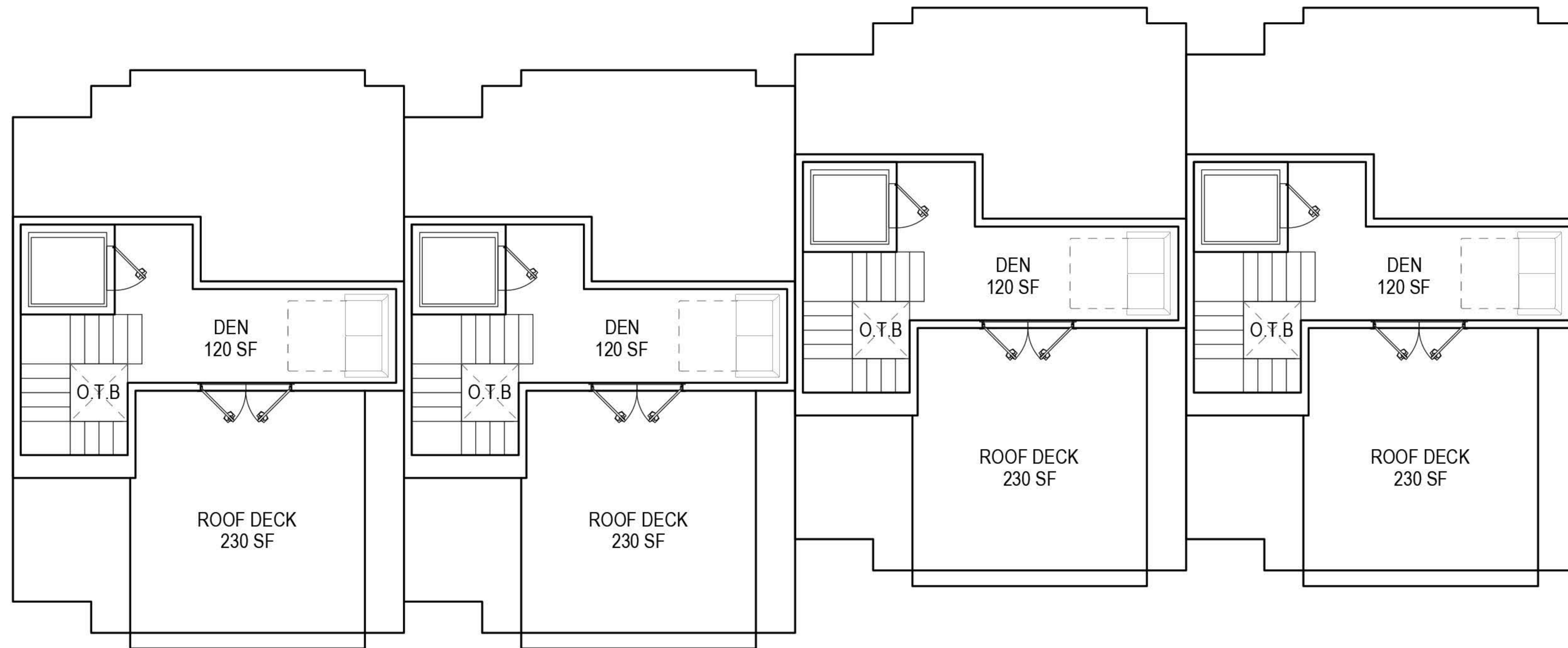
BUILDING 3
FLOOR 2





BUILDING 3
FLOOR 3





BUILDING 3
ATTIC



35' A. R. H.

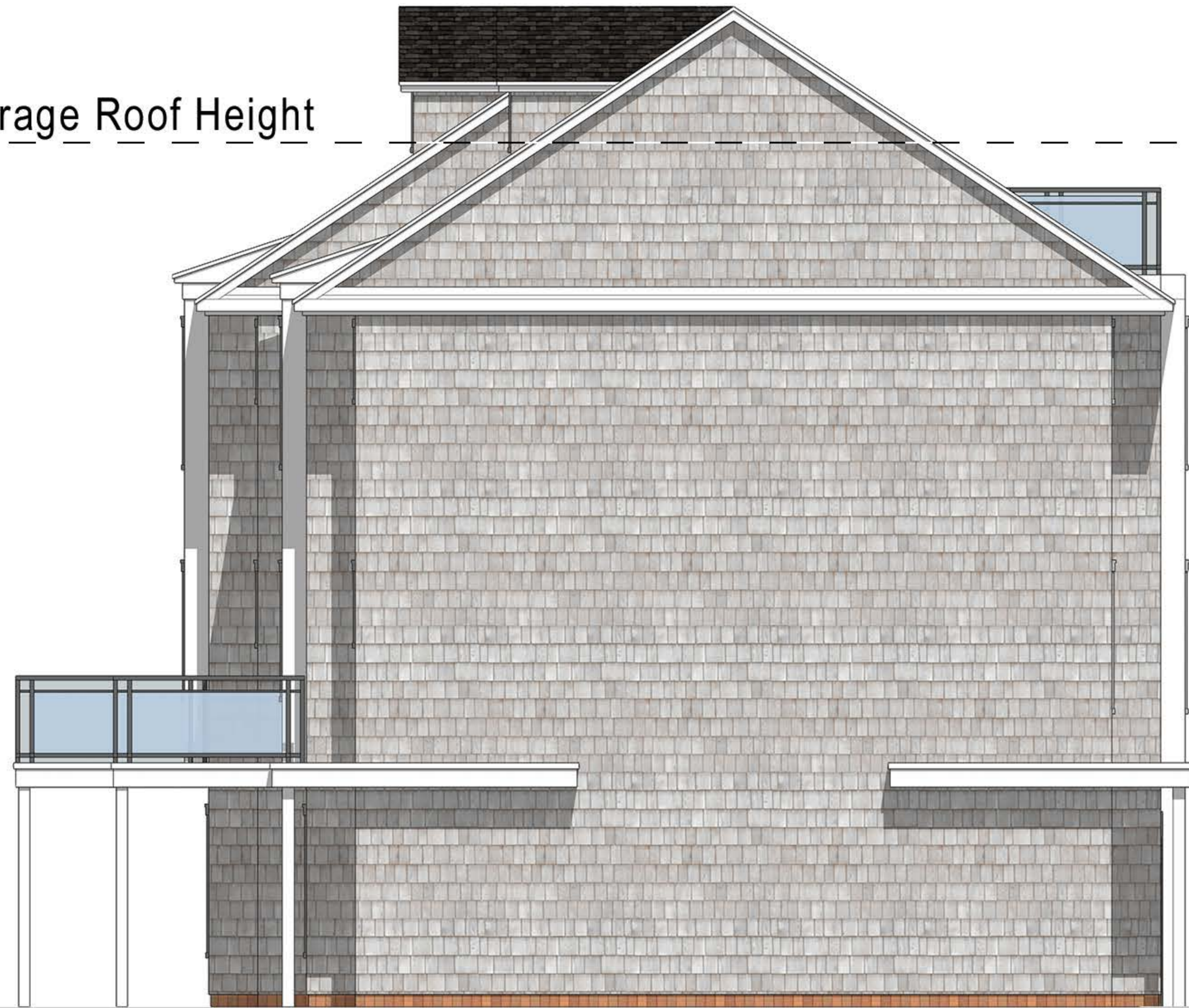


Building 3 Front Elevation

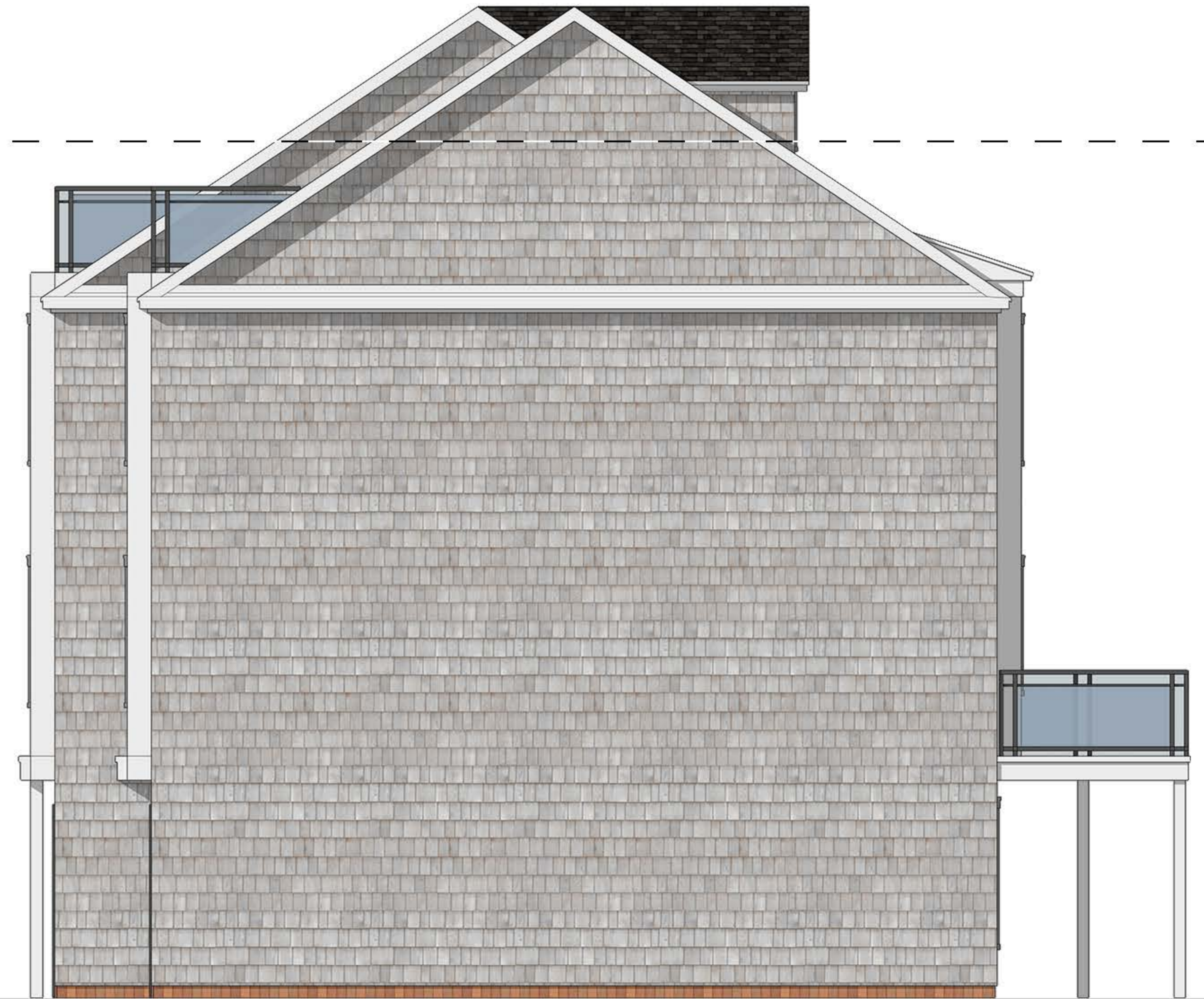
Material Key

- Asphalt Roof Shingles
- Fiber Cement Cedar Shakes
- Fiber Cement Panel
- Wood Tone Accent
- Fiber Cement & Garage Door

35' Average Roof Height



Building 3 Left Elevation



Building 3 Right Elevation

Material Key



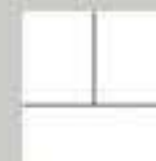


- Asphalt Roof Shingles
- Fiber Cement Cedar Shakes
- Fiber Cement Panel
- Wood Tone Accent
- Fiber Cement & Garage Door

35' A. R. H.



Building 3 Rear Elevation

Material Key

-  Asphalt Roof Shingles
-  Fiber Cement Cedar Shakes
-  Fiber Cement Panel
-  Wood Tone Accent
-  Fiber Cement & Garage Door

SITE DEVELOPMENT PLANS

FOR A

PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT

OLD POST ROAD / BRIDGE STREET KITTERY, ME 03904

APPLICANT

SILVER HOLDINGS, LLC
1 CITY CENTER
PORTLAND, ME 04101

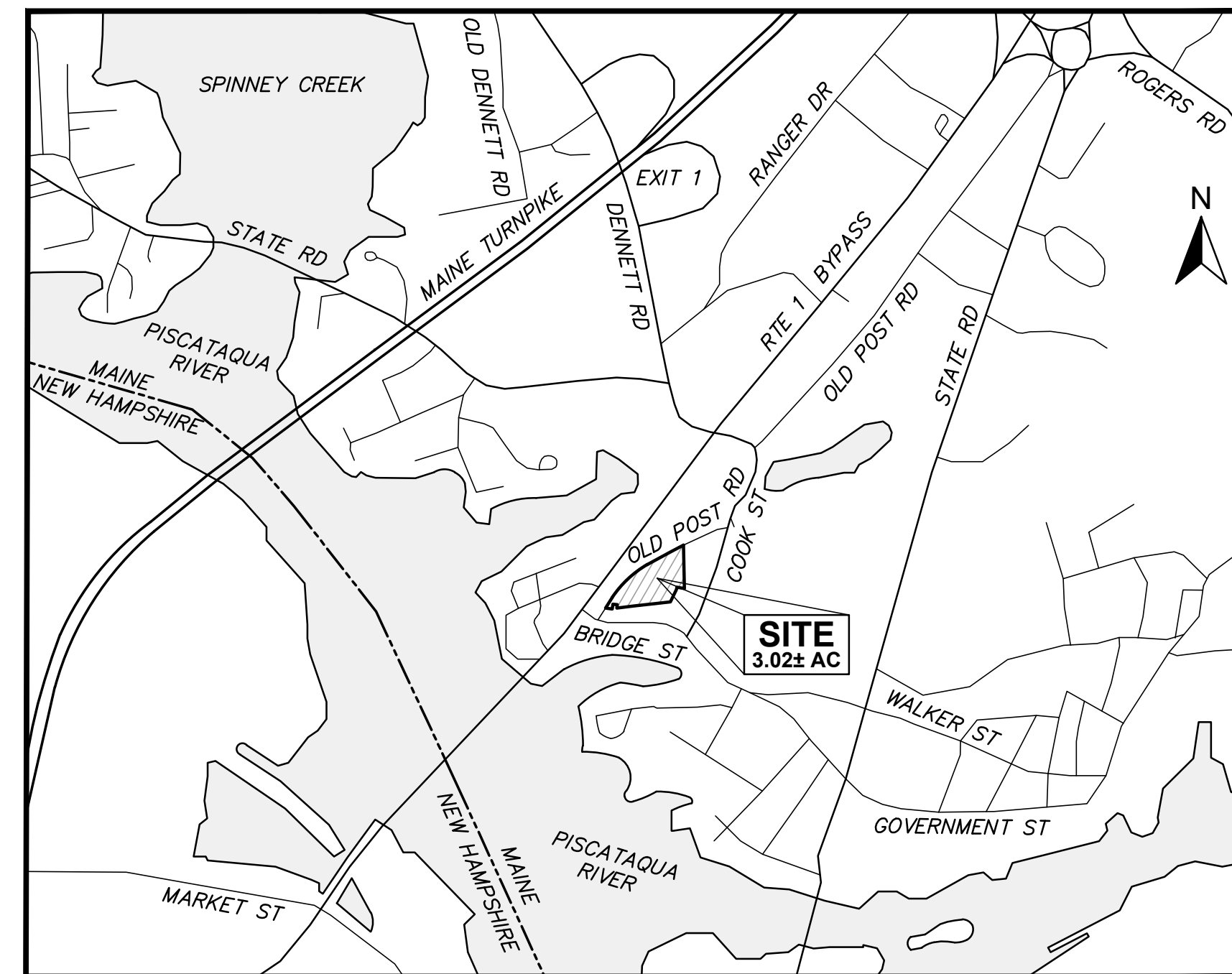
LAST REVISED: AUGUST 22, 2019

TOWN OF KITTERY, PLANNING BOARD

CHAIR _____ DATE _____

LIST OF DRAWINGS

DWG #	SHEET#	DWG NAME
C1	1	TITLE SHEET
C2	2	NOTES, ABBREVIATIONS & LEGEND
C3	3	EXISTING CONDITIONS PLAN
C4	4	HIGH INTENSITY SOIL MAP
C5	5	SITE & LANDSCAPE PLAN
C6	6	GRADING, DRAINAGE & E.C. PLAN
C7	7	DRIVEWAY PROFILES
C8	8	UTILITY PLAN
C9	9	LIGHTING PLAN
C10	10	LANDSCAPING PLAN
C11	11	CONSTRUCTION DETAILS 1
C12	12	CONSTRUCTION DETAILS 2
C13	13	CONSTRUCTION DETAILS 3
C14	14	CONSTRUCTION DETAILS 4
C15	15	CONSTRUCTION DETAILS 5



LOCUS MAP

1" = 1000'

ISSUED FOR PLANNING BOARD REVIEW
NOT FOR CONSTRUCTION

APPLICANT:

SILVER HOLDINGS, LLC
1 CITY CENTER
PORTLAND, ME 04101

OWNER:

MAC PROPERTIES BRIDGE STREET, LLC
C/O ROBERT MACDONALD SOLE MBR
209 GOSPORT ROAD
PORTSMOUTH, NH 03801

PARCEL INFORMATION:

TAX MAP LOT 3-77A
3.02± ACRES
OLD POST ROAD / BRIDGE STREET

PROJECT TEAM:

CIVIL ENGINEER

HOYLE, TANNER & ASSOCIATES
100 INTERNATIONAL DRIVE, SUITE 360
PORTSMOUTH, NH 03801
ATTN: SHAWN TOBEY
(603) 431-2520

ARCHITECT

CUBE3
370 MERRIMACK STREET, SUITE 337
LAWRENCE, MA 01843
ATTN: NICK GRIFFIN
(978) 989-9900

SURVEYOR

FIELDSTONE LAND CONSULTANTS, PLLC
206 ELM STREET
MILFORD, NH 03055
ATTN: MICHAEL PLOOF
(603) 672-5456

SOIL MAPPING

JOSEPH NOEL
P.O. BOX 174
SOUTH BERWICK, ME 03908
CONTACT: JOSEPH NOEL
(207) 384-5587

UTILITY CONTACTS:

WATER SERVICE:
KITTERY WATER DISTRICT
17 STATE ROAD
KITTERY, ME 03904
CONTACT: MICHAEL ROGERS
(207) 439-1128

FIRE DEPARTMENT:
KITTERY FIRE DEPARTMENT
3 GORGES ROAD
KITTERY, ME 03904
CONTACT: DAVID O'BRIEN
(207) 439-2262

SEWER SERVICE:
KITTERY SEWER DEPARTMENT
18 DENNETT ROAD ROAD
KITTERY, ME 03904
CONTACT: TIM BABKIRK
(207) 439-4646

STORMWATER / ROW:
KITTERY PUBLIC WORKS
200 ROGERS ROAD
KITTERY, ME 03904
CONTACT: JESSA KELLOGG
(207) 475-1321

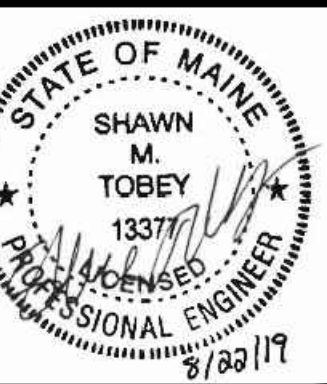
ELECTRIC SERVICE:
CENTRAL MAINE POWER COMPANY
83 EDISON DRIVE
AUGUSTA, ME 04330
CONTACT: VAN HOBGOOD
(800) 750-4000

TELECOMMUNICATIONS:
FAIRPOINT COMMUNICATIONS
1575 GREENLAND ROAD
GREENLAND, NH 03840
CONTACT: JOE CONSIDINE
(603) 427-5525

GAS SERVICE:
UNITIL ME GAS OPERATIONS
376 RIVERSIDE INDUSTRIAL PARKWAY
PORTLAND, ME 04103
CONTACT: SCOTT CARPENTER
(207) 541-2543

CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION

DIGSAFE.COM
DIAL 811



NO.	DATE	REVISION DESCRIPTION
1	08/02/19	ISSUED FOR COORDINATION
2	08/22/19	ISSUED FOR KITTERY PLANNING BOARD - PRELIMINARY PLAN

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND SHOWN TO THE CLIENT BY THE ENGINEER, TANNER, IT MAY NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER.

DESIGNED BY: SMT
DRAWN BY: SMT
CHECKED BY: WRD

DESIGNED BY: SMT
ORIGINAL DATE: AUGUST 2, 2019

SCALE: AS SHOWN

APPLICANT: SILVER HOLDINGS, LLC
1 CITY CENTER
PORTLAND, ME 04101

PROJECT: PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT
TAX MAP LOT 3-77A
OLD POST ROAD, KITTERY, ME 03904

TITLE SHEET
C1
PROJECT NO. 569501
SHEET 1 OF 15

GENERAL NOTES:

- 1. THE BOUNDARY, SURFACE FEATURES AND TOPOGRAPHY ARE THE RESULT OF AN ON THE GROUND SURVEY CONDUCTED DURING THE MONTH OF JUNE AND JULY 2019 BY FIELDSTONE LAND CONSULTANTS, PLLC.
- 2. THE CLASS A HIGH INTENSITY SOIL SURVEY AND TEST PITS WERE PERFORMED BY JOSEPH NOEL ON JULY 25, 2019.
- 3. THIS PROJECT IS TO BE CONSTRUCTED TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE APPLICABLE STANDARDS OF THE TOWN OF KITTEERY, KITTEERY WATER DISTRICT, KITTEERY SEWER DEPARTMENT AND MAINE DEP.
- 4. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE.
- 5. THE CONTRACTOR SHALL VERIFY AND DETERMINE THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR SHALL LOCATE THE UTILITIES SHOWN AND THE POSSIBLE EXISTENCE OF OTHER UNDERGROUND UTILITIES BY PROVIDING OBSERVATION TEST PITS. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (DIAL 811) AND THE TOWN OF KITTEERY AT LEAST 72 HOURS BEFORE DIGGING.
- 6. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- 7. WHEN PREPARING THE EXISTING SITE FOR THE PROPOSED DEVELOPMENT, ALL MATERIALS REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL GOVERNING AGENCIES.
- 8. THE CONTRACTOR SHALL PERFORM ALL THE CLEARING AND GRUBBING NECESSARY WITHIN THE CONSTRUCTION AREA, LIMITING THE AMOUNT OF CLEARING AND GRUBBING TO THE GREATEST EXTENT POSSIBLE.
- 9. CONTRACTOR SHALL MAKE EVERY ATTEMPT POSSIBLE TO SAVE EXISTING TREES AND MINIMIZE DAMAGE TO TREES ADJACENT TO CONSTRUCTION LIMITS DURING CONSTRUCTION.
- 10. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING BENCHMARKS AND BOUNDS. ALL BENCHMARKS AND BOUNDS DISTURBED BY THE CONTRACTOR SHALL BE RE-ESTABLISHED BY A MAINE REGISTERED LAND SURVEYOR AT NO EXPENSE TO THE OWNER.
- 11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ANY EXCAVATION SAFEGUARDS, NECESSARY BARRICADES, POLICE DETAILS, ETC., FOR TRAFFIC CONTROL AND SITE SAFETY. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS OF THE SITE.
- 13. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL WORK IS DONE IN ACCORDANCE WITH OSHA REQUIREMENTS.
- 14. ALL DEWATERING MUST BE EXECUTED IN ACCORDANCE WITH MAINE DOT STANDARD SPECIFICATIONS. REGULATIONS PROHIBIT DISCHARGING GROUNDWATER TO A SANITARY OR COMBINED SEWER WITHOUT PERMISSION.
- 15. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS (PIPE, CASTINGS, STRUCTURES, ETC.) TO THE INSPECTING ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- 16. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, TEMPORARY UTILITIES AND COORDINATION WITH ALL AGENCIES IN OBTAINING ACCESS TO THE SITE AND PERFORMING ALL WORK REQUIRED FOR THIS PROJECT.
- 17. THE CONTRACTOR SHALL FILE AND OBTAIN A NPDES CONSTRUCTION GENERAL PERMIT PRIOR TO CONSTRUCTION.
- 18. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PRIOR TO CONSTRUCTION.
- 19. COORDINATE ALL WORK ADJACENT TO THE PROPOSED BUILDINGS WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- 20. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE LATEST EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AMERICANS WITH DISABILITIES (ADA) ACT, AND STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS.
- 21. ALL CURB SHALL BE BITUMINOUS BERM UNLESS OTHERWISE NOTED.
- 22. THE PROPOSED DRIVEWAY WILL BE A PRIVATE ROAD AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- 23. THERE SHALL BE NO ONSITE SALT STORAGE.
- 24. ALL PROPOSED SITE FEATURES SHALL BE LAID OUT IN THE FIELD USING SURVEY EQUIPMENT. AN AUTOCAD FILE OF THE EXISTING AND PROPOSED FEATURES WITH CONTROL POINTS WILL BE PROVIDED TO THE CONTRACTOR FOR CONSTRUCTION LAYOUT. THE LIMIT OF WORK SHALL BE CLEARLY MARKED IN THE FIELD BEFORE ANY WORK IS TO BEGIN ONSITE.
- 25. SYMBOLS AND LINETYPES MAY BE EXAGGERATED FOR CLARITY ON THESE DRAWINGS DUE TO THE SCALE. THE CONTRACTOR SHALL ADJUST ACCORDINGLY DURING CONSTRUCTION LAYOUT.

DRAINAGE NOTES:

- 1. THE STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. ALL PIPE MATERIALS SHALL BE AS SPECIFIED ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO MAINE DOT STANDARD SPECIFICATIONS. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604.
- 2. ALL CATCH BASIN FRAMES AND GRATES SHALL NEENAH R-3472 OR APPROVED EQUAL.
- 3. PROPOSED RIM ELEVATIONS OF DRAINAGE MANHOLES AND CATCH BASINS ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- 4. THE CONTRACTOR SHALL CONFIRM THE EXISTING GRADES AT THE OUTLET ELEVATIONS FOR ALL STORMWATER PONDS PRIOR TO ANY POND CONSTRUCTION.
- 5. THE CONTRACTOR SHALL CONFIRM THE ELEVATIONS FOR ALL DRAIN PIPE RUNS PRIOR TO ANY INSTALLATION.
- 6. THE CONTRACTOR SHALL PROVIDE FOR THE HANDLING OF EXISTING FLOWS FROM SERVICE CONNECTIONS AND MAINLINE PIPES. THE EXISTING DRAINS MAY HAVE ACTIVE FLOW AND THE CONTRACTOR SHALL MAINTAIN CONTINUOUS FLOW WITHOUT RESTRICTIONS.
- 7. THE CONTRACTOR SHALL STABILIZE ANY AND ALL DITCHES, SWALES AND PONDS PRIOR TO DIRECTING STORMWATER RUN-OFF TO THEM.
- 8. WHEN CONNECTING NEW PIPES TO EXISTING STRUCTURES SUCH AS MANHOLES AND CATCH BASINS, THE STRUCTURE SHALL BE COMPLETELY CLEANED OUT. THE HOLE MADE IN THE STRUCTURE SHALL BE AS SMALL AS NECESSARY. THE STRUCTURE SHALL BE REPAIRED TO MATCH ITS ORIGINAL TYPE OF CONSTRUCTION. THE JOINT BETWEEN THE STRUCTURE AND THE PIPE SHALL BE MADE WATERTIGHT BY FILLING THE JOINT WITH MORTAR.
- 9. THE CONTRACTOR SHALL CLEAN THE ENTIRE STORMWATER SYSTEM OF ALL SEDIMENT AND DEBRIS, WITHIN THE LIMIT OF WORK UPON COMPLETION OF CONSTRUCTION.
- 10. ALL DRAIN PIPES SHALL HAVE A MINIMUM GROUND COVER OF 3'. IF THE REQUIRED COVER CANNOT BE OBTAINED, THE PROPOSED PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) OR APPROVED EQUAL. INSTALL 4" OF RIGID INSULATION ABOVE THE DRAIN LINE IF 3' COVER CANNOT BE OBTAINED.
- 11. ALL PROPOSED CATCH BASINS SHALL BE DEEP SUMP CATCH BASINS WITH 3' SUMPS.
- 12. THE PROPOSED STORMWATER SYSTEM AND STORMWATER PONDS SHALL BE INSPECTED AT A MINIMUM IN THE SPRING AND FALL.
- 13. THE CONTRACTOR SHALL INSTALL PERIMETER FOOTING DRAINS AROUND ALL PROPOSED BUILDINGS. THE FOOTING DRAINS SHALL DRAIN TO DAYLIGHT OUTSIDE THE LIMITS OF PAVEMENT. SEE STRUCTURAL PLANS AND GEOTECHNICAL REPORT FOR PIPE SIZE AND INSTALLATION LOCATIONS.

EARTHWORK & GRADING NOTES:

- 1. GRADE AWAY FROM BUILDING WALLS AT 2% MINIMUM (TYPICAL).
- 2. PROVIDE UNIFORM SLOPE BETWEEN CONTOURS AND/OR SPOT ELEVATIONS.
- 3. SPOT GRADES SHOWN ARE PAVEMENT ELEVATIONS AT THE CURBLINE UNLESS OTHERWISE NOTED.
- 4. EARTH SLOPES SHALL BE NO STEEPER THAN 1:1 (HORIZONTAL:VERTICAL) AND SHALL BE FLATTER WHERE SHOWN.
- 5. ALL 2:1 SLOPES SHALL BE LINED WITH NORTH AMERICAN GREEN SC150 OR APPROVED EQUAL. ALL SLOPES STEEPER THAN 2:1 SHALL BE LINED WITH MARIFI 140N AND 12" OF BLAST ROCK.
- 6. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ROOTS AND STUMPS FOR TREES THAT ARE REMOVED.
- 7. GENERAL FILL BEYOND PAVED AREAS SHALL BE FREE OF BRUSH RUBBISH, STUMPS, AND STONES LARGER THAN 8". FILL SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 8" IN THICKNESS. THE DRY DENSITY AFTER COMPACTION SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR TEST AND DONE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D698.
- 8. AFTER THE AREAS TO BE TOPSOILED HAVE BEEN BROUGHT TO GRADE, THE SUBGRADE SHALL BE LOOSENEED BY SCARIFYING TO A DEPTH OF AT LEAST 2" TO ENSURE BONDING OF THE TOPSOIL AND SUBSOIL.
- 9. FILL OR TOPSOIL SHALL NEITHER BE PLACED NOR COMPACTED WHILE IN A FROZEN OR MUDDY CONDITION OR WHILE SUBGRADE IS FROZEN.
- 10. FINISH PAVEMENT SURFACES AND LAWN AREAS SHALL BE FREE OF LOW SPOTS AND PONDING AREAS.
- 11. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS THAT DO NOT HAVE A SURFACE TREATMENT SPECIFICALLY SPECIFIED SHALL BE RESTORED TO A MINIMUM OF 4" OF SEEDED TOPSOIL, FERTILIZER, AND MULCH.
- 12. THE CONTRACTOR SHALL COORDINATE ALL LEDGE REMOVAL REQUIRED FOR THE PROJECT.
- 13. THE CONTRACTOR SHALL SUBMIT STAMPED RETAINING WALL DESIGN PLANS FROM THE WALL MANUFACTURER TO THE INSPECTING ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

UTILITY NOTES:

- 1. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE UTILITY COMPANIES FOR RELOCATING AND/OR SUPPORTING THEIR UTILITIES IN ACCORDANCE WITH THE SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ANY UTILITIES TO BE RELOCATED FOR THE PROPOSED DEVELOPMENT.
- 2. THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO EXISTING FACILITIES AT ALL TIMES. IF ANY DISRUPTION MUST OCCUR, CONTRACTOR SHALL NOTIFY AND COORDINATE WITH FACILITY AT LEAST 72 HOURS IN ADVANCE.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF EXISTING UTILITIES AND STRUCTURES DAMAGED OR REMOVED BY THE CONTRACTOR DURING THEIR OPERATIONS.
- 4. THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
- 5. FINAL ELEVATIONS OF UTILITY STRUCTURES ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES, AND OTHER UTILITIES TO FINISHED GRADE WITHIN LIMITS OF WORK.
- 6. DURING EXCAVATION, IT IS ANTICIPATED THAT EXISTING UTILITIES AND SEWERS WILL BE EXPOSED. THE CONTRACTOR SHALL PROVIDE PROTECTION AND SUPPORT OF THESE FACILITIES AND REPAIR ANY DAMAGE CAUSED BY THE WORK IN A MANNER SATISFACTORY TO THE OWNER.
- 7. THE SEWER SYSTEM SHALL HAVE A MINIMUM GROUND COVER OF 4' WHEN CROSS COUNTRY AND A MINIMUM GROUND COVER OF 6' WHEN BENEATH PAVEMENT. IF THE REQUIRED MINIMUM AMOUNT OF COVER CANNOT BE OBTAINED, INSTALL 4" OF RIGID INSULATION ABOVE THE SEWER LINE.
- 8. THE CONTRACTOR SHALL CONFIRM THE EXISTING SEWER MANHOLE TIE-IN INVERT AND THE ELEVATIONS FOR ALL SEWER PIPE RUNS PRIOR TO ANY INSTALLATION.
- 9. THE PROPOSED WATER LINE CONFIGURATION SHOWN ON THESE PLANS IS BASED ON DUCTILE IRON PIPE WITH 45° BENDS. THE CONTRACTOR MAY SUBSTITUTE DUCTILE IRON PIPE FOR HDPE.
- 10. ALL ELECTRIC MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AS WELL AS STATE AND LOCAL CODES.
- 11. INSTALL NYLON PULL ROPES IN UNDERGROUND CONDUITS TO FACILITATE PULLING CABLES.
- 12. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL HANDHOLES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 13. THE EXACT LOCATION, NUMBER, TYPE, AND SIZE OF NEW UTILITY SERVICES AND CONDUITS SHALL BE DETERMINED BY THE UTILITY COMPANY.
- 14. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.
- 20. CONTRACTOR TO COORDINATE UNDERGROUND ELECTRIC, INCLUDING BUT NOT LIMITED TO SIZE, LOCATION, MATERIAL, CONDUIT, AND HAND HOLES.
- 21. ALL ON-SITE UTILITIES SHALL BE UNDERGROUND.
- 22. BACKFLOW PREVENTORS SHALL BE PROVIDED FOR WATER LINES.
- 23. EACH BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.

CONSTRUCTION SEQUENCE:

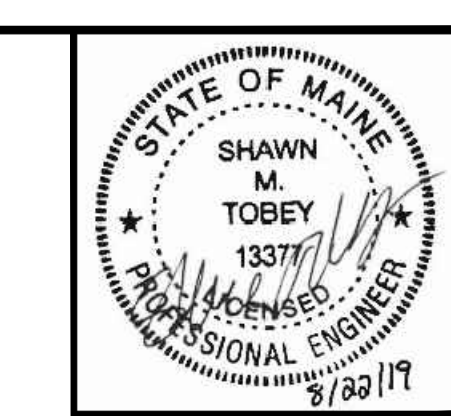
- 1. INSTALL SILT SOCK AND CONSTRUCTION ENTRANCE AS SHOWN, PRIOR TO THE START OF ANY CONSTRUCTION.
- 2. REMOVE AND DISPOSE OF EXISTING VEGETATION AS SHOWN.
- 3. STRIP THE TOPSOIL AND STOCKPILE ONSITE. CONSTRUCT A SILT SOCK PERIMETER AROUND ALL STOCKPILES.
- 4. BLAST AND REMOVE LEDGE AS REQUIRED FOR THE ROADWAY, BUILDINGS AND UTILITIES.
- 5. CONSTRUCT AND STABILIZE DRIVEWAY AND CUT AND FILL SLOPES. APPLY TEMPORARY (OR PERMANENT) SEED AND MULCH WITHIN 72 HOURS OF THEIR CONSTRUCTION.
- 6. CONSTRUCT THE BUILDING FOOTINGS, FOUNDATION WALLS AND PLACE BACKFILL.
- 7. INSTALL ALL DRAINAGE, WATER, SEWER, ELECTRIC, TELECOM AND GAS UTILITIES.
- 8. CONSTRUCT THE BUILDINGS.
- 9. PLACE ROADWAY SELECTS AND INSTALL BINDER PAVING COURSE.
- 10. INSTALL BITUMINOUS BERM.
- 11. INSTALL LANDSCAPE PLANTINGS.
- 12. INSTALL SCREENED LOAM (4" MIN.) ON ALL DISTURBED SURFACES AND APPLY PERMANENT SEEDING.
- 13. REMOVE TRAPPED SEDIMENT FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES. CLEAN THE ENTIRE STORMWATER SYSTEM OF ALL SEDIMENT AND DEBRIS, WITHIN THE LIMIT OF WORK.

