

**Town of Kittery
 Planning Board Meeting
 December 14, 2017**

Seward Farm Lane – Seward Farm Lane – Major Subdivision Final Plan Review

Action: Accept or deny application; Approve or deny final plan. Owner/Applicant Gary Seward, Gregg Seward and Patti Parsons request consideration of a 14-lot conventional subdivision on remaining land along a previously approved private Right-of-Way (Seward Farm Lane) located at Picott Road (Tax Map 46 Lot 4) in the Residential-Rural (R-RL) and Shoreland Overlay (OZ-SL-250) Zones. Agent is Stephen Haight, Civilworks New England.

PROJECT TRACKING

REQ'D	ACTION	COMMENTS	STATUS
YES	Sketch Plan Review	2/23/2017	APPROVED
YES	Site Visit	(previously held 4/12/2016)	HELD
YES	Preliminary Plan Review Completeness/Acceptance	7/27/2017	GRANTED
YES	Public Hearing	8/10/2017	HELD
YES	Preliminary Plan Approval	8/10/2017	GRANTED
YES	Final Plan Review and Decision	Feasible for 12/14/2017	TBD

Applicant: Prior to the signing of the approved Plan any **Conditions of Approval related to the Findings of Fact along with waivers and variances (by the BOA) must be placed on the Final Plan and, when applicable, recorded at the York County Registry of Deeds. PLACE THE MAP AND LOT NUMBER IN 1/4" HIGH LETTERS AT LOWER RIGHT BORDER OF ALL PLAN SHEETS.** As per Section 16.4.4.13 - Grading/Construction Final Plan Required. - Grading or construction of roads, grading of land or lots, or construction of buildings is prohibited until the original copy of the approved final plan endorsed has been duly recorded in the York County registry of deeds when applicable.

Background

The property has been owned by the Seward family since 1962. The Town approved a private right-of-way (ROW) in 1994, followed by another approval to expand and relocate the ROW to the current location and approve a wetland alteration to allow more direct access to five-lots located at the rear of the parcel on June 17, 2004.

The proposed development includes a conventional subdivision using the approved Street ROW, *Seward Farm Lane* to create 14 single-family lots. During the February sketch plan review, the Board indicated that a cluster development would not be required and a conventional subdivision as a special exception would be considered. The applicant intends to retain a portion of the land to farm (lot 9) and designate the land to the north of the ROW, (included with lot 8, referred to as "The Woods Lot") as open space.

Staff Review

1. The proposed development is a conventional subdivision, which is a special exception use in the R-RL zone and requires approval from the Planning Board. The applicant is requesting the special exception use due to the existing conditions of the approved right-of-way (ROW), Seward Farm Lane. The Board responded favorably to this request during the sketch plan review, held 2/23/2017. However, prior to granting approval, the Board should review the factors of consideration outlined in 16.6.6 to ensure the requests meets the special exception use request standards outlined in Title 16.

2. The road cross section depicted on detail sheet 13 indicates the proposed road will use the existing gravel road as a base. This does not appear to meet the street construction standards outlined in 16.8.4.11, which requires the removal of all organic materials, to a depth of two feet below the subgrade of the roadway, and the installation of a new sub-base of sand or gravel, free from vegetative matters. The applicant met with MEDOT which found the street acceptable. Staff reached out to the Public Works Commissioner who responded with the email included in packet. In short, Public Works Commissioner states that as long the new base MEDOT type A (44'+) to be installed over the old base meets MEDOT type D material for 44 plus feet of material, the road will be acceptable.
3. The Public Works Commissioner also commented on the drainage pipes at the corner of Seward Farm and Picott. In the email in your packet, he states that because of the new width of the road materials the drainage pipes must be extended to the toe of the new drainage slope at minimum to prevent erosion. He also noted that the 15" pipe shown on page 8 of the road design at the entrance of Seward Farm Lane is not depicted correctly. The notation on the plan states the pipe is RCP but the Commissioner states it is plastic. He goes on to state that "*ADS pipe tied into an old A/C line which goes under the new proposed roadway may cause conflicts with the water etc.*" He also believes the stub-out done by the Kittery Water District for this project was on the other side of the new roadway than shown on the plans. If it must be moved, it would require a new open cut permit. The applicant responded back with additional information (in packet) and CMA sent their second review. Because of the shortness of time, the Board has CMA's second review, an email from CMA that came later with further comments and the applicant's engineer's response to the packet. The Board will receive additional guidance from the interim town planner at the meeting.
4. The applicant is seeking waivers for the following street standards: sidewalks, street width, street length, and cul-de-sac.
 - a. Because the gravel road currently exists, the applicant proposes a 20-foot wide paved way with 2-foot gravel shoulders. The Public Works Commissioner believes the road is 16 feet wide currently. A 20-foot wide paved travel way with two foot of paved shoulders and 2-foot gravel shoulders on each side for a total of 28 feet (which is itself a waiver of the Minor Street standards which require 20 feet of travel way, 2 feet of shoulder on the sidewalk side and 8 feet of shoulder on the other side for a total of 30 feet plus 5 feet of sidewalk) is the Public Works Commissioner and CMA's recommendation to the Board.
 - b. Due to the existing hammerhead turnaround located at the terminus of Seward Farm Lane, a waiver for the radial cul-de-sac standard seems reasonable.
 - c. The Board should discuss whether sidewalks are appropriate at this location. There are not currently sidewalks on the existing Seward Farm Lane, nor are there sidewalks on Picott Road.
 - d. The proposed development does not increase the length of the approved Seward Farm Land ROW. The increased intensity of use incurred by the proposed development does not result in an increase in nonconformity in regards to street length (i.e. the proposed Seward Farm Lane is no more nonconforming than what currently exists). Therefore, a waiver for street length is not necessary. The applicant should revise the plan to remove this waiver request prior to the submission of a final plan application.

Recommendation

With consideration of the above Staff and CMA comments, the proposed development appears to be in general conformance with the standards of Title 16. Staff recommends the Board approve the final plan, with conditions.

Action

If the Board concurs with Staff's recommendation, the Board may move to approve the final plan (suggested motion provided below).

Move to grant final approval, with conditions, of the subdivision plan dated 6/22/2017 with revisions on October 25, 2017 and November 15, 2017 from owner and applicant, Gary Seward, Gregg Seward and Patti Parsons, for a 14-lot subdivision located along a previously approved private Right-of-Way, Seward Farm Lane, located off Picott Road (Tax Map 46 Lot 4) in the Residential-Rural and Shoreland Overlay Zones upon the reading and voting, in the affirmative, of the findings of fact.

**KITTERY PLANNING BOARD
FINDINGS OF FACT -
for
Seward Farm Lane
Mixed Use Development Site Plan**

UNAPPROVED

Note: This approval by the Planning Board constitutes an agreement between the Town and the Developer incorporating the Development plan and supporting documentation, the Findings of Fact, and all waivers and/or conditions approved and required by the Planning Board.

WHEREAS: Owner/Applicant Gary Seward, Gregg Seward and Patti Parsons request consideration of a 14-lot conventional subdivision located at Picott Road (Tax Map 46 Lot 4) in the Residential-Rural and Shoreland Overlay Zones.

Hereinafter the "Development".

Pursuant to the Plan Review meetings conducted by the Planning Board as duly noted in the Plan Review Notes dated 12/14/2017;

Sketch Plan Review	Held	2/23/2017
Site Visit	Held	4/12/2016
Preliminary Plan Completeness Review	Held, accepted	7/27/2017
Public Hearing	Held	8/10/2017
Preliminary Plan Approval	Granted (conditional)	8/10/2017
Final Plan Approval	Granted (conditional)	12/14/2017

and pursuant to the Project Application and Plan and other documents considered to be a part of the approval by the Planning Board in this finding consist of the following and as noted in the Plan Review Notes dated 12/14/2017 (Hereinafter the "Plan").

1. Standard Boundary Survey & Existing Conditions Plan, North Easterly Surveying, dated 6/22/2017
2. Seward Farm Lane Subdivision Plan, North Easterly Surveying, dated 6/22/2017; revised 10/25/2017
3. Lot Plan, North Easterly Surveying, dated 6/22/2017; revised 10/25/2017
4. Soils Plan, North Easterly Surveying, dated 6/22/2017; revised 10/25/2017
5. Plan & Profile, North Easterly Surveying, dated 6/22/2017; revised 10/25/2017
6. Erosion Control Details, North Easterly Surveying, dated 6/22/2017; revised 10/25/2017

NOW THEREFORE, based on the entire record before the Planning Board as and pursuant to the applicable standards in the Land Use and Development Code, the Planning Board makes the following factual findings as required by Section 16.10.8.3.4. and as recorded below:

FINDINGS OF FACT

Action by the board shall be based upon findings of fact which certify or waive compliance with all the required standards of this title, and which certify that the development satisfies the following requirements:

A. Development Conforms to Local Ordinances.

<p><i>The proposed development conforms to a duly adopted comprehensive plan as per adopted provisions in the Town Code, zoning ordinance, subdivision regulation or ordinance, development plan or land use plan, if any. In making this determination, the municipal reviewing authority may interpret these ordinances and plans.</i></p>
<p>Finding:</p>
<p>Conclusion: This standard appears to be met.</p>
<p style="text-align: right;">Vote of _ in favor_ against _ abstaining</p>
<p>B. Freshwater Wetlands Identified.</p>
<p><i>All freshwater wetlands within the project area have been identified on any maps submitted as part of the application, regardless of the size of these wetlands.</i></p>
<p>Finding: There are several wetlands identified on the property. Wetlands have been delineated by Jeseeph Noel and are depicted on the final plan.</p>
<p>Conclusion: This standard is appears to be met.</p>
<p style="text-align: right;">Vote of _ in favor_ against _ abstaining</p>
<p>C. River, Stream or Brook Identified.</p>
<p><i>Any river, stream or brook within or abutting the proposed project area has been identified on any maps submitted as part of the application. For purposes of this section, “river, stream or brook” has the same meaning as in 38 M.R.S. §480-B, Subsection 9.</i></p>
<p>Finding: No rivers or streams have been identified on site. A brook is located along the southerly perimeter of the site. The centerline of the brook is depicted on the final plan.</p>
<p>Conclusion: This standard appears to be met.</p>
<p style="text-align: right;">Vote of _ in favor_ against _ abstaining</p>
<p>D. Water Supply Sufficient. {and}</p>
<p><i>The proposed development has sufficient water available for the reasonably foreseeable needs of the development.</i></p>
<p>E. Municipal Water Supply Available.</p>
<p><i>The proposed development will not cause an unreasonable burden on an existing water supply, if one is to be used.</i></p>
<p>Finding: The Kittery Water District provided a letter of evaluation verifying its capacity to supply water to the proposed project.</p>
<p>Conclusion: This standard appears to be met.</p>
<p style="text-align: right;">Vote of _ in favor_ against _ abstaining</p>
<p>F. Sewage Disposal Adequate.</p>

The proposed development will provide for adequate sewage waste disposal and will not cause an unreasonable burden on municipal services if they are utilized.

Finding: The proposed development will not connect with Town Sewer. The proposed development will use individual septic systems. Reserve areas have been identified, where necessary.

Conclusion: This standard appears to be met.

Vote of __ in favor__ against __ abstaining

G. Municipal Solid Waste Disposal Available.

The proposed development will not cause an unreasonable burden on the municipality's ability to dispose of solid waste, if municipal services are to be used.

Finding: The proposed development will not use Town Sewer.

Conclusion: This standard appears to be met.

Vote of __ in favor__ against __ abstaining

H. Water Body Quality and Shoreline Protected.

Whenever situated entirely or partially within two hundred fifty (250) feet of any wetland, the proposed development will not adversely affect the quality of that body of water or unreasonably affect the shoreline of that body of water.

Finding: The proposed development is partially located within the Shoreland Overlay Zone. All proposed development in the regulated zone is outside of the required 100-foot setback and will not adversely affect the water quality of the regulated, tidal wetland.

Conclusion: This standard appears to be met.

Vote of __ in favor__ against __ abstaining

I. Groundwater Protected.

The proposed development will not, alone or in conjunction with existing activities, adversely affect the quality or quantity of groundwater.

Finding: The proposed development will not adversely affect the quality or quantity of groundwater.

Conclusion: This standard appears to be met.

Vote of __ in favor__ against __ abstaining

J. Flood Areas Identified and Development Conditioned.

All flood-prone areas within the project area have been identified on maps submitted as part of the application based on the Federal Emergency Management Agency's Flood Boundary and Floodway Maps and Flood Insurance Rate Maps, and information presented by the applicant. If the proposed development, or any part of it, is in such an area, the applicant must determine the one hundred (100) year flood elevation and flood hazard boundaries within the project area. The proposed plan must include a condition of plan approval requiring that principal structures in the development will be constructed with their lowest floor, including the basement, at least one foot above the one hundred (100) year flood elevation.

<p>Finding: A portion of the property is located within a flood zone. There is no proposed construction within a flood prone area.</p>
<p>Conclusion: This standard appears to be met.</p>
<p style="text-align: right;">Vote of __ in favor__ against __ abstaining</p>
<p>K. Stormwater Managed.</p>
<p><i>Stormwater Managed. The proposed development will provide for adequate stormwater management</i></p>
<p>CMA, town peer-review engineer, reports that the applicant has prepared a complete stormwater design and associated analysis and the proposed development meets the requirements of the LUDC. The design was prepared by Civil Consultants and reviewed by CMA Engineers.</p>
<p>Finding: The proposed development conforms to Title 16.8.8 Surface Drainage and will provide for adequate stormwater management.</p>
<p>Conclusion: This standard appears to be met.</p>
<p style="text-align: right;">Vote of __ in favor__ against __ abstaining</p>
<p>L. Erosion Controlled.</p>
<p><i>The proposed development will not cause unreasonable soil erosion or a reduction in the land's capacity to hold water so that a dangerous or unhealthy condition results.</i></p>
<p>The Contractor shall follow MDEP best management practices for erosion and sediment control (silt fencing, silt sacks, etc.), and CMA engineers will be notified to observe application during construction (see conditions of approval #2).</p>
<p>Finding: The proposed development conforms to Title 16.8.8 Surface Drainage and will provide for adequate erosion and sediment control measures on site.</p>
<p>Conclusion: This standard appears to be met.</p>
<p style="text-align: right;">Vote of __ in favor__ against __ abstaining</p>
<p>M. Traffic Managed.</p>
<p><i>The proposed development will:</i></p> <ol style="list-style-type: none"><i>1. Not cause unreasonable highway or public road congestion or unsafe conditions with respect to the use of the highways or public roads existing or proposed; and</i><i>2. Provide adequate traffic circulation, both on-site and off-site.</i>
<p>The proposed development does not require a traffic movement permit as it does not create an additional 100 vehicle trips during peak traffic hours. CMA engineers have reviewed the on-site traffic circulation and found it to be adequate.</p>
<p>Finding: With consideration of the waivers granted below, the proposed development conforms to Title 16.8.9 Parking, Loading and Traffic and will provide for adequate traffic circulation.</p>
<p>Conclusion: This standard appears to be met.</p>

Vote of __ in favor__ against __ abstaining
N. Water and Air Pollution Minimized.
<i>The proposed development will not result in undue water or air pollution. In making this determination, the following must be considered:</i>
<ol style="list-style-type: none"> 1. Elevation of the land above sea level and its relation to the floodplains; 2. Nature of soils and sub-soils and their ability to adequately support waste disposal; 3. Slope of the land and its effect on effluents; 4. Availability of streams for disposal of effluents; 5. Applicable state and local health and water resource rules and regulations; and 6. Safe transportation, disposal and storage of hazardous materials.
<ol style="list-style-type: none"> 1. The development is located outside of a Flood Hazard Area. 2 thru 6. Not applicable to the proposed development.
Finding: It does not appear the proposed development will result in undue water or air pollution
Conclusion: This standard appears to be met.
Vote of __ in favor__ against __ abstaining
O. Aesthetic, Cultural and Natural Values Protected.
<i>The proposed development will not have an undue adverse effect on the scenic or natural beauty of the area, aesthetics, historic sites, significant wildlife habitat identified by the department of inland fisheries and wildlife or the municipality, or rare and irreplaceable natural areas or any public rights for physical or visual access to the shoreline.</i>
Finding: Picott Road has been identified as a scenic road – view shed buffer is provided.
Conclusion: This standard appears to be met.
Vote of __ in favor__ against __ abstaining
P. Developer Financially and Technically Capable.
<i>Developer is financially and technically capable to meet the standards of this section.</i>
Finding: The developer will provide an inspection escrow in an amount suitable to cover the costs of on-site inspection by the Peer Review Engineer to ensure the proposed development is constructed according to the approved plan.
Conclusion: This standard appears to be met.
Vote of __ in favor__ against __ abstaining
Chapter 16.6 DECISION APPEAL, VARIANCE and OTHER REQUESTS
16.6.4.4 Special Exception Use Request.
B. The Planning Board will review, decide and may approve an applicant’s Special Exception Use request where the proposed project requires Planning Board review as defined in Section 16.10.3.2 or is located in a Shoreland or Resource Protection Overlay Zone. The Planning Board must find the proposed project and use meets the criteria set forth in Section 16.10.8.3.4 and 16.6.6.

Finding:

The proposed use of the Development as a conventional residential major subdivision located in the Residential- Rural zone appears to have no adverse impact with consideration of the conditions and factors outlined in 16.6.6, including:

1. Proposed use will not prevent the orderly and reasonable use of adjacent properties or of properties in adjacent use zones;
2. Use will not prevent the orderly and reasonable use of permitted or legally established uses in the zone wherein the proposed use is to be located, or of permitted or legally established uses in adjacent use zones;
3. Safety, the health, and the welfare of the Town will not be adversely affected by the proposed use or its location; and
4. Use will be in harmony with and promote the general purposes and intent of this Code.

Conclusion: The requirement appears to be met

Vote of __ in favor __ against __ abstaining

NOW THEREFORE the Kittery Planning Board adopts each of the foregoing Findings of Fact and based on these Findings determines the proposed Development will have no significant detrimental impact, and the Kittery Planning Board hereby grants final approval for the Development at the above referenced property, including any waivers granted or conditions as noted.

Waivers: None

Conditions of Approval (to be included on the final plan):

1. No changes, erasures, modifications or revisions may be made to any Planning Board approved final plan. (Title 16.10.9.1.2)
2. Applicant/contractor will follow Maine DEP *Best Management Practices* for all work associated with site and building construction to ensure adequate erosion control and slope stabilization.
3. Prior to the commencement of grading and/or construction within a building envelope, as shown on the Plan, the owner and/or developer must stake all corners of the envelope. These markers must remain in place until the Code Enforcement Officer determines construction is completed and there is no danger of damage to areas that are, per Planning Board approval, to remain undisturbed.
4. CMP Easement/letter
5. All Notices to Applicant contained in the Findings of Fact (dated: 12/14/2017).

Conditions of Approval (Not to be included on the final plan):

6. Incorporate any plan revisions on the final plan as recommended by Staff, Planning Board, or Peer Review Engineer, and submit for Staff review prior to presentation of final Mylar.
7. Provide the additional documents and/or responses to all CMA comments.

Notices to Applicant: (not to be included on the final plan)

1. Prior to the release of the signed plans, the applicant must pay all outstanding fees associated with review, including, but not limited to, Town Attorney fees, peer review, newspaper advertisements and abutter notification.
2. State law requires all subdivision and shoreland development plans, and any plans receiving waivers or variances, be recorded at the York County Registry of Deeds within 90 days of the final approval.
3. One (1) mylar copy and one (1) paper copy of the final plan (recorded plan if applicable) and any and all related state/federal permits or legal documents that may be required, must be submitted to the Town Planning Department. Date of Planning Board approval shall be included on the final plan in the Signature Block.
4. The owner and/or developer, in an amount and form acceptable to the town manager, must file with the municipal treasurer an instrument to cover the cost of all infrastructure and right-of-way improvements and site erosion and stormwater stabilization, including inspection fees for same.
5. This approval by the Town Planning Board constitutes an agreement between the Town and the Developer, incorporating the Plan and supporting documentation, the Findings of Fact, and any Conditions of Approval.

The Planning Board authorizes the Planning Board Chair, or Vice Chair, to sign the Final Plan and the Findings of Fact upon confirmation of compliance with any conditions of approval.

Vote of in favor against abstaining

APPROVED BY THE KITTERY PLANNING BOARD ON December 14, 2017

Ann Grinnell, Planning Board Chair

Per Title 16.6.2.A - An aggrieved party with legal standing may appeal a final decision of the Planning Board to the York County Superior Court in accordance with Maine Rules of Civil Procedures Section 80B, within forty-five (45) days from the date the decision by the Planning Board was rendered.

Michelle McDonald

From: Kathy Connor <kconnor@smpdc.org>
Sent: Thursday, December 07, 2017 10:40 AM
To: Michelle McDonald
Subject: Fw: Seward Farm Lane - Review #2

Hi Michelle -

This email should go with Item 3, as document 2. Just an FYI in case you have a moment.

Thanks,
Kathy

From: William Straub <wstraub@cmaengineers.com>
Sent: Thursday, December 7, 2017 9:35 AM
To: Kathy Connor
Cc: Steve Haight; Jodie Bray Strickland; David Rich
Subject: RE: Seward Farm Lane - Review #2

Kathy,

We have the following additional questions/comments on the proposed design:

1. Existing conditions: What is the source of the existing contours that are screened on sheets 8, 9, and 10? Is it NorthEasterly's 2017 survey or other?
2. The Northeasterly survey is not dated or stamped. Should be.
3. Why are the contour values crossed out on sheets 8, 9, and 10?
4. Explain the cross-outs of some of the bearings and distances on Sheet S1.3. What replaces these values?
5. There should be a typical cross section (or more than 1) of the roadway showing existing grades/elevations.