ABBREVIATIONS:

Table with two columns: Abbreviation and Description. Includes terms like ABAN (ABANDONED), AC (ASBESTOS CONCRETE), ADJ (ADJUST), APPROX (APPROXIMATE), B= (BOTTOM OF CURB), BERM (BITUMINOUS CONCRETE BERM), BIT CONC (BITUMINOUS CONCRETE), BLDG (BUILDING), BS (BOTTOM OF SLOPE), BWLL (BROKEN WHITE LANE LINE), BW (BOTTOM OF WALL), CB (CATCH BASIN), CBRND (CATCH BASIN ROUND), CBSQ (CATCH BASIN SQAURE), CI (CAST IRON), C/CIL (CAST IRON CEMENT LINED), CIP (CAST IN PLACE), CL (CENTER LINE), CLF (CHAIN LINK FENCE), CMP (CORRUGATED METAL PIPE), CO (CLEAN OUT), COL (COLUMN), CONC (CONCRETE), CP (CONCRETE PIPE), CR (CONDENSATE RETURN), CRH (DESIGN HIGH WATER), DI (DUCTILE IRON), DI/DCL (DUCTILE IRON CEMENT LINED), DIA (DIAMETER), DMH (DRAIN MANHOLE), DWG (DRAWING), DYCL (DOUBLE YELLOW CENTER LINE), EL, ELEV (ELEVATION), ELEC (ELECTRIC), EMH (ELECTRIC MANHOLE), EXIST (EXISTING), FES (FLARED END SECTION), FFE (FINISH FLOOR ELEVATION), FM (FORCE MAIN), GC (GRANITE CURB), GG (GAS GATE), GM (GAS METER), GR (GUARDRAIL), GW (GUY WIRE), HDPE (HIGH DENSITY POLYETHYLENE), HH (HAND HOLE), HR (HORIZONTAL), HR (HANDRAIL), HVAC (HEAT VENT AIR CONDITIONING), HYD (HYDRANT), INV (INVERT), IP (IRON PIPE), LP (LIGHT POLE), LS (LANDSCAPED), LT (LET), MC (METAL COVER), MAX (MAXIMUM), MHW (MEAN HIGH WATER), MIN (MINIMUM), NO, # (NUMBER), NTS (NOT TO SCALE), OCS (OUTLET CONTROL STRUCTURE), OH (OVERHANG), PB (PULL BOX), PERF (PERFORATED), PL (PLASTIC), PROP (PROPOSED), PSI (POUNDS PER SQUARE INCH), PVC (POLYVINYL CHLORIDE), PVI (POST VALVE INDICATOR), R= (RIM), RCP (REINFORCED CONCRETE PIPE), R&D (REMOVE AND DISPOSE), (rec) (RECORD), RET (RETAINING), RT (RIGHT), SGC (SLOPED GRANITE CURB), SMH (SEWER MANHOLE), SHWT (SEASONAL HIGH WATER TABLE), SS (SANITARY SEWER), ST (STEAM), STA (STATION), STMH (STEAM MANHOLE), SW (SIDEWALK), SWEL (SOLID WHITE EDGE LINE), SWLL (SOLID WHITE LANE LINE), TC (TOP OF CURB), TCB (TRAFFIC CONTROL BOX), TEL (TELEPHONE), TL (TRAFFIC LIGHT), TMH (TELEPHONE MANHOLE), TRANS (TRANSFORMER), TS (TOP OF SLOPE), TW (TOP OF WALL), TYP (TYPICAL), UP (UTILITY POLE), VC (VITRIFIED CLAY), VERT (VERTICAL), VGC (VERTICAL GRANITE CURB), W (WATER), WC (WYE CONNECTION), WF (WETLAND FLAG), WG (WATER GATE), WIP (WROUGHT IRON PIPE), WM (WATER METER)

LEGEND

Table with three columns: EXISTING, PROPOSED, and DESCRIPTION. It lists various symbols and line styles used in the drawings, such as PROPERTY LINE, RIGHT OF WAY, BUILDING SETBACK, PARKING SETBACK, SURVEY MONUMENT, EDGE OF PAVEMENT, CONCRETE CURB, SLOPED GRANITE CURB, VERTICAL GRANITE CURB, VERNAL POOL/STREAM, WETLANDS, VERNAL POOL/STREAM BUFFER, SAWCUT, BUILDING, BUILDING ENTRANCE, BOLLARD, SIGN, TREE, FENCE, SILT FENCE, DRAINAGE FLOW, SWALE, MINOR CONTOUR, MAJOR CONTOUR, PARKING COUNTER, SINGLE WHITE LINE, DOUBLE YELLOW LINE, STOP LINE, CROSSWALK, ACCESSIBLE CURB RAMP, DETECTABLE WARNING PANEL, ACCESSIBLE PARKING, VAN-ACCESSIBLE PARKING, SPOT ELEVATION, KSAT TEST LOCATION, TEST PIT LOCATION, MONITORING WELL, DRAIN, SEWER, OVERHEAD WIRE, WATER, FIRE PROTECTION, GAS, UNDERGROUND ELECTRIC, STEAM, TELEPHONE, CATCH BASIN, DOUBLE CATCH BASIN, DRAIN MANHOLE, PLUG OR CAP, CLEANOUT, HEADWALL, SEWER MANHOLE, WATER SHUT-OFF, WATER VALVE & BOX, TAPPING SLEEVE, VALVE & BOX, FIRE HYDRANT, THRUST BLOCK, POST INDICATOR VALVE, GAS GATE, ELECTRIC MANHOLE, LIGHT POLE, TRANSFORMER PAD, UTILITY POLE, GUY POLE, GUY WIRE & ANCHOR, TELEPHONE MANHOLE, INLET PROTECTION, STONE CHECK DAM, TREE TO BE REMOVED, EXPOSED LEDGE, SLOPES >20%, STABILIZED CONSTRUCTION ENTRANCE, BITUMINOUS CONCRETE PAVING, CONCRETE, PAVERS, GRASS.



Project information and company details for Hoyle, Tanner & Associates, Inc. Includes address (100 International Dr., #360, Portsmouth, NH 03801), phone, fax, and website. Also includes a disclaimer: "THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT MAY NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC."

APPLICANT: SILVER HOLDINGS, LLC
1 CITY CENTER
PORTLAND, ME 04101
PROJECT: PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT
TAX MAP LOT 3-77A
OLD POST ROAD, KITTEERY, ME 03904

NOTES, ABBREVIATIONS & LEGEND
C2
PROJECT NO. 569501
SHEET 2 OF 15

REFERENCE PLAN:

"PERIMETER BOUNDARY SURVEY - OF - RIVER KNOLL FARM - COOK ST, BRIDGE ST, & OLD POST RD - KITTERY, MAINE - FOR - SPRUCE CREEK VENTURES LLC - 2456 LAFAYETTE RD, PORTSMOUTH, N.H.", SCALE: 1"=30', DATED: AUGUST 30, 2007 PREPARED BY LITTLE RIVER SURVEY COMPANY & RECORDED IN PLAN BOOK 324, PAGE 3 IN THE Y.C.R.D.

ADDITIONAL ABUTTERS:

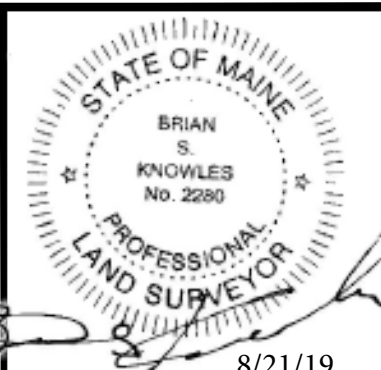
TAX MAP 3 LOT 70
ALTON A. MILLER, JR.
521 ROYAL PALM DRIVE
VIRGINIA BEACH, VA 23452
VOL.9202 PG.123 12/5/1995
(2-4 OLD POST ROAD)

TAX MAP 3 LOT 70A
LARRY L BOOZ
SORAYA BISCARO YAMAGUCKI
172 NORTHWEST STREET
PORTSMOUTH, NH 03801
VOL.17730 PG.933 6/7/2018
(22 BRIDGE STREET)

TAX MAP 3 LOT 72
J&J DEVELOPMENT GROUP, LLC
510 SHORE ROAD
CAPE NEDDICK, ME 03902
VOL.17658 PG.875 2/9/2018
(12 BRIDGE STREET)

TAX MAP 3 LOT 73
STEVEN A. WORKMAN
DANIEL L. BLANCHETTE
10 BRIDGE STREET
KITTERY, ME 03904-1552
VOL.14218 PG.870 8/17/2004
(10 BRIDGE STREET)

TAX MAP 3 LOT 74
NICHOLAS A. DIANA
P.O. BOX 4682
PORTSMOUTH, NH 03802
VOL.17564 PG.218 9/18/2017
(8 BRIDGE STREET)



8/21/19

08/22/19

08/02/19

ISSUED FOR KITTERY PLANNING BOARD - PRELIMINARY PLAN

ISSUED FOR COORDINATION

2 1

REV.

WRD

SMT

DESIGNED BY

ORIGINAL DATE:

AUGUST 2, 2019

SCALE:

AS SHOWN

APPLICANT

SILVER HOLDINGS, LLC

1 CITY CENTER

PORTLAND, ME 04101

PROJECT

PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT

TAX MAP LOT 3-77A

OLD POST ROAD, KITTERY, ME 03904

EXISTING CONDITIONS PLAN

C3

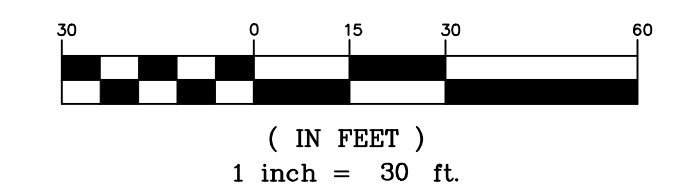
PROJECT NO. 569501

SHEET 3 OF 15

LEGEND:

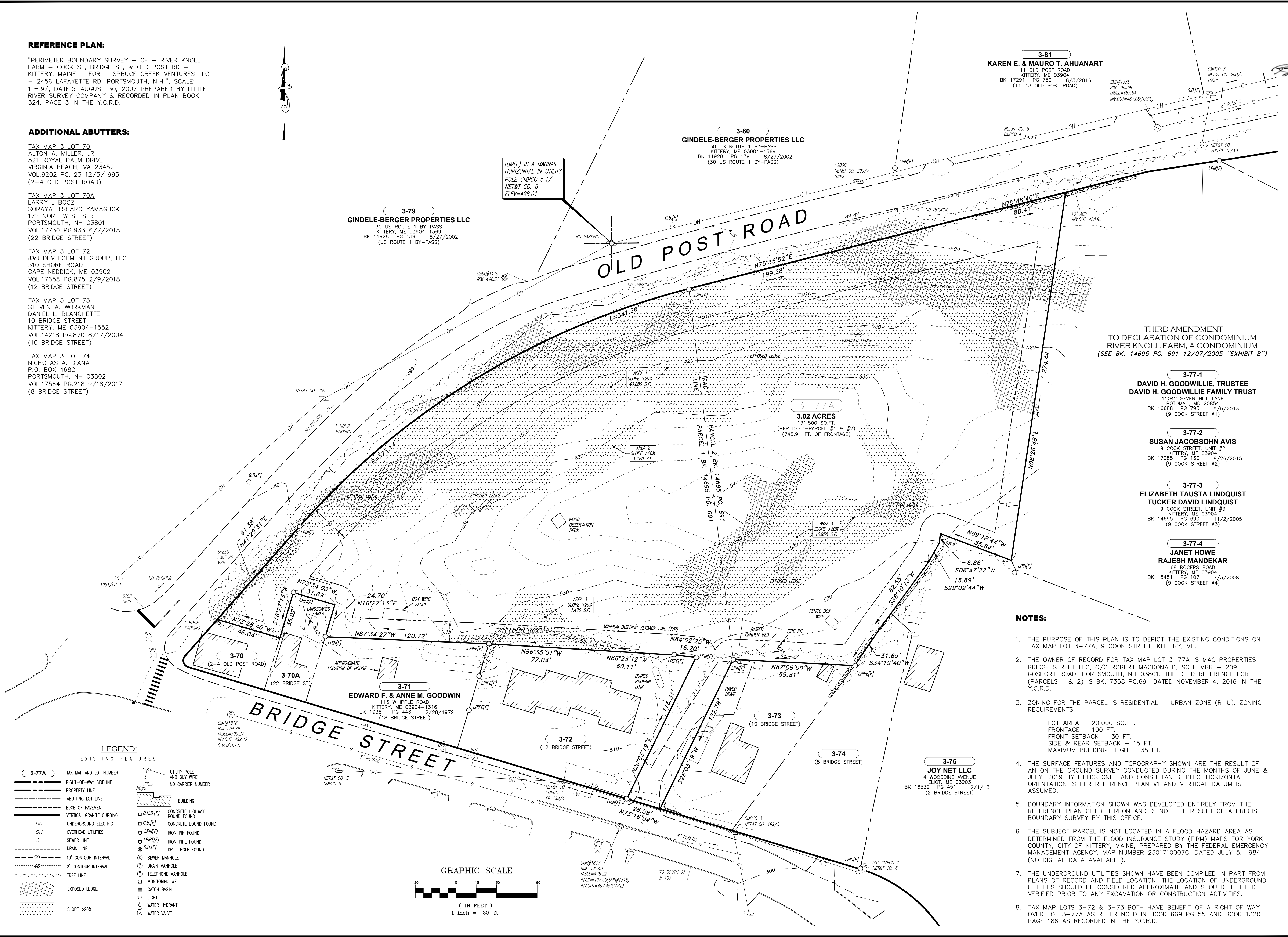
- EXISTING FEATURES**
- 3-77A TAX MAP AND LOT NUMBER
 - RIGHT-OF-WAY SIDELINE
 - PROPERTY LINE
 - ABUTTING LOT LINE
 - EDGE OF PAVEMENT
 - VERTICAL GRANITE CURBING
 - UG UNDERGROUND ELECTRIC
 - OH OVERHEAD UTILITIES
 - S SEWER LINE
 - D DRAIN LINE
 - 50 10' CONTOUR INTERVAL
 - 20 2' CONTOUR INTERVAL
 - TREE LINE
 - EXPOSED LEDGE
 - SLOPE >20%
 - UTILITY POLE AND GUY WIRE
 - NO CARRIER NUMBER
 - BUILDING
 - C.H.B.[F] CONCRETE HIGHWAY BOUND FOUND
 - C.B.[F] CONCRETE BOUND FOUND
 - LPIN[F] IRON PIN FOUND
 - LPPE[F] IRON PIPE FOUND
 - D.H.[F] DRILL HOLE FOUND
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - TELEPHONE MANHOLE
 - MONITORING WELL
 - CATCH BASIN
 - LIGHT
 - WATER HYDRANT
 - WATER VALVE

GRAPHIC SCALE



NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS ON TAX MAP LOT 3-77A, 9 COOK STREET, KITTERY, ME.
2. THE OWNER OF RECORD FOR TAX MAP LOT 3-77A IS MAC PROPERTIES BRIDGE STREET LLC, C/O ROBERT MACDONALD, SOLE MBR - 209 GOSPORT ROAD, PORTSMOUTH, NH 03801. THE DEED REFERENCE FOR (PARCELS 1 & 2) IS BK.17358 PG.691 DATED NOVEMBER 4, 2016 IN THE Y.C.R.D.
3. ZONING FOR THE PARCEL IS RESIDENTIAL - URBAN ZONE (R-U). ZONING REQUIREMENTS:
LOT AREA - 20,000 SQ.FT.
FRONTAGE - 100 FT.
FRONT SETBACK - 30 FT.
SIDE & REAR SETBACK - 15 FT.
MAXIMUM BUILDING HEIGHT- 35 FT.
4. THE SURFACE FEATURES AND TOPOGRAPHY SHOWN ARE THE RESULT OF AN ON THE GROUND SURVEY CONDUCTED DURING THE MONTHS OF JUNE & JULY, 2019 BY FIELDSTONE LAND CONSULTANTS, PLLC. HORIZONTAL ORIENTATION IS PER REFERENCE PLAN #1 AND VERTICAL DATUM IS ASSUMED.
5. BOUNDARY INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM THE REFERENCE PLAN CITED HEREON AND IS NOT THE RESULT OF A PRECISE BOUNDARY SURVEY BY THIS OFFICE.
6. THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM) MAPS FOR YORK COUNTY, CITY OF KITTERY, MAINE, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 2301710007C, DATED JULY 5, 1984 (NO DIGITAL DATA AVAILABLE).
7. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
8. TAX MAP LOTS 3-72 & 3-73 BOTH HAVE BENEFIT OF A RIGHT OF WAY OVER LOT 3-77A AS REFERENCED IN BOOK 669 PG 55 AND BOOK 1320 PAGE 186 AS RECORDED IN THE Y.C.R.D.



TEM(F) IS A MAGNAIL HORIZONTAL IN UTILITY POLE CMPCO 5.1/ NET&T CO. 6 ELEV=498.01

THIRD AMENDMENT TO DECLARATION OF CONDOMINIUM RIVER KNOLL FARM, A CONDOMINIUM (SEE BK. 14695 PG. 691 12/07/2005 "EXHIBIT B")

3-77-1
DAVID H. GOODWILLIE, TRUSTEE
DAVID H. GOODWILLIE FAMILY TRUST
11042 SEVEN HILL LANE
POTOMAC, MD 20854
BK 16668 PG 793 9/5/2013
(9 COOK STREET #1)

3-77-2
SUSAN JACOBSON AVIS
9 COOK STREET, UNIT #2
KITTERY, ME 03904
BK 17085 PG 160 8/26/2015
(9 COOK STREET #2)

3-77-3
ELIZABETH TAUSTA LINDQUIST
TUCKER DAVID LINDQUIST
9 COOK STREET, UNIT #3
KITTERY, ME 03904
BK 14695 PG 690 11/2/2005
(9 COOK STREET #3)

3-77-4
JANET HOWE
RAJESH MANDEKAR
68 ROGERS ROAD
KITTERY, ME 03904
BK 15451 PG 107 7/3/2008
(9 COOK STREET #4)

3-80
GINDELE-BERGER PROPERTIES LLC
30 US ROUTE 1 BY-PASS
KITTERY, ME 03904-1569
BK 11928 PG 139 8/27/2002
(30 US ROUTE 1 BY-PASS)

3-79
GINDELE-BERGER PROPERTIES LLC
30 US ROUTE 1 BY-PASS
KITTERY, ME 03904-1569
BK 11928 PG 139 8/27/2002
(US ROUTE 1 BY-PASS)

3-77A
3.02 ACRES
(PER DEED-PARCEL #1 & #2)
(745.91 FT. OF FRONTAGE)

3-71
EDWARD F. & ANNE M. GOODWIN
115 WHIPPLE ROAD
KITTERY, ME 03904-1316
BK 1938 PG 446 2/28/1972
(18 BRIDGE STREET)

3-75
JOY NET LLC
4 WOODBINE AVENUE
ELIOT, ME 03903
BK 16539 PG 451 2/1/13
(2 BRIDGE STREET)

SOIL LEGEND

SYMBOL	SOIL TYPE	DRAINAGE CLASS	HSG
Lr	LYMAN-ROCK OUTCROP COMPLEX	SOMEWHAT EXCESSIVELY DRAINED	D
Lt	LYMAN-TUNBRIDGE-ROCK OUTCROP COMPLEX	SOMEWHAT EXCESSIVELY DRAINED & WELL DRAINED	D

ALPHA SLOPE SYMBOL	RANGE
A	0-3%
B	3-8%
C	8-15%
D	15-25%
E	>25%

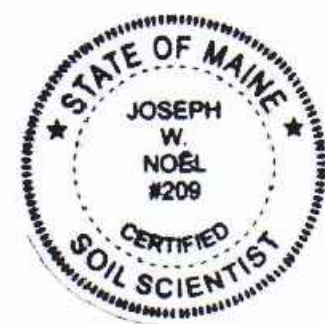
SOIL MAP NOTES:

- THERE WERE NO HYDRIC SOILS OBSERVED.
- THE HYDROLOGIC SOIL GROUPS FOR THE SOIL MAP WERE TAKEN FROM THE NRCS WEB SOIL SURVEY ON JULY 30, 2019.
- THIS SOIL SURVEY MAY BE REVISED/FINE-TUNED AS ADDITIONAL TEST PITS ARE CONDUCTED.

CLASS A HIGH INTENSITY SOIL SURVEY

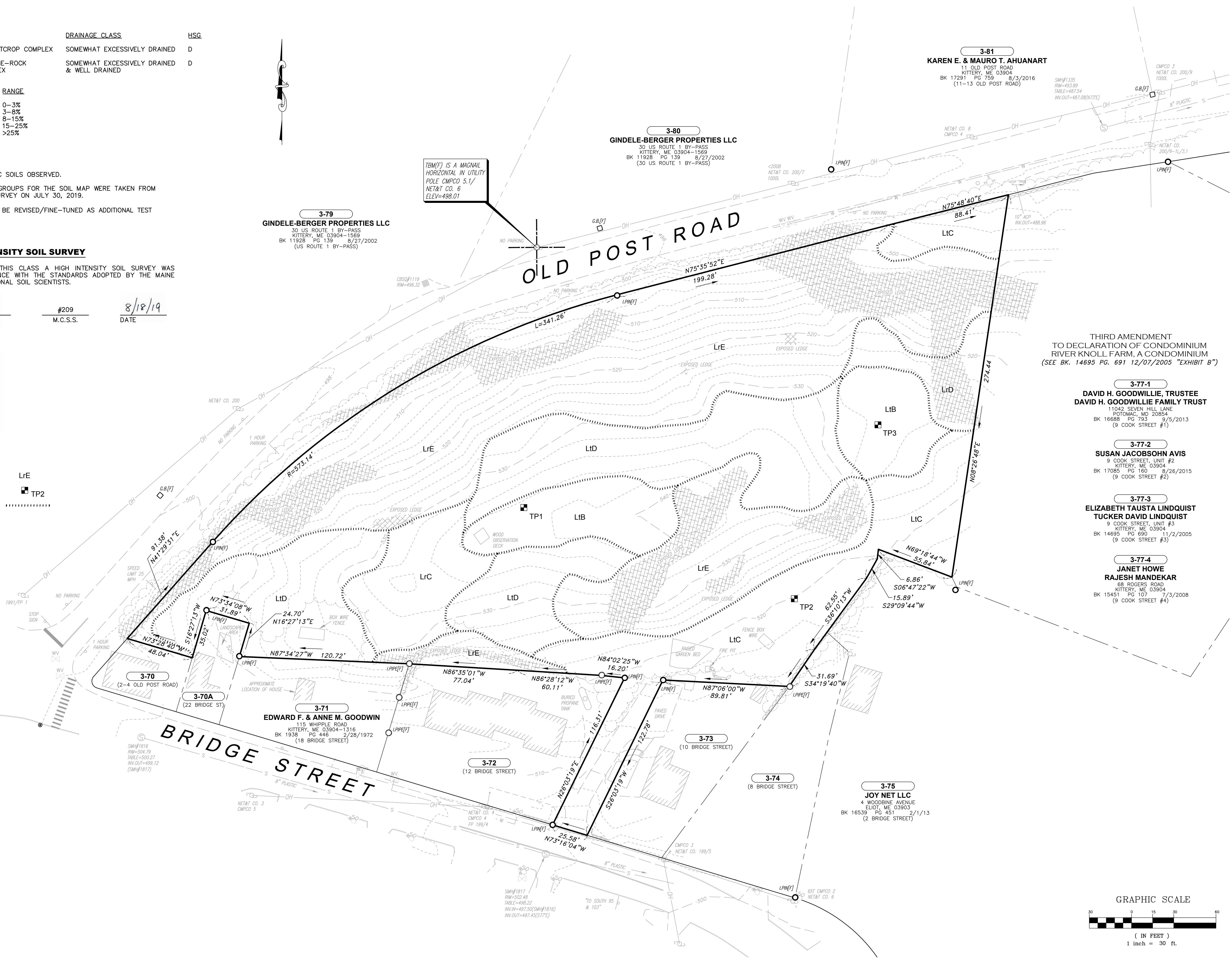
I HEREBY CERTIFY THAT THIS CLASS A HIGH INTENSITY SOIL SURVEY WAS CONDUCTED IN CONFORMANCE WITH THE STANDARDS ADOPTED BY THE MAINE ASSOCIATION OF PROFESSIONAL SOIL SCIENTISTS.

NAME: Joseph W. Hoyle #209 M.C.S.S. DATE: 8/18/19



LEGEND

- SOIL TYPE: LrE
- TEST PIT: TP2
- SOIL BOUNDARY: Dotted line



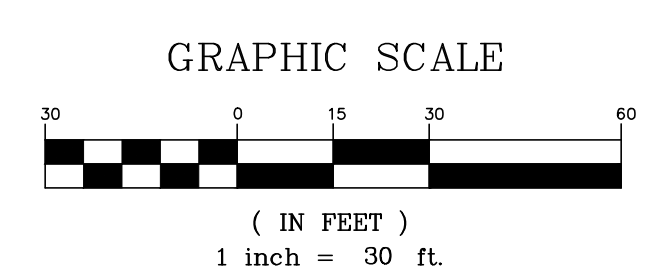
THIRD AMENDMENT TO DECLARATION OF CONDOMINIUM RIVER KNOLL FARM, A CONDOMINIUM (SEE BK. 14695 PG. 691 12/07/2005 "EXHIBIT B")

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 11042 SEVEN HILL LANE
 POTOMAC, MD 20854
 BK 16688 PG 793 9/5/2013
 (9 COOK STREET #1)

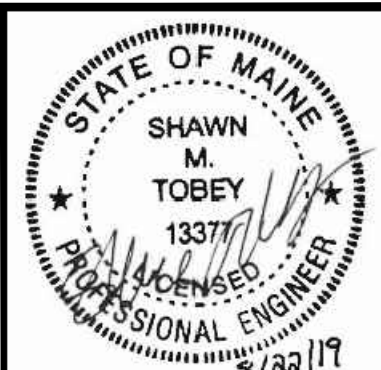
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 RAJESH MANDEKAR
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 KITTERY, ME 03904
 BK 15451 PG 107 7/3/2008
 (9 COOK STREET #4)



ISSUED FOR KITTERY PLANNING BOARD - PRELIMINARY PLAN	08/22/19	DATE
ISSUED FOR COORDINATION	08/02/19	DATE
REVISION DESCRIPTION	1	REV.
CHECKED BY	WRD	REV.
DRAWN BY	SMT	REV.
DESIGNED BY	SMT	REV.
ORIGINAL DATE:	AUGUST 2, 2019	REV.
SCALE:	AS SHOWN	REV.
APPLICANT	SILVER HOLDINGS, LLC 1 CITY CENTER PORTLAND, ME 04101	REV.
PROJECT	PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT TAX MAP LOT 3-77A OLD POST ROAD, KITTERY, ME 03904	REV.
HIGH INTENSITY SOIL MAP		
C4		
PROJECT NO.	569501	REV.
SHEET	4	OF 15



SITE DATA

- 1. APPLICANT: SILVER HOLDINGS, LLC
1 CITY CENTER
PORTLAND, ME 04101
2. OWNER INFORMATION: MAC PROPERTIES BRIDGE STREET, LLC
C/O ROBERT MACDONALD SOLE MBR
209 GOSPORT ROAD
PORTSMOUTH, NH 03801
3. PARCEL INFORMATION: TAX MAP LOT 3-77A
3.02± ACRES
OLD POST ROAD/BRIDGE STREET
4. ZONING: RESIDENTIAL-URBAN (R-U)
5. TOTAL LOT AREA: 131,500± S.F. (3.02± AC.)
6. WETLANDS: NONE
7. POORLY DRAINED SOILS: NONE
8. FLOODPLAIN: NONE
9. EXPOSED LEDGE: 17,600± S.F.
10. SLOPES >20%: NO AREAS OF CONTIGUOUS SUSTAINED SLOPES 20% OR GREATER 1 ACRE OR MORE
11. DISTURBED AREA: IN ROW = 2,700± S.F. (0.06± AC.)
ONSITE = 76,500± S.F. (1.76± AC.)
TOTAL = 79,200± S.F. (1.82± AC.)
12. IMPERVIOUS COVER: IN ROW = 535± S.F. (0.01± AC.)
ONSITE = 34,835± S.F. (0.80± AC.)
TOTAL = 35,370± S.F. (0.81± AC.)
13. SIGHT DISTANCE: REQUIRED (25 MPH) = 250 FT
PROVIDED (25 MPH) = 304 FT

PROPOSED BUILDING DATA:

Table with 5 columns: BUILDING, UNITS, STORIES, DIMENSIONS, FOOTPRINT. Rows for Building 1, 2, and 3.

PARKING CALCULATIONS

RESIDENTIAL DWELLING
2 SPACES PER EACH DWELLING UNIT
11 DWELLING UNITS X 2 = 22 SPACES

CLUSTER RESIDENTIAL STANDARDS

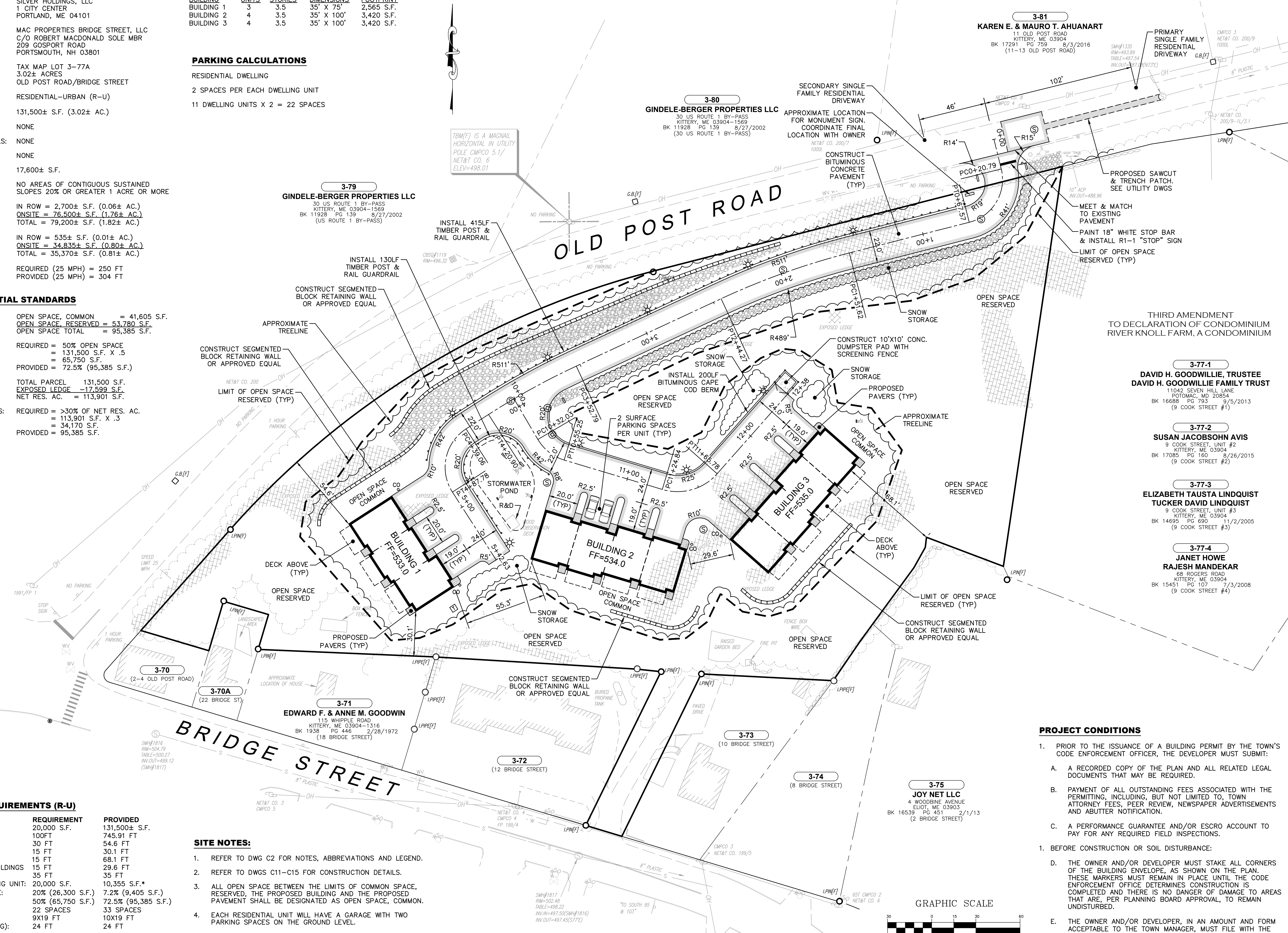
- 1. OPEN SPACE CALCS: OPEN SPACE, COMMON = 41,605 S.F.
OPEN SPACE, RESERVED = 53,780 S.F.
OPEN SPACE TOTAL = 95,385 S.F.
2. OPEN SPACE: REQUIRED = 50% OPEN SPACE
= 131,500 S.F. X .5
= 65,750 S.F.
PROVIDED = 72.5% (95,385 S.F.)
3. NET RES. AC. CALCS: TOTAL PARCEL 131,500 S.F.
EXPOSED LEDGE -17,599 S.F.
NET RES. AC. = 113,901 S.F.
4. OPEN SPACE-NET RES: REQUIRED = >30% OF NET RES. AC.
= 113,901 S.F. X .3
= 34,170 S.F.
PROVIDED = 95,385 S.F.

DIMENSIONAL REQUIREMENTS (R-U)

Table with 3 columns: REGULATION, REQUIREMENT, PROVIDED. Lists various zoning requirements like lot area, setbacks, and parking.

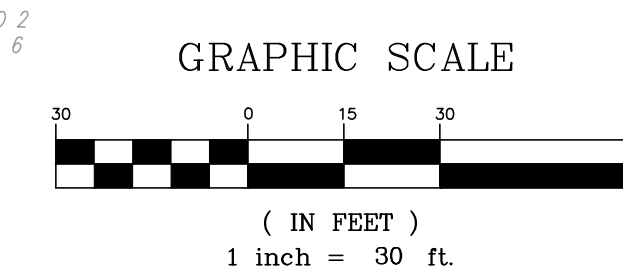
SITE NOTES:

- 1. REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
2. REFER TO DWGS C11-C15 FOR CONSTRUCTION DETAILS.
3. ALL OPEN SPACE BETWEEN THE LIMITS OF COMMON SPACE, RESERVED, THE PROPOSED BUILDING AND THE PROPOSED PAVEMENT SHALL BE DESIGNATED AS OPEN SPACE, COMMON.
4. EACH RESIDENTIAL UNIT WILL HAVE A GARAGE WITH TWO PARKING SPACES ON THE GROUND LEVEL.
5. THE LOCATION OF PROPOSED BUILDING ENTRANCES AND GARAGE DOORS ARE APPROXIMATE AND SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.



PROJECT CONDITIONS

- 1. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT BY THE TOWN'S CODE ENFORCEMENT OFFICER, THE DEVELOPER MUST SUBMIT:
A. A RECORDED COPY OF THE PLAN AND ALL RELATED LEGAL DOCUMENTS THAT MAY BE REQUIRED.
B. PAYMENT OF ALL OUTSTANDING FEES ASSOCIATED WITH THE PERMITTING, INCLUDING, BUT NOT LIMITED TO, TOWN ATTORNEY FEES, PEER REVIEW, NEWSPAPER ADVERTISEMENTS AND ABUTTER NOTIFICATION.
C. A PERFORMANCE GUARANTEE AND/OR ESCROW ACCOUNT TO PAY FOR ANY REQUIRED FIELD INSPECTIONS.
1. BEFORE CONSTRUCTION OR SOIL DISTURBANCE:
D. THE OWNER AND/OR DEVELOPER MUST STAKE ALL CORNERS OF THE BUILDING ENVELOPE, AS SHOWN ON THE PLAN. THESE MARKERS MUST REMAIN IN PLACE UNTIL THE CODE ENFORCEMENT OFFICE DETERMINES CONSTRUCTION IS COMPLETED AND THERE IS NO DANGER OF DAMAGE TO AREAS THAT ARE, PER PLANNING BOARD APPROVAL, TO REMAIN UNDISTURBED.
E. THE OWNER AND/OR DEVELOPER, IN AN AMOUNT AND FORM ACCEPTABLE TO THE TOWN MANAGER, MUST FILE WITH THE MUNICIPAL TREASURER AN INSTRUMENT TO COVER THE COST OF ALL INFRASTRUCTURE AND RIGHT-OF-WAY IMPROVEMENTS AND SITE EROSION AND STORMWATER STABILIZATION.