6. The plan set is not stamped by a ME licensed engineer.

Please call if questions.

Bill

William A. Straub, P.E.
Principal/Project Manager



CMA Engineers, Inc.

35 Bow Street
Portsmouth, NH 03801
603-431-6196
www.cmaengineers.com

From: William Straub

Sent: Wednesday, December 06, 2017 3:18 PM

To: 'Kathy Connor' <kconnor@smpdc.org>

Cc: 'Steve Haight' <shaight@civilworksne.com>; Jodie Bray Strickland <jstrickland@cmaengineers.com>

Subject: Seward Farm Lane - Review #2

Kathy,

Attached please find our 2nd review letter on the Seward Farm Lane project.

If you have any questions, please call.

Best,

Bill

William A. Straub, P.E.
Principal/Project Manager



CMA Engineers, Inc.

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603-431-6196

www.cmaengineers.com

Michelle McDonald

From: Kathy Connor <kconnor@smpdc.org>
Sent: Thursday, December 07, 2017 4:34 PM
To: Michelle McDonald
Subject: Fw: Seward Farm Lane - Review #2

From: Steve Haight <shaight@civilworksne.com>
Sent: Thursday, December 7, 2017 11:16 AM
To: 'William Straub'; Kathy Connor
Cc: 'Jodie Bray Strickland'; 'David Rich'; 'Paige Dickie'; 'Dana Lynch'; 'Gregg Seward'; 'GARY SEWARD'
Subject: RE: Seward Farm Lane - Review #2

Hi Kathy/Bill

I have answered Bill's questions below. For clarity I have included Bill's questions and then our response in red.

- 1) Existing conditions: What is the source of the existing contours that are screened on sheets 8, 9, and 10? Is it NorthEasterly's 2017 survey or other?
Easterly prepared the existing conditions survey this year in 2017 and the contours on the plan and profile sheets are from their current survey
- 2) The Northeasterly survey is not dated or stamped. Should be.
Based on previous conversations with Planning ... sealing of the plans would be required after the plan is approved and sealing the plans would be a condition of approval
- 3) Why are the contour values crossed out on sheets 8, 9, and 10?
The contour values actually have a text mask that is slightly obscuring the text...we will remove the text mask so that the text is clear
- 4) Explain the cross-outs of some of the bearings and distances on Sheet S1.3. What replaces these values?
The bearings and distances actually have a text mask that is slightly obscuring the text...we will fix that so that the text is clear
- 5) There should be a typical cross section(or more than 1) of the roadway showing existing grades/elevations.
We do show a typical cross section on sheet 13 of the plan set. As this is an existing roadway and the work proposed is to shim with gravel to grade and then pave we did not feel that it was necessary to include road cross sections of the proposed work. We can provide individual crosssections if deemed necessary.
- 6) The plan set is not stamped by a ME licensed engineer.

Based on previous conversations with Planning all sheets would be sealed as a condition of approval... if necessary at present we can seal all the plans and provide copies wo

Regards

Steve

Stephen J. Haight, P.E.
President
Civilworks New England/Haight Engineering, PLLC
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Dover, New Hampshire 03821
O: 603.750.4266
C: 603.817.6651
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shaight@civilworksne.com
www.civilworksne.com

From: William Straub [mailto:wstraub@cmaengineers.com]
Sent: Thursday, December 7, 2017 9:35 AM
To: 'Kathy Connor' <kconnor@smpdc.org>
Cc: Steve Haight <shaight@civilworksne.com>; Jodie Bray Strickland <jstrickland@cmaengineers.com>; David Rich <drich@kitteryme.org>
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Please call if questions.

Bill

William A. Straub, P.E.
Principal/Project Manager



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From: William Straub

Sent: Wednesday, December 06, 2017 3:18 PM

To: 'Kathy Connor' <kconnor@smpdc.org>

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Subject: Seward Farm Lane - Review #2

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If you have any questions, please call.

Best,

Bill

William A. Straub, P.E.
Principal/Project Manager



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www.cmaengineers.com

Michelle McDonald

From: Kathy Connor <kconnor@smpdc.org>
Sent: Thursday, December 07, 2017 5:05 PM
To: Michelle McDonald
Subject: Fw: Seward Farm Lane CMA comment letter 12/6/17

From: Steve Haight <shaight@civilworksne.com>
Sent: Wednesday, December 6, 2017 5:25 PM
To: 'William Straub'; Kathy Connor; 'Rebecca Spitella'
Cc: 'Paige Dickie'; 'Dana Lynch'; 'Gregg Seward'; 'GARY SEWARD'; 'Andrew Goddard'
Subject: RE: Seward Farm Lane CMA comment letter 12/6/17

Hi Bill

Thanks for taking my call this afternoon... as a follow up

We spoke with Bob Green at MDEP this afternoon ... he said that as is typically the case if they have not requested additional information within 15 days of a permit application then they are usually on a path to issue a permit (they received the application October 26th)... he said that the reviewer of this permit has been tied up on another project and will be available to talk with us later this week and asked that we call back again on Friday 12/8.

Regarding the tree specification... as you note... there are no details or specifications on the plans that provide direction to a contractor. We will provide a written specification outlining the size required, planting requirements, maintenance requirements of same.

Regarding having the Fire and Police Chief opine on the hammerhead vs cul-de-sac... I will be sending each an email request and will provide their responses.

Regarding the width of the roadway... as discussed this roadway has been in existence for over 10 years ...to widen the road at this time would be a significant financial impact to the applicant as this would impact the existing gravel roadway, drainage system, the existing vegetated swales and the existing underground utilities. As well as this would be the only project that would have a roadway this wide. There are a number of recent projects that have been approved with roads with 20' pavement. Of significant note is that this is a private road and is to remain a private road.

Regarding the stormwater manual ... we will add the requirement that the system should be inspected annually and the report filed with the Code Enforcement office by July 1st of each year

Regards

Steve

Stephen J. Haight, P.E.
President

Civilworks New England/Haight Engineering, PLLC
181 Watson Road
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F: 603.749.7348
shaight@civilworksne.com
www.civilworksne.com

Michelle McDonald

Subject: Fw: Seward Farm Final Response to comments from Department of Public Works
12/6/17

From: Kathy Connor
Sent: Thursday, December 7, 2017 6:19 AM
To: David Rich
Subject: Fw: Seward Farm Final Response to comments from Department of Public Works 12/6/17

Hi Dave,

I don't think I forwarded this yesterday - there was a lot of email in a short time.

Best,
Kathy

From: Steve Haight <shaight@civilworksne.com>
Sent: Wednesday, December 6, 2017 4:45 PM
To: Kathy Connor; 'Rebecca Spitella'
Cc: 'Michelle McDonald'; 'Paige Dickie'; 'Dana Lynch'; 'GARY SEWARD'; 'Gregg Seward'; 'Andrew Goddard'; 'William Straub'
Subject: RE: Seward Farm Final Response to comments from Department of Public Works 12/6/17

Kathy

I need to clarify my response **E** below. Although there is no cross culvert across Seward Farm Lane at the intersection of Seward Farm Lane to Picott..... there is an existing cross culvert on Seward Farm Lane about 50' "in" along the roadway... the water main will be installed below the existing culvert

Regarding the material of the culverts... Easterly Survey prepared the existing conditions plan which is the basis of our design plan... we will revisit the site and verify the information provided and update the plans is needed.

Regarding potential conflicts between the water main and the existing culvert in Picott Road... KWD installed the water main in Picott and will be installing the water main in Seward Farm Lane... it is my understanding that KWD is aware of the drain line in Picott Road

Stephen J. Haight, P.E.
President
Civilworks New England/Haight Engineering, PLLC
181 Watson Road
P.O. Box 1166

Dover, New Hampshire 03821
O: 603.750.4266
C: 603.817.6651
F: 603.749.7348
shaight@civilworksne.com
www.civilworksne.com

From: Steve Haight [<mailto:shaight@civilworksne.com>]
Sent: Wednesday, December 6, 2017 1:48 PM
To: 'Kathy Connor' <kconnor@smpdc.org>; 'Rebecca Spitella' <RSpitella@kitteryme.org>
Cc: 'Michelle McDonald' <MMcDonald@kitteryme.org>; 'Paige Dickie' <pdickie@civilworksne.com>; 'Dana Lynch' <dlynch@civilworksne.com>; 'GARY SEWARD' <bacon04@comcast.net>; 'Gregg Seward' <gpsjd1520@aol.com>; 'Andrew Goddard' <ajgodd@gmail.com>; 'William Straub' <wstraub@cmaengineers.com>
Subject: RE: Seward Farm Final Response to comments from Department of Public Works 12/6/17

Hi Kathy...

I did not include Mr. Rich in my email response... could you forward to him and let him know that I would be happy to talk with him on the phone as well to answer any questions he may have

Best regards

Steve

Stephen J. Haight, P.E.
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From: Kathy Connor [<mailto:kconnor@smpdc.org>]
Sent: Wednesday, December 6, 2017 11:53 AM
To: Steve Haight <shaight@civilworksne.com>; 'Rebecca Spitella' <RSpitella@kitteryme.org>
Cc: 'Michelle McDonald' <MMcDonald@kitteryme.org>; 'Paige Dickie' <pdickie@civilworksne.com>; 'Dana Lynch' <dlynch@civilworksne.com>; 'GARY SEWARD' <bacon04@comcast.net>; 'Gregg Seward' <gpsjd1520@aol.com>; 'Andrew Goddard' <ajgodd@gmail.com>; 'William Straub' <wstraub@cmaengineers.com>
Subject: Re: Seward Farm Final Response to comments from Department of Public Works 12/6/17

Thanks, Steve. Appreciate the clarifications. Let me see what I can do about connecting you and the Public Works Commissioner.

Best,
Kathy

From: Steve Haight <shaight@civilworksne.com>

Sent: Wednesday, December 6, 2017 10:41 AM

To: Kathy Connor; 'Rebecca Spitella'

Cc: 'Michelle McDonald'; 'Paige Dickie'; 'Dana Lynch'; 'GARY SEWARD'; 'Gregg Seward'; 'Andrew Goddard'; 'William Straub'

Subject: RE: Seward Farm Final Response to comments from Department of Public Works 12/6/17

Hi Kathy

To be helpful I have provided a response to each of Mr. Rich's questionsalso... if you would be able to facilitate a meeting we would very much welcome an opportunity to meet with the DPW Director to review and discuss the projectI think this may clear up any confusion.

Q. Per the cross-section on page 13 they are showing new base MDOT type A (44'+) to be installed over the old base which must meet MDOT type D material for 44 plus feet of material. So as long as they meet these guide lines it would be acceptable. I would like to know who they spoke with at MDOT so that I may speak with them as well to get a better understanding on the recommendations made by them. As for the new width of the materials the drainage pipes would have to be extended to at least the toe of the new drainage slope to prevent erosion. The 15" pipe issue is on page 8 at the entrance it is not depicted correctly and is not RCP it is plastic ADS pipe tied into an old A/C line which goes under the new proposed roadway which may cause conflicts with the water etc.. I believe the water is also wrong I think the stub out done by Mike for this project was on the other side of the new roadway So if moved it would require a new open cut permit. You will need to check with Mike Rogers on that. See attached photos.

A. We had an independent testing company (JTC Inc) dig testpits in the gravel area to confirm depths of gravel and take samples of the material for analysis (attached for easy reference). JTC's analysis confirms that the material that is in place in Seward Farm Lane meets MDOT road gravel specifications. Our proposal is to add additional MDOT spec gravels to the existing material to bring areas to grade as necessary. Seward Farm Lane was designed as a gravel road with MDOT gravels and was constructed in 2005 by Andrews Construction (Chip Andrews is a local contractor in Kittery) per the approved plan.

B. Seward Farm Lane is existing and the gravel is about 24' wide. We are proposing to pave 20' wide with gravel shoulders to the same width limits that exist today. As discussed at our meeting last week this is the waiver request we have submitted. We are not planning on widening Seward Farm Lane. The existing culverts under Seward Farm Lane do not need to be extended.

C. We did not speak to anyone at Maine DOT and would not talk with MDOT regarding a private road within the Town... Seward Farm Lane is a private road ... it was specifically constructed with MDOT spec material

D. We have met with Mike Rogers of the Kittery Water District and he has reviewed the plans several times. KWD confirmed that in summer of 2015 they had extended their water main in Picott Road just past the entrance of Seward Farm Lane in anticipation of extending water into the subdivision. The location shown on our plan is based on the location provided by KWD. KWD

installs all water mains and services and If a new open cut permit is required they will obtain same as part of their construction.

E. There is no culvert that crosses (from side to side) under Seward Farm Lane at the intersection of the Lane with Picott Road. There is a culvert that comes across Picott Road at the intersection of the Lane with Picott. This culvert diverts under the roadway and daylights on the east side of the Lane on the opposite side of the Lane from where the water line is to be installed.

Best regards

Steve

Stephen J. Haight, P.E.
President
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From: Kathy Connor [<mailto:kconnor@smpdc.org>]
Sent: Wednesday, December 6, 2017 9:12 AM
To: Steve Haight <shaight@civilworksne.com>; 'Rebecca Spitella' <RSpitella@kitteryme.org>
Cc: Michelle McDonald <MMcDonald@kitteryme.org>; 'Paige Dickie' <pdickie@civilworksne.com>
Subject: Fw: Seward Farm Final

Hi Steve,

Here is the email from Public Works concerning the existing gravel base and the culvert. I will be including this information in the Planning Board's Findings of Fact which I will send along to you when it is ready.

I am continuing to copy Becca's email on our correspondence to provide continuity for the Town's new planners when they come on board.

Best,
Kathy

Kathy Connor
Senior Planner, SMPDC
207 571 7065

From: David Rich <drich@kitteryme.org>
Sent: Thursday, November 30, 2017 12:48 PM
To: Rebecca Spitella

Cc: Kathy Connor
Subject: RE: Seward Farm Final

Hi Rebecca,

Per the cross-section on page 13 they are showing new base MDOT type A (44'+) to be installed over the old base which must meet MDOT type D material for 44 plus feet of material. So as long as they meet these guide lines it would be acceptable. I would like to know who they spoke with at MDOT so that I may speak with them as well to get a better understanding on the recommendations made by them. As for the new width of the materials the drainage pipes would have to be extended to at least the toe of the new drainage slope to prevent erosion. The 15" pipe issue is on page 8 at the entrance it is not depicted correctly and is not RCP it is plastic ADS pipe tied into an old A/C line which goes under the new proposed roadway which may cause conflicts with the water etc.. I believe the water is also wrong I think the stub out done by Mike for this project was on the other side of the new roadway So if moved it would require a new open cut permit. You will need to check with Mike Rogers on that. See attached photos.

David Rich
Commissioner of Public Works
Town of Kittery
drich@kitteryme.org
(207) 439-0333

From: Rebecca Spitella
Sent: Thursday, November 30, 2017 10:26 AM
To: David Rich <drich@kitteryme.org>
Cc: kconnor@smpdc.org
Subject: Seward Farm Final

Hi Dave,

The applicant for Seward Farm is proposing to construct the paved road over the existing gravel, as opposed to removing 2-feet of gravel and laying a new gravel sub-base. The applicant has met with MDOT and found this to be acceptable. One of the conditions of preliminary approval for the was to verify this is acceptable with you as well. (The road is not proposed to be public, however the Board is interested in ensuring the integrity of the road is met.) Can you please respond with comments?

Also, can you please remind me of your comment regarding the pipe/culvert located at the intersection of Seward Farm and Picott?

Thanks!
-Becca

Rebecca Spitella
Assistant Town Planner
Town of Kittery
200 Rogers Road
Kittery, ME 03904
Direct Line: (207) 475-1323
Fax: (207) 439-6806

FINAL
SUBDIVISION APPLICATION
SEWARD FARM LANE
43 PICOTT ROAD
KITTERY, MAINE

PREPARED FOR:
GARY SEWARD
39 PICOTT ROAD
KITTERY MAINE

PREPARED BY:
CIVILWORKS NEW ENGLAND
181 WATSON ROAD
DOVER, NH 03820

DATE:
NOVEMBER 14, 2017

November 14, 2017

Ms. Rebecca Spitella Assistant Town Planner
Planning Department
Town of Kittery
200 Rogers Road
Kittery, ME 03904

Ref: Seward Farm Lane Subdivision
43 Picott Road
Tax Map 46, Lot 04
Our Reference No. 1689

Re: Final Plan Submittal

Dear Ms. Spitella:

Civilworks New England (CNE) is pleased to provide you with information for the Final Plan Application Submittal Content as required in 16.10.7.2.

- A. The final plan fulfills the requirements of the ordinance.
- B. The plan set includes a vicinity map and has been updated to address all Planning Board, Planning staff and CMA Engineers comments.
- C. The final plan set includes any street names and lines, pedestrian ways, lots, easements, and areas to be reserved for public use.
- D. Street length of all straight lines, the deflection angles, radii, lengths of curves and central angles of all curves, tangent distances and tangent bearings are shown on Sheet S1.3
- E. Lots within the subdivision are numbered on Sheet 5.
- F. Stone monuments are proposed at all points of curvature along the right of way and steel rods are proposed all property corners of each lot.
- G. The only structure proposed is a proposed subdivision sign. The proposed sign is to be located at the beginning of Seward Farm Lane as shown on Sheet 8. The detail for the sign is shown on Sheet 13.
- H. There is no outdoor lighting proposed.
- I. There is no permanent machinery proposed.
- J. There are no material storage areas or any stored toxic or hazardous materials proposed.
- K. There are no fences, retaining walls, or other artificial features proposed.
- L. There is no landscaping plan. The applicant has proposed additional screening along the roadway and has proposed eight ornamental Pear trees. These will be planted from station 0+50 to station 2+00 4 each side. These trees have been chosen for their beauty and hardiness and tolerance for roadway locations.
- M. CNE has prepared a Municipal Impact Analysis.
- N. Lot 9 will be designated as open space within the subdivision and will contain 20+ acres or about 30% of the entire parcel.
- O. The open space will remain within the Home Owners Association and will not be turned over to the Town.

- P. The applicant will provide a performance guaranty as required by the Town prior to any work being done on the project.
- Q. The applicant has prepared Home Owners Association document that defines the maintenance responsibilities, the responsible parties etc.
- R. A post construction stormwater management plan has been prepared.
- S. Phasing is not proposed for this project.
- T. The right-of-way is defined on the subdivision plan as are all lot areas, setback lines and are shown on Sheet S1.3.

If you have any questions or require clarification on any point please do not hesitate to contact me directly.

Sincerely,

CIVILWORKS NEW ENGLAND

A handwritten signature in black ink, appearing to read "S. Haight", with a horizontal line extending to the right.

Stephen J Haight, PE

Enclosures

TABLE OF CONTENTS

- 1.0 Response Letter Addressing Planning Board Staff & CMA Comments
- 2.0 Municipal Impact Analysis
- 3.0 Stormwater Management Plan
- 4.0 Maine DEP Stormwater Minor Revision Application
- 5.0 Letter from Kittery Fire Department
- 6.0 Letter from Kittery Water Department
- 7.0 Seward Farm Lane Subdivision Homeowners Association
- 8.0 Net Residential Acreage Calculation
- 9.0 JTC Report of Field Observations & Test Results

**RESPONSE LETTER ADDRESSING
PLANNING BOARD STAFF & CMA COMMENTS**

CIVILWORKS NEW ENGLAND
P.O. BOX 1166, 181 WATSON ROAD
DOVER, NH
TEL: (603) 750-4266, FAX: (603)749-7348

November 14, 2017

Ms. Rebecca Spitella, Assistant Town Planner
Planning Department
Town of Kittery
200 Rogers Road
Kittery, ME 03904

Ref: Seward Farm Lane Subdivision
43 Piccott Road
Tax Map 46, Lot 04
Our Reference No. 1689

Re: Response to Planning Board, Planning staff and CMA Engineer comments dated August 10, 2017.

Dear Ms, Spitella:

Civilworks New England (CNE) is pleased to provide you with responses to the Planning Board & CMA comments referenced above.