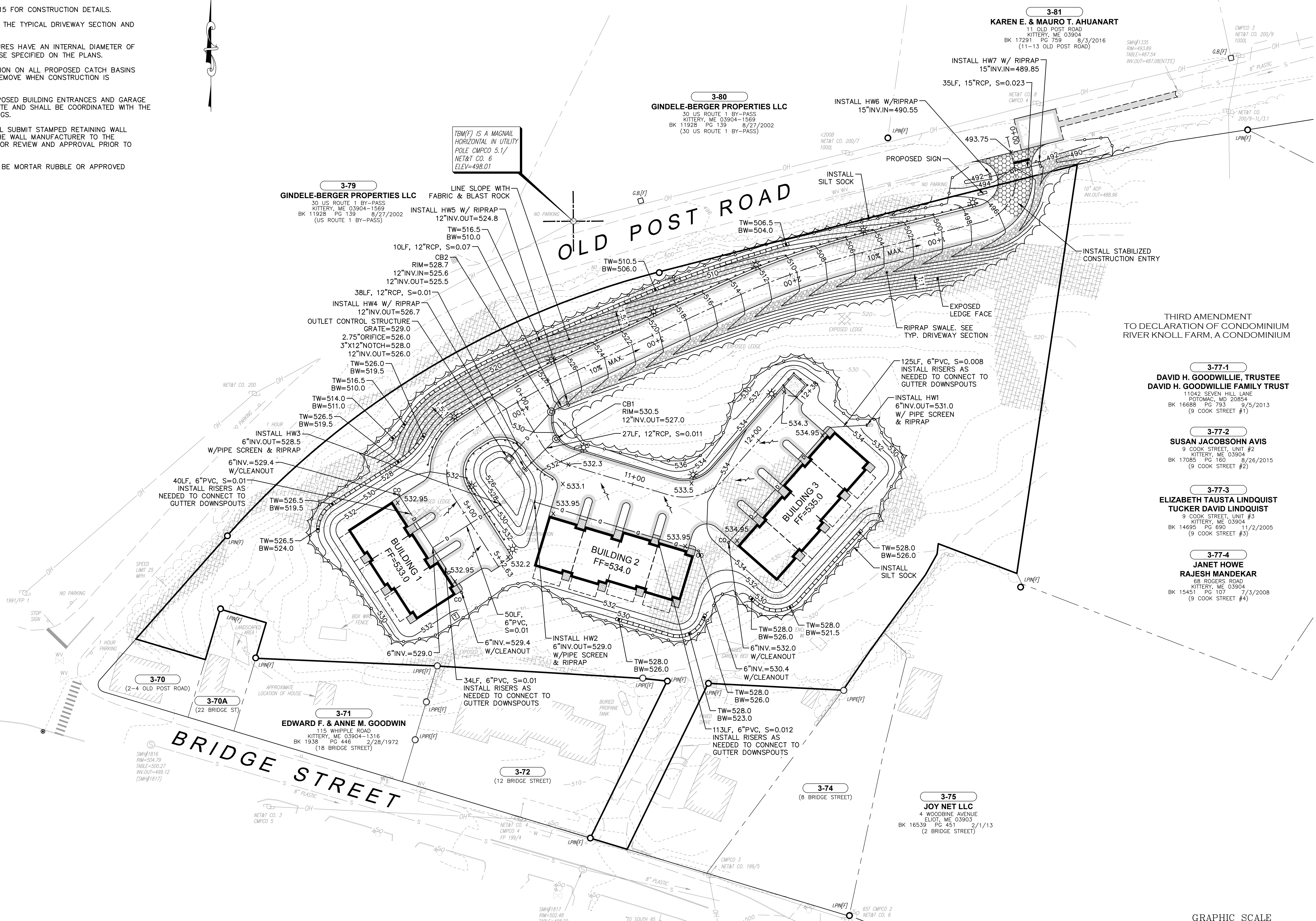


Vertical table on the right side containing project details: PROJECT (PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT), APPLICANT (SILVER HOLDINGS, LLC), and a revision table with columns for REV. and DESCRIPTION.

SITE PLAN
C5
PROJECT NO. 569501
SHEET 5 OF 15

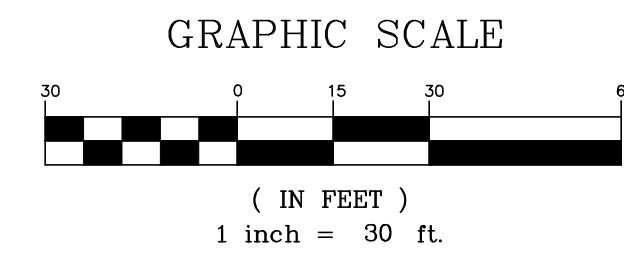
GRADING & DRAINAGE NOTES:

1. REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
2. REFER TO DWGS C11-C15 FOR CONSTRUCTION DETAILS.
3. REFER TO DWG C7 FOR THE TYPICAL DRIVEWAY SECTION AND PROFILES.
4. ALL DRAINAGE STRUCTURES HAVE AN INTERNAL DIAMETER OF 4'-0" UNLESS OTHERWISE SPECIFIED ON THE PLANS.
5. INSTALL INLET PROTECTION ON ALL PROPOSED CATCH BASINS AFTER INSTALLATION. REMOVE WHEN CONSTRUCTION IS COMPLETED.
6. THE LOCATION OF PROPOSED BUILDING ENTRANCES AND GARAGE DOORS ARE APPROXIMATE AND SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.
7. THE CONTRACTOR SHALL SUBMIT STAMPED RETAINING WALL DESIGN PLANS FROM THE WALL MANUFACTURER TO THE INSPECTING ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
8. ALL HEADWALLS SHALL BE MORTAR RUBBLE OR APPROVED EQUAL.

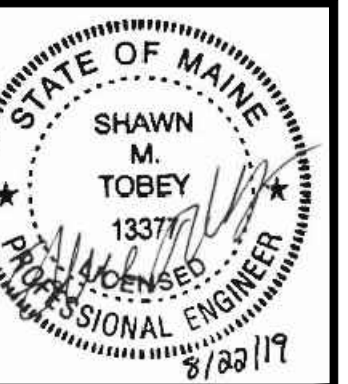


TM(F) IS A MAGNAIL
HORIZONTAL IN UTILITY
POLE CMPCO 5.1/
NET&T CO. 6
ELEV=498.01

THIRD AMENDMENT
TO DECLARATION OF CONDOMINIUM
RIVER KNOLL FARM, A CONDOMINIUM



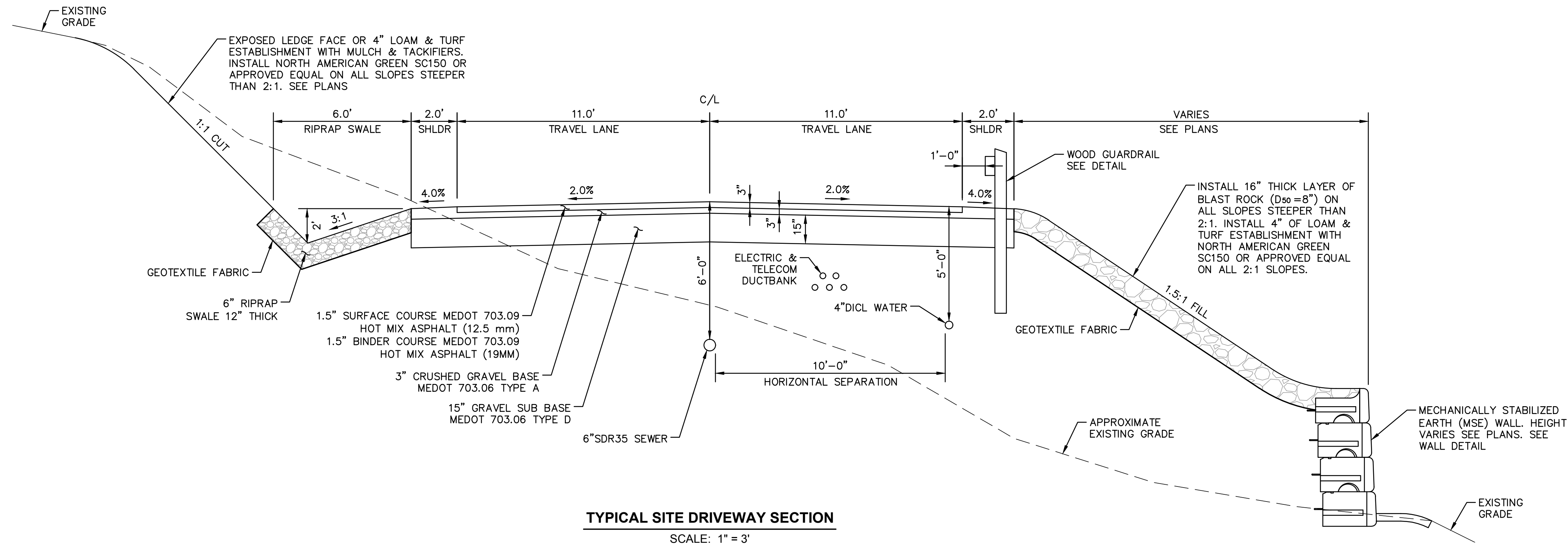
ISSUED FOR KITTERY PLANNING BOARD - PRELIMINARY PLAN	08/22/19	DATE
ISSUED FOR COORDINATION	08/02/19	DATE
2	1	REV.
DESIGNED BY	SMT	DESIGNED BY
DRAWN BY	SMT	DRAWN BY
CHECKED BY	WRD	CHECKED BY
ORIGINAL DATE:	AUGUST 2, 2019	ORIGINAL DATE:
SCALE:	AS SHOWN	SCALE:
PROJECT	PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT TAX MAP LOT 3-77A OLD POST ROAD, KITTERY, ME 03904	PROJECT
APPLICANT	SILVER HOLDINGS, LLC 1 CITY CENTER PORTLAND, ME 04101	APPLICANT
GRADING, DRAINAGE & EROSION CONTROL PLAN	C6	GRADING, DRAINAGE & EROSION CONTROL PLAN
PROJECT NO.	569501	PROJECT NO.
SHEET	6 OF 15	SHEET



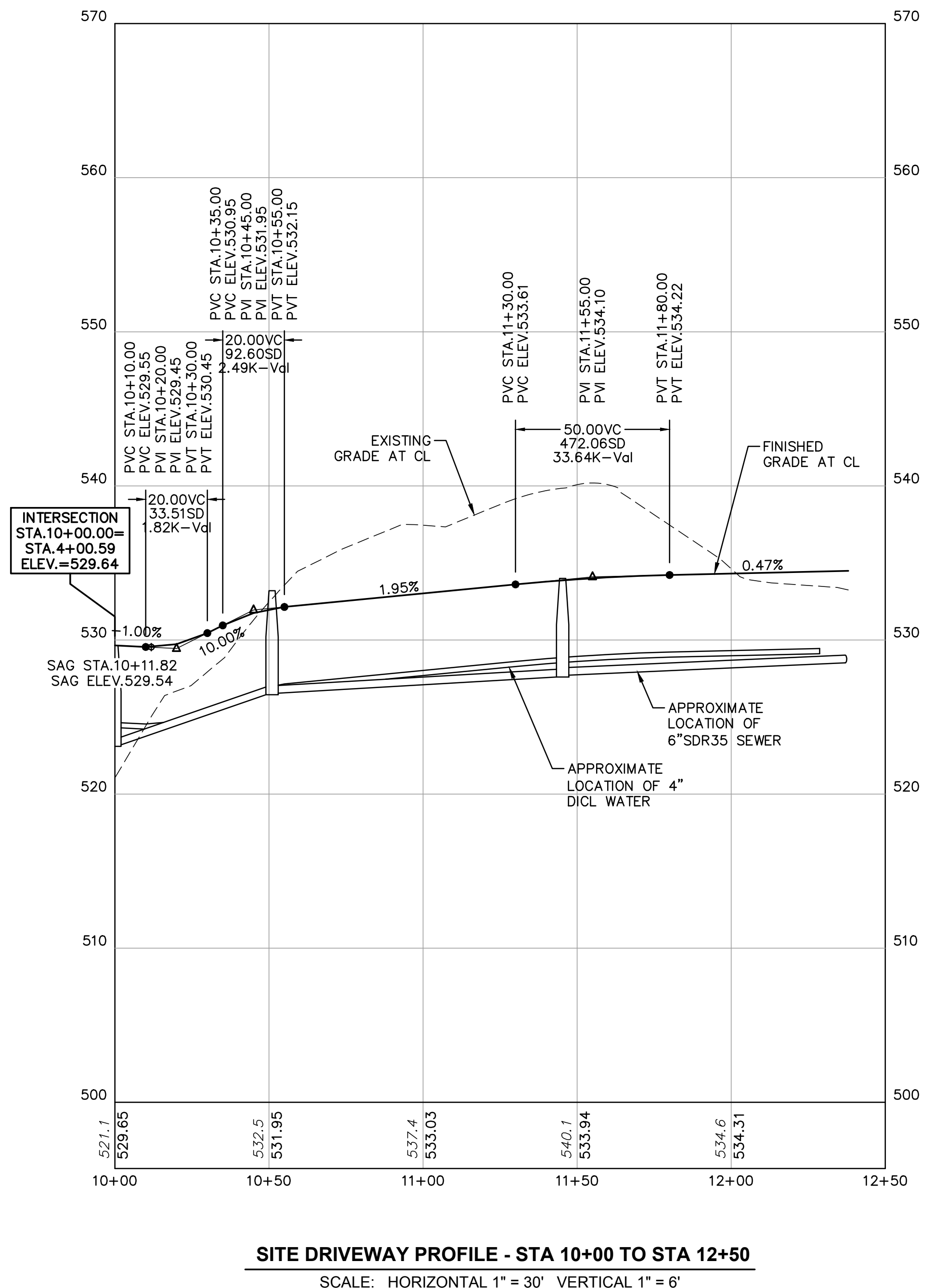
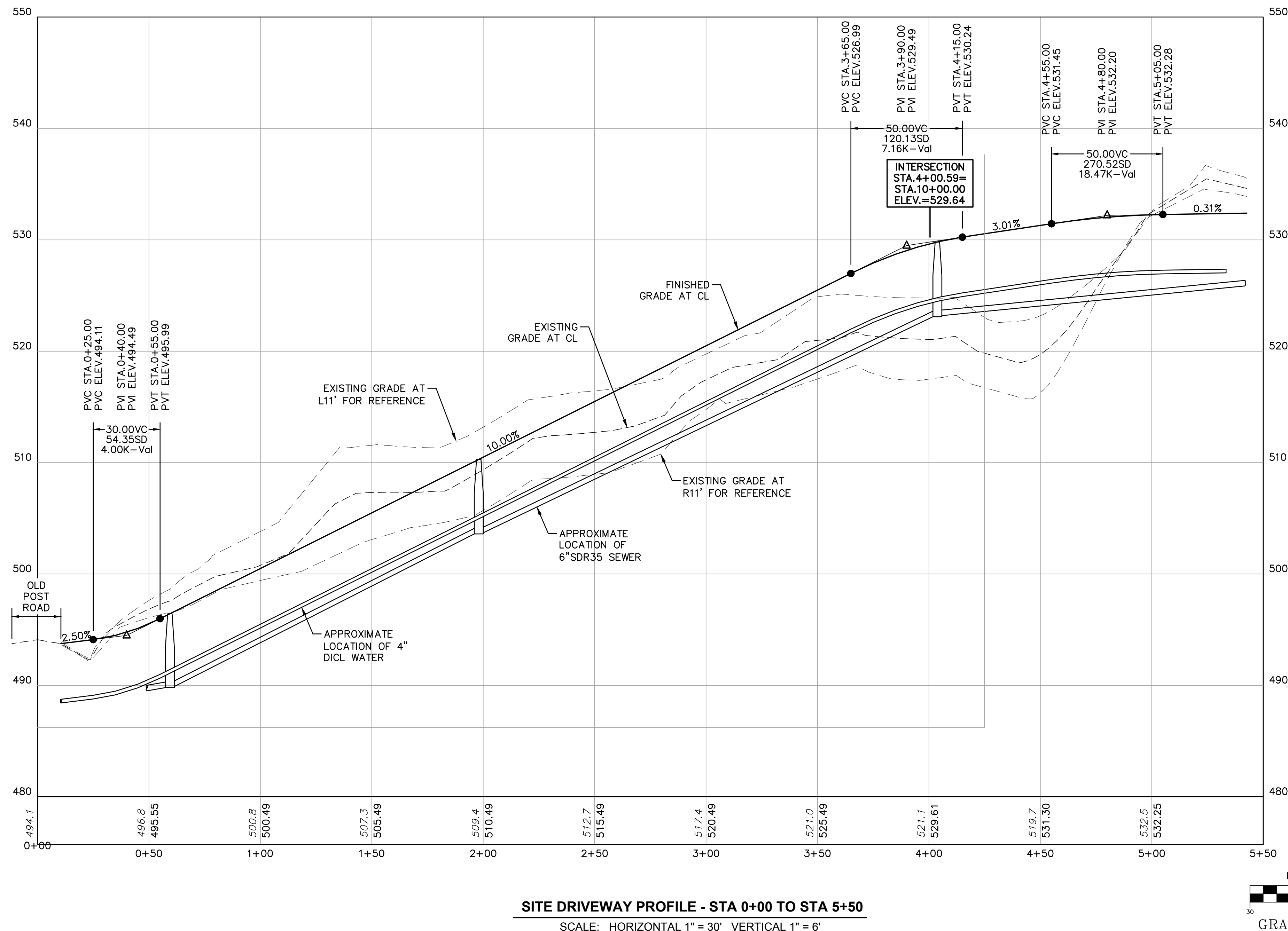
NO.	DATE	REVISION DESCRIPTION
1	08/22/19	ISSUED FOR COORDINATION
2	08/02/19	ISSUED FOR KITTERY PLANNING BOARD - PRELIMINARY PLAN

DATE	BY	DESCRIPTION
AS SHOWN	SMT	DESIGNED BY
AUGUST 2, 2019	SMT	DRAWN BY
	WRD	CHECKED BY

APPLICANT SILVER HOLDINGS, LLC 1 CITY CENTER PORTLAND, ME 04101	PROJECT PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT TAX MAP LOT 3-77A OLD POST ROAD, KITTERY, ME 03904
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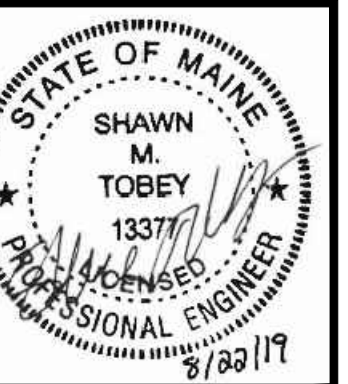


- NOTES:**
- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
 - REFER TO DWG C6 FOR GRADING, DRAINAGE AND EROSION CONTROL INFORMATION.
 - REFER TO DWGS C11-C15 FOR CONSTRUCTION DETAILS.
 - UTILITIES SHOWN ON THIS SHEET ARE FOR REFERENCE ONLY. REFER TO DRAINAGE AND UTILITY PLANS FOR CONSTRUCTION INFORMATION.
 - ELECTRIC AND TELECOM/DATA ARE NOT SHOWN ON THE PROFILES. REFER TO UTILITY PLANS FOR INSTALLATION LOCATIONS.



UTILITY NOTES:

- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
- REFER TO DWGS C11-C15 FOR CONSTRUCTION DETAILS.
- THE INTENT OF THIS PLAN IS TO SHOW THE GENERAL LOCATION OF PROPOSED SITE UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH ALL PROPOSED UTILITY OWNERS ON INSTALLATION LOCATIONS AND UTILITY SIZES PRIOR TO THE START OF ANY CONSTRUCTION.
- THE DOMESTIC WATER LINE SIZES SHOWN ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL REFER TO THE MEP PLANS FOR ALL WATER CONNECTIONS PIPE SIZES.
- BOOSTER PUMPS SHALL BE INSTALLED IN EACH UNIT TO PROVIDE ADEQUATE WATER PRESSURE DUE TO THE ELEVATION OF THE PROPERTY AND THE ELEVATION OF THE TOP FLOOR OF THE BUILDINGS.
- THE BUILDING SEWER SERVICE PIPE SIZES SHOWN ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL REFER TO THE MEP PLANS FOR ALL BUILDING SEWER SERVICE PIPE SIZES.
- THE UNDERGROUND ELECTRICAL LINES, MANHOLES AND TRANSFORMERS SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL COORDINATE THE ELECTRIC LAYOUT WITH CENTRAL MAINE POWER (CMP) PRIOR TO ANY INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE THE SIZE AND NUMBER OF PIPES FOR ALL ELECTRIC AND TELECOM DUCT BANKS WITH THE UTILITY OWNERS. THE DUCTBANKS SHALL BE ENCASED IN CONCRETE IF REQUIRED BY THE UTILITY OWNERS.
- COORDINATE LIGHT POLE BASE LOCATIONS, CONDUIT ROUTING, CONDUIT SIZE AND POWER SUPPLY WITH ELECTRICAL ENGINEER.
- THE BUILDINGS SHALL BE SERVICED BY NATURAL GAS. THE LOCATION OF THE BURIED TANKS AND PIPING SHALL BE DETERMINED BY THE SERVICE PROVIDER.

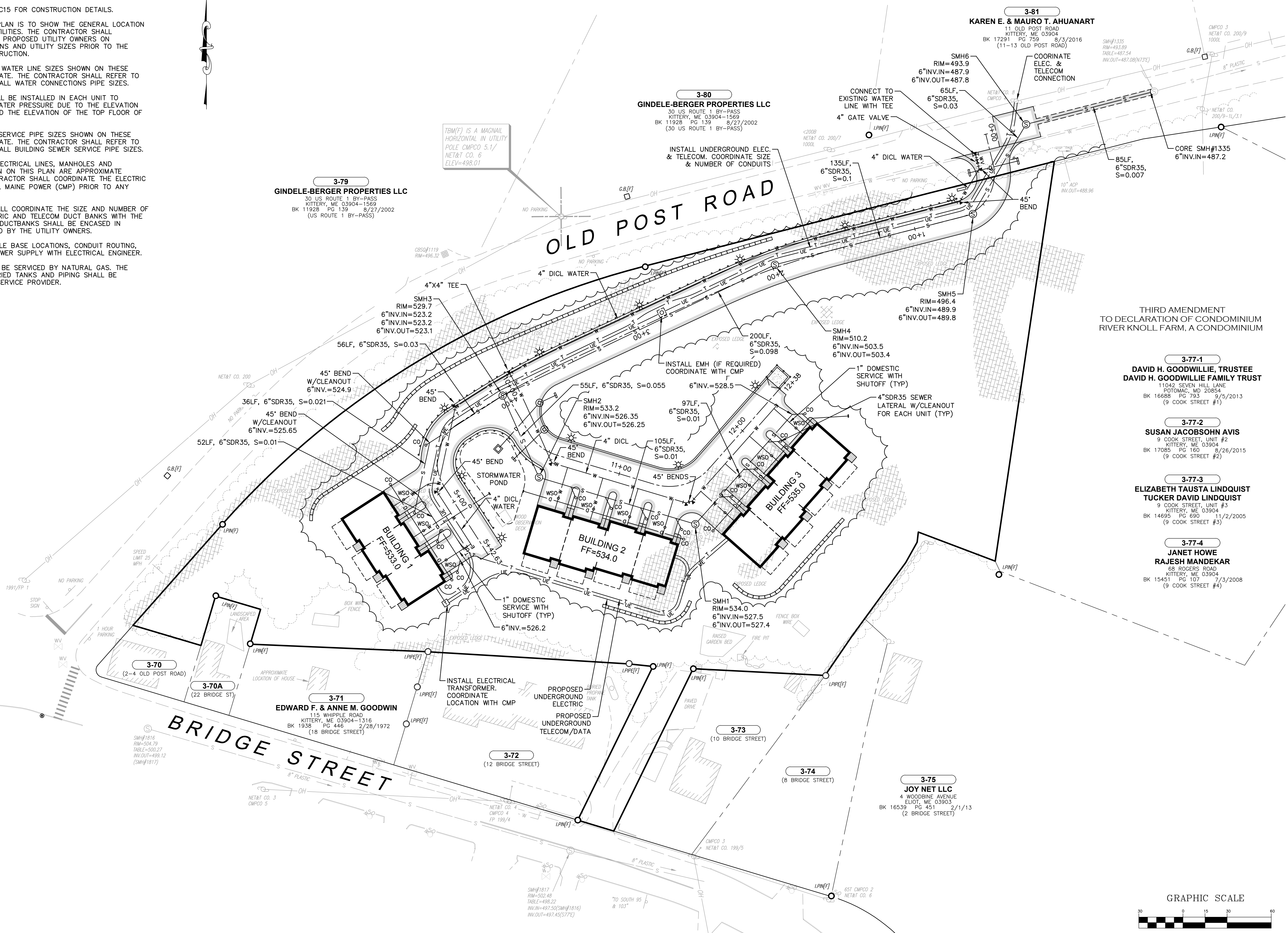


DATE	REVISION DESCRIPTION
08/22/19	ISSUED FOR KITTEERY PLANNING BOARD - PRELIMINARY PLAN
08/02/19	ISSUED FOR COORDINATION
2	1

SCALE:	AS SHOWN
DESIGNED BY	SMT
DRAWN BY	SMT
CHECKED BY	WRD

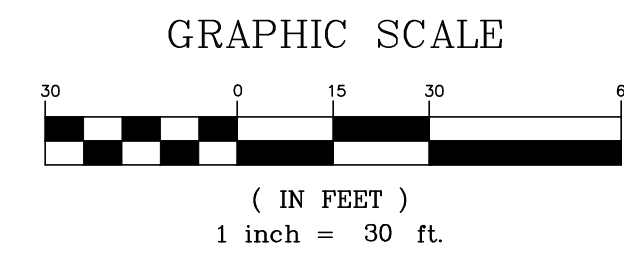
APPLICANT	SILVER HOLDINGS, LLC 1 CITY CENTER PORTLAND, ME 04101
PROJECT	PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT TAX MAP LOT 3-77A OLD POST ROAD, KITTEERY, ME 03904

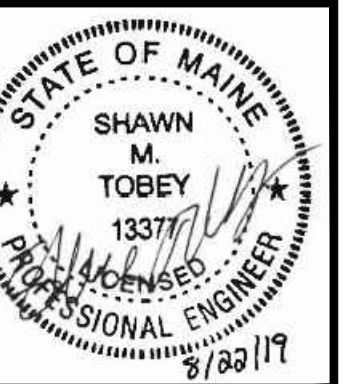
UTILITY PLAN	C8
PROJECT NO.	569501
SHEET	8 OF 15



THIRD AMENDMENT TO DECLARATION OF CONDOMINIUM RIVER KNOLL FARM, A CONDOMINIUM

- 3-77-1**
DAVID H. GOODWILLIE, TRUSTEE
DAVID H. GOODWILLIE FAMILY TRUST
11042 SEVEN HILL LANE
POTOMAC, MD 20854
BK 16688 PG 793 9/5/2013
(9 COOK STREET #1)
- 3-77-2**
SUSAN JACOBSON AVIS
9 COOK STREET, UNIT #2
KITTEERY, ME 03904
BK 17085 PG 160 8/26/2015
(9 COOK STREET #2)
- 3-77-3**
ELIZABETH TAUSTA LINDQUIST
TUCKER DAVID LINDQUIST
9 COOK STREET, UNIT #3
KITTEERY, ME 03904
BK 14695 PG 690 11/2/2005
(9 COOK STREET #3)
- 3-77-4**
JANET HOWE
RAJESH MANDEKAR
65 ROGERS ROAD
KITTEERY, ME 03904
BK 15451 PG 107 7/3/2008
(9 COOK STREET #4)





NO.	DATE	REVISION DESCRIPTION
1	08/22/19	ISSUED FOR KITTERY PLANNING BOARD - PRELIMINARY PLAN
2	08/02/19	ISSUED FOR COORDINATION
1		REV.

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Pease International Tradeport
Hoyle, Tanner & Associates, Inc.
 100 International Dr., #360, Portsmouth, NH 03801
 Tel (603) 431-6520 Fax (603) 431-8067 Web: www.hoyletanner.com
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APPLICANT: SILVER HOLDINGS, LLC
 1 CITY CENTER
 PORTLAND, ME 04101

PROJECT: PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT
 TAX MAP LOT 3-77A
 OLD POST ROAD, KITTERY, ME 03904

DESIGNED BY: SMT
 CHECKED BY: WRD
 DRAWN BY: SMT
 ORIGINAL DATE: AUGUST 2, 2019

SCALE: AS SHOWN

PROJECT NO. 569501
 SHEET 9 OF 15

Large Post Top or Pier Mount Lantern 2861OZ

ITEM NUMBER	2861OZ
BRAND	Hinkley Lighting
MATERIAL	Solid Aluminum
GLASS	Clear
HEIGHT	22.2"
WIDTH	12.0"
VOLTAGE	120v
WATTAGE	1-100w Med.
CERTIFICATION	C-US Wet Rated

• Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards

• Ideal for vintage filament bulbs (not included)

• For complete warranty information visit (hyperlink)

• 2 year finish warranty

• 12 year warranty on electrical wiring and components

• Classic, modern style with a nautical flair adds elegance to a variety of exteriors

• Bold and robust dark bronze finish

FINISH: Oil Rubbed Bronze



POLE MOUNT LIGHT (P1)

Small Wall Mount Lantern 2860OZ

ITEM NUMBER	2860OZ
BRAND	Hinkley Lighting
MATERIAL	Solid Aluminum
GLASS	Clear
HEIGHT	11.0"
WIDTH	8.0"
VOLTAGE	120v
WATTAGE	1-100w Med.
CERTIFICATION	C-US Wet Rated
EXTENSION	9.0"
TOP TO OUTLET	3.8"
BACK PLATE	4.5"W X 7.25"H

• Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards

• Ideal for vintage filament bulbs (not included)

• For complete warranty information visit (hyperlink)

• 2 year finish warranty

• 12 year warranty on electrical wiring and components

• Classic, modern style with a nautical flair adds elegance to a variety of exteriors

• Bold and robust dark bronze finish

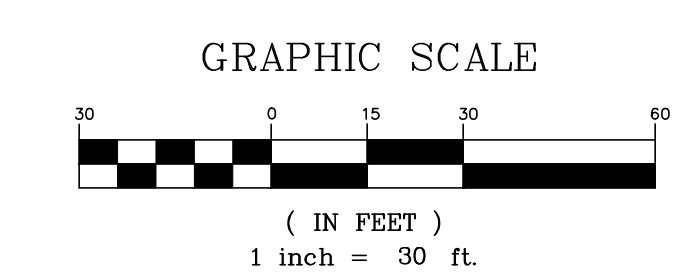
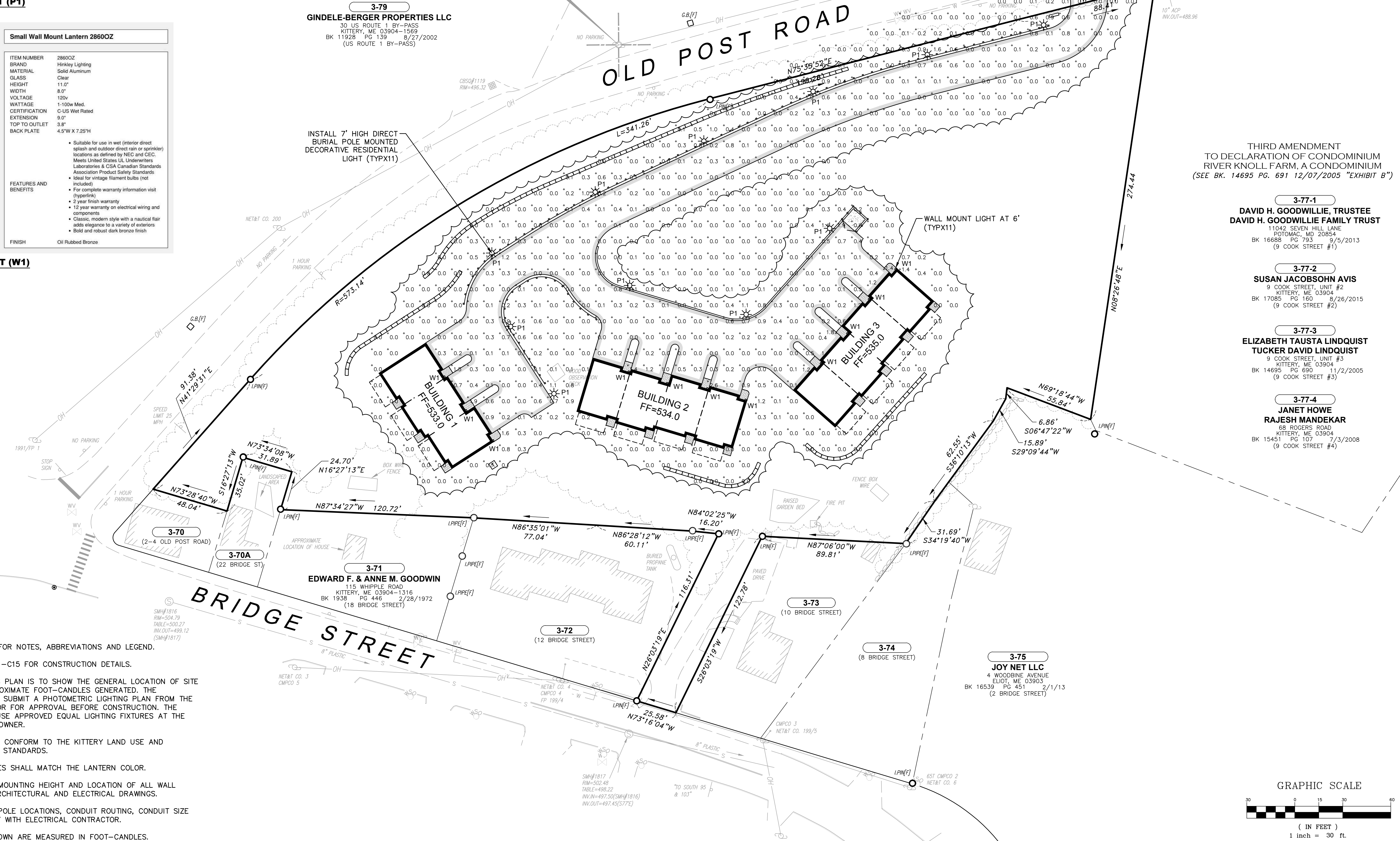
FINISH: Oil Rubbed Bronze



WALL MOUNT LIGHT (W1)

LIGHTING NOTES:

- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
- REFER TO DWGS C11-C15 FOR CONSTRUCTION DETAILS.
- THE INTENT OF THIS PLAN IS TO SHOW THE GENERAL LOCATION OF SITE LIGHTING AND APPROXIMATE FOOT-CANDLES GENERATED. THE CONTRACTOR SHALL SUBMIT A PHOTOMETRIC LIGHTING PLAN FROM THE LIGHTING DISTRIBUTOR FOR APPROVAL BEFORE CONSTRUCTION. THE CONTRACTOR MAY USE APPROVED EQUAL LIGHTING FIXTURES AT THE APPROVAL OF THE OWNER.
- ALL LIGHTING SHALL CONFORM TO THE KITTERY LAND USE AND DEVELOPMENT CODE STANDARDS.
- DIRECT BURIAL POLES SHALL MATCH THE LANTERN COLOR.
- COORDINATE FINAL MOUNTING HEIGHT AND LOCATION OF ALL WALL LUMINAIRES WITH ARCHITECTURAL AND ELECTRICAL DRAWINGS.
- COORDINATE LIGHT POLE LOCATIONS, CONDUIT ROUTING, CONDUIT SIZE AND POWER SUPPLY WITH ELECTRICAL CONTRACTOR.
- LIGHTING SPOTS SHOWN ARE MEASURED IN FOOT-CANDLES.