Staff Comments:

1. As noted the proposed development is a conventional lot subdivision and the applicant is requesting the special exception to allow the conventional lot subdivision.
2. As requested we have updated plan sheets S1.3 and S1.4 to direct the viewer to the adjacent sheet for zoning data and proposed lot sizes, street frontage and yard setbacks.
3. The plans have been revised to create a separate lot for the open space area. Lot 8 will be a conventional residential lot, while lot 9 will be the lot dedicated to open space. There are to be a total of 14 lots. 13 will be residential lots with one open space lot and the remainder of the land is land to retained by owner.
4. Please see response 3 above.
5. As discussed and reviewed with the Planner a view-shed buffer has been added to the lots along the west side of Seward Farm Lane. This view-shed buffer line is set 150' from the Seward Farm Lane right-of-way.
6. CNE has met with MEDEP. MEDEP has determined that the work being proposed only requires a revision to the existing stormwater permit. This application was submitted to MEDEP on October 28,2017. The MEDEP permit application and cover letter are attached.
7. On August 29. 2017, John Turner Inc. dug four test pits in the existing gravel road to confirm gravel depths. JTC also took gravel samples for testing. Their testing has confirmed that the material meets MEDEP road material specifications. (See attached

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DOVER, NH
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- reports). CNE has also revised the detail on Sheet 13 to the Maine DOT specification for gravels.
8. As requested sheet S1.4 has been update to remove the waiver request for street length. The applicant will be requesting a waiver for installation of sidewalks as there are none in the area to connect to.
 9. There is an existing street sign at the intersection with Picott Road. The applicant is proposing to add an additional sign with the subdivision name. A note has been added to the top left side of Sheet 8. A typical sign detail has also been added on Sheet 13.
 10. The fire hydrant was shown on Sheet 8 at station 9+30 along Seward Farm Lane. The location has been revised to station 12+30 on sheet 9 based on the September 5, 2017 email correspondence with the Town Planner (attached). The HOA documents (draft attached) have been updated to indicate that the installation and maintenance costs of the fire hydrant are the responsibility of the homeowners on Seward Farm Lane.
 11. The house lots will have individual septic systems. The locations as determined by Joe Noel Soil Scientist have been added to the Lot Plan on Sheet 5. As requested a note has been added to denote the restriction that all septic systems shall comply with the wetland and waterbody setbacks.
 12. As discussed with staff the Net residential Area calculation has been refined to show all the reductions in land area as outlined in section 16.7.8.2. The NRA table has been updated on sheet S1.4. (See attached memo).
 13. CNE has contacted the Kittery School Dept. A Municipal Impact Analysis has been completed. (See attached).
 14. Please see the responses to the CMA comments below.
 15. A. The word “metes” on plan note 8 on the Standard Boundary Survey & Existing Conditions Plan refers to metes and bounds, which is a system or method of describing land, real property, or real estate. In this case, the word is used and spelled correctly.
B. Sheet S1.4 has been revised to show the Special Exception Requests as an independent category from Waivers.
C. Sheet S1.4 has been revised to remove the waiver from 16.9.1.3.C.
D. The tax map and lot number for the site have been placed at the lower right corner border of all plan sheets.

CMA Engineers, Inc. Comments:

Article II. Monuments

1. Easterly has indicated that the standard installation protocol in Kittery is for stone monuments at all pc and pts and iron rods at all other property corners.

Article IV. Streets and Pedestrian Ways

2. The applicant is requesting a waiver to the minor street standard to allow a roadway with a 20' paved width with 2' gravel shoulders and no sidewalks. We are also requesting that the existing hammer-head turnaround remain.
3. Site distances have been survey measured by Easterly and added to Sheet S1.3. Sight distance is Greater than 500' in either direction.

CIVILWORKS NEW ENGLAND
P.O. BOX 1166, 181 WATSON ROAD
DOVER, NH
TEL: (603) 750-4266, FAX: (603)749-7348

4. The existing gravels in the road have been tested for depth and specifications, and have shown they meet the town's existing street construction standards. The detail on Sheet 13 has been revised to show the Maine DOT material item numbers for the gravels.
5. The proposed paved Seward Farm Lane is designed to match the existing grade at the intersection of Seward Farm Lane and Picott Road.

Article VI. Water Supply

6. Kittery Water District has issued a letter stating that there is sufficient water to supply this subdivision as well as the cost to install the water system for the applicant.

Article VII. Sewage Disposal

7. Joe Noel CWS performed all soil testing on the parcel and has identified appropriate leach field areas. These areas have been added to the lot plan sheet 5 in the plan set.

Article VIII. Surface Drainage

8. This parcel received a stormwater permit from MEDEP L-21967-TB-D-N/L-21967-NA-C-N on April 1, 2005. We have met with MEDEP and based on our meetings we have prepared and submitted a "Minor Revision" application. This application was submitted to MEDEP on October 26, 2017 ..
9. CNE has prepared a post-construction stormwater management plan (attached).
10. The applicant has proposed additional screening along the roadway and has proposed eight ornamental Pear trees. These will be planted from station 0+50 to station 2+00 4 each side. These trees have been chosen for their beauty and hardiness and tolerance for roadway locations.
11. A 150' view shed buffer has been added to the lots on the west side of Seward Farm Lane. This buffer line has been added to Sheet S1.3.
12. There is no lighting proposed at the intersection of Seward Farm Lane and Picott Road.

Article III. Conservation of Wetlands Including Vernal Pools

13. The vernal pool is located within the open space lot at the end of Seward Farm Lane. The appropriate wetland buffer notation has been added to sheet S1.3.

If you have any questions or require clarification on any point please do not hesitate to contact me directly.

Sincerely,

CIVILWORKS NEW ENGLAND



Stephen J Haight, PE

MUNICIPAL IMPACT ANALYSIS

MUNICIPAL IMPACT ANALYSIS

Seward Farm Lane

Lot 4, Tax Map 46
43 Picott Road
Kittery, Maine

prepared for:

Gary R. Seward
39 Picott Road
Kittery, ME 03904

Gregg P. Seward
60 Beech Ridge Road
Eliot, ME 03903

Patti S. Parsons
11 Mill Lane
York, ME 03909

Contact Person: Gary R. Seward
Tel. No. (207) 439-6390

prepared by:

Civilworks New England
P.O. Box 1166
Dover, NH 03821

September 2017

Seward Farm Lane Subdivision

Lot 4, Tax Map 46
43 Picott Road
Kittery, Maine

PROJECT OVERVIEW

Seward Farm Lane is an existing 5 lot residential subdivision on an existing gravel road located off of Picott Road. Seward Farm Lane was created by subdivision in the early 1990's. The gravel road was constructed and the right of way was updated to a 50' right of way in 2005. This proposal is to create a 14 lot conventional residential subdivision (Special Exception request) with frontage on the existing Seward Farm Lane right of way as discussed with the Planning Board at a non-binding sketch plan review meeting on February 29, 2017.

As part of this proposal the existing 50' right of way will be expanded to a 60' right of way, the existing gravel roadway will be regraded and paved to 20' wide and municipal water will be extended into the project from Picott Road. Note: Kittery Water District extended the water main in Picott Road to the Seward Farm Lane entrance in the recent past.

We have met with Kittery Water District and have coordinated the location of the water main extension into the site, which will include the installation of a fire hydrant about mid-point of Seward Farm Lane and a water blow off valve at the end on the Lane.

In general the proposed project consists of the following general improvements: Note: all work will be within the existing right of way, within the existing improved areas and will not impact any wetlands or wetland buffers.

- Subdividing the existing land into 14 residential lots fronting on Seward Farm Lane
- Pave the existing gravel road 20' wide
- Extending water service up Seward Farm Lane to service the lots and install a fire hydrant.
- Underground electric, telephone and cable are existing,

PROJECT LOCATION

The parcel is shown as Tax Map 46 Lot 4 and is approximately 69 acres in size. Seward Farm Lane is located on the north side of Picott Road at 43 Picott Road. The proposed lots will front on Seward Farm Lane, which runs through the existing lot. In general the parcel slopes south westerly towards existing drainage ways and ultimately to the tidal wetland located at the south end parcel. Site soils were delineated by Joseph Noel and are predominately Biddeford, Buxton, Hermon, Lyman, Scantic, and Skerry soils. The portion of the parcel being proposed to be subdivided is open hayfields with the remainder of the site is covered with woods and wetlands. Approximately 20 acres of the 69 acre parcel will be designated as open space and

Seward Farm Lane Subdivision

Lot 4, Tax Map 46
43 Piccott Road
Kittery, Maine

will be appended to one of the residential lots with covenant's that no further subdivision of that lot be allowed.

DRAINAGE

The stormwater management system is in place and was constructed in conjunction with the construction of Seward Farm Lane as a 20' + wide gravel road in 2005. As the only upgrade will be to pave the existing gravel road, no additional stormwater systems are required or proposed. The original stormwater management system was designed by Oak Point Associates in August of 2004 and a Stormwater permit was issued by the State of Maine in 2005 (permit number L-21967-NA-C). Drainage is overland flow and will continue to discharge to the existing roadside swales and then overland flow to the existing and established drainage ways. Paving the existing gravel road will have minimal to no impact on the peak development rates from the existing site. See attached Drainage Analysis memo for more information.

TRAFFIC

14 house lots will generate approximately 10 additional daily trips per house (140 daily trips total). To comply with the current Kittery Land Use code, the existing 50' R.O.W. for Seward Farm Lane will be expanded to a 60' wide R.O.W..

UTILITIES

Underground electric, telephone and cable utilities were installed at the time the gravel road was constructed in 2005. Kittery Water District will provide water and each of the proposed lots will have individual water services and septic systems. Test pits have been done for each lot by Joseph Noel to determine soil information for the septic design.

LANDSCAPING

8 street trees will be planted (4 each side) within the first 200 feet of Seward Farm Lane.
Good afternoon Chris

MUNICIPAL IMPACT ANALYSIS: SECTION 16.10.7.2.M

M.1 List of construction items to be completed by the Developer prior to the sale of the lots

1. Installation of a water line (material and installation by Kittery water District)
2. Paving the existing gravel roadway 20' wide
3. Installing 8 street trees. 4 each side of the road for the first 200 feet.

M.2

Seward Farm Lane Subdivision

Lot 4, Tax Map 46
43 Piccott Road
Kittery, Maine

- a. Schools including busing: we have talked with the Superintendent's office a number of times... they do not have a projected census for next year and do not estimate based on house hold....they look at past year enrollment and if a new ship will be in for rehab at the Shipyard.... School population fluctuates widely, they do not have records of cost for busing per student, no projected number of children per new home , no distribution of children across the town)... The Superintendent's office indicated that they have room in these school system for all ages that they serve.
- b. Road maintenance and snow removal: \$0, this is a private road and will be maintained by the Seward Farm HOA
- c. Police and Fire protection: \$0, the subdivision already exists and emergency services already have this area covered.
- d. Solid Waste disposal: \$0, costs are included in the overall Town budget.
- e. Recreation facilities: \$0, based on the National Association of Home Builders this subdivision is estimated to inject an additional 5 school aged children into the system.
- f. Runoff Water: \$0, all stormwater facilities were constructed 10+ years ago... no additions to the existing system are required or proposed

m.3 Municipal costs and revenues

PROPOSED DEVELOPMENT:	SEWARD FARM LANE	
NUMBER OF UNITS:	14	
TYPE OF UNIT:	SINGLE FAMILY	
<u>MUNICIPAL BUDGET:</u>	\$12,240,890.00	From 2016 Kittery Town Report
Town Residents:	9,500	
Cost per Capita	\$1,288.51	
<u>SCHOOL BUDGET:</u>	\$15,461,359.00	From 2016 Kittery Town Report
Number of students	1,040	Form school dept.
Cost per student	\$14,866.69	