3-81
KAREN E. & MAURO T. AHUANART
 11 OLD POST ROAD
 KITTERY, ME 03904
 BK 17291 PG 759 8/3/2016
 (11-13 OLD POST ROAD)

3-80
GINDELE-BERGER PROPERTIES LLC
 30 US ROUTE 1 BY-PASS
 KITTERY, ME 03904-1569
 BK 11928 PG 139 8/27/2002
 (30 US ROUTE 1 BY-PASS)

3-79
GINDELE-BERGER PROPERTIES LLC
 30 US ROUTE 1 BY-PASS
 KITTERY, ME 03904-1569
 BK 11928 PG 139 8/27/2002
 (US ROUTE 1 BY-PASS)

3-71
EDWARD F. & ANNE M. GOODWIN
 115 WHIPPLE ROAD
 KITTERY, ME 03904-1316
 BK 1938 PG 448 2/28/1972
 (18 BRIDGE STREET)

3-75
JOY NET LLC
 4 WOODBINE AVENUE
 ELIOT, ME 03903
 BK 16539 PG 451 2/1/13
 (2 BRIDGE STREET)

THIRD AMENDMENT
 TO DECLARATION OF CONDOMINIUM
 RIVER KNOLL FARM, A CONDOMINIUM
 (SEE BK. 14695 PG. 691 12/07/2005 "EXHIBIT B")

3-77-1
DAVID H. GOODWILLIE, TRUSTEE
DAVID H. GOODWILLIE FAMILY TRUST
 11042 SEVEN HILL LANE
 POTOMAC, MD 20854
 BK 16688 PG 793 9/5/2013
 (9 COOK STREET #1)

3-77-2
SUSAN JACOBSON AVIS
 9 COOK STREET, UNIT #2
 KITTERY, ME 03904
 BK 17085 PG 160 8/26/2015
 (9 COOK STREET #2)

3-77-3
ELIZABETH TAUSTA LINDQUIST
TUCKER DAVID LINDQUIST
 9 COOK STREET, UNIT #3
 KITTERY, ME 03904
 BK 14695 PG 690 11/2/2005
 (9 COOK STREET #3)

3-77-4
JANET HOWE
RAJESH MANDEKAR
 68 ROGERS ROAD
 KITTERY, ME 03904
 BK 15451 PG 107 7/3/2008
 (9 COOK STREET #4)

TM(F) IS A MAGNAIL
 HORIZONTAL IN UTILITY
 POLE CMPCO 5.1/
 NET&T CO. 6
 ELEV=498.01

INSTALL 7' HIGH DIRECT
 BURIAL POLE MOUNTED
 DECORATIVE RESIDENTIAL
 LIGHT (TYPX11)

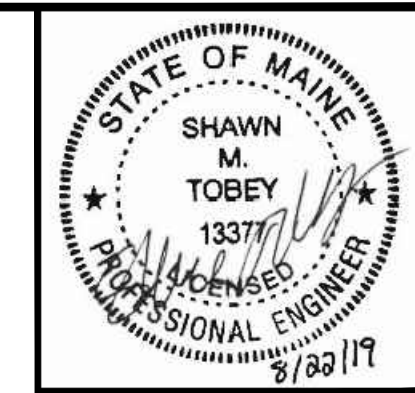
WALL MOUNT LIGHT AT 6'
 (TYPX11)

BRIDGE STREET

OLD POST ROAD

LANDSCAPE NOTES:

- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
- REFER TO DWGS C11-C15 FOR CONSTRUCTION DETAILS.
- THE INTENT OF THIS PLAN IS TO SHOW THE GENERAL LOCATION OF PROPOSED LANDSCAPING. ACTUAL PLANTING LOCATIONS MAY VARY BASED ON FIELD CONDITIONS.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL AREAS THAT DO NOT HAVE A SPECIFIED SURFACE TREATMENT SHALL BE GRASS.
- ALL TREES TO BE BALLED & BURLAPED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK: PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH. THE MULCH SHALL BE APPLIED TO A DEPTH OF 4".
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- THE CONTRACTOR SHALL LOCATE, VERIFY, AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED UNTIL FORMAL ACCEPTANCE OF ALL THE PLANTING.
- PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED. IT MAY BE NECESSARY TO PRE DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.



3-81
KAREN E. & MAURO T. AHUANART
 11 OLD POST ROAD
 KITTERY, ME 03904
 BK 17291 PG 759 8/3/2016
 (11-13 OLD POST ROAD)

3-80
GINDELE-BERGER PROPERTIES LLC
 30 US ROUTE 1 BY-PASS
 KITTERY, ME 03904-1569
 BK 11928 PG 139 8/27/2002
 (30 US ROUTE 1 BY-PASS)

3-79
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 30 US ROUTE 1 BY-PASS
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 BK 11928 PG 139 8/27/2002
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3-71
EDWARD F. & ANNE M. GOODWIN
 115 WHIPPLE ROAD
 KITTERY, ME 03904-1316
 BK 1938 PG 446 2/28/1972
 (18 BRIDGE STREET)

3-75
JOY NET LLC
 4 WOODBINE AVENUE
 ELIOT, ME 03903
 BK 16539 PG 451 2/1/13
 (2 BRIDGE STREET)

OLD POST ROAD

BRIDGE STREET

THIRD AMENDMENT
 TO DECLARATION OF CONDOMINIUM
 RIVER KNOLL FARM, A CONDOMINIUM
 (SEE BK. 14695 PG. 691 12/07/2005 "EXHIBIT B")

3-77-1
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 11042 SEVEN HILL LANE
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 BK 16688 PG 793 9/5/2013
 (9 COOK STREET #1)

3-77-2
SUSAN JACOBSON AVIS
 9 COOK STREET, UNIT #2
 KITTERY, ME 03904
 BK 17085 PG 160 8/26/2015
 (9 COOK STREET #2)

3-77-3
ELIZABETH TAUSTA LINDQUIST
TUCKER DAVID LINDQUIST
 9 COOK STREET, UNIT #3
 KITTERY, ME 03904
 BK 14695 PG 690 11/2/2005
 (9 COOK STREET #3)

3-77-4
JANET HOWE
RAJESH MANDEKAR
 65 ROGERS ROAD
 KITTERY, ME 03904
 BK 15451 PG 107 7/3/2008
 (9 COOK STREET #4)

NO.	DATE	REVISION DESCRIPTION
1	08/22/19	ISSUED FOR KITTERY PLANNING BOARD - PRELIMINARY PLAN
2	08/02/19	ISSUED FOR COORDINATION
1		REV.

SCALE:	AS SHOWN	DESIGNED BY:	SMT	DRAWN BY:	SMT	CHECKED BY:	WRD
ORIGINAL DATE: <td>AUGUST 2, 2019</td> <td>DESIGNED BY: <td>SMT</td> <td>DRAWN BY: <td>SMT</td> <td>CHECKED BY: <td>WRD</td> </td></td></td>	AUGUST 2, 2019	DESIGNED BY: <td>SMT</td> <td>DRAWN BY: <td>SMT</td> <td>CHECKED BY: <td>WRD</td> </td></td>	SMT	DRAWN BY: <td>SMT</td> <td>CHECKED BY: <td>WRD</td> </td>	SMT	CHECKED BY: <td>WRD</td>	WRD

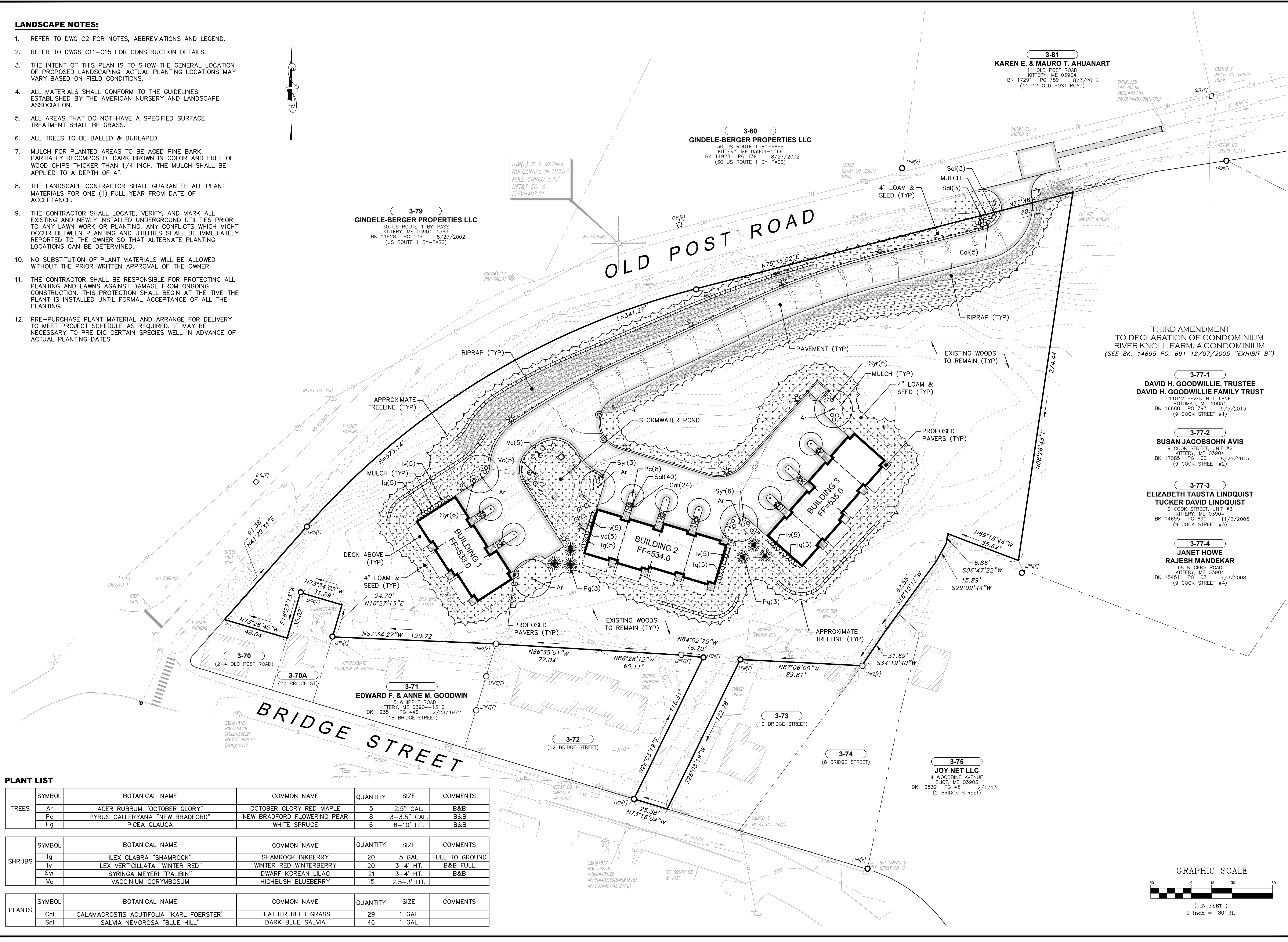
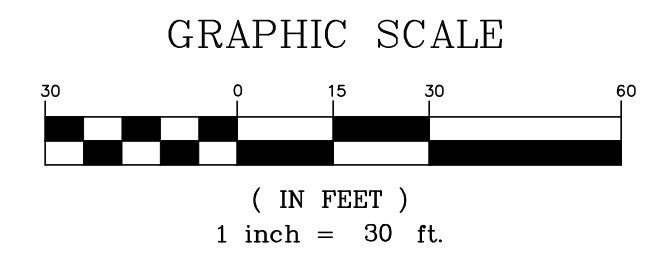
APPLICANT	SILVER HOLDINGS, LLC 1 CITY CENTER PORTLAND, ME 04101
PROJECT	PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT TAX MAP LOT 3-77A OLD POST ROAD, KITTERY, ME 03904
LANDSCAPING PLAN	C10
PROJECT NO.	569501
SHEET	10 OF 15

PLANT LIST

TREES	SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	COMMENTS
	Ar	ACER RUBRUM "OCTOBER GLORY"	OCTOBER GLORY RED MAPLE	5	2.5" CAL.	B&B
	Pc	PYRUS CALLERYANA "NEW BRADFORD"	NEW BRADFORD FLOWERING PEAR	8	3-3.5" CAL.	B&B
	Pg	PICEA GLAUCA	WHITE SPRUCE	6	8-10' HT.	B&B

SHRUBS	SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	COMMENTS
	Ig	ILEX GLABRA "SHAMROCK"	SHAMROCK INKBERRY	20	5 GAL	FULL TO GROUND
	Iv	ILEX VERTICILLATA "WINTER RED"	WINTER RED WINTERBERRY	20	3-4' HT.	B&B FULL
	Syr	SYRINGA MEYERI "PALIBIN"	DWARF KOREAN LILAC	21	3-4' HT.	B&B
	Vc	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	15	2.5-3' HT.	

PLANTS	SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	COMMENTS
	Cal	CALAMAGROSTIS ACUTIFOLIA "KARL FOERSTER"	FEATHER REED GRASS	29	1 GAL	
	Sal	SALVIA NEMOROSA "BLUE HILL"	DARK BLUE SALVIA	46	1 GAL	



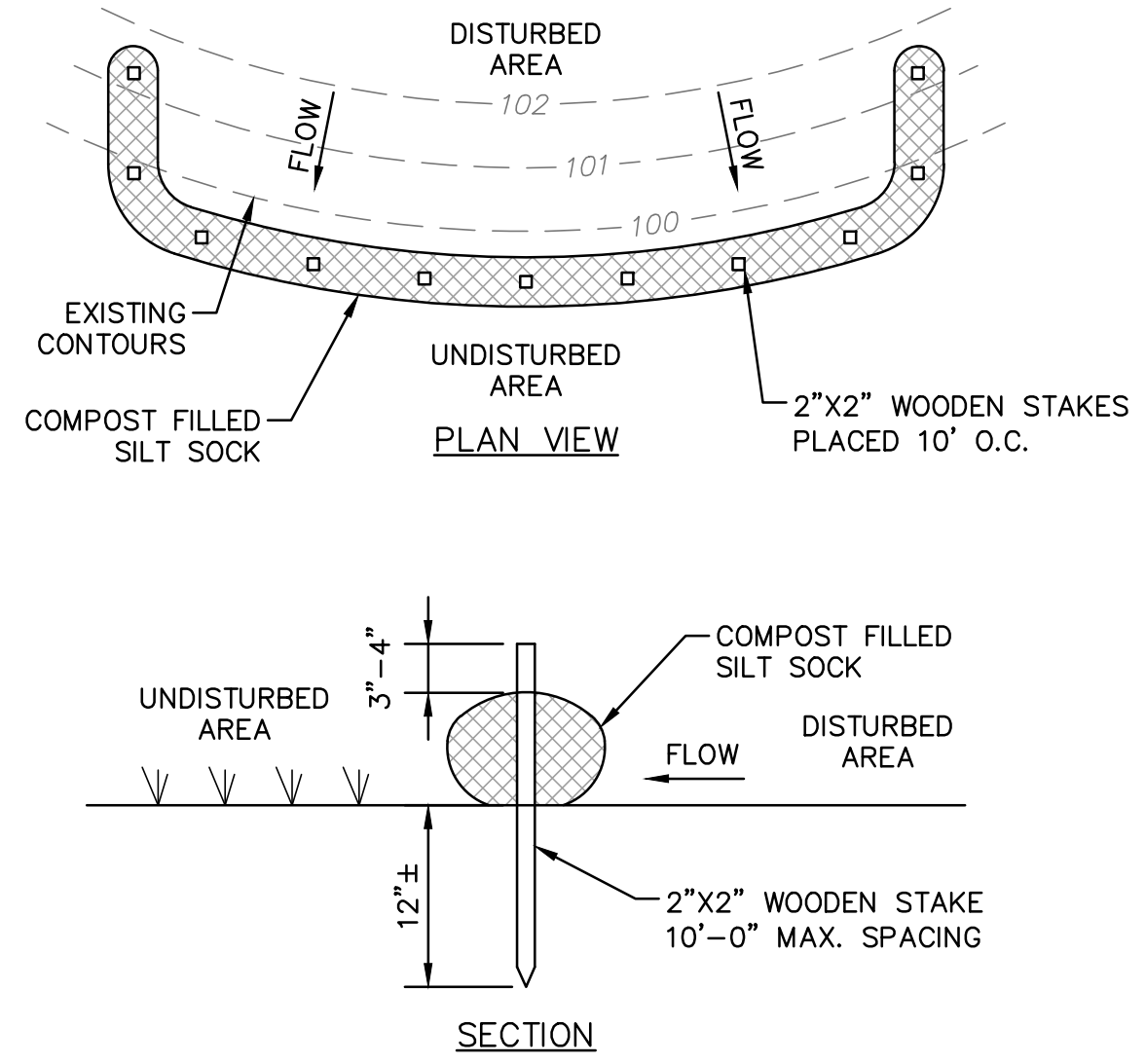
EROSION CONTROL NOTES:

- POLLUTION PREVENTION.** MINIMIZE DISTURBED AREAS AND PROTECT NATURAL DOWNGRADE BUFFER AREAS TO THE EXTENT PRACTICABLE. CONTROL STORMWATER VOLUME AND VELOCITY WITHIN THE SITE TO MINIMIZE SOIL EROSION. MINIMIZE THE DISTURBANCE OF STEEP SLOPES. CONTROL STORMWATER DISCHARGES, INCLUDING BOTH PEAK FLOW RATES AND VOLUME, TO MINIMIZE EROSION AT OUTLETS. THE DISCHARGE MAY NOT RESULT IN EROSION OF ANY OPEN DRAINAGE CHANNELS, SWALES, STREAM CHANNELS OR STREAM BANKS, UPLAND, OR COASTAL OR FRESHWATER WETLANDS OFF THE PROJECT SITE. WHENEVER PRACTICABLE, NO DISTURBANCE ACTIVITIES SHOULD TAKE PLACE WITHIN 50 FEET OF ANY PROTECTED NATURAL RESOURCE. IF DISTURBANCE ACTIVITIES TAKE PLACE BETWEEN 30 FEET AND 50 FEET OF ANY PROTECTED NATURAL RESOURCE, AND STORMWATER DISCHARGES THROUGH THE DISTURBED AREAS TOWARD THE PROTECTED NATURAL RESOURCE, PERIMETER EROSION CONTROLS MUST BE DOUBLED. IF DISTURBANCE ACTIVITIES TAKE PLACE LESS THAN 30 FEET FROM ANY PROTECTED NATURAL RESOURCE, AND STORMWATER DISCHARGES THROUGH THE DISTURBED AREAS TOWARD THE PROTECTED NATURAL RESOURCE, PERIMETER EROSION CONTROLS MUST BE DOUBLED AND DISTURBED AREAS MUST BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 7 DAYS.
- SEDIMENT BARRIERS.** PRIOR TO CONSTRUCTION, PROPERLY INSTALL SEDIMENT BARRIERS AT THE DOWNGRADE EDGE OF ANY AREA TO BE DISTURBED AND ADJACENT TO ANY DRAINAGE CHANNELS WITHIN THE DISTURBED AREA. SEDIMENT BARRIERS SHOULD BE INSTALLED DOWNGRADE OF SOIL OR SEDIMENT STOCKPILES AND STORMWATER PREVENTED FROM RUNNING ONTO THE STOCKPILE. MAINTAIN THE SEDIMENT BARRIERS BY REMOVING ACCUMULATED SEDIMENT, OR REMOVING AND REPLACING THE BARRIER, UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED. WHERE A DISCHARGE TO A STORM DRAIN INLET OCCURS, IF THE STORM DRAIN CARRIES WATER DIRECTLY TO A SURFACE WATER AND YOU HAVE AUTHORITY TO ACCESS THE STORM DRAIN INLET, YOU MUST INSTALL AND MAINTAIN PROTECTION MEASURES THAT REMOVE SEDIMENT FROM THE DISCHARGE.
- STABILIZED CONSTRUCTION ENTRANCE.** PRIOR TO CONSTRUCTION, PROPERLY INSTALL A STABILIZED CONSTRUCTION ENTRANCE (SCE) AT ALL POINTS OF EGRESS FROM THE SITE. THE SCE IS A STABILIZED PAD OF AGGREGATE, UNDERLAIN BY A GEOTEXTILE FILTER FABRIC, USED TO PREVENT TRAFFIC FROM TRACKING MATERIAL AWAY FROM THE SITE ONTO PUBLIC ROWS. MAINTAIN THE SCE UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- TEMPORARY STABILIZATION.** WITHIN 7 DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES IN AN AREA THAT WILL NOT BE WORKED FOR MORE THAN 7 DAYS, STABILIZE ANY EXPOSED SOIL WITH MULCH, OR OTHER NON-ERODIBLE COVER. STABILIZE AREAS WITHIN 75 FEET OF A WETLAND OR WATERBODY WITHIN 48 HOURS OF THE INITIAL DISTURBANCE OF THE SOIL OR PRIOR TO ANY STORM EVENT, WHICHEVER COMES FIRST.
- REMOVAL OF TEMPORARY MEASURES.** REMOVE ANY TEMPORARY CONTROL MEASURES, SUCH AS SILT FENCE, WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED. REMOVE ANY ACCUMULATED SEDIMENTS AND STABILIZE.
- PERMANENT STABILIZATION.** IF THE AREA WILL NOT BE WORKED FOR MORE THAN ONE YEAR OR HAS BEEN BROUGHT TO FINAL GRADE, THEN PERMANENTLY STABILIZE THE AREA WITHIN 7 DAYS BY PLANTING VEGETATION, SEEDING, SOD, OR THROUGH THE USE OF PERMANENT MULCH, OR RIP-RAP, OR ROAD SUB-BASE. IF USING VEGETATION FOR STABILIZATION, SELECT THE PROPER VEGETATION FOR THE LIGHT, MOISTURE, AND SOIL CONDITIONS; AMEND AREAS OF DISTURBED SUBSOILS WITH TOPSOIL, COMPOST, OR FERTILIZERS; PROTECT SEEDED AREAS WITH MULCH OR, IF NECESSARY, EROSION CONTROL BLANKETS; AND SCHEDULE SODDING, PLANTING, AND SEEDING SO TO AVOID DIE-OFF FROM SUMMER DROUGHT AND FALL FROSTS. NEWLY SEED OR SODDED AREAS MUST BE PROTECTED FROM VEHICLE TRAFFIC, EXCESSIVE PEDESTRIAN TRAFFIC, AND CONCENTRATED RUNOFF UNTIL THE VEGETATION IS WELL-ESTABLISHED WITH 90% COVER BY HEALTHY VEGETATION. IF NECESSARY, AREAS MUST BE REWORKED AND RESTABILIZED IF GERMINATION IS SPARSE, PLANT COVERAGE IS SPOTTY, OR TOPSOIL EROSION IS EVIDENT. ONE OR MORE OF THE FOLLOWING MAY APPLY TO A PARTICULAR SITE.
 - SODDED AREAS.** FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.
 - PERMANENT MULCH.** FOR MULCHED AREAS, PERMANENT MULCHING MEANS TOTAL COVERAGE OF THE EXPOSED AREA WITH AN APPROVED MULCH MATERIAL. EROSION CONTROL MIX MAY BE USED AS MULCH FOR PERMANENT STABILIZATION ACCORDING TO THE APPROVED APPLICATION RATES AND LIMITATIONS.
 - RIP-RAP.** FOR AREAS STABILIZED WITH RIP-RAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIP-RAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRAVEL OR APPROVED GEOTEXTILE TO PREVENT SOIL MOVEMENT FROM BEHIND THE RIP-RAP. STONE MUST BE SIZED APPROPRIATELY. IT IS RECOMMENDED THAT ANGULAR STONE BE USED.
 - AGRICULTURAL USE.** FOR CONSTRUCTION PROJECTS ON LAND USED FOR AGRICULTURAL PURPOSES (E.G., PIPELINES ACROSS CROP LAND), PERMANENT STABILIZATION MAY BE ACCOMPLISHED BY RETURNING THE DISTURBED LAND TO AGRICULTURAL USE.
 - PAVED AREAS.** FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SUB-BASE IS COMPLETED, PROVIDED IT IS FREE OF FINE MATERIALS THAT MAY RUNOFF WITH A RAIN EVENT.
 - DITCHES, CHANNELS, AND SWALES.** FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS THE CHANNEL IS STABILIZED WITH A 90% COVER OF HEALTHY VEGETATION, WITH A WELL-GRADED RIP-RAP LINING, TURF REINFORCEMENT MAT, OR WITH ANOTHER NON-EROSIVE LINING SUCH AS CONCRETE OR ASPHALT PAVEMENT. THERE MUST BE NO EVIDENCE OF SLUMPING OF THE CHANNEL LINING, UNDERCUTTING OF THE CHANNEL BANKS, OR DOWN-CUTTING OF THE CHANNEL.

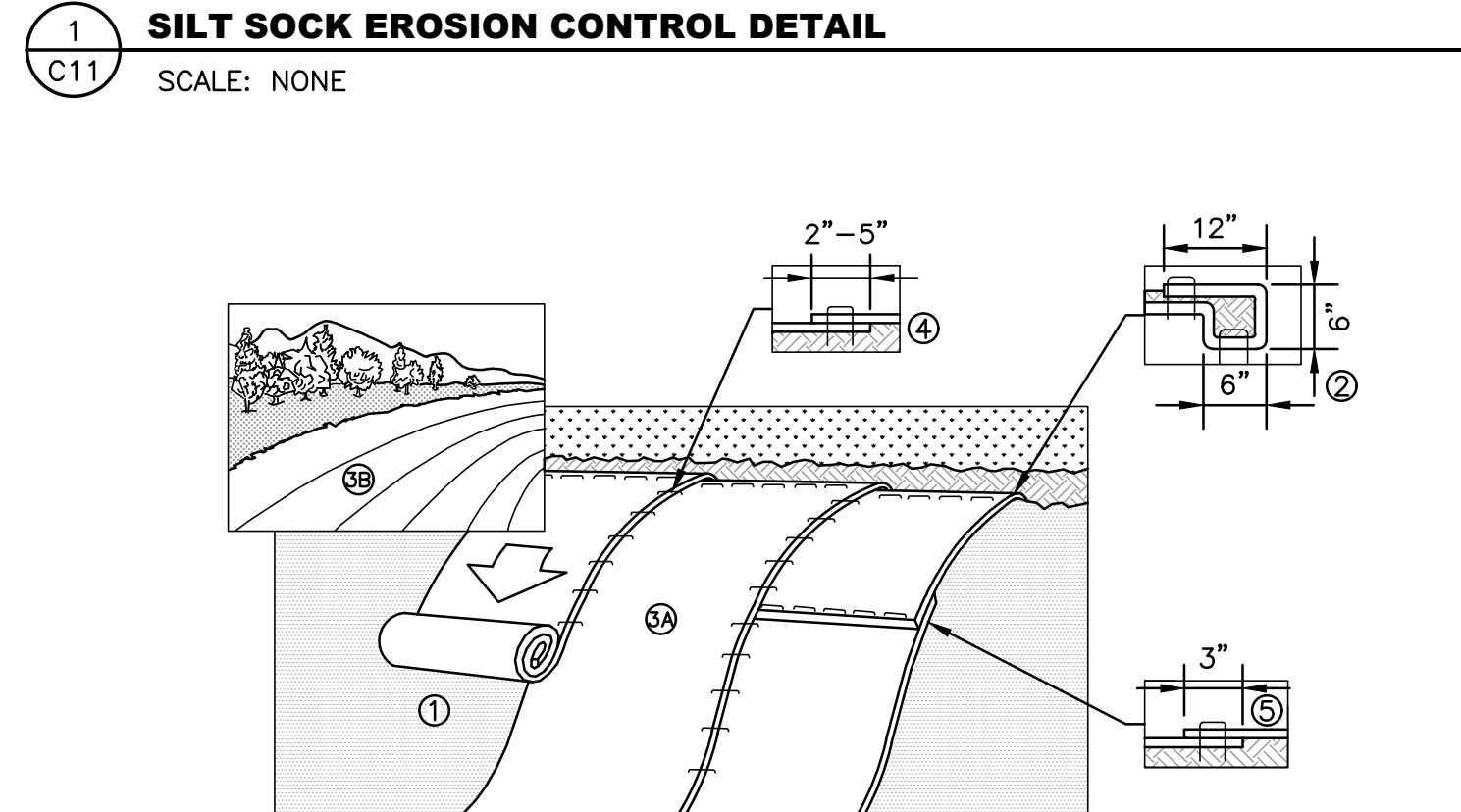
- WINTER CONSTRUCTION.** "WINTER CONSTRUCTION" IS CONSTRUCTION ACTIVITY PERFORMED DURING THE PERIOD FROM NOVEMBER 1 THROUGH APRIL 15. IF DISTURBED AREAS ARE NOT STABILIZED WITH PERMANENT MEASURES BY NOVEMBER 1 OR NEW SOIL DISTURBANCE OCCURS AFTER NOVEMBER 1, BUT BEFORE APRIL 15, THEN THESE AREAS MUST BE PROTECTED AND RUNOFF FROM THEM MUST BE CONTROLLED BY ADDITIONAL MEASURES AND RESTRICTIONS.
 - SITE STABILIZATION.** FOR WINTER STABILIZATION, HAY MULCH IS APPLIED AT TWICE THE STANDARD TEMPORARY STABILIZATION RATE. AT THE END OF EACH CONSTRUCTION DAY, AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE STABILIZED. MULCH MAY NOT BE SPREAD ON TOP OF SNOW.
 - SEDIMENT BARRIERS.** ALL AREAS WITHIN 75 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIERS.
 - DITCH.** ALL VEGETATED DITCH LINES THAT HAVE NOT BEEN STABILIZED BY NOVEMBER 1, OR WILL BE WORKED DURING THE WINTER CONSTRUCTION PERIOD, MUST BE STABILIZED WITH AN APPROPRIATE STONE LINING BACKED BY AN APPROPRIATE GRAVEL BED OR GEOTEXTILE UNLESS SPECIFICALLY RELEASED FROM THIS STANDARD BY THE DEPARTMENT.
 - SLOPES.** MULCH NETTING MUST BE USED TO ANCHOR MULCH ON ALL SLOPES GREATER THAN 8% UNLESS EROSION CONTROL BLANKETS OR EROSION CONTROL MIX IS BEING USED ON THESE SLOPES.

- STORMWATER CHANNELS.** DITCHES, SWALES, AND OTHER OPEN STORMWATER CHANNELS MUST BE DESIGNED, CONSTRUCTED, AND STABILIZED USING MEASURES THAT ACHIEVE LONG-TERM EROSION CONTROL. DITCHES, SWALES AND OTHER OPEN STORMWATER CHANNELS MUST BE SIZED TO HANDLE, AT A MINIMUM, THE EXPECTED VOLUME RUN-OFF. EACH CHANNEL SHOULD BE CONSTRUCTED IN SECTIONS SO THAT THE SECTION'S GRADING, SHAPING, AND INSTALLATION OF THE PERMANENT LINING CAN BE COMPLETED THE SAME DAY. IF A CHANNEL'S FINAL GRADING OR LINING INSTALLATION MUST BE DELAYED, THEN DIVERSION BERMS MUST BE USED TO DIVERT STORMWATER AWAY FROM THE CHANNEL. PROPERLY-SPACED CHECK DAMS MUST BE INSTALLED IN THE CHANNEL TO SLOW THE WATER VELOCITY, AND A TEMPORARY LINING INSTALLED ALONG THE CHANNEL TO PREVENT SCOURING. PERMANENT STABILIZATION FOR CHANNELS IS ADDRESSED UNDER APPENDIX A(5)(G) ABOVE.
 - THE CHANNEL SHOULD RECEIVE ADEQUATE ROUTINE MAINTENANCE TO MAINTAIN CAPACITY AND PREVENT OR CORRECT ANY EROSION OF THE CHANNEL'S BOTTOM OR SIDE SLOPES.
 - WHEN THE WATERSHED DRAINING TO A DITCH OR SWALE IS LESS THAN 1 ACRE OF TOTAL DRAINAGE AND LESS THAN 1/4 ACRE OF IMPERVIOUS AREA, DIVERSION OF RUNOFF TO ADJACENT WOODED OR OTHERWISE VEGETATED BUFFER AREAS IS ENCOURAGED WHERE THE OPPORTUNITY EXISTS.

- SEDIMENT BASINS.** SEDIMENT BASINS MUST BE DESIGNED TO PROVIDE STORAGE FOR EITHER THE CALCULATED RUNOFF FROM A 2-YEAR, 24-HOUR STORM OR PROVIDE FOR 3,600 CUBIC FEET OF CAPACITY PER ACRE DRAINING TO THE BASIN. OUTLET STRUCTURES MUST DISCHARGE WATER FROM THE SURFACE OF THE BASIN WHENEVER POSSIBLE. EROSION CONTROLS AND VELOCITY DISSIPATION DEVICES MUST BE USED IF THE DISCHARGING WATERS ARE LIKELY TO CREATE EROSION. ACCUMULATED SEDIMENT MUST BE REMOVED AS NEEDED FROM THE BASIN TO MAINTAIN AT LEAST 1/2 OF THE DESIGN CAPACITY OF THE BASIN. THE USE OF CATIONIC TREATMENT CHEMICALS, SUCH AS POLYMERS, FLOCCULANTS, OR OTHER CHEMICALS THAT CONTAIN AN OVERALL POSITIVE CHARGE DESIGNED TO REDUCE TURBIDITY IN STORMWATER MUST RECEIVE PRIOR APPROVAL FROM THE DEPARTMENT. WHEN REQUESTING APPROVAL TO USE CATIONIC TREATMENT CHEMICALS, YOU MUST DESCRIBE APPROPRIATE CONTROLS AND IMPLEMENTATION PROCEDURES TO ENSURE THE USE WILL NOT LEAD TO A VIOLATION OF WATER QUALITY STANDARDS. IN ADDITION, YOU MUST SPECIFY THE TYPE(S) OF SOIL LIKELY TO BE TREATED ON THE SITE, CHEMICALS TO BE USED AND HOW THEY ARE TO BE APPLIED AND IN WHAT QUANTITY, ANY MANUFACTURER'S RECOMMENDATIONS, AND ANY TRAINING HAD BY PERSONNEL WHO WILL HANDLE AND APPLY THE CHEMICALS.
- ROADS.** GRAVEL AND PAVED ROADS MUST BE DESIGNED AND CONSTRUCTED WITH CROWNS OR OTHER MEASURES, SUCH AS WATER BARS, TO ENSURE THAT STORMWATER IS DELIVERED IMMEDIATELY TO ADJACENT STABLE DITCHES, VEGETATED BUFFER AREAS, CATCH BASIN INLETS, OR STREET GUTTERS.
- CULVERTS.** CULVERTS MUST BE SIZED TO AVOID UNINTENDED FLOODING OF UPSTREAM AREAS OR FREQUENT OVERTOPPING OF ROADWAYS. CULVERT INLETS MUST BE PROTECTED WITH APPROPRIATE MATERIALS FOR THE EXPECTED ENTRANCE VELOCITY, AND PROTECTION MUST EXTEND AT LEAST AS HIGH AS THE EXPECTED MAXIMUM ELEVATION OF STORAGE BEHIND THE CULVERT. CULVERT OUTLET DESIGN MUST INCORPORATE MEASURES, SUCH AS APRONS, TO PREVENT SCOUR OF THE STREAM CHANNEL. OUTLET PROTECTION MEASURES MUST BE DESIGNED TO STAY WITHIN THE CHANNEL LIMITS. THE DESIGN MUST TAKE ACCOUNT OF TAILWATER DEPTH.
- PARKING AREAS.** PARKING AREAS MUST BE CONSTRUCTED TO ENSURE RUNOFF IS DELIVERED TO ADJACENT SWALES, CATCH BASINS, CURB GUTTERS, OR BUFFER AREAS WITHOUT ERODING AREAS DOWNSLOPE. THE PARKING AREA'S SUB-BASE COMPACTION AND GRADING MUST BE DONE TO ENSURE RUNOFF IS EVENLY DISTRIBUTED TO ADJACENT BUFFERS OR SIDE SLOPES. CATCH BASINS MUST BE LOCATED AND SET TO PROVIDE ENOUGH STORAGE DEPTH AT THE INLET TO ALLOW INFLOW OF PEAK RUNOFF RATES WITHOUT BY-PASS OF RUNOFF TO OTHER AREAS.
- ADDITIONAL REQUIREMENTS.** ADDITIONAL REQUIREMENTS MAY BE APPLIED ON A SITE-SPECIFIC BASIS.