PROJECTED ASSESSED VALUE OF THE PROJECT

ESTIMATED MARKET VALUE (EACH) \$550,000.00

Seward Farm Lane Subdivision

Lot 4, Tax Map 46
43 Picott Road
Kittery, Maine

ESTIMATED ASSESSED VALUE (EACH) 0.9 \$495,000.00
(90% EQUALIZATION)

TOTAL ASSESSED VALUE \$6,930,000.00

PROJECTED INCREASE IN POPULATION

SINGLE FAMILY 2.41 33.74

PROJECTED INCREASE IN STUDENT POPULATION

SINGLE FAMILY (CHILDREN PER HOUSE)* 0.41 5.74

* National Association of Home Builders

PROJECTED MUNICIPAL COSTS

MUNICIPAL SERVICES \$1,288.51 \$43,474.49
(PER CAPITA)

SCHOOL COST \$14,866.69 \$85,334.81
(PER STUDENT)

TOTAL COST TO THE TOWN \$128,809.30

PROJECTED REVENUE

TAX RATE (\$/THOUSAND) \$16.50 \$114,345.00

TAX RATE IS \$16.5/THOUSAND

DELTA BETWEEN EXPECTED REVENUE AND COSTS \$(14,464.30)

STORMWATER MANAGEMENT PLAN

Stormwater Management System
Inspection & Maintenance Plan

Seward Farm Lane

**Lot 4, Tax Map 46
43 Picott Road
Kittery, Maine**

prepared for:

Gary R. Seward
39 Picott Road
Kittery, ME 03904

Gregg P. Seward
60 Beech Ridge Road
Eliot, ME 03903

Patti S. Parsons
11 Mill Lane
York, ME 03909

Contact Person: Gary R. Seward
Tel. No. (207) 439-6390

prepared by:

Civilworks New England
P.O. Box 1166
Dover, NH 03821

September 2017

Stormwater Management System Inspection & Maintenance Plan

Seward Farm Lane Subdivision

Lot 4, Tax Map 46
43 Piccott Road
Kittery, Maine

Introduction

Civilworks New England has prepared the following Stormwater Management System Inspection & Maintenance Plan for the Seward Farm Lane Subdivision Homeowners Association at 43 Piccott Road in Kittery, Maine. The intent of this plan is to provide the HOA of Seward Farm Lane Subdivision with a list of procedures that document the inspection and maintenance requirements of the Stormwater Management System for this development. The contact for Seward Farm Lane Subdivision Homeowners Association is Gary Seward (207) 439-6390, email: GPSJD152@AOL.com.

The following inspection and maintenance program is necessary in order to keep the Stormwater Management System functioning properly. These measures will also help to minimize potential environmental impacts off site. By following the enclosed procedures, Seward Farm Lane Subdivision Homeowners Association will be able to maintain the functional design of the Stormwater Management System and maximize its ability to remove sediment and other contaminants from site generated stormwater runoff.

This plan also requires the HOA to implement a salt minimization plan to reduce salt usage on-site. This plan will allow the HOA to monitor and modify how much salt is needed, when it should be applied, where it needs to be applied, with the ultimate goal of reducing salt-use without compromising safety. It is expected that salt-use reduction will lead to long-term cost-savings as a result of purchasing less salt and reduced impacts on vegetation (e.g., landscaping) and corrosion of infrastructure .

Stormwater Management System Components

The Seward Farm Lane Subdivision Stormwater Management System is designed to mitigate the quality of site-generated stormwater runoff. As a result, its design includes the following elements:

Non-Structural BMP's

Non-structural best management practices (BMP's) are designed to minimize and/or remove contaminants before they enter the stormwater collection system. Several of these BMP's have been incorporated into the Stormwater Management System including pavement sweeping, reduced use of road sand, and litter/trash removal. These types of BMP's are highly effective initial treatment measures for reducing stormwater pollutant loading.

Stormwater Management System Inspection & Maintenance Plan

Seward Farm Lane Subdivision

Lot 4, Tax Map 46
43 Piccott Road
Kittery, Maine

Grassed Swales

Grassed swales are to be located and designed to trap sediment particles and allow for stormwater treatment as runoff passes over the grassy surfaces.

Inspection and Maintenance Plan

By implementing the following procedures, Seward Farm Lane Subdivision Homeowners Association will be able to maintain the functional design of the Stormwater Management System and maximize the system's ability to remove sediment and other contaminants from site generated stormwater runoff.

Pavement Sweeping

- Sweep pavement areas at least once per year (early spring)

Litter/Trash Removal

- Routinely patrol site for litter pick up

De-icing Agents

- Minimize the use of salt during the winter
- Monitor weather and apply de-icing agents based on weather conditions and temperatures.

Grassed Swales

- Inspect swale (at least) twice every year (early spring and late fall).
- Remove accumulated sediment, leaves, grass clippings and/or trash.
- Repair bare spots as needed.

Anti-Icing and Salt minimization

- Use the attached form to track the use of salt and other deicers for each storm event and compiling salt use data annually.

Annual Report

- Prepare an annual Inspection & Maintenance Report and keep on file with the HOA. The report should include a summary of the system's maintenance requirements and repairs, and copies of the Inspection & Maintenance Log Sheets for the previous 12 months.

Stormwater Management System Inspection & Maintenance Plan

Seward Farm Lane Subdivision

Lot 4, Tax Map 46
43 Piccott Road
Kittery, Maine

Inspection & Maintenance Checklist/Logs

The following pages contain forms for use in monitoring and tracking the Inspection & Maintenance of the storm water system:

- Inspection & Maintenance Checklist
- Inspection & Maintenance Log
- Inspection & Maintenance Anti-Icing Log

Stormwater Management System
 Inspection and Maintenance Checklist
 "Seward Farm Lane Subdivision"

BMP/System Component	Minimum Inspection Frequency	Minimum Inspection Requirements	Maintenance/Cleanout Threshold
Litter/Trash Removal	Routinely	Inspect perimeter of parking areas for spillage	Clean as required
Pavement Area	Routinely	Check for sediment accumulation	Sweep as required
De-icing Agents	Annually	As Needed during Winter Season	Minimize slat use (see minimization plan). Use sand as primary agent for parking lot safety during winter
Anti-Icing Monitoring	Prior to season and on-going during season	As Needed during Winter Season	Update plan as required to record steps for salt use minimization
Landscaping	Routinely	Maintain as required	replace dead trees
Grassed Swales	Two times per year	Inspect for failure, erosion, and bare soil areas	Repair/reseed any damaged areas
Annual Report	One time per year. Report that documents inspections completed during the previous 12 months.	HOA to maintain Annual Report, including all Inspection & Maintenance logs	

ANTI-ICING DATA: SNOW AND ICE MAINTENANCE CHECKLIST

RECOMMENDED PRACTICE	Check which response applies to current practices and anticipated site maintenance activities for job site.				
	ALREADY DO	WILL DO	MIGHT DO	WILL NOT DO	IF NOT - WHY
Application rate chart					
Calibrate equipment each year.					
Learn about the deicer ingredients and use the appropriate one for the condition					
Look for reasons if and why materials are leaking or spilling from vehicles and fix them (e.g. gaps, overfilling, etc).					
Develop a comprehensive winter maintenance policy.					
Measure and use pavement temperatures.					
Use anti-icing appropriately prior to the storm.					
Plow before applying deicers.					
Use wet materials (pre-wet or pre-treated).					
Don't apply sodium chloride (road salt) for pavement temperatures below 15F					
Don't apply deicers for pavement temps under -10 F					

**MAINE DEP STORMWATER
MINOR REVISION APPLICATION**

CIVILWORKS NEW ENGLAND
P.O. BOX 1166, 181 WATSON ROAD
DOVER, NH
TEL: (603) 750-4266, FAX: (603)749-7348

October 26, 2017

Southern Maine Regional Office
Bureau of Land and Water Quality
312 Canco Road
Portland, ME 04103

Attn: Christine Woodruff, Project Manager

Ref: Seward Farm Lane Subdivision
Seward Farm Lane
Kittery, ME 03904
Tax Map 46, Lot 04
Prior DEP Permit No. L-21967-TB-D-N/L-21967-NA-C-N
Our Reference No. 1689

Dear Ms. Woodruff:

Please accept the following materials submitted on behalf of Seward Farm Lane Subdivision for a Minor Revision Application to the original Stormwater Application:

- 1) Minor Revision Application – 1 copy
- 2) Draft of the Homeowners Association for Seward Farm Lane Subdivision – 1 copy
- 3) Full plan set for Seward Farm Lane Subdivision – 1 copy, full size
- 4) Letter to Joe Noel regarding Vernal Pool Significance Determination on the site – 1 copy

If you have any questions or require clarification, please do not hesitate to contact me directly.

Sincerely,

CIVILWORKS NEW ENGLAND



Stephen J Haight, PE

SJH/pdd

Enclosures

#L- _____
ATS # _____
Fees Paid _____
Date Received _____

MINOR REVISION APPLICATION

For Site Location, Natural Resources Protection Act & Stormwater Projects

This form shall be used for minor revisions to a project that has received previous Site Law, NRPA or Stormwater Law approval from the Department, where the revision(s) significantly decreases or eliminates an environmental impact, does not significantly expand the project, does not change the nature of the project or does not modify any Department findings with respect to any licensing criteria. If significant project changes are proposed, then an amendment application will be required by the Department.

Please contact the DEP for current fee schedule information. The fee schedule is updated every November 1. The fee is payable to "Treasurer, State of Maine", and **MUST** accompany the application.

Please type or print in black ink only

1. Name of Applicant:	Gary R. Seward	5. Name of Agent:	Stephen J. Haight, P.E.
2. Applicant's Mailing Address:	39 Piccott Road Kittery, ME 03904	6. Agent's Mailing Address:	P.O. Box 1166 Dover, NH 03821
3. Applicant's Daytime Phone #:	(207) 439-6390	7. Agent's Daytime Phone #:	(603) 749-0443
4. Applicant e-mail address (REQUIRED):	GPSJD1520@AOL.com	8. Agent e-mail address (REQUIRED):	shaight@civilworksne.com
LOCATION OF ACTIVITY			
9. Name of Project:	Seward Farm Subdivision		
10. Name of Town where project is located:	Kittery, ME	11. County:	York County
REQUIRED INFORMATION:			
12. Existing DEP permit number:	L-21967-TB-D-N/ L-21967-NA-C-N	13. DEP Project Manager for previous application (if known):	
14. Description of Proposed Change: (Use additional sheet, if necessary)	This proposal is to create a 14 lot conventional residential subdivision with frontage on the existing ROW, pave the existing gravel road Seward Farm Lane, and extend water service up the road to service the lots and install a fire hydrant. All work will be within the existing ROW, within the existing improved areas and will not impact any wetlands or wetland buffers.		

Provide all documentation necessary to support the proposed change. This documentation should include, as appropriate, revised site plans, construction drawings, and technical data such as HHE-200 forms. (If you are unsure of what information to include, please contact the original DEP project manager, or the Division of Land Resource Regulation in the appropriate regional office for assistance.)