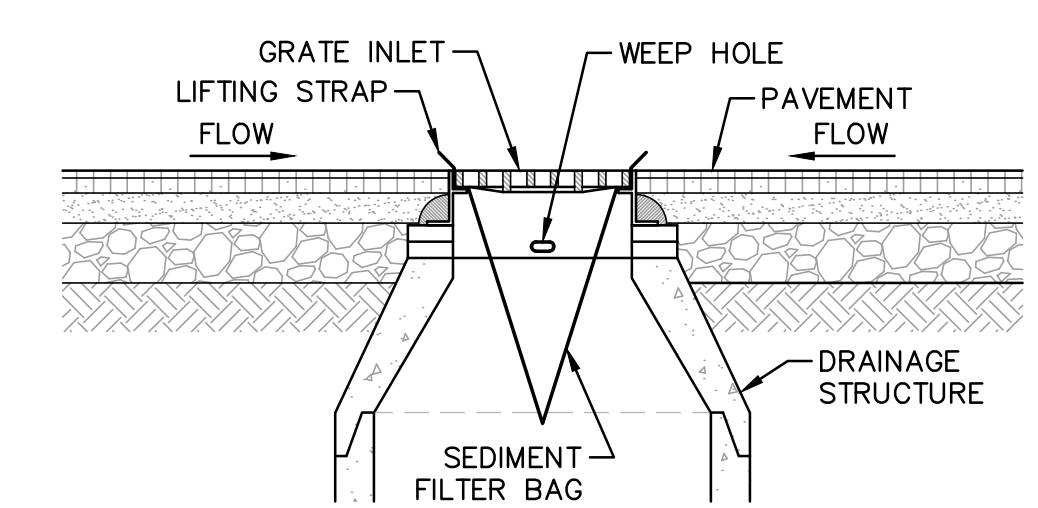


- SILT SOCK NOTES:**
- SILT SOCK SHALL BE INSTALLED BEFORE ANY EARTH REMOVAL OR EXCAVATION TAKES PLACE.
 - INSTALL SILT SOCK AROUND ALL MATERIAL STOCKPILES.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED, AND THE MATERIAL REMOVED WHEN "BULGES" DEVELOP. DO NOT DEPOSIT THE MATERIAL NEAR WETLANDS OR WATERCOURSES.



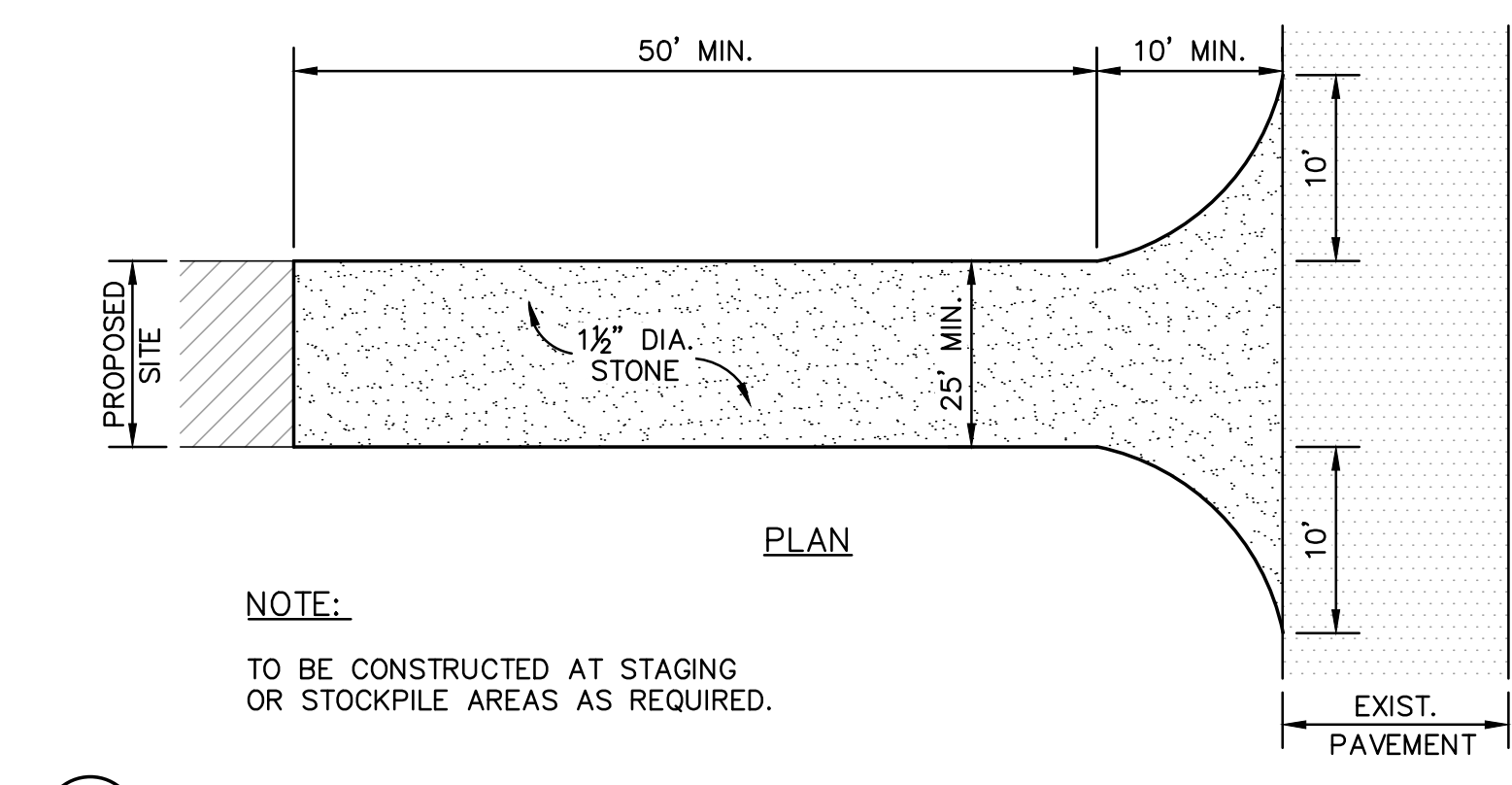
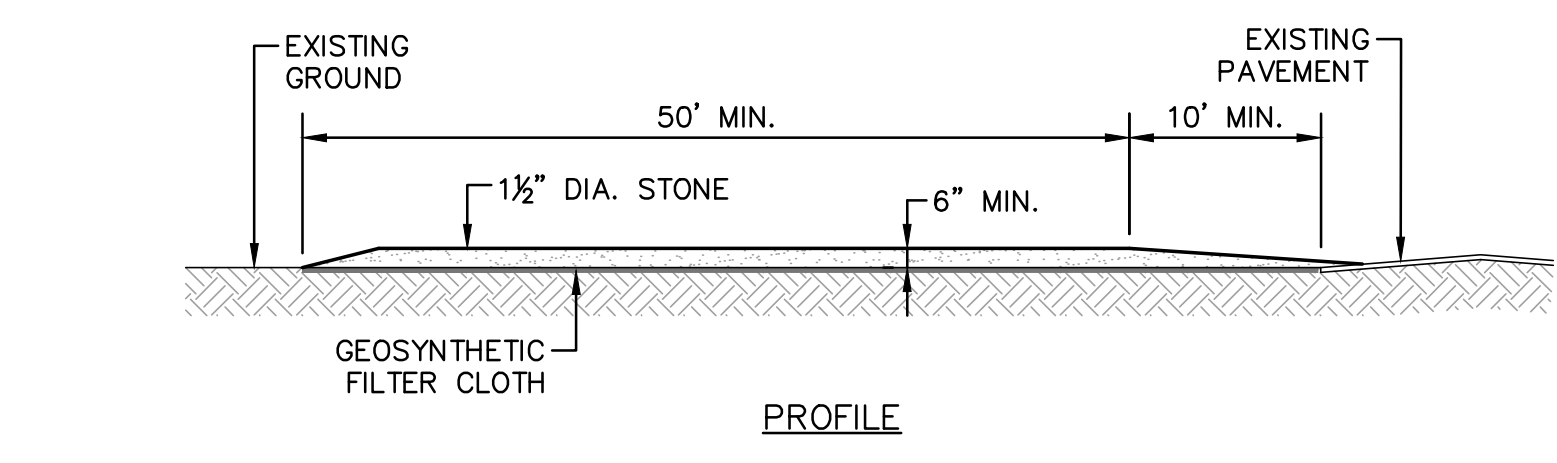
- SLOPE PROTECTION INSTALLATION NOTES:**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 - CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
 - IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
 - INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

2 SLOPE PROTECTION EROSION CONTROL MATTING DETAIL
SCALE: NONE

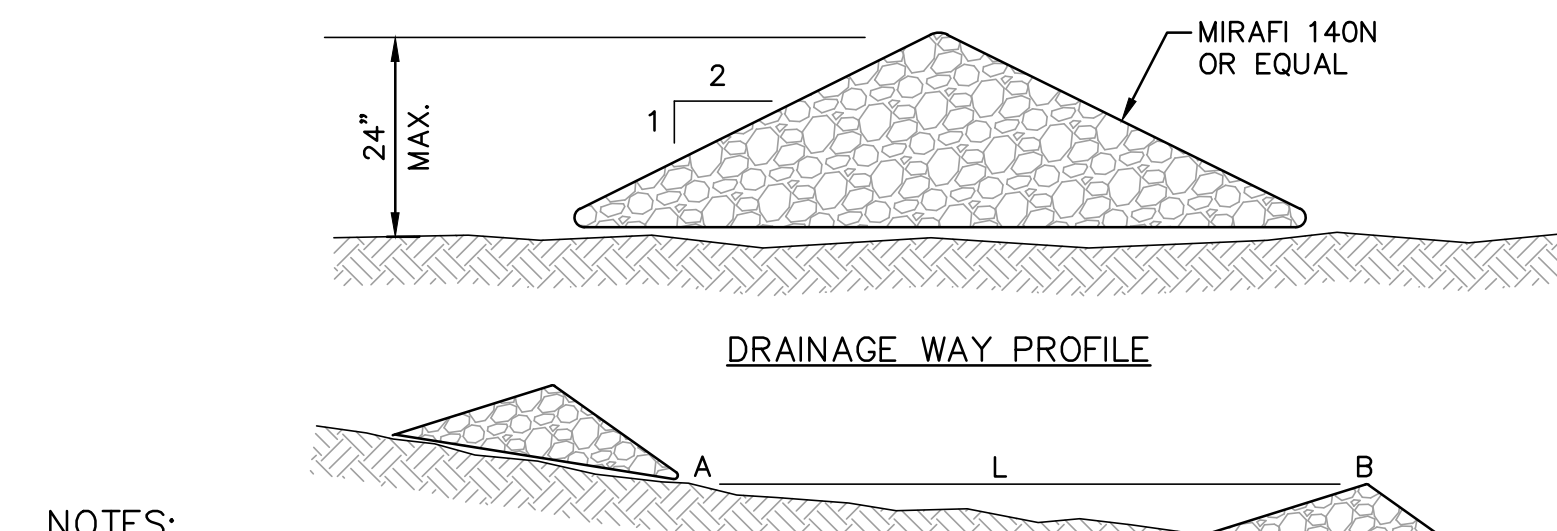
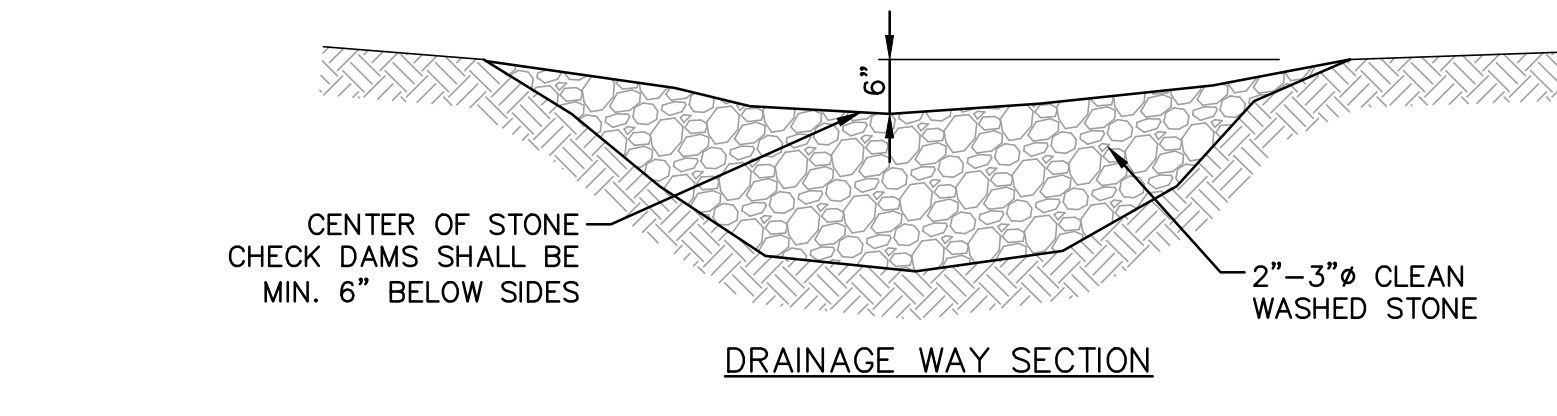


- INLET PROTECTION NOTES:**
- THE SEDIMENT FILTER BAG SHALL BE DESIGNED FOR CATCH BASIN INLET PROTECTION. FILTER FABRIC IS NOT AN ACCEPTABLE SEDIMENT FILTER BAG.
 - REMOVE DRAINAGE INLET GRATE AND PLACE SEDIMENT FILTER BAG AROUND THE FRAME, REPLACE GRATE AND SEDIMENT FILTER BAG IN POSITION OR FOLLOW MANUFACTURER'S RECOMMENDATIONS. LIFTING STRAPS SHALL BE EXPOSED AND READY FOR MAINTENANCE PROCEDURES.
 - INSPECT SEDIMENT FILTER BAG WEEKLY AND AFTER EVERY RAINFALL EVENT.
 - REPLACE, CLEAN OR REMOVE SEDIMENT FILTER BAG AS DIRECTED.

3 INLET PROTECTION DETAIL
SCALE: NONE

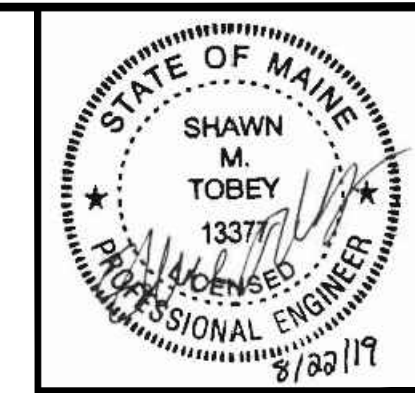


4 STABILIZED CONSTRUCTION ENTRY DETAIL
SCALE: NONE



- NOTES:**
- THE CONTRACTOR SHALL USE STONE CHECK DAMS AS NEEDED FOR TEMPORARY EROSION CONTROL DURING CONSTRUCTION. L = THE DISTANCE SUCH THAT THE ELEV. A = ELEV. B.
 - REMOVE CHECK DAMS AFTER SITE IS STABILIZED.

5 STONE CHECK DAM DETAIL (AS NEEDED)
SCALE: NONE



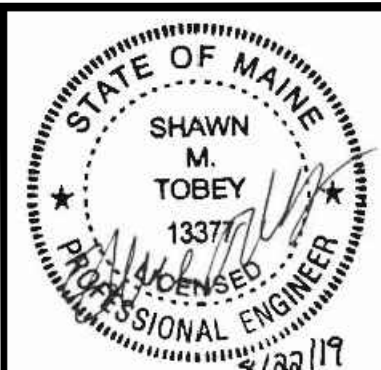
ISSUED FOR KITTERY PLANNING BOARD - PRELIMINARY PLAN	08/22/19	DATE
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REVISION DESCRIPTION		
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WRD	1	CHECKED BY
SMT	1	DRAWN BY
SMT	1	DESIGNED BY

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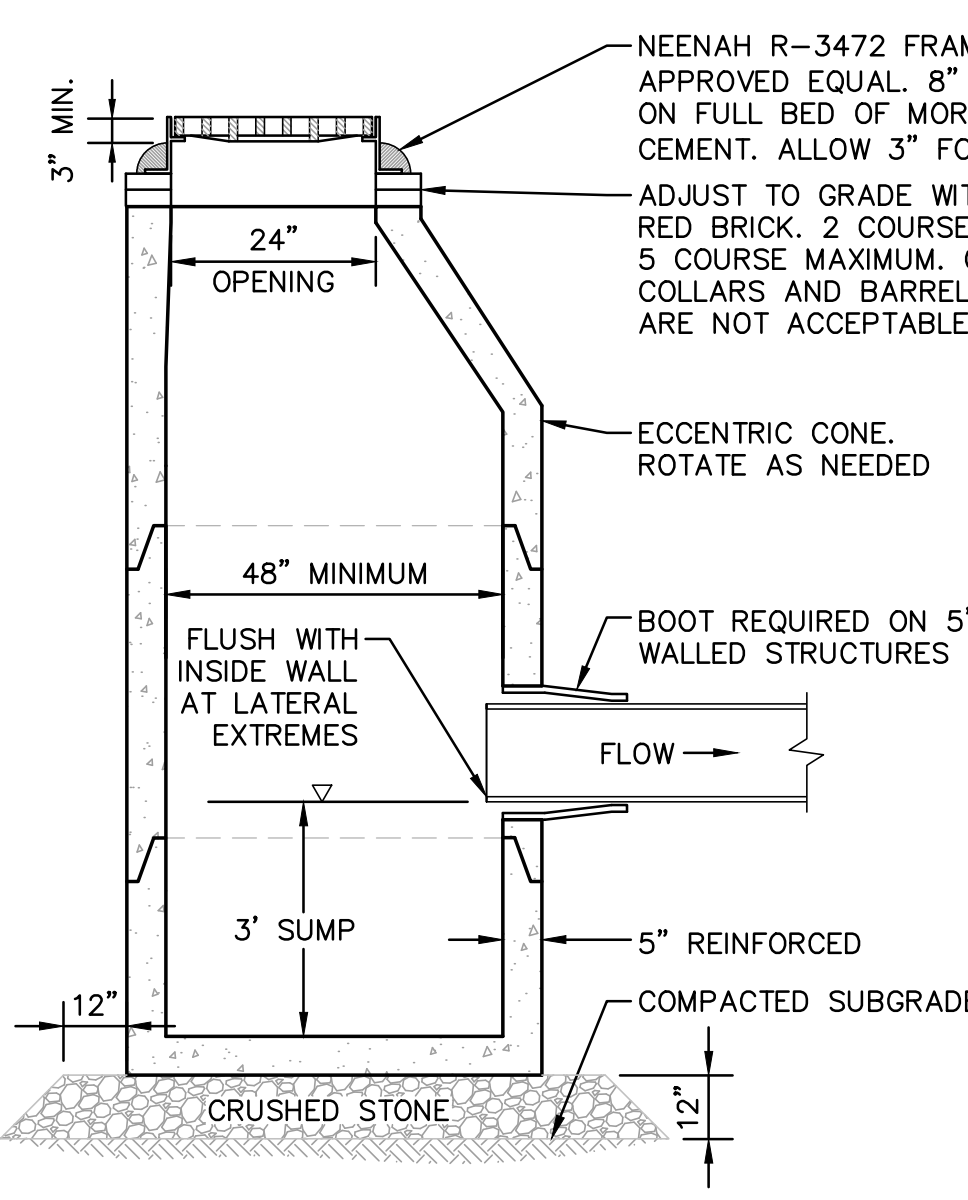
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APPLICANT: SILVER HOLDINGS, LLC
1 CITY CENTER
PORTLAND, ME 04101

PROJECT: PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT
TAX MAP LOT 3-77A
OLD POST ROAD, KITTERY, ME 03904

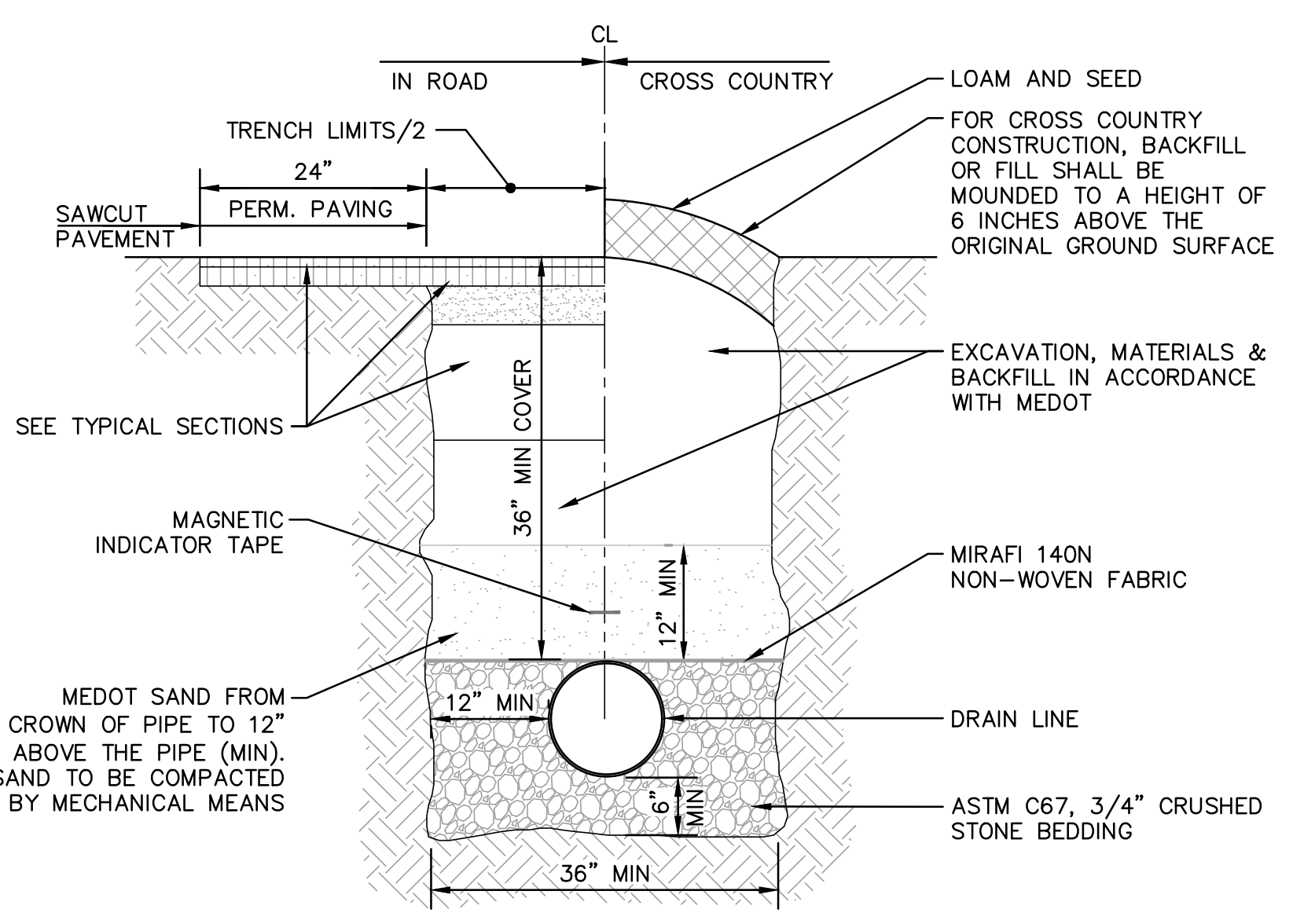


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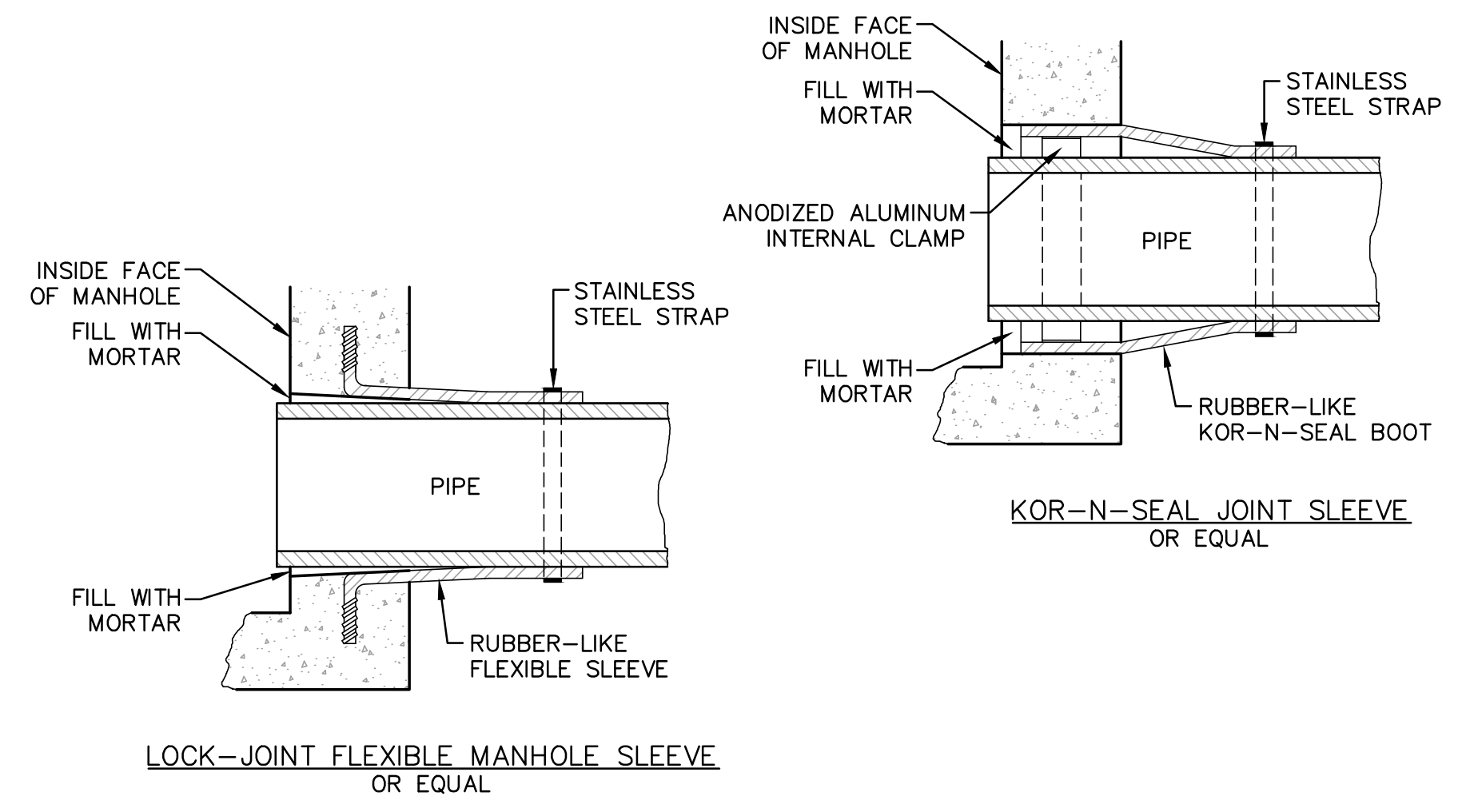


- CATCH BASIN NOTES:**
- STRUCTURE SHALL BE DESIGNED FOR H-20 LOADING.
 - CONCRETE: 4,000 PSI AFTER 28 DAYS.
 - CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ.IN. PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE IN THE CENTER OF THE WALL. STRUCTURE SHALL BE DESIGNED TO SUPPORT H-20 LOADINGS.
 - THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ.IN. PER LINEAR FOOT.
 - SEAL ALL PRECAST JOINTS WITH BITUMASTIC SEAL.
 - RISERS OF 2", 3" AND 4" CAN BE USED TO REACH DESIRED DEPTH. 12" MAXIMUM RISER HEIGHT.

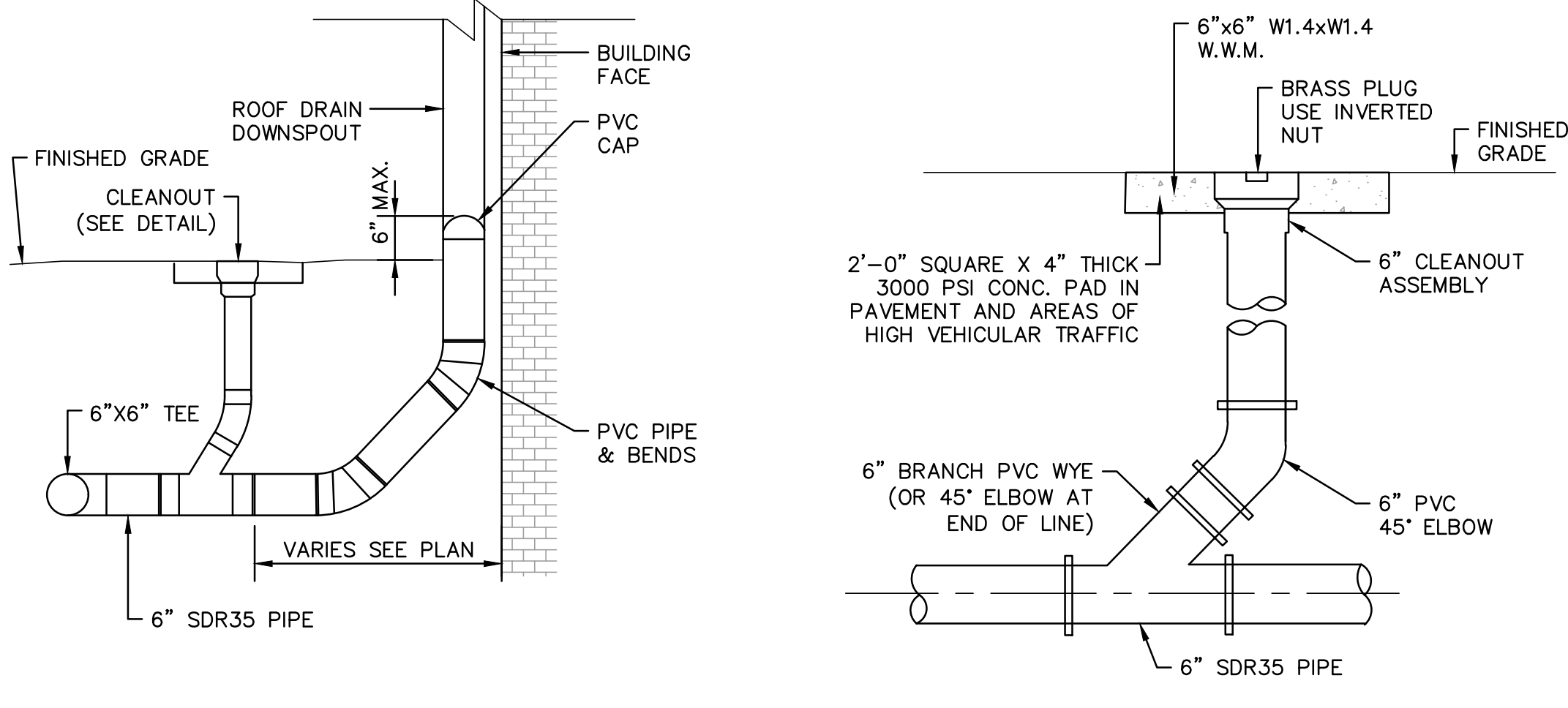
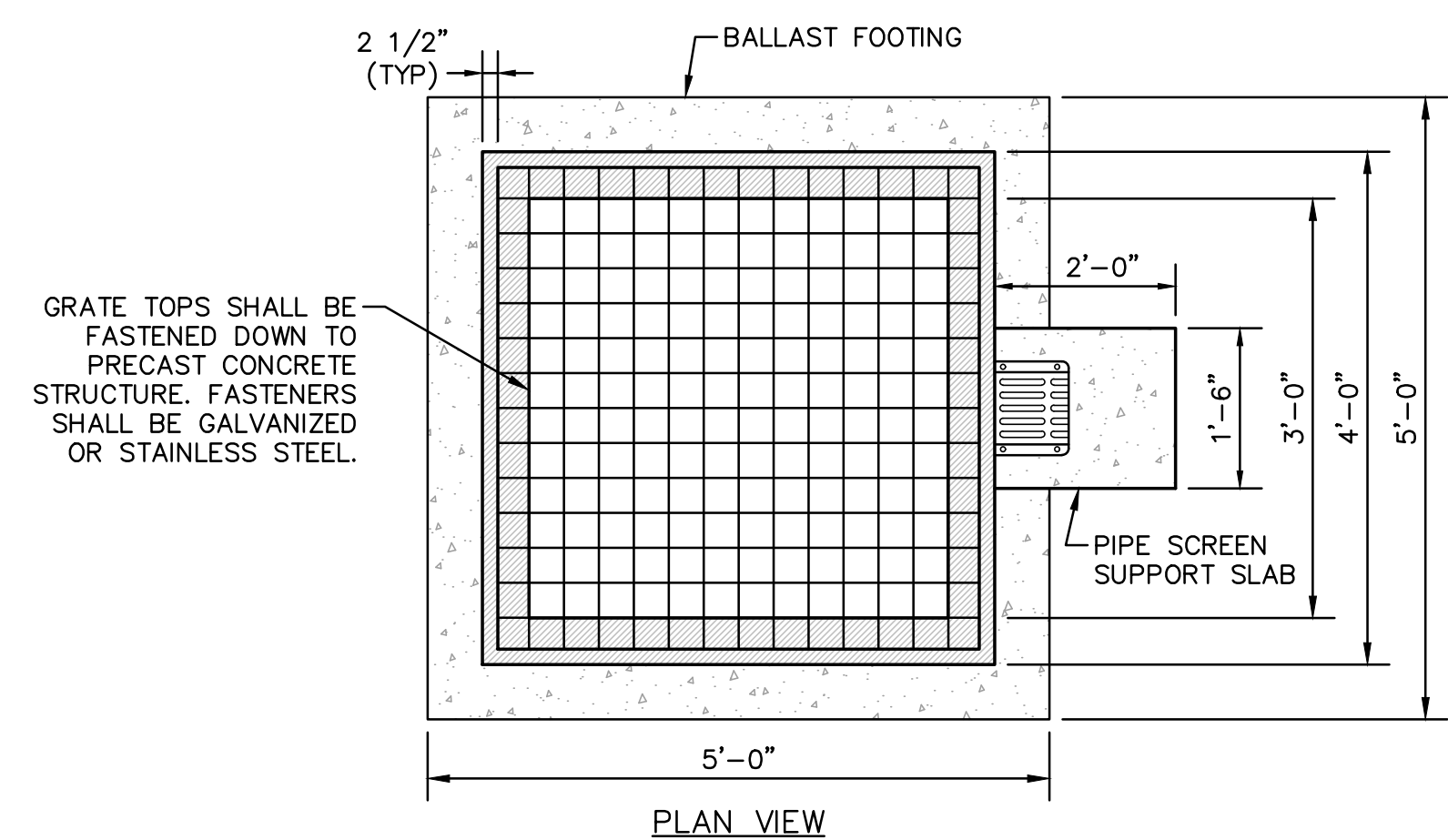
1 TYPICAL CATCH BASIN DETAIL
SCALE: NONE



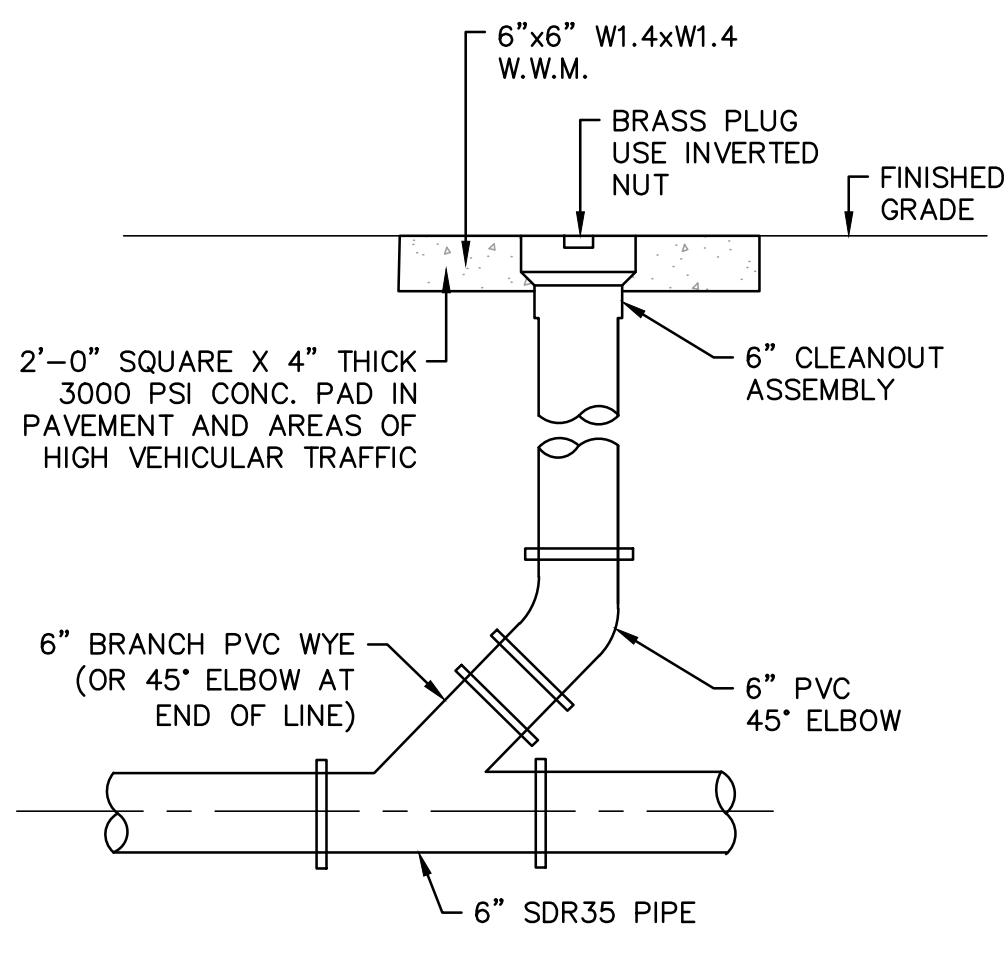
2 DRAIN TRENCH DETAIL
SCALE: NONE



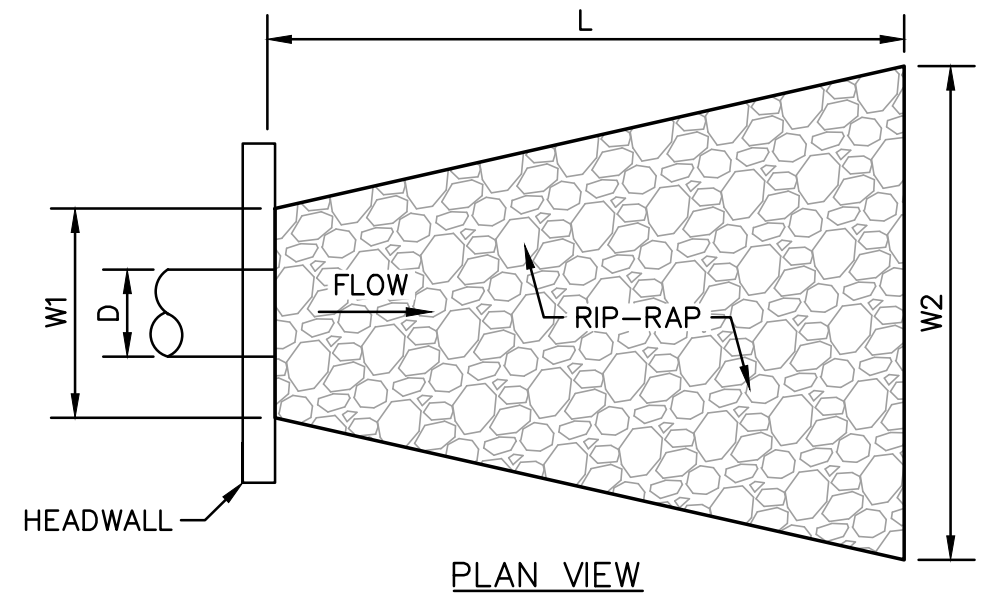
3 TYPICAL PIPE TO MANHOLE DETAILS
SCALE: NONE



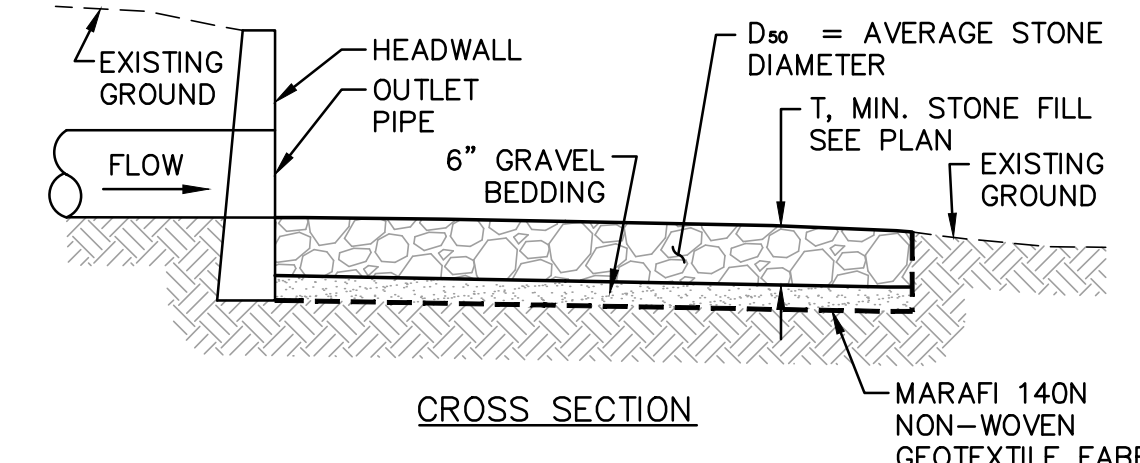
5 ROOF DRAIN DETAIL
SCALE: NONE



6 DRAIN/SEWER CLEANOUT DETAIL
SCALE: NONE



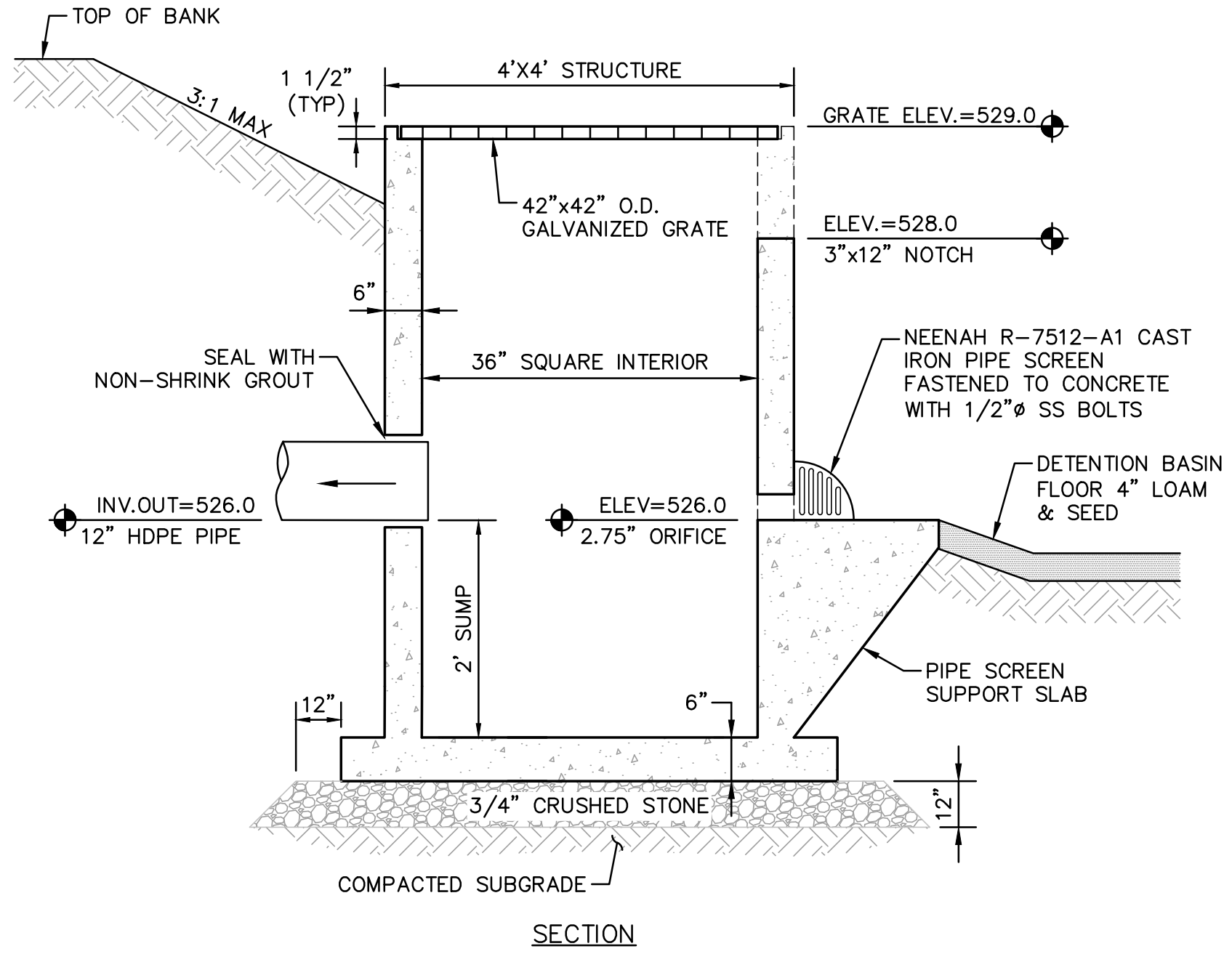
	D	W1	L	W2	T	D ₉₀
	(IN)	(FT)	(FT)	(FT)	(IN)	(IN)
HW1	6	1.75	4	3.5	12	6
HW2	6	1.75	4	3.5	12	6
HW3	6	1.75	4	3.5	12	6
HW4	12	3.5	6.5	6	12	6
HW5	12	3.5	6.5	6	12	6
HW7	15	3.75	15	10	12	6



RIP-RAP NOTE

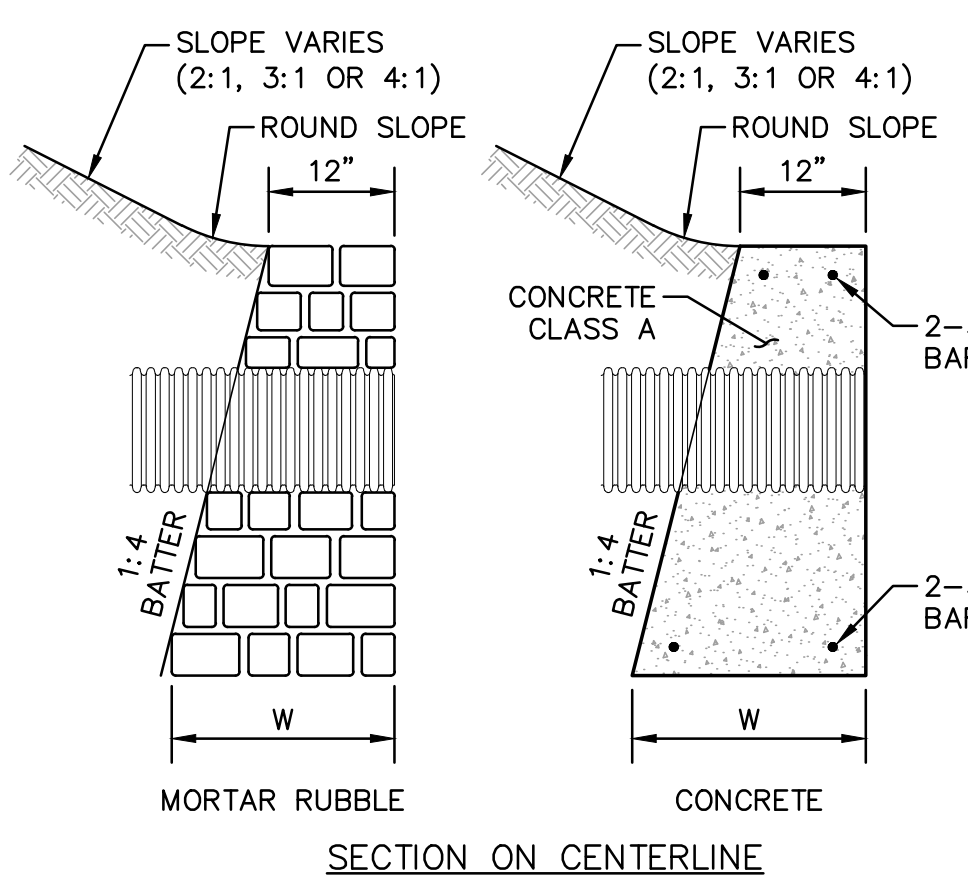
- ALL RIP-RAP SHALL BE PROTECTED FROM RECEIVING SEDIMENT RUNOFF DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL ENSURE THAT ALL RIP-RAP IS CLEAN AND FREE OF SEDIMENT AT THE COMPLETION OF THE PROJECT.

7 STONE LINED OUTLET PROTECTION DETAIL
SCALE: NONE

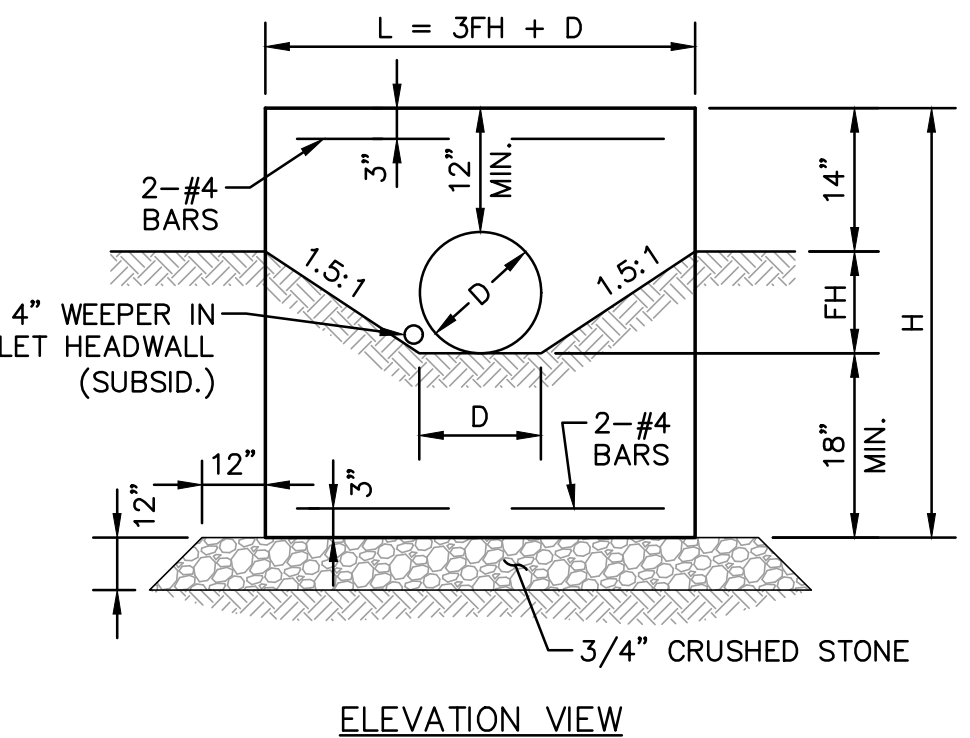


- OUTLET STRUCTURE NOTES:**
- ALL CEMENT CONCRETE TO BE 4000 PSI (MIN.).
 - GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE.
 - ALL OPENINGS SHALL BE CAST IN AS REQUIRED.
 - PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478 DESIGNATION AND H-20 LOADING.

4 OUTLET STRUCTURE AT DETENTION POND
SCALE: NONE



8 CONCRETE OR MORTAR RUBBLE HEADWALL DETAILS
SCALE: NONE



DIAMETER D INCHES	MASONRY PER FOOT OF WALL CU. YD	MASONRY PER STANDARD HEADER CU. YD	STEEL PER STANDARD HEADER LB.	LENGTH OF BARS	EXC. FOR 1' DEPTH CU. YD.	HEADER LENGTH L	HEADER HEIGHT H	FILL HEIGHT FH	WIDTH AT BOTTOM OF HEADER W
12	0.186	0.61	9	3'-2"	0.789	3'-6"	3'-6"	0'-10"	0'-10 1/2"
15	0.202	0.85	11	3-10	0.947	4-6	3-9	1-1	1-11 1/4
18	0.222	1.13	14	5-2	1.111	5-6	4-0	1-4	2-0

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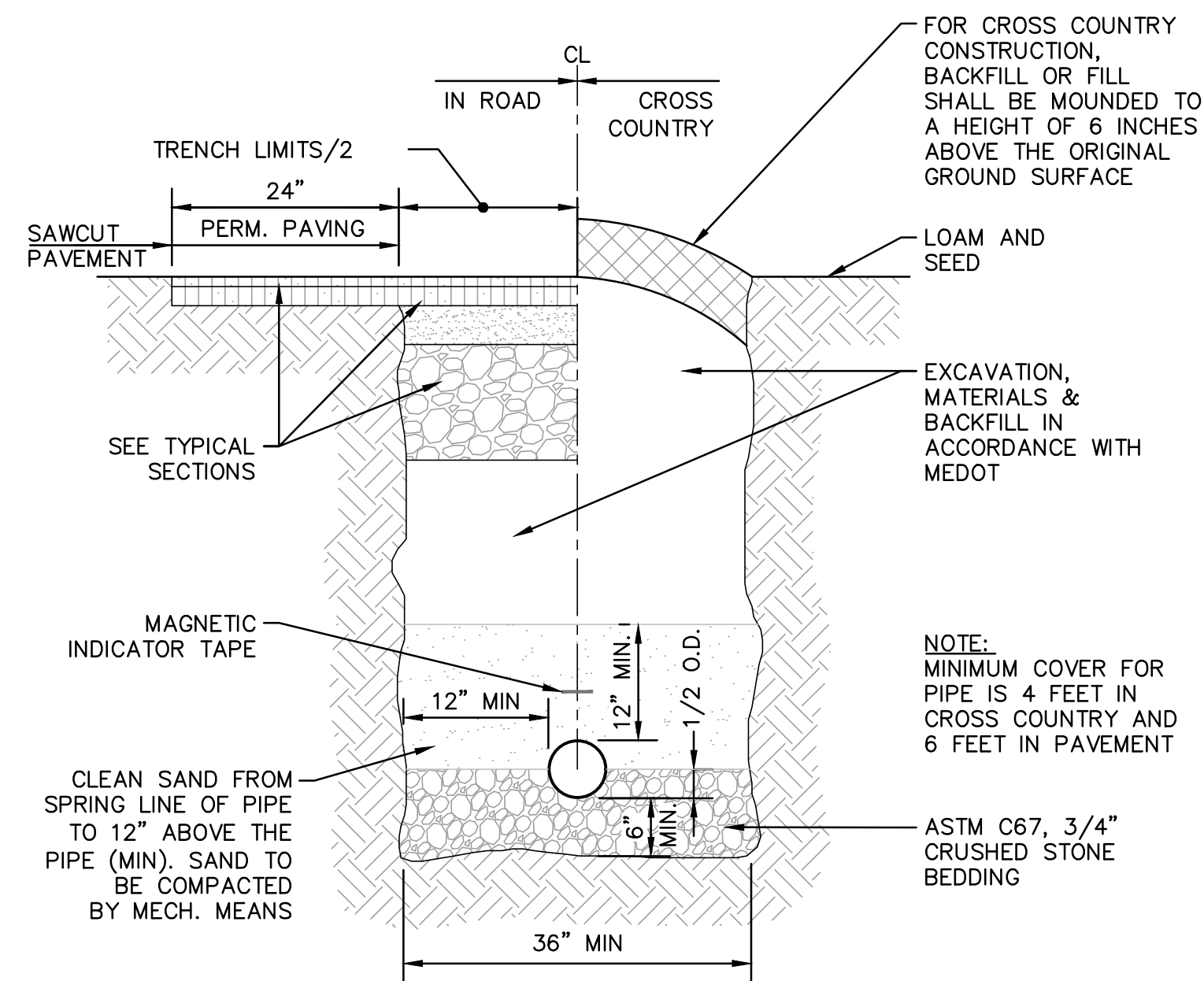
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 ORIGINAL DATE: AUGUST 2, 2019
 SCALE: AS SHOWN

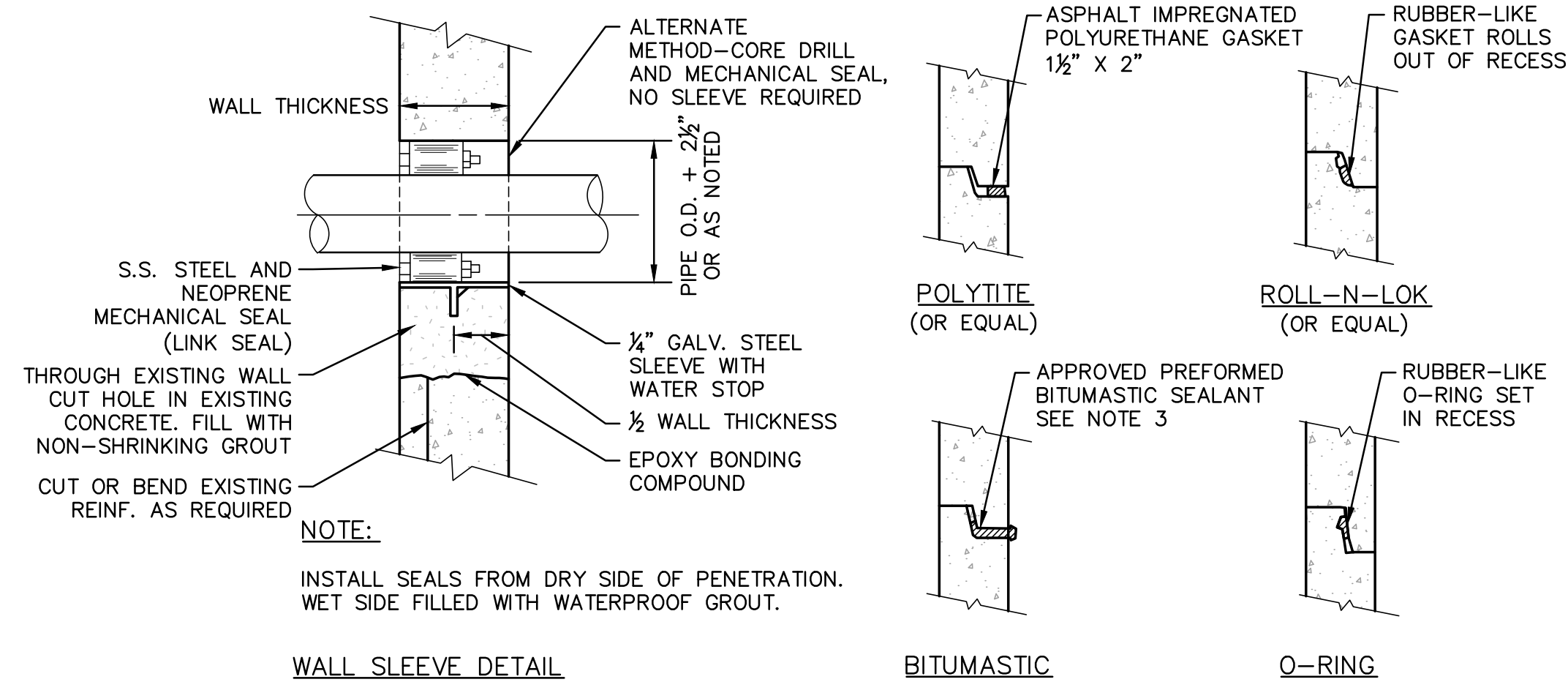
APPLICANT: SILVER HOLDINGS, LLC
 1 CITY CENTER
 PORTLAND, ME 04101

PROJECT: PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT
 TAX MAP LOT 3-77A
 OLD POST ROAD, KITTERY, ME 03904

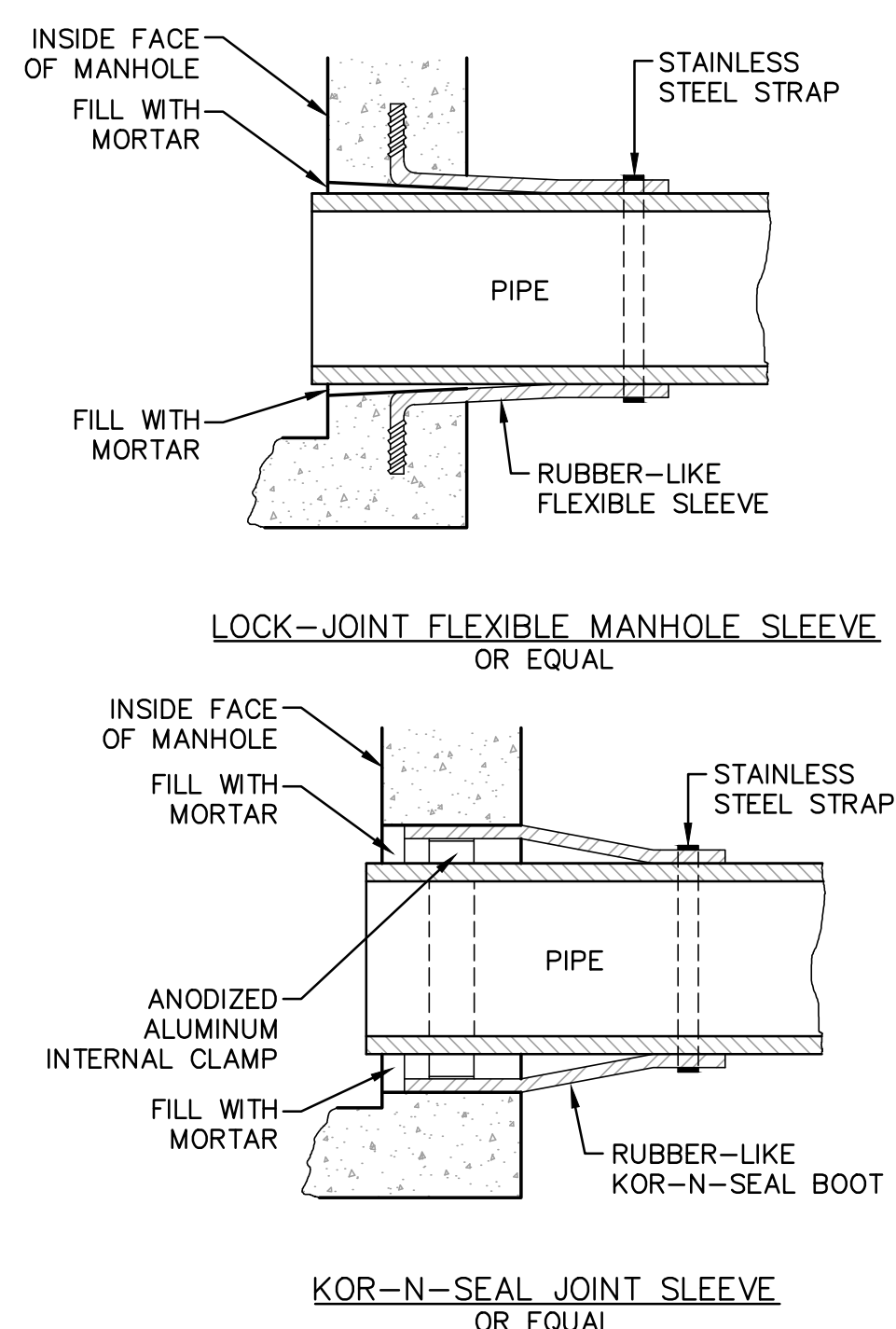
CONSTRUCTION DETAILS 2
C12
 PROJECT NO. 569501
 SHEET 12 OF 15



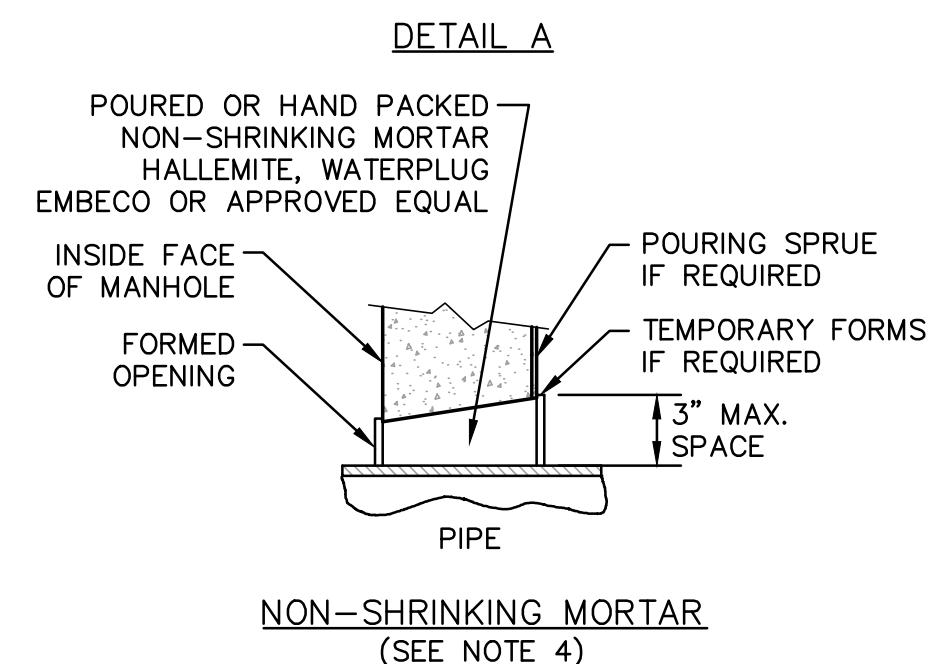
1 SEWER TRENCH DETAIL
C13 SCALE: NONE



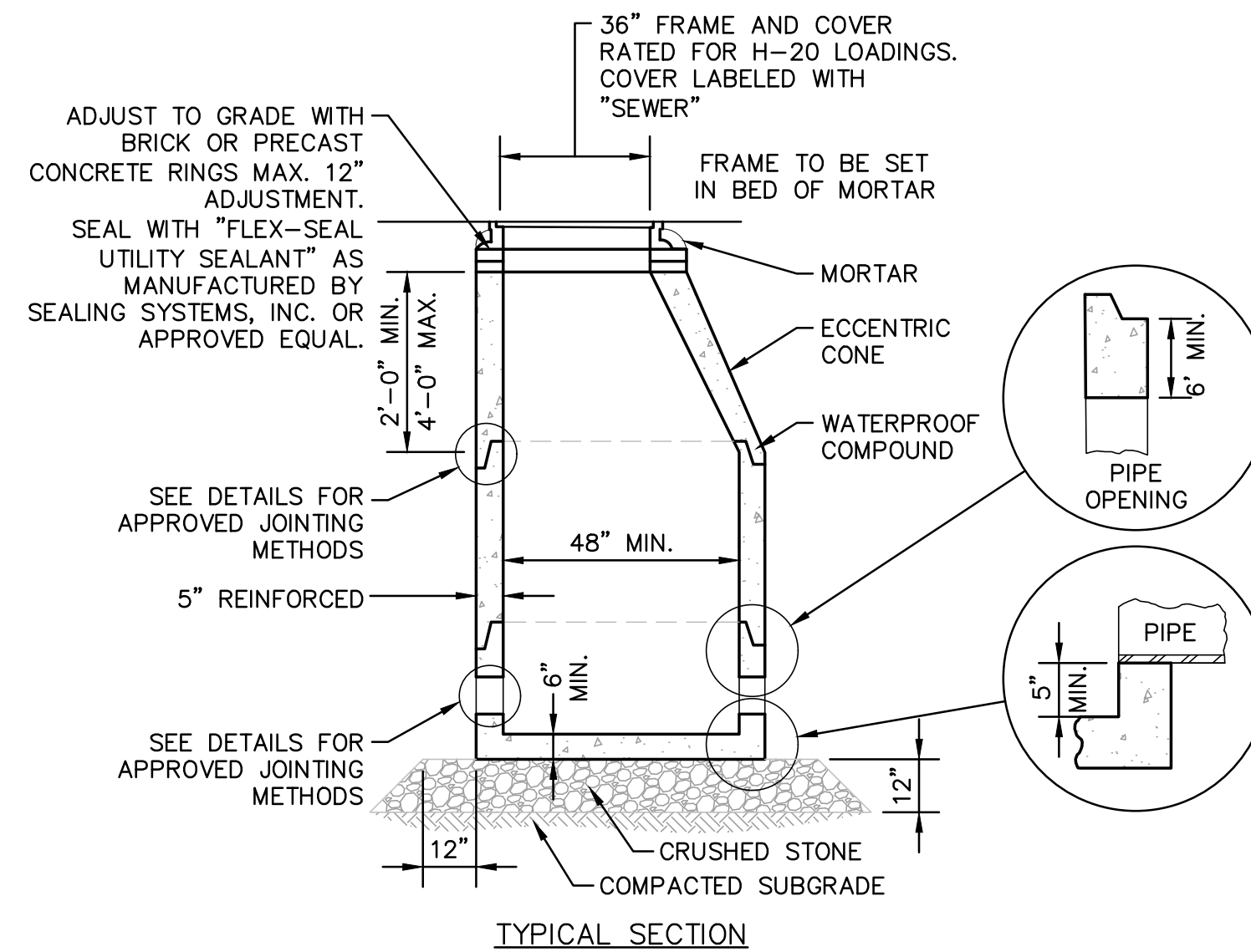
2 SEWER MANHOLE JOINT AND PIPE CONNECTION DETAILS
C13 SCALE: NONE



NOTE:
ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.



SLEEVE AND GASKET NOTES:
1. HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF A TYPE APPROVED BY THE ENGINEER, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATERTIGHTNESS UPON AN ELASTOMERIC OR MASTIC-LIKE GASKET.
2. PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE ENGINEER AND IN GENERAL, WILL DEPEND FOR WATERTIGHTNESS UPON ELASTOMERIC SEALANT.
3. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
4. NON-SHRINKING MORTAR SHALL ONLY BE USED WHERE SPECIFICALLY APPROVED BY THE ENGINEER.