This completed application form, fee and all supporting documents summarized above shall be sent to the appropriate DEP Office in Augusta, Portland or Bangor.

Bureau of Land and Water Quality 17 State House Station Augusta, ME 04333 Tel: (207) 287-3901	Bureau of Land and Water Quality 312 Canco Road Portland, ME 04103 Tel: (207) 822-6300	Bureau of Land and Water Quality 106 Hogan Road Bangor, ME 04401 (207) 941-4570
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CERTIFICATIONS / SIGNATURES on PAGE 2

IMPORTANT: IF THE SIGNATURE BELOW IS NOT THE APPLICANT'S SIGNATURE, ATTACH LETTER OF AGENT AUTHORIZATION SIGNED BY THE APPLICANT.

By signing below the applicant (or authorized agent), certifies that he or she has read and understood the following :

CERTIFICATIONS / SIGNATURES

"I certify under penalty of law that I have personally examined the information submitted in this document and all attachments thereto and that, based on my inquiry of those individuals immediately responsible for obtaining the information, I believe the information is true, accurate, and complete. I am aware there are significant penalties for submitting false information, including the possibility of fine and imprisonment. I authorize the Department to enter the property that is the subject of this application, at reasonable hours, including buildings, structures or conveyances on the property, to determine the accuracy of any information provided herein.

Further, I hereby authorize the DEP to send me an electronically signed decision on the license I am applying for with this application by e-mailing the decision to the electronic address located on the front page of this application (see #4 and #8)"

Signed: *Paul Seward* Title _____ Date: 10/25/17

Notice of Intent to Comply with Maine Construction General Permit

If over one acre of new disturbance will result as part of the proposed minor revision, please sign here acknowledging that with this minor revision form and signature below, I am filing notice of my intent to carry out work which meets the requirements of the Maine Construction General Permit. I have read and will comply with all of the MCGP standards.

Signed *Paul Seward* Date: 10/25/17

NOTE: If a Notice of Intent is required, you must file a Notice of Termination (NOT form available from the Department) within 20 days of completing permanent stabilization of the project site.

LETTER FROM KITTERY FIRE DEPARTMENT

Paige Dickie

From: Chris DiMatteo <CDiMatteo@kitteryme.org>
Sent: Tuesday, September 05, 2017 2:37 PM
To: Steve Haight; pdickie@civilworksne.com
Cc: Jodie Bray Strickland; William Straub, PE; David O'Brien; MAP 46 LOT 4
Subject: RE: Seward Farm Lane Subdivision -Hydrants
Attachments: SKonica_Pla17090515410.pdf

Hi Steve and Paige.

The Fire Chief shared with me the preferred hydrant locations.
Either at the northeast corner of lot 12 or the southwest corner of lot 5.

Let us know if you have any issues with either of those locations.

Thanks

Chris

Christopher Di Matteo

Town Planner
200 Rogers Road, Kittery Maine 03904
(207) 439-6807 Ext. 307 / (207) 475-1307 (Direct Line)
Town Hall: M thru TH 8am to 6pm; **CLOSED FRIDAY**
cdimatteo@kitteryme.org

You are receiving information from and/or communication with the Kittery Planning Office. Information exchanged may relate to an item before the Planning Board. The Kittery Planning Board is a quasi-judicial board; **THEREFORE YOU SHOULD NOT FORWARD THIS EMAIL TO THE PLANNING BOARD.**

From: Chris DiMatteo
Sent: Thursday, August 24, 2017 11:10 AM
To: 'pdickie@civilworksne.com' <pdickie@civilworksne.com>
Cc: 'Steve Haight' <shaight@civilworksne.com>; Jodie Bray Strickland <jstrickland@cmaengineers.com>; William Straub, PE <wstraub@cmaengineers.com>; MAP 46 LOT 4 <MAP46LOT4@kitteryme.org>
Subject: FW: Seward Farm Lane Subdivision Net Residential Calculations

Hi Paige,

Thanks for the information.

I'm forwarding to CMA and we'll check back with you after Jodie gets an opportunity to review it.

Chris

Christopher Di Matteo

Town Planner
200 Rogers Road, Kittery Maine 03904
(207) 439-6807 Ext. 307 / (207) 475-1307 (Direct Line)
Town Hall: M thru TH 8am to 6pm; **CLOSED FRIDAY**
cdimatteo@kitteryme.org

You are receiving information from and/or communication with the Kittery Planning Office. Information exchanged may relate to an item before the Planning Board. The Kittery Planning Board is a quasi-judicial board; **THEREFORE YOU SHOULD NOT FORWARD THIS EMAIL TO THE PLANNING BOARD.**

From: Paige Dickie [<mailto:pdickie@civilworksne.com>]
Sent: Thursday, August 24, 2017 11:06 AM
To: Chris DiMatteo <CDiMatteo@kitteryme.org>
Cc: Rebecca Spitella <RSpitella@kitteryme.org>; 'Steve Haight' <shaight@civilworksne.com>
Subject: Seward Farm Lane Subdivision Net Residential Calculations

Good Morning Chris,

I'm attaching a memo I wrote along with spreadsheets I used for calculations in order to determine the Net Residential Acreage for the Seward Farm Lane Subdivision. I know there were questions regarding further details on some of the numbers so I wanted to clarify this as much as possible. I broke down the categories, gave a brief description of which area I was adding up, and wrote an explanation about which areas were already accounted for when I went down the A-M list. Could you please take a look and let me know if this memo clears up any questions?

Please let me know if you need an additional information.

Thank you,
Paige

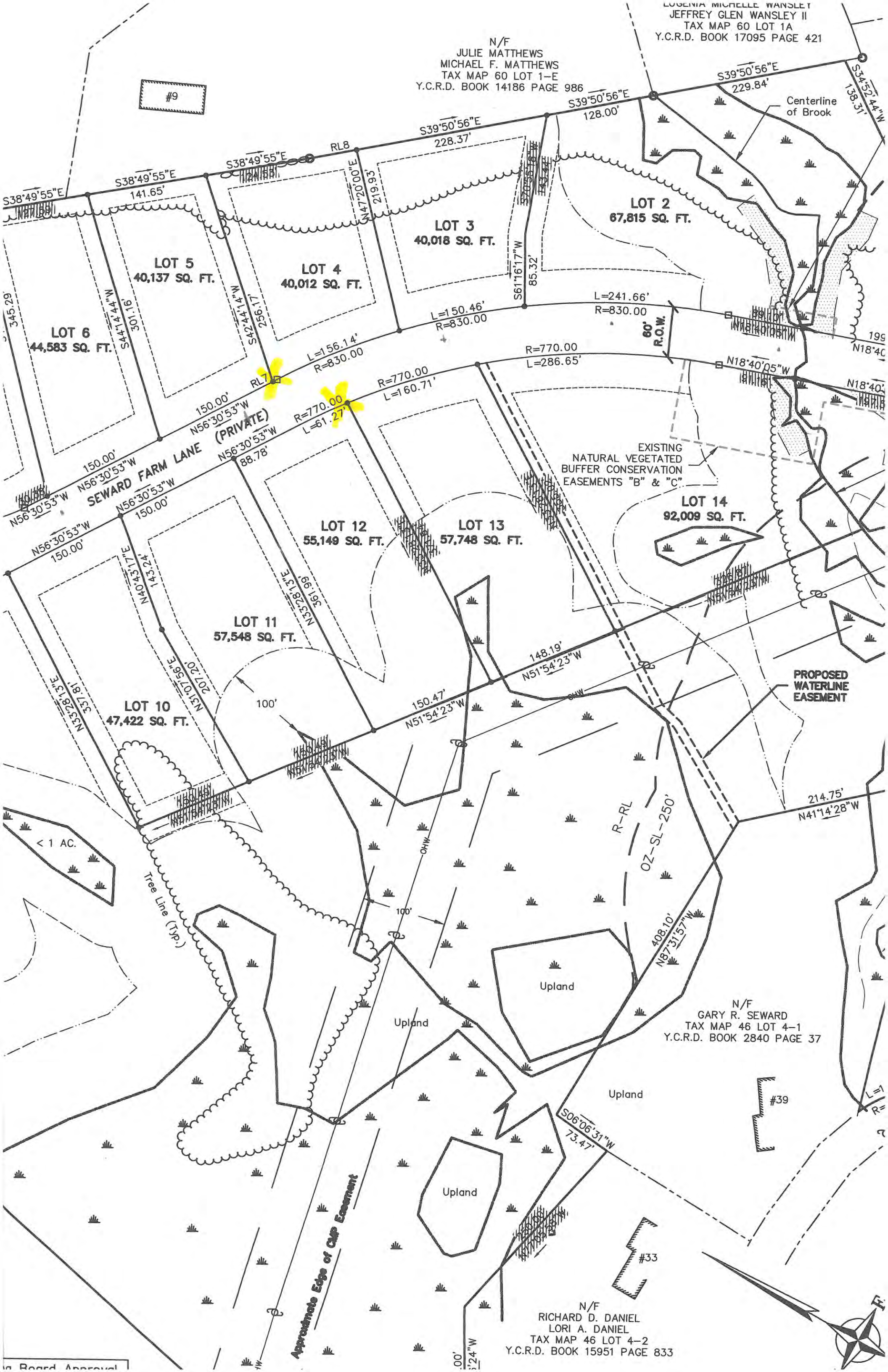
Paige D. Dickie, E.I.T.
Civilworks New England/Haight Engineering, PLLC
181 Watson Road
P.O. Box 1166
Dover, New Hampshire 03821
O: 603.750.4266
F: 603.749.7348
pdickie@civilworksne.com
www.civilworksne.com

LUIGIA MICHELLE WANSLEY
JEFFREY GLEN WANSLEY II
TAX MAP 60 LOT 1A
Y.C.R.D. BOOK 17095 PAGE 421

N/F
JULIE MATTHEWS
MICHAEL F. MATTHEWS
TAX MAP 60 LOT 1-E
Y.C.R.D. BOOK 14186 PAGE 986

N/F
GARY R. SEWARD
TAX MAP 46 LOT 4-1
Y.C.R.D. BOOK 2840 PAGE 37

N/F
RICHARD D. DANIEL
LORI A. DANIEL
TAX MAP 46 LOT 4-2
Y.C.R.D. BOOK 15951 PAGE 833



Board Approval

LETTER FROM KITTELY WATER DEPARTMENT

ROGER C. RAYMOND, JR., President
ROBERT P. WYMAN, Treasurer

COPY

JAMES E. GOLTER, Secretary
MICHAEL S. ROGERS, Superintendent

OFFICE OF
KITTERY WATER DISTRICT

17 State Road
Kittery, Maine 03904-1565
TEL: 207-439-1128
FAX: 207-439-8549
Email: kitterywater@comcast.net

Kittery Planning Board
200 Rogers Road
Kittery, ME 03904

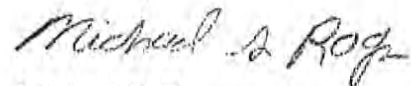
August 11, 2017

Re: Proposed Seward Farm Lane Subdivision

Dear Planning Board Members,

Please accept this letter as verification that the Kittery Water District does have the capacity to supply municipal water service for both domestic and fire protection purposes to the proposed 14 lot Seward Farm Lane Subdivision off Picot Road in Kittery.