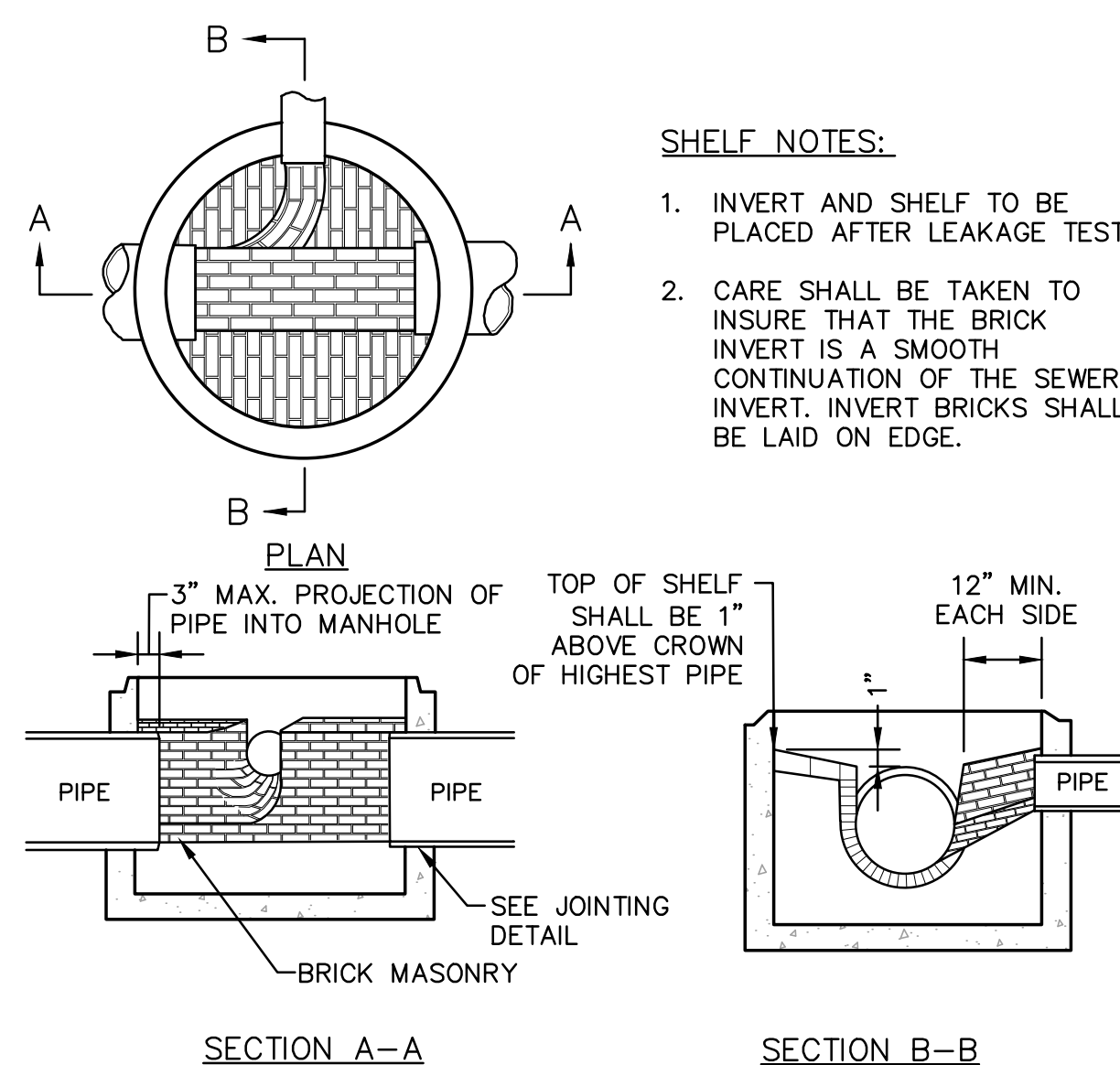
SEWER NOTES:

- MANHOLES:** THE MANHOLE, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
- INVERTS AND SHELVES:** MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
- SHALLOW MANHOLE:** IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER SHALL BE USED, WHERE INDICATED, HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H-20 LOADS. SEE DETAILS.
- RISER SECTION:** THE RISER SECTION SHALL HAVE THE EXTERIOR WRAPPED WITH WRAPIDSEAL MANHOLE ENCAPSULATION SYSTEM AS MANUFACTURED BY CCI PIPE PROTECTION PRODUCTS OR APPROVED EQUAL.

MANHOLE NOTES:

- BASE SECTION TO BE FULL WALL THICKNESS AND MONOLITHIC TO A POINT 6" ABOVE THE PIPE CROWN.
- THERE SHALL BE NO STEPS IN ANY OF THE SEWER MANHOLES

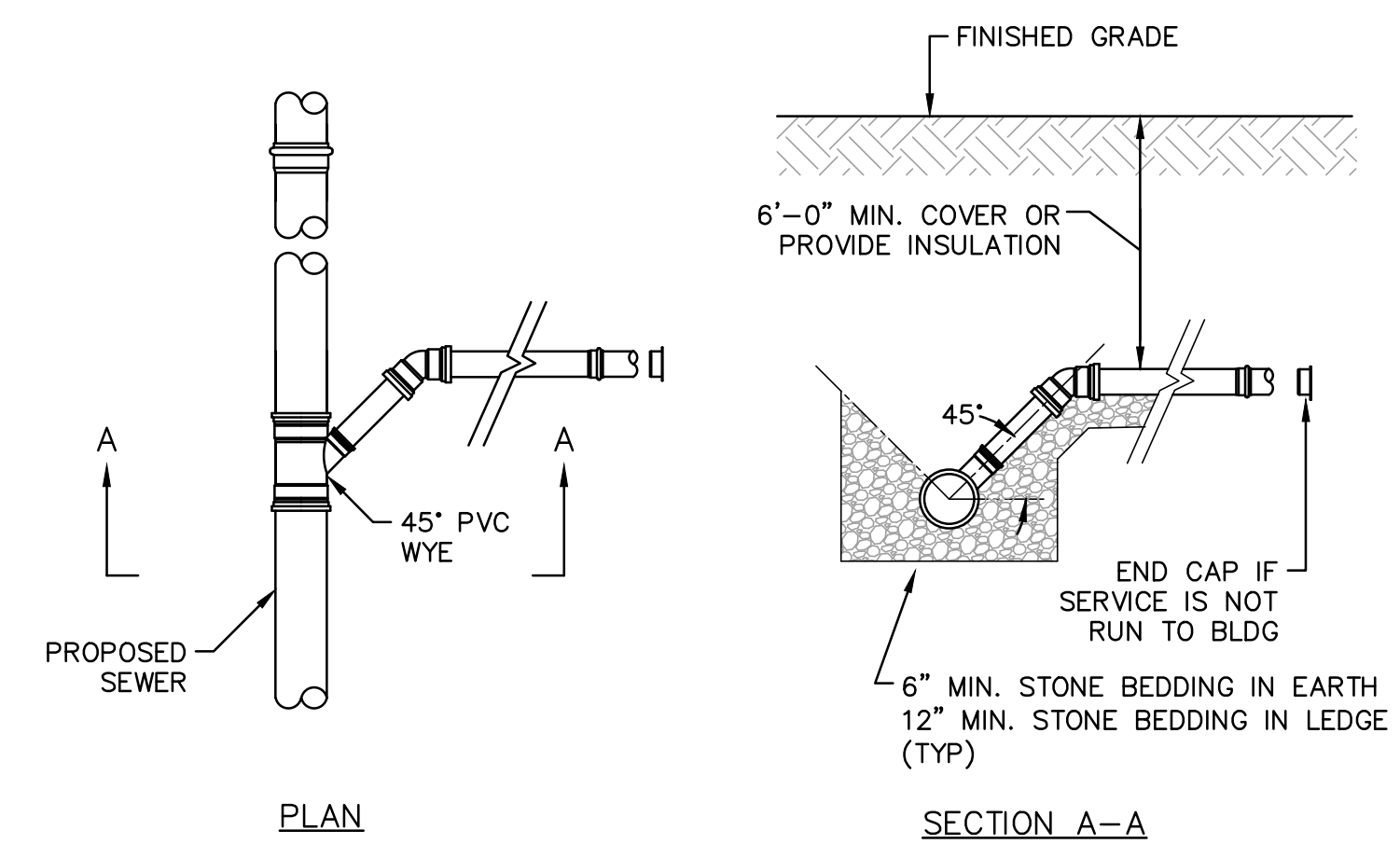
4 STANDARD SANITARY SEWER BRICK INVERT DETAILS
C13 SCALE: NONE



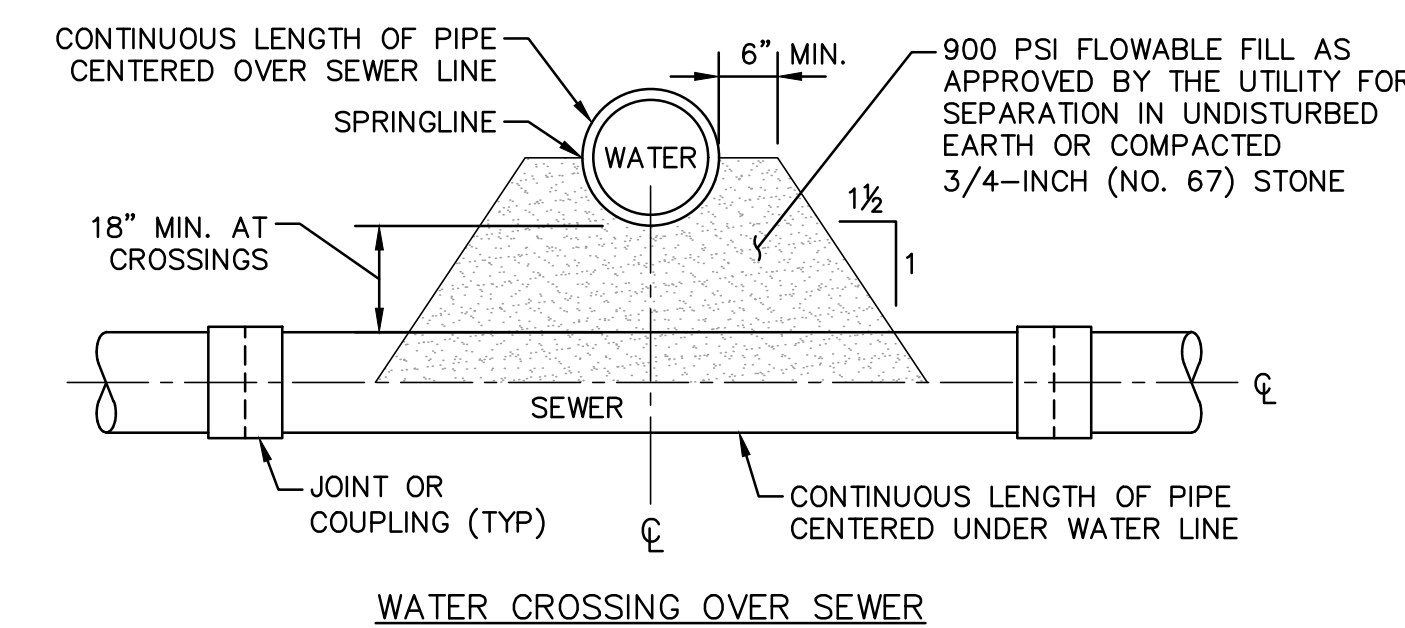
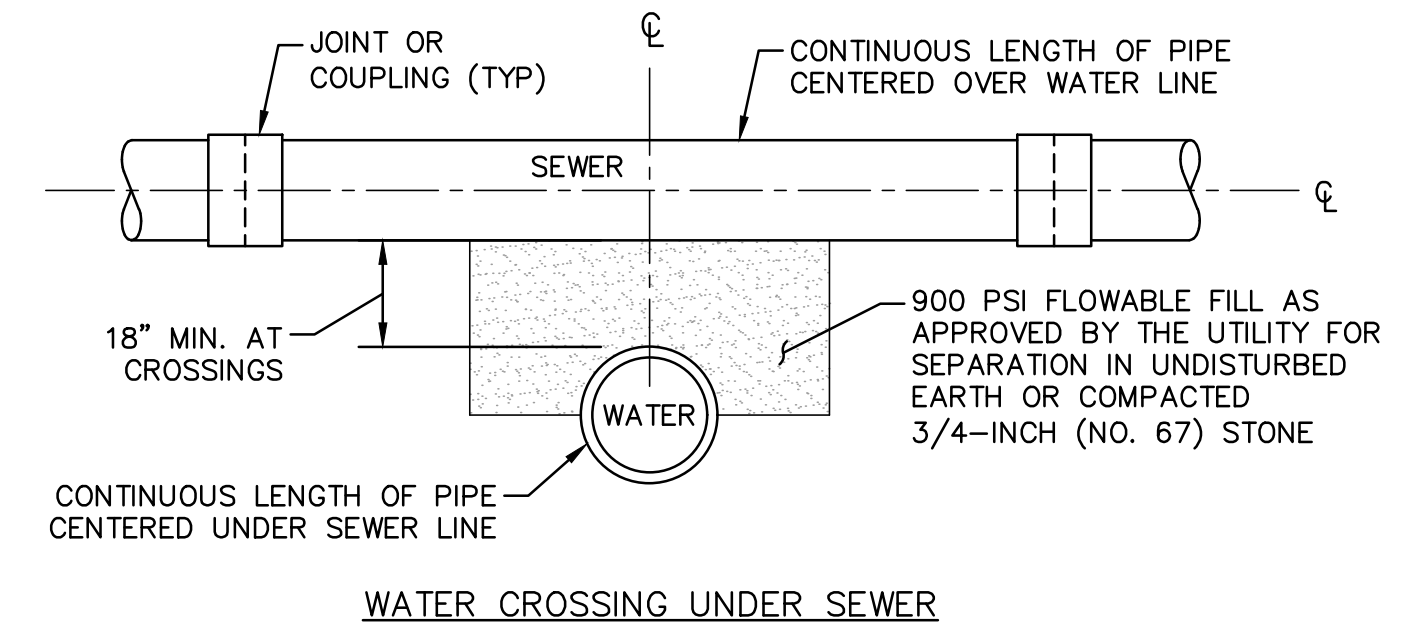
SHELF NOTES:

- INVERT AND SHELF TO BE PLACED AFTER LEAKAGE TEST
- CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. INVERT BRICKS SHALL BE LAID ON EDGE.

5 STANDARD SANITARY SEWER BRICK INVERT DETAILS
C13 SCALE: NONE



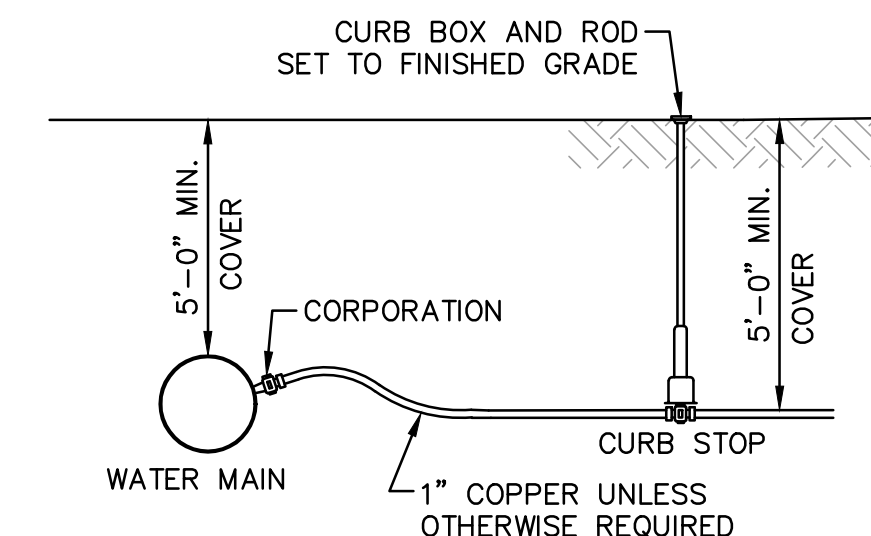
6 TYPICAL SEWER CONNECTION DETAIL
C13 SCALE: NONE



CROSSING NOTES:

- SEE PLAN AND PROFILE FOR CROSSING LOCATIONS.
- IF A CONTINUOUS LENGTH OF PIPE CANNOT BE CENTERED AT THE CROSSING OR IF 18" VERTICAL SEPARATION CANNOT BE ACHIEVED, THE LOWER PIPE SHALL BE INCASED IN CONCRETE 10'-0" IN EACH DIRECTION (SEE DETAIL). THE CONCRETE IS SUBSIDIARY TO THE PIPE INSTALLATION. CONTACT ENGINEER FOR DIRECTION BEFORE PROCEEDING IF THIS SITUATION IS ENCOUNTERED.

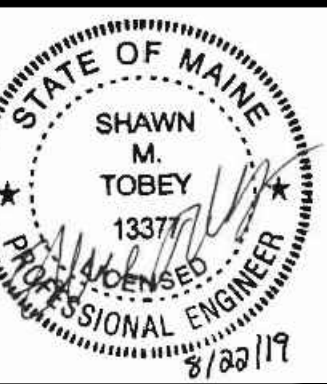
7 WATER/SEWER PIPE CROSSING DETAIL
C13 SCALE: NONE



SERVICE CONNECTION NOTES:

- CORPORATIONS SHALL BE TAPPED DIRECTLY TO THE MAIN IN SIZES UP TO 1 1/2\"/>

8 WATER SERVICE CONNECTION DETAIL
C13 SCALE: NONE



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ISSUED FOR COORDINATION	08/02/19	DATE
REVISION DESCRIPTION		
2	1	REV.

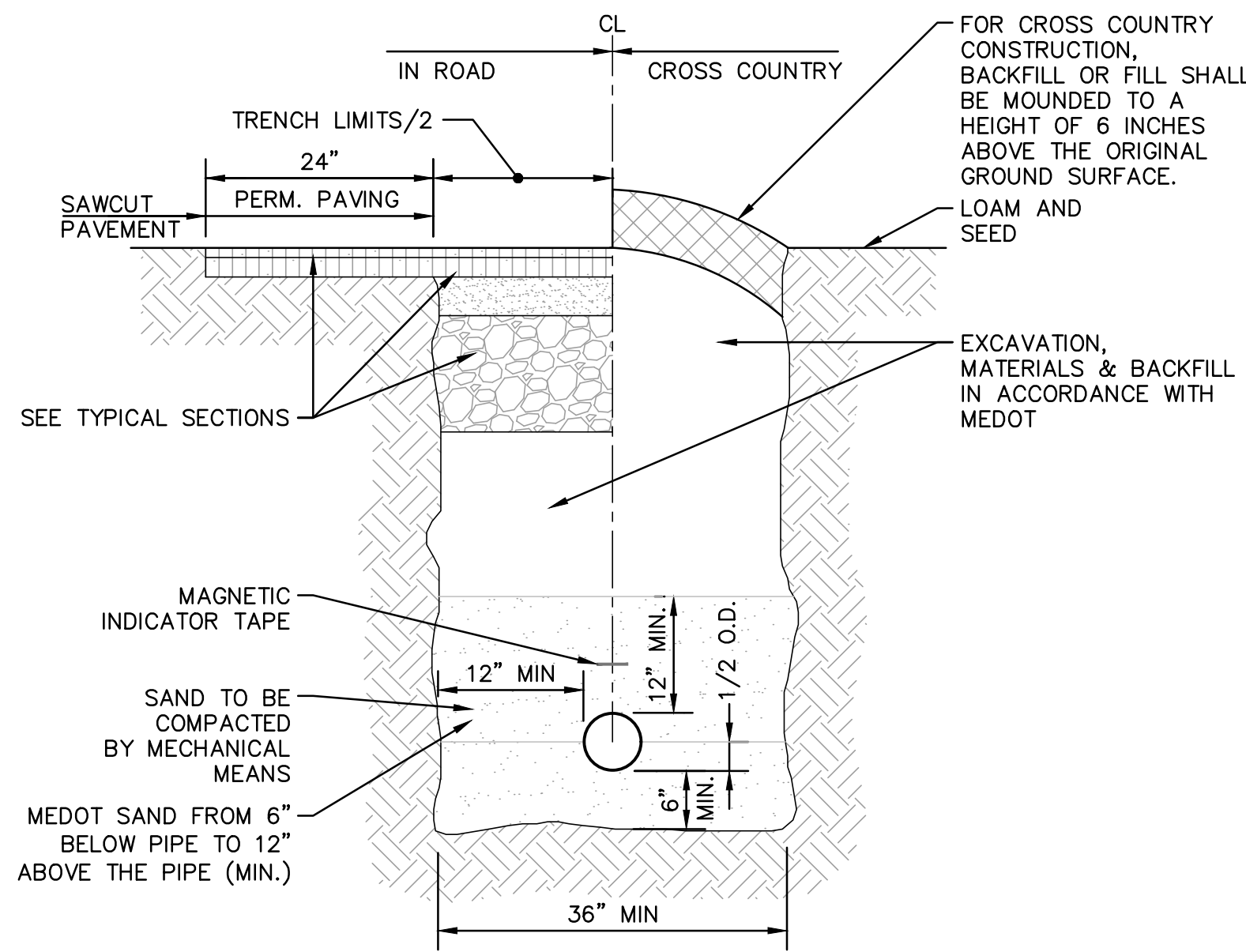
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APPLICANT: SILVER HOLDINGS, LLC
 1 CITY CENTER
 PORTLAND, ME 04101

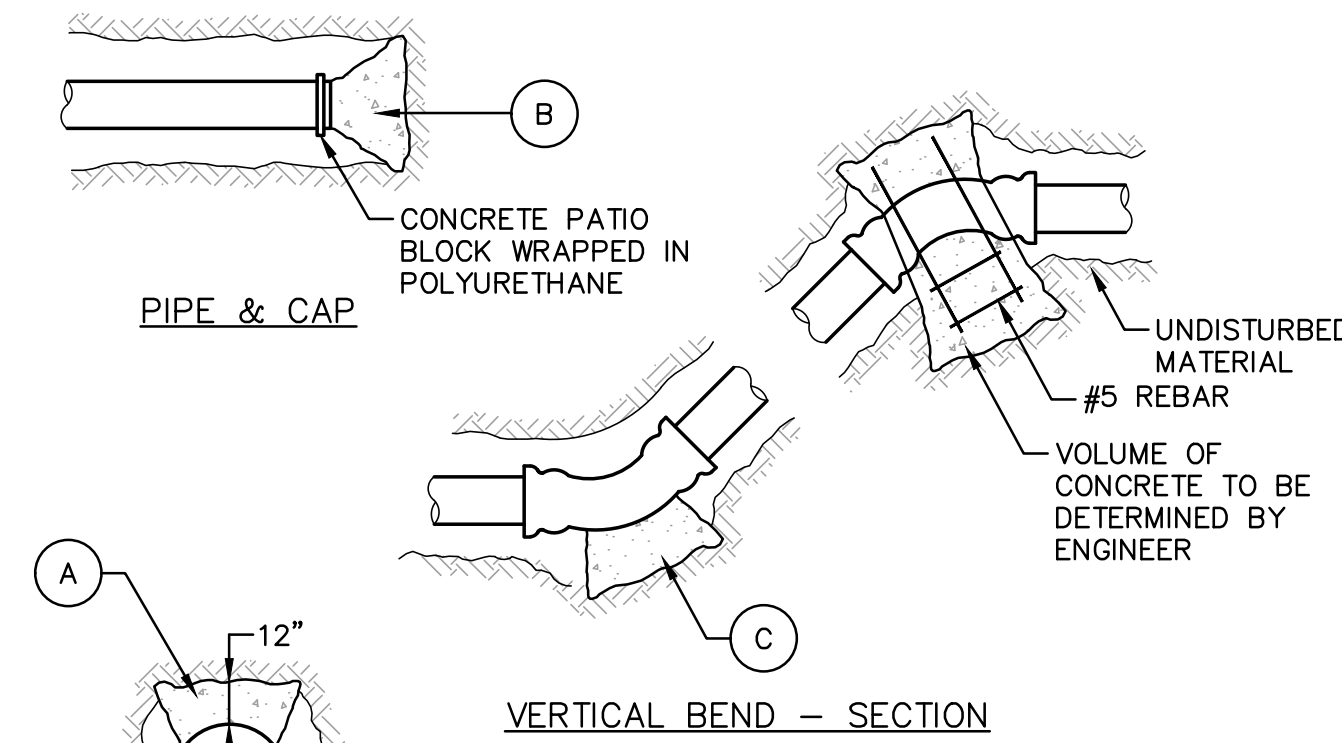
PROJECT: PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT
 TAX MAP LOT 3-77A
 OLD POST ROAD, KITTERY, ME 03904



WATERLINE TRENCH NOTES:

- APPROVED MATERIAL: SHALL BE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOPSOIL, CLUMPS MORE THAN 3" DIA., ALL EXCAVATED LEDGE ROCK, STUMPS OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
- SEWER AND WATER PIPING RUNNING APPROXIMATELY PARALLEL MUST BE SEPARATED BY A HORIZONTAL DISTANCE OF TEN FEET MINIMUM.
- WATER MAINS ARE TO HAVE A MINIMUM COVER OF 5'-0" FT.

1 WATER LINE TRENCH DETAIL
SCALE: NONE



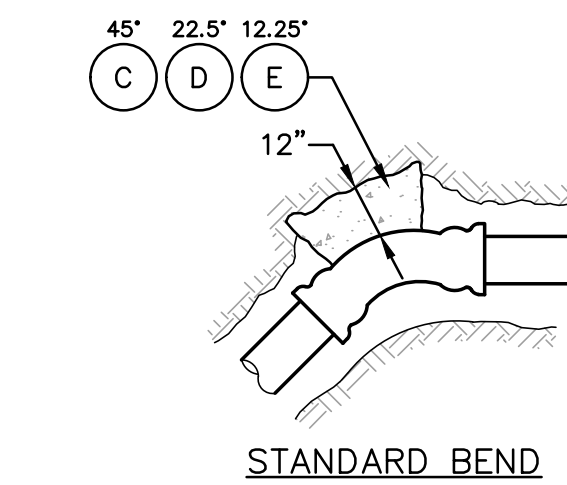
THRUST BLOCK SCHEDULE
SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL

REACTION TYPE	PIPE SIZE				
	1"-4"	6"	8"	10"	12"
(A)	0.89	2.19	3.92	5.57	8.62
(B)	0.65	1.55	2.76	4.19	6.09
(C)	0.48	1.19	2.12	3.01	4.66
(D)	0.25	0.60	1.08	1.54	2.37
(E)	0.13	0.30	0.54	0.77	1.19

OTHER TEST PRESSURES FOR THE ABOVE REACTIONS

TEST PRESSURE TO BE 200 PSI MINIMUM AT LOW END OF THE TEST SECTION.

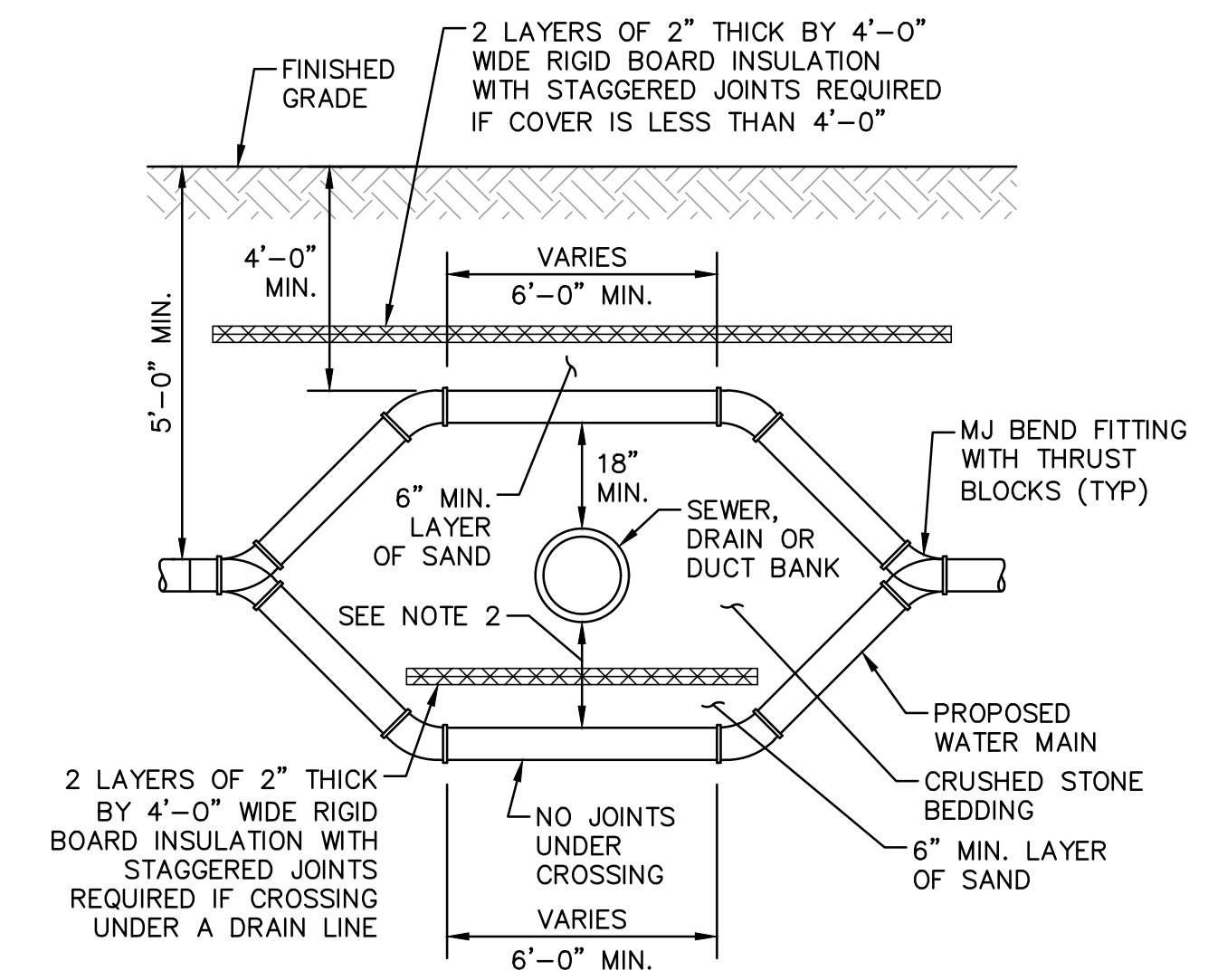
SQUARE FEET OF CONCRETE THRUST BLOCKING FOR OTHER TEST PRESSURES IS DIRECTLY PROPORTIONAL TO THE ABOVE TABLE.



2 WATER LINE THRUST BLOCK DETAILS
SCALE: NONE

THRUST BLOCK NOTES:

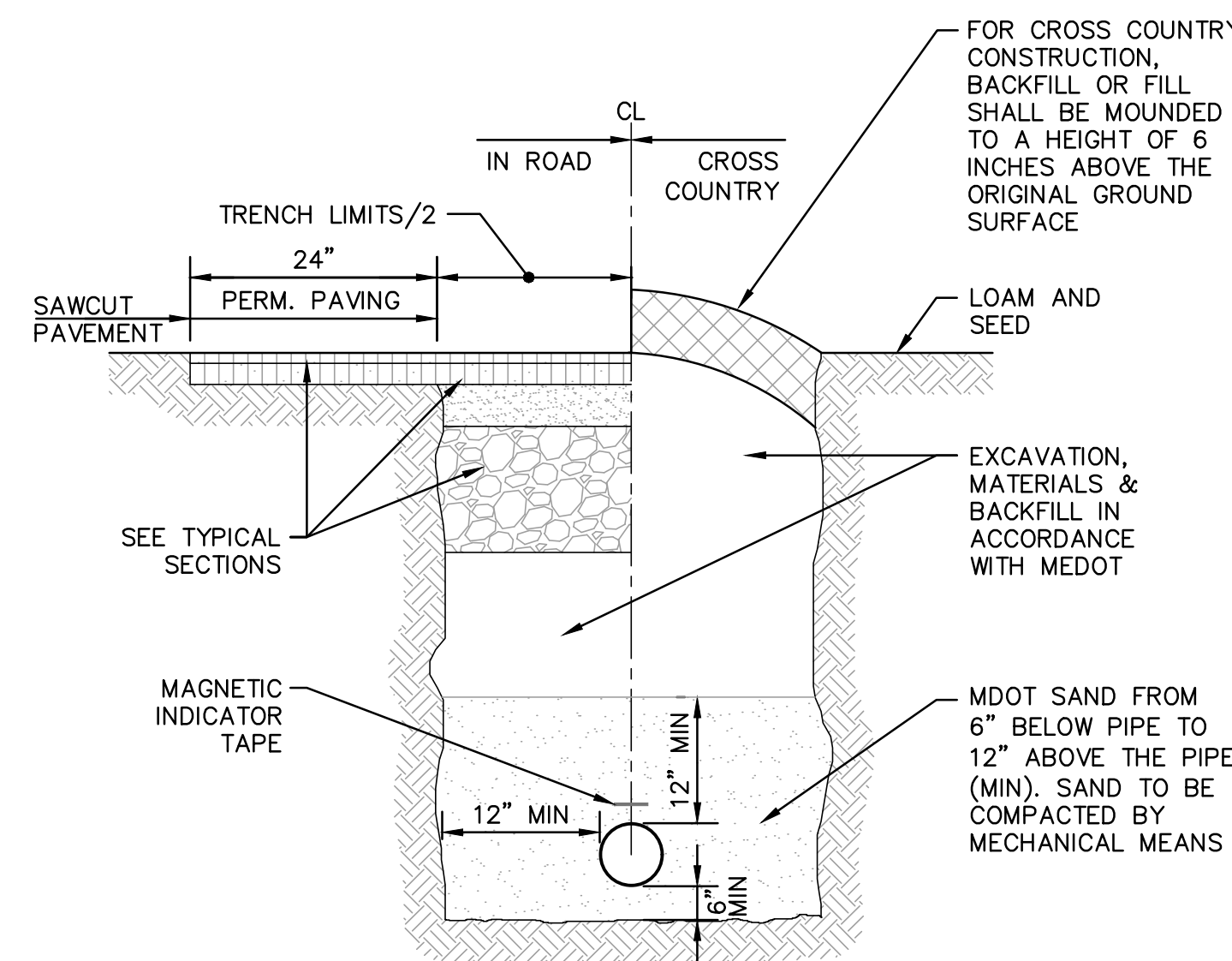
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL. WHERE TRENCH HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
- ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
- PLACE CONCRETE PATIO BLOCKS IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCK.
- REQUIREMENTS OF THE ABOVE TABLE PRESUME MINIMUM SOIL BEARING OF 1 TON PER SQUARE FOOT AND MAY BE VARIED BY THE ENGINEER TO MEET OTHER CONDITIONS ENCOUNTERED.
- RETAINER GLANDS ARE REQUIRED FOR ALL MECHANICAL JOINTS. THESE GLANDS DO NOT REDUCE THE REQUIREMENTS FOR THRUST RESTRAINT.
- ALL FITTINGS SHALL BE WRAPPED IN POLYETHYLENE OR BUILDING PAPER PRIOR TO INSTALLATION OF CONCRETE RESTRAINT.
- THREADED RODS SHALL BE ANSI A242 FYSO PIPE RESTRAINT NUTS TO MATCH AIAW C111. THREADED RODS AND NUTS TO BE FIELD COATED WITH BITUMINOUS PAINT.
- THRUST RESTRAINT IS REQUIRED FOR ALL TEES, BENDS, REDUCERS, CAPS PLUGS, OR CROSSES.
- INSTALL LIFT HOOKS INTO THRUST BLOCKS AT END CAPS AND PLUGS.
- ALL WATERLINE CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE KITTERY WATER DISTRICT SPECIFICATIONS



CROSSING NOTES:

- SEE PLAN AND PROFILE FOR CROSSING LOCATIONS.
- DROP WATER LINE BELOW UTILITY CONFLICT WITH 4 MJ BEND FITTINGS.
- VERTICAL SEPARATION BETWEEN WATER LINES, SEWER LINES AND ALL OTHER UTILITIES SHALL BE A MINIMUM OF 18".
- COORDINATE WITH DETAIL 7/C13.

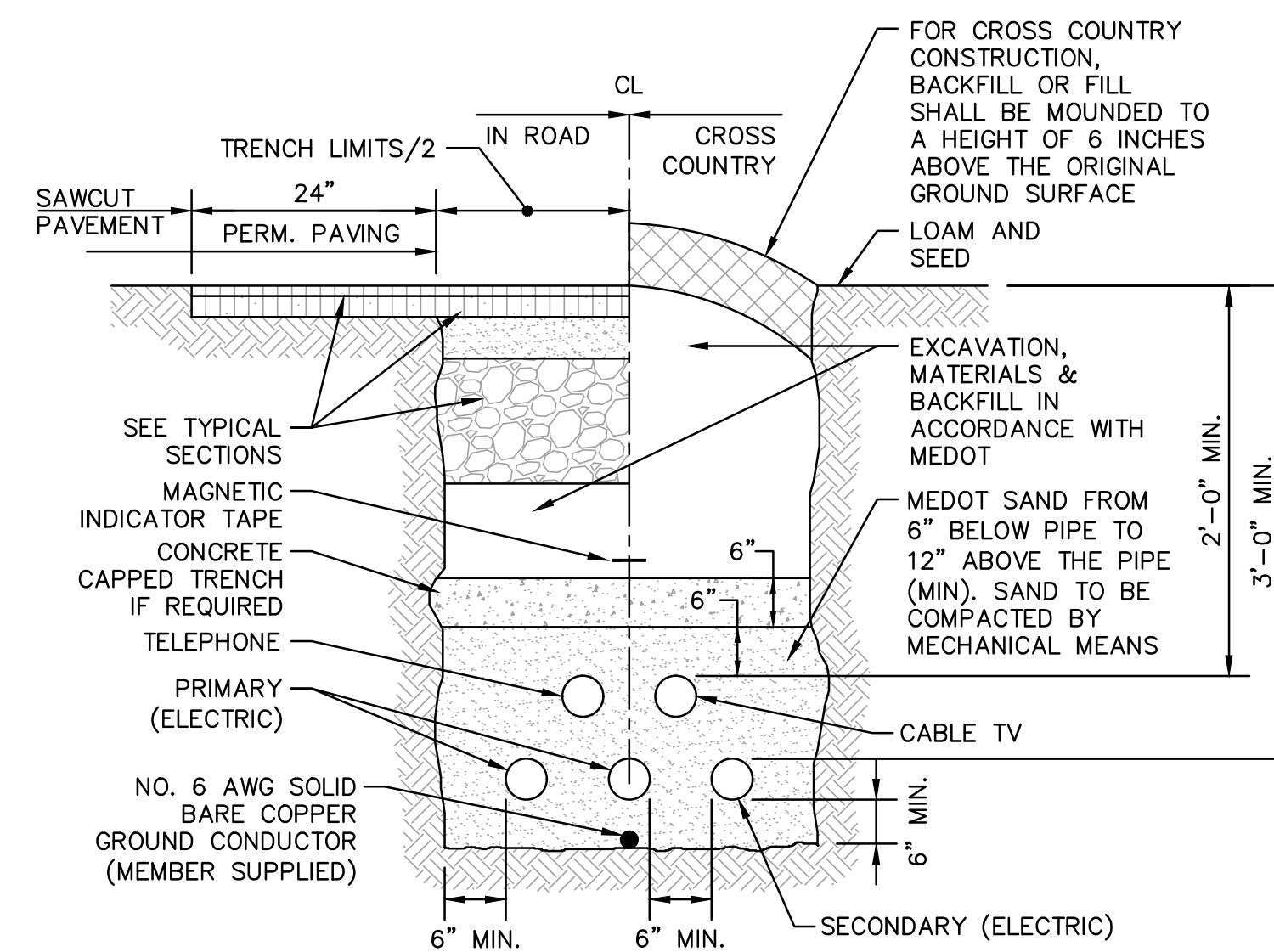
3 WATER UTILITY CONFLICT CROSSING DETAIL
SCALE: NONE



TRENCH NOTES:

- ELECTRICAL CONDUIT SHALL BE SCHEDULE 40 PVC AND SHALL CONFORM TO THE APPLICABLE SECTIONS OF NEMA TC-2-1990 AND BE UL LISTED.
- ALL PVC CONDUIT JOINTS SHALL BE CEMENTED.
- A SUITABLE PULL CABLE, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE ELECTRICAL CONDUIT.
- COORDINATE SIZE OF CONDUIT WITH OWNER.
- DEPTH OF CONDUIT SHALL BE 36" TO INVERT.

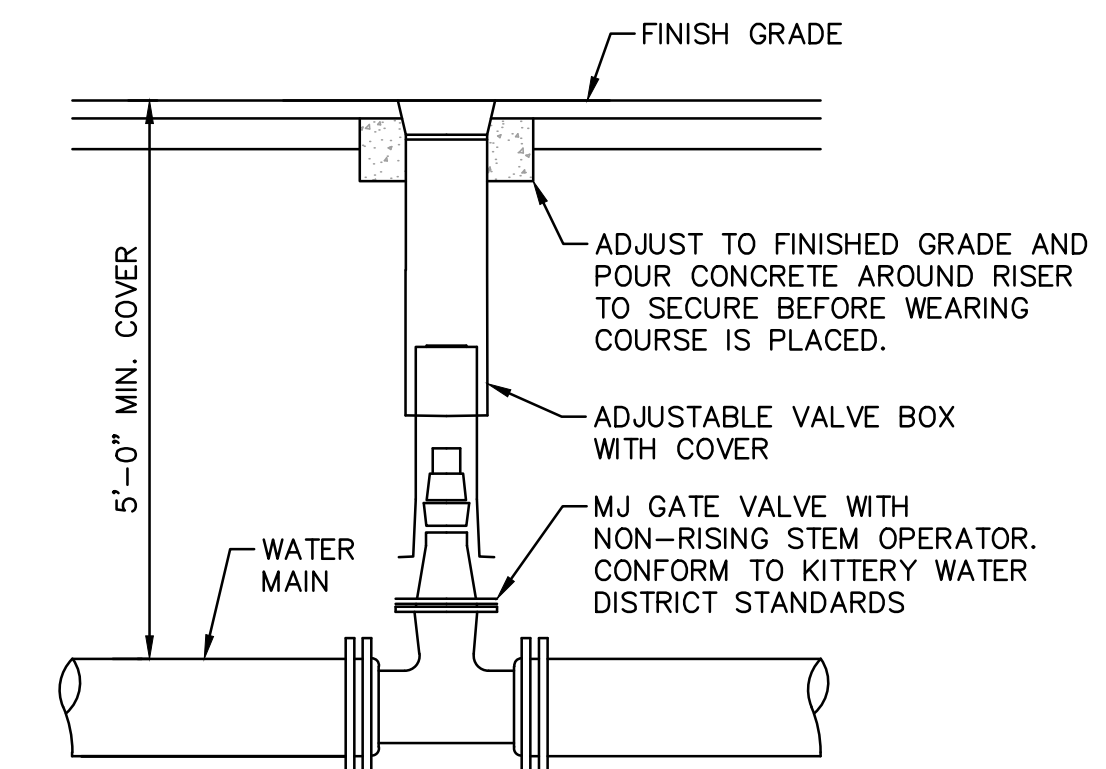
4 ELECTRICAL/GAS TRENCH DETAIL
SCALE: NONE



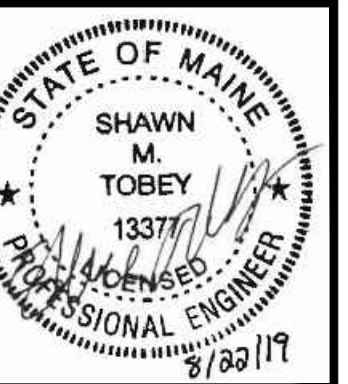
TRENCH NOTES:

- COORDINATE TRENCH DETAIL WITH ALL UTILITY OWNERS.
- ELECTRICAL CONDUIT SHALL BE SCHEDULE 40 PVC
- ALL PVC CONDUIT JOINTS SHALL BE CEMENTED.
- A SUITABLE PULL CABLE, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE ELECTRICAL CONDUIT.
- COORDINATE SIZE AND NUMBER OF CONDUIT WITH UTILITY OWNER.
- DEPTH OF CONDUIT SHALL BE 36" TO INVERT.
- TRENCH WIDTH AS REQUIRED TO MAINTAIN 6" MINIMUM SPACING BETWEEN ALL CONDUITS AND TRENCH SIDEWALLS.

5 PRIMARY CIRCUIT W/ TELEPHONE AND/OR CABLE TV ELEC. TRENCH
SCALE: NONE



6 GATE VALVE DETAIL
SCALE: NONE



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08/22/19	ISSUED FOR KITTERY PLANNING BOARD - PRELIMINARY PLAN
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2	1

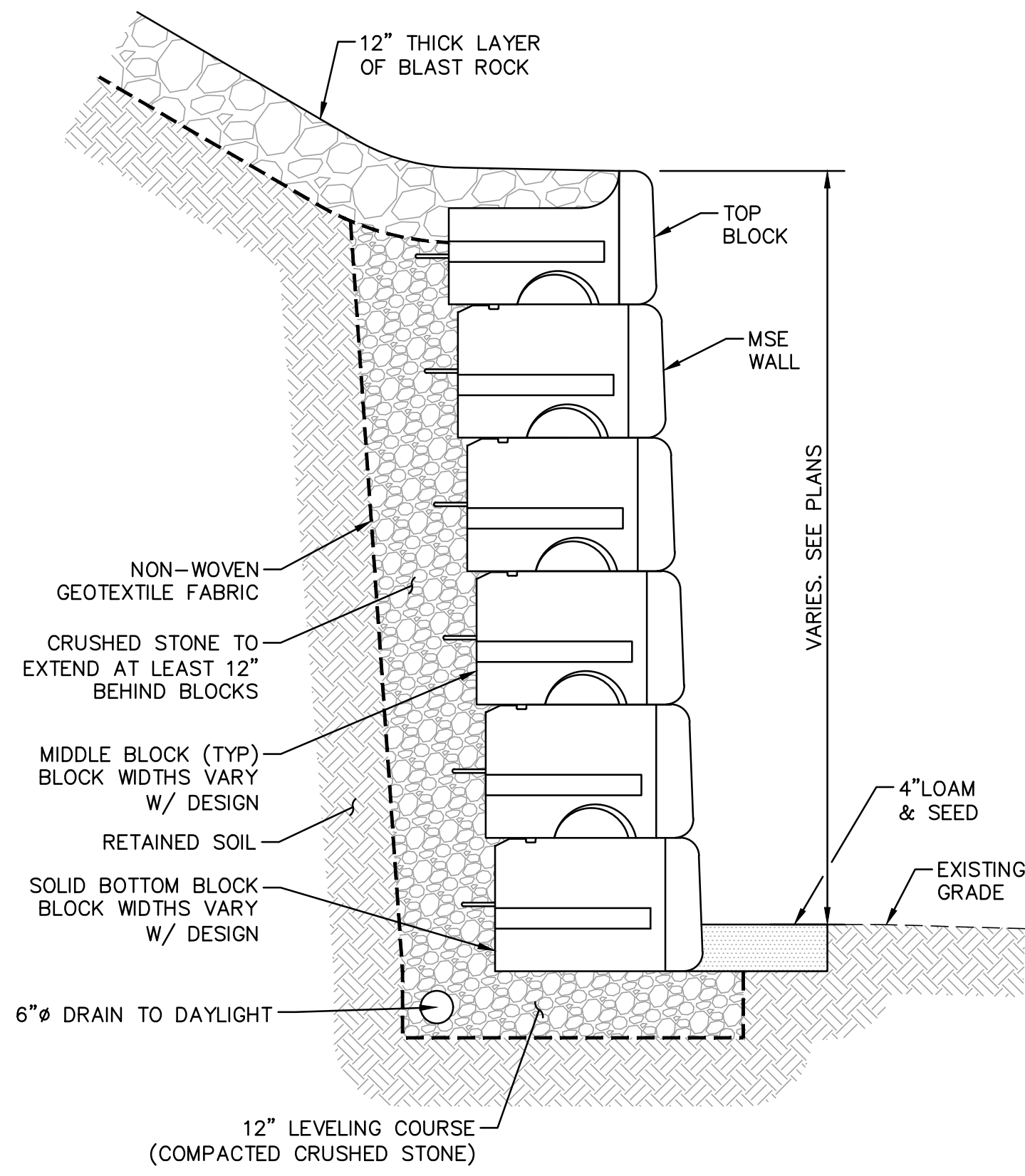
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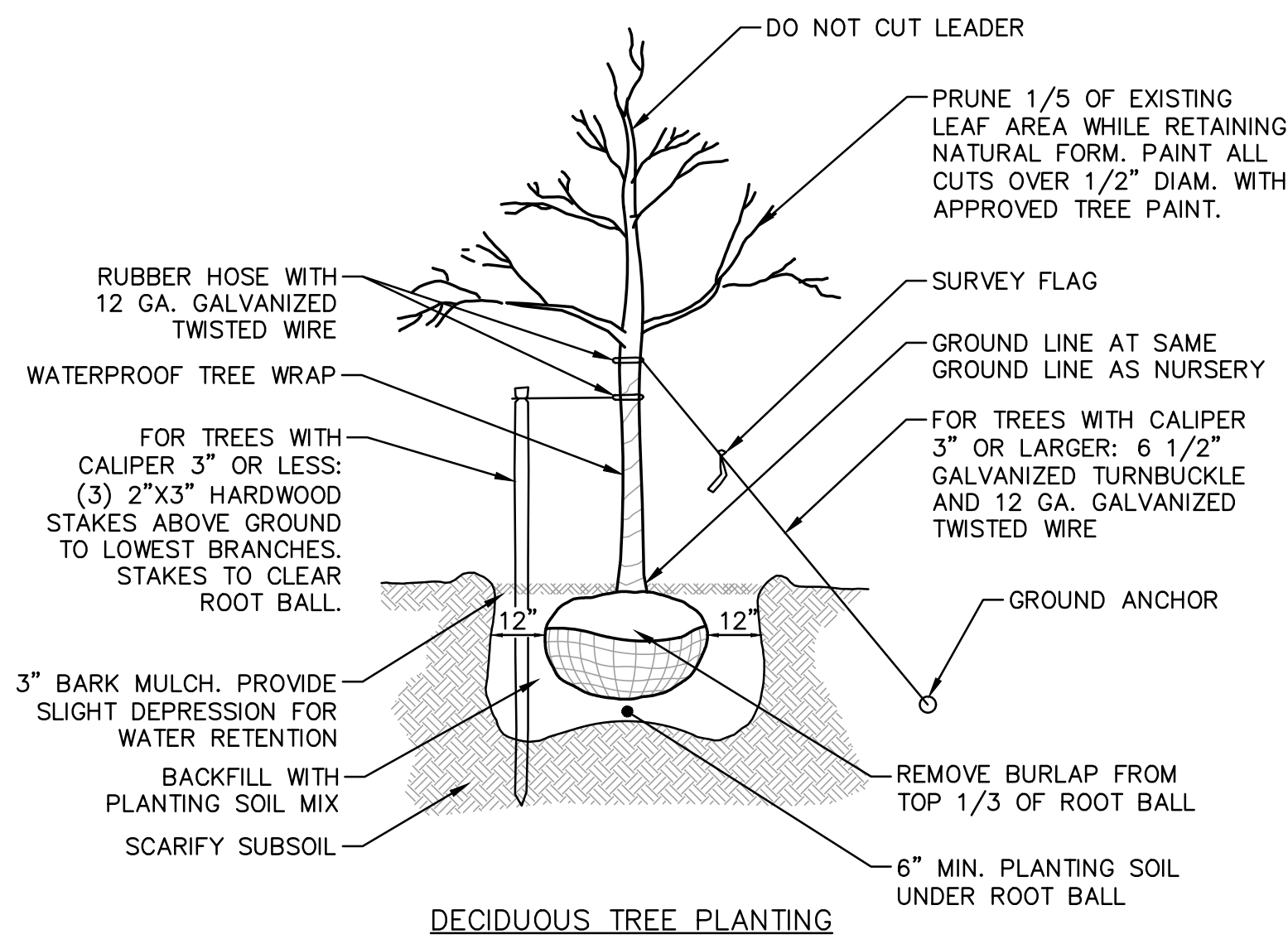
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WALL NOTES:

1. THIS DETAIL IS FOR REFERENCE ONLY. DETERMINATION OF THE SUITABILITY AND/OR MANNER OF USE OF ANY DETAILS CONTAINED IN THIS DOCUMENT IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER OF RECORD. FINAL WALL DESIGNS, INCLUDING ALL CONSTRUCTION DETAILS, SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE.
2. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

1
C15 **TYPICAL MSE GRAVITY BLOCK RETAINING WALL SECTION**
SCALE: NONE



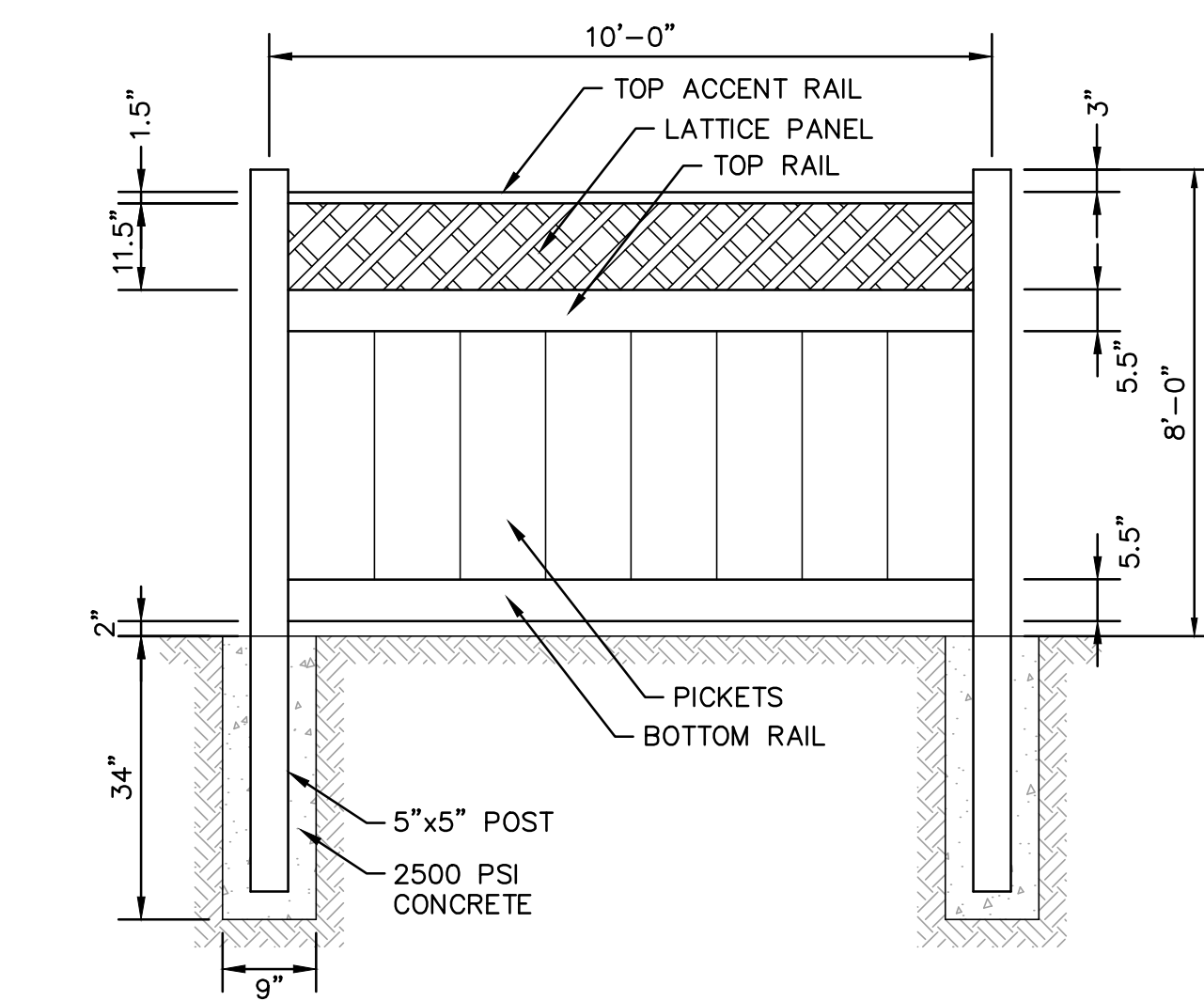
FOR TREES 5' IN HEIGHT OR GREATER:

1. PROVIDE (3) 12 GA. GALVANIZED GUY WIRES @ 120 DEGREE SPACING WITH (6) 1/2" GALVANIZED TURNBUCKLE WIRE IN RUBBER HOSE AROUND TREE.
2. ATTACH TO TREE @ 1/2-2/3 HEIGHT OF TREE ABOVE GRADE.
3. ANCHOR WITH 2"x3" HARDWOOD STAKE BURIED BELOW GRADE AND CLEAR OF ROOT BALL.

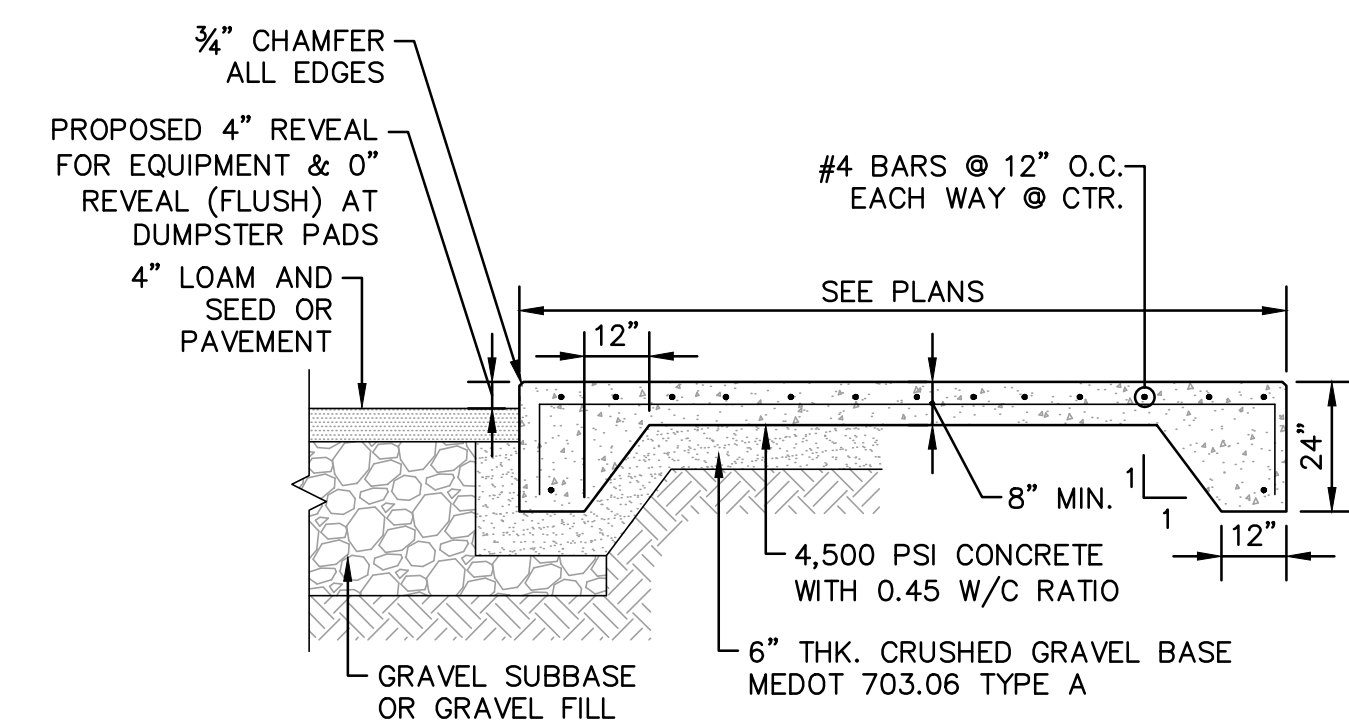
FOR TREES LESS THAN 5' IN HEIGHT:

1. PROVIDE (3) 2"x3" HARDWOOD STAKES @ 120 DEGREE SPACING, MIN. 36" IN GROUND AND CLEAR OF ROOT BALL.

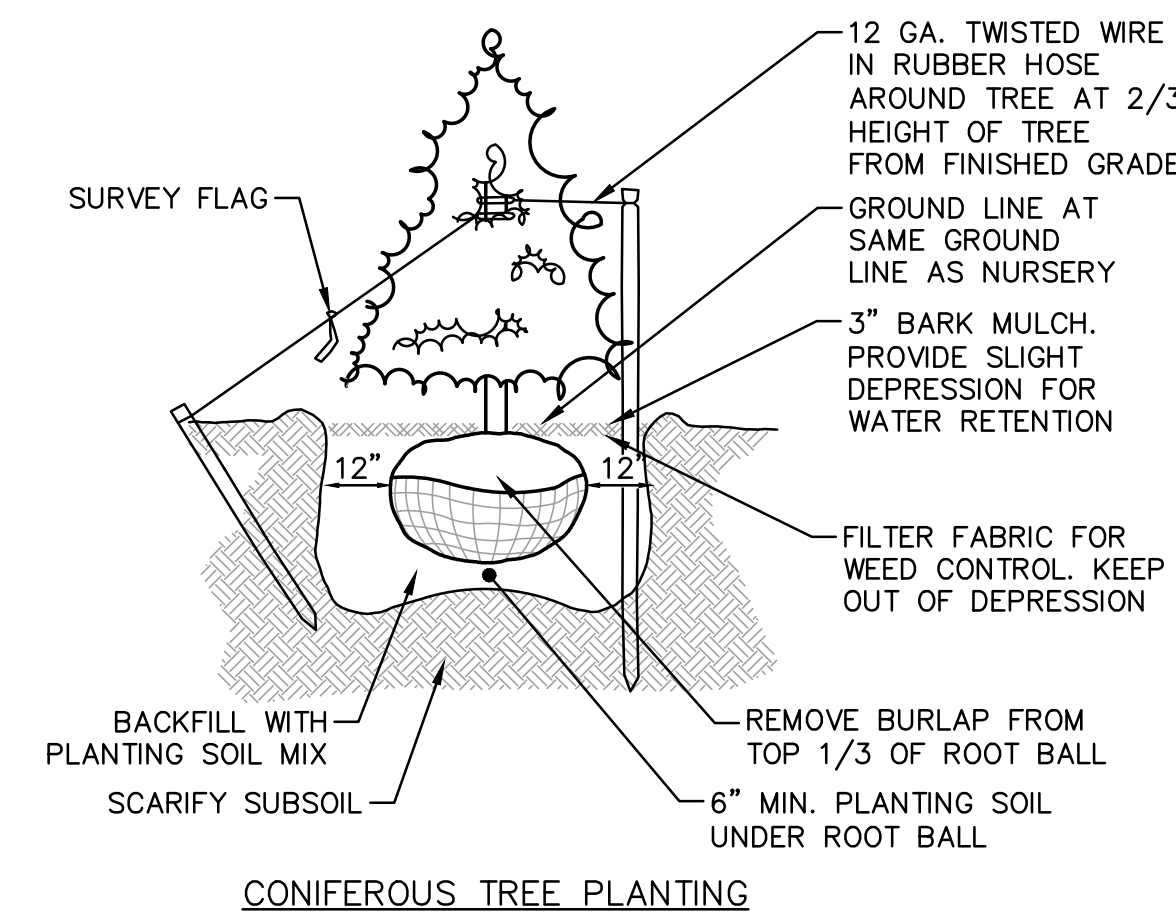
6
C15 **TYPICAL TREE PLANTING DETAILS**
SCALE: NONE



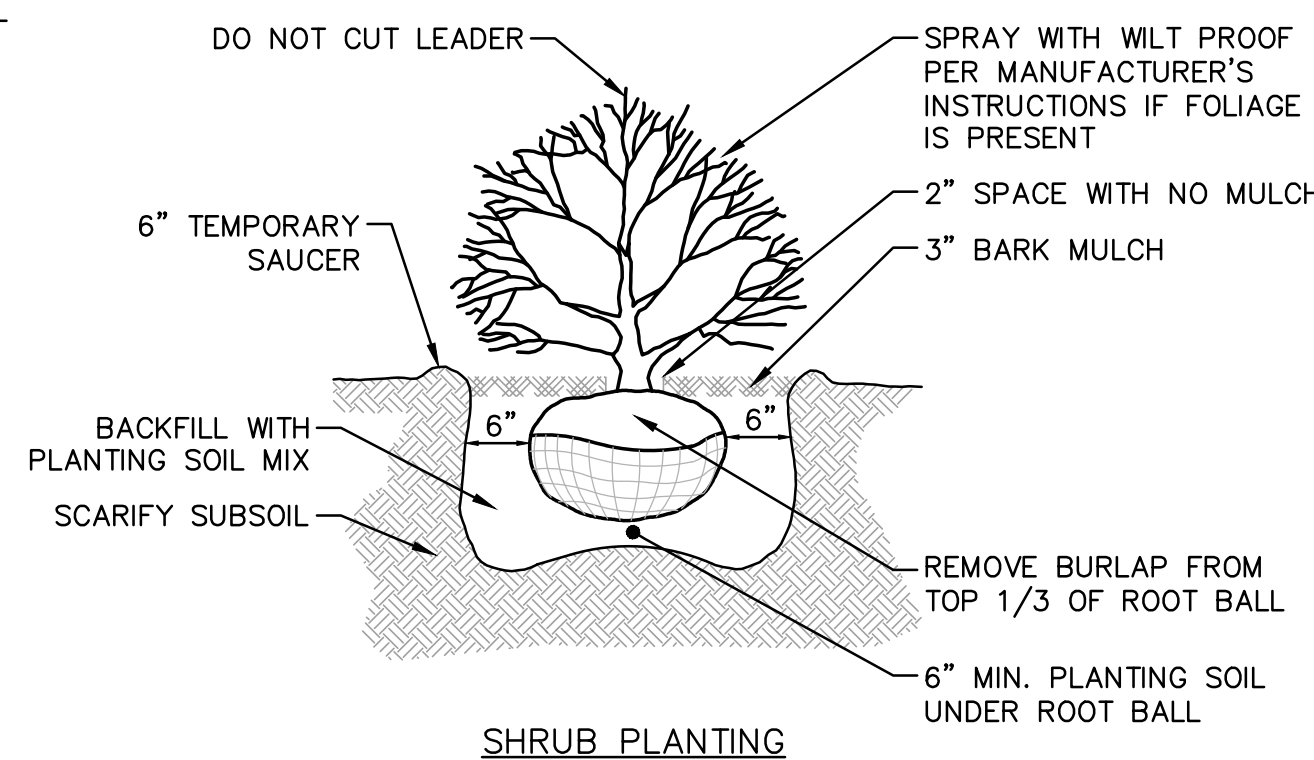
2
C15 **DUMPSTER VINYL FENCE DETAIL**
SCALE: NONE



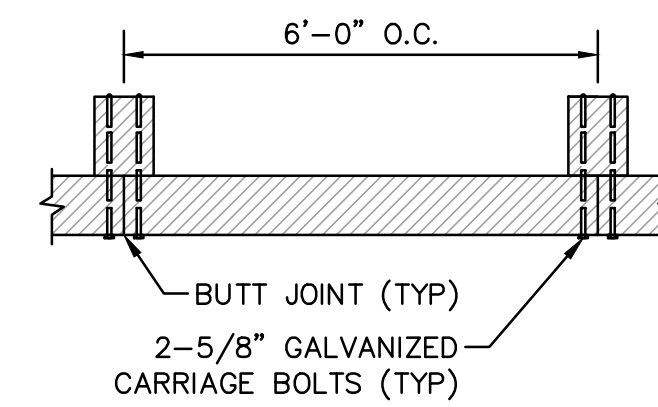
3
C15 **TYPICAL EQUIPMENT PAD & DUMPSTER PAD DETAIL**
SCALE: NONE



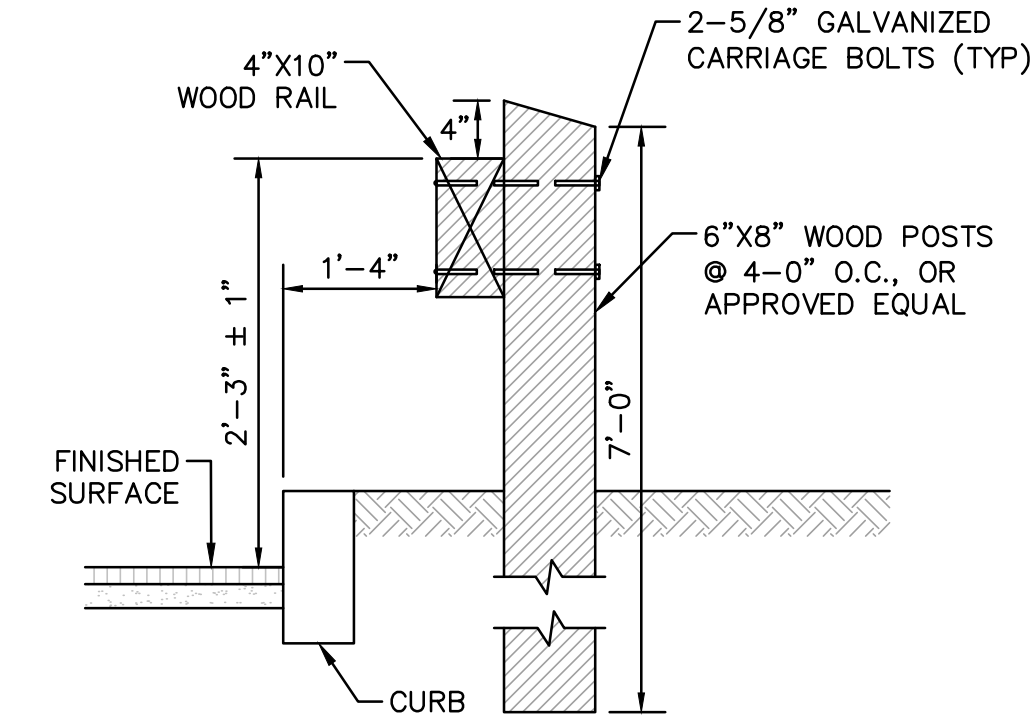
CONIFEROUS TREE PLANTING



SHRUB PLANTING

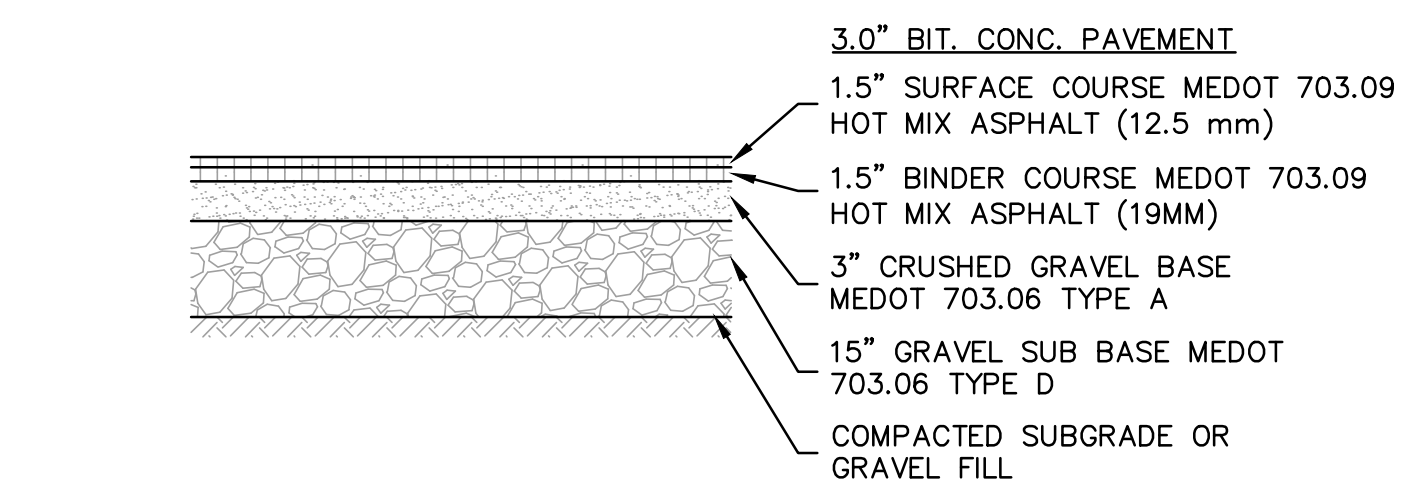


PLAN VIEW

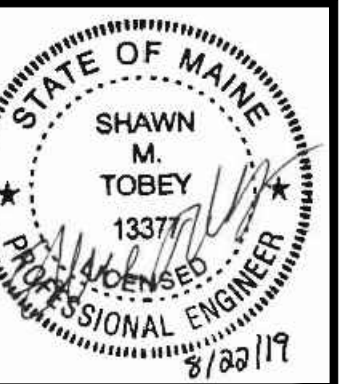


SECTION VIEW

4
C15 **WOOD GUARDRAIL DETAIL**
SCALE: NONE



5
C15 **TYPICAL PAVEMENT SECTION**
SCALE: NONE



NO.	DATE	REVISION DESCRIPTION
1	08/22/19	ISSUED FOR COORDINATION
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4		
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NO.	DATE	REVISION DESCRIPTION
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 ISSUED FOR COORDINATION: 08/22/19
 ISSUED FOR KITTERY PLANNING BOARD - PRELIMINARY PLAN: 08/22/19

APPLICANT: SILVER HOLDINGS, LLC
 1 CITY CENTER
 PORTLAND, ME 04101

PROJECT: PROPOSED 11-UNIT CLUSTER RESIDENTIAL DEVELOPMENT PROJECT
 TAX MAP LOT 3-77A
 OLD POST ROAD, KITTERY, ME 03904

CONSTRUCTION DETAILS 5
C15
 PROJECT NO. 569501
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