Sincerely,



Michael S. Rogers
Superintendent

cc: Gary Seward, Applicant / Owner

Steve Haight

From: Mike Rogers <mikerkwd@comcast.net>
Sent: Monday, June 19, 2017 9:21 PM
To: Steve Haight
Subject: FW: Seward Farm Lane proposal

Hi Steve,

It's not a real professional proposal, however this is the latest proposal dated 1/3/2017 that I provided excavation contractor Chip Andrews of Andrews Construction for our portion of the work in Seward Farm Lane.

Thank you.

Mike

From: Mike Rogers [mailto:mikerkwd@comcast.net]
Sent: Tuesday, January 3, 2017 5:23 PM
To: Chip Andrews
Subject: Seward Farm Lane proposal

Hi Chip,

Our original proposal was \$35,081.00 to provide the pipe, welding it together, installing 1 fire hydrant and 14 water services. To cover increases in material costs I am going to increase this to \$36,000.00.

Thanks Chip.

Mike

Michael S. Rogers, Superintendent
Kittery Water District
17 State Road
Kittery, ME 03904
TEL. 207-439-1128
FAX 207-439-8549
CELL 207-451-8316
Email mikerkwd@comcast.net



Virus-free. www.avast.com

OFFICE OF
KITTERY WATER DISTRICT

17 State Road
Kittery, Maine 03904-1565
TEL: 207-439-1128
FAX: 207-439-8549
Email: kitterywater@comcast.net

To: Gary Seward

From: Michael Rogers

Date: April 20, 2016

Re: Seward Farm Lane, Kittery – Water Main Installation Proposal

Dear Gary,

As requested, I have prepared a proposal to provide and weld together 2,400 feet of water main, provide and install one fire hydrant and one blow off assembly and to provide the materials and install 14 water services. All excavation, sand bedding, sand backfill, backfilling of the trenches and cleanup is by others.

Provide 1,000 feet of 8" SDR 11 blue stripe H.D.P.E. pipe	\$ 8,860.00
Provide 1,400 feet of 4" SDR 11 blue stripe H.D.P.E. pipe	\$ 3,276.00
Labor to weld 2,400 feet of water main together to include attaching a copper head tracer wire to the pipe once it's lowered into the trench at \$4.10 per foot	\$ 9,840.00
Provide materials and labor to install one fire hydrant, one inline valve and one blow off assembly	\$ 6,165.00
Provide materials and labor to install 14 water services from the main to the curb stop at \$460.00 per service	\$ 6,440.00
Provide miscellaneous H.D.P.E. MJ adaptors and fittings	\$ 500.00

Grand total of proposal: \$35,081.00

Sincerely,



Michael S. Rogers
Superintendent

**SEWARD FARM LANE SUBDIVISION HOMEOWNERS
ASSOCIATION DRAFT**

Declaration of Rights, Restrictions and Covenants
and
Bylaws
Seward Farm Lane Subdivision, Town of Kittery, York County, Maine

Property Affected by Declaration

This Declaration of Rights, Restrictions and Covenants shall bind the owners of lots in the Seward Farm Lane Subdivision, (hereinafter called "the Subdivision") located at 43 Piccott Road, in Kittery, Maine, entitled "Seward Farm Lane Subdivision, 43 Piccott Road, York County, Kittery, Maine", prepared by North Easterly Surveying, Inc, which Plan is recorded in the York County Registry of Deeds at Plan Book [REDACTED], Page [REDACTED] (hereinafter called "the Plan") and shown on the Town of Kittery Tax Map 46, Lot 4 (hereinafter collectively referred to as "the Lots"). This Declaration of Rights, Restrictions and Covenants shall bind the owners of lots shown on the Town of Kittery Tax 59 as lots 24 (owned by Gary R. Seward), 25 (owned by Joseph Parsons), 26 (owned by Barry and Heather Seward), 27 (owned by Gary R. Seward, Gregg P. Seward and Pattis S. Parsons) and 28 (owned by Jeffrey A. Parsons and Audrey M. Parsons). The Subdivision Plan includes by reference the approved accompanying engineering plans entitled "Seward Farm Lane Subdivision, 43 Piccott Road, Kittery Maine, prepared by Civilworks New England dated [REDACTED], 2017 or as revised, (hereinafter called "the Plans"). The Subdivision includes Lots 1--14, Reserve Area and the subdivision road (Seward Farm Lane, a private way).

This Declaration is created to assure all owners and purchasers of lots within the Subdivision (and the adjacent shown as Tax Map 59, Lots 24, 25, 26, 27 and 28), their heirs, personal representatives, successors and assigns that the use, development, benefit and enjoyment of said Lots, roads and common lands shall be in accordance with a harmonious plan, and to this end, the undersigned Lot Owners deem that all Lots be subjected to the restrictions, reservation, servitudes, covenants, agreements and easements as hereinafter set forth.

The developers of the Subdivision intend to convey all roads, Common Areas and Open Space to a non-profit homeowners association known as 'Seward Farm Homeowners' Association, Inc.' (the Association) establish in compliance with Title 13-B M.R.S.A. Section 101, et seq., prior to the conveyance of the first lot.

Article A: General Restrictions

Each of the Lots 1-8 and 10-14 as shown on the Plan shall be subject to the following rights, restrictions and covenant which shall run with the land.

1. Each Lot will be SUBJECT TO the terms, conditions, easement and restrictions set forth on the Plan and within this Declaration.
2. Each Lot shall be used for single family residential purposes excepting that home occupations or businesses are permitted subject to the requirements of the Kittery Land Use Code. Any other uses as allowed by the Kittery Land Use Code or other applicable ordinances are subject to review and approval by the Board of Directors of the Association.

DRAFT 10-17-17

3. Only one dwelling, as defined by the Kittery Land Use Code shall be permitted on any lot. No dwelling shall exceed two and one half stories in height. No dwelling shall be constructed with less than 1,600 square feet of living areas, excluding garage, basement, deck, porch, attic and or barn area. Each home shall have a minimum two car garage. Accessory structures, (sheds, garages, pools, etc.) are permitted subject to any requirements of the Kittery Land Use Code or other applicable ordinances and Lot Coverage requirements as specified on the Plan.
4. Each dwelling shall be supported by a solid masonry foundation or slab. All exterior portions of chimneys and fireplaces shall be of brick or stone construction. No cinder block chimneys are allowed on the exterior of any dwelling or structure located on the Lot.
5. Construction of a dwelling, once begun, shall be pursued diligently and completed within one year. All construction equipment and material used during construction upon a Lot shall be off-loaded on the Lot and not upon Seward Farm Lane. It shall be the responsibility of the Lot owner to repair any damage to Seward Farm Lane or adjacent slopes and common areas resulting from the transportation and delivery of any building/construction materials.
6. The development of all lots shall be done in such a manner so as to retain and preserve the natural vegetation, trees, shrubs and other beneficial flora existing on the Lot. Vegetation which is hazardous to the Lot owner (e.g., dead trees or invasive species such as sumac, bittersweet or Japanese Knotweed) or that may impede proper drainage of the Lot may be removed.
7. No Lot owner shall park vehicles, nor place personal property, e.g., trailers, on Seward Farm Lane.
8. No livestock, farm animals or animals shall be kept, bred, maintained or allowed on any Lot unless approved in writing by the Homeowners Association. Small poultry raised purely for domestic use by the Lot Owner is permitted. A reasonable number of domestic pets are permitted, but shall not be bred or maintained for purpose of resale. No pet shall create unreasonable noise or create a nuisance or annoyance to neighbors.
9. Propane tanks, satellite dishes and other communications equipment are permitted; however, such equipment must be fully screened so that they cannot be viewed from Seward Farm Lane and adjacent Lots.
10. No Lot owner may do or permit anything to be done on their Lot which is or may constitute a nuisance, or violate any Rule established by the Association.
11. No trash, ashes or other refuse, junk, vehicles in disrepair, brushwood or other unsightly objects shall be kept or permitted on any Lot or in the open space except in sanitary containers concealed from public view.
12. Children's swing sets, jungle gyms, wading pools and similar play equipment may only be maintained in the rear yards. (For the purpose of this provision, the term "rear yard" shall mean that area located on the opposite side of the house from the front door.)
13. No structure of a temporary nature, including, but not by way of limitation; house trailers, mobile homes, auto homes, campers, trailers of any kind, basements, tents, shacks,

DRAFT 10-17-17

garages, barns or other outbuildings shall be used as residence, either temporary or permanent. No inactive automobiles, motorcycles, motor homes, or snowmobiles shall be stored anywhere except in an enclosed garage.

14. Houses and accessory structures as permitted, shall be painted or sided in "earth-tones." In the event there is any question as to the nature of a particular color and whether it meets the definition of "earth-tones," then the Board of Directors shall have the absolute right to make a final decision. The use of T1-11 siding is not permitted.
15. No snow, ice, gravel, loam compost, leaves, fertilizers or other mineral waste products or commodities shall be piled or stored within ten (10) feet of boundaries of any Lot; and snow and ice shall not be deposited on roadways so as to obstruct motor vehicles or pedestrian passage by other Lot owners.
16. No fences or walls shall be erected or placed upon any lot unless approved in writing by the Board of Directors. Hedges or shrubbery not over four (4) feet in height shall be permitted. Each owner, whether such lot is vacant or occupied, shall keep and maintain the lawn to the edge of the road in a neat, attractive and safe condition.
17. Lot owners shall properly and regularly maintain the drainage swales across their Lot (if any) so that water properly drains through the Lots. Failure to do so shall subject a Lot owner to fines and corrective action by the Association, including entry upon their Lot by the Association to correct the drainage and assessment against the Lot owner for the cost of such corrective action. Lots shall be graded generally to be consistent with the Plans and stormwater management system.
18. Lot 9 (Open Space) containing approximately 20.6 acres shall be maintained as wooded open space for the use and enjoyment of all owners of lot adjacent to Seward Farm Lane and shall permit the continued use of existing trails and tote roads within Lot 9, creation of passive use trails for walking, hiking and associated activities excepting that no motorized use shall be permitted except as required for maintenance of Lot 9. Cutting of trees or vegetation which are dead, diseased, invasive, pose safety hazards or necessary to maintain existing paths and tote roads shall be permitted.

Article B: Easement

Each Lot owner as well as the owner(s) of the area identified as Reserve Area and the owners of lots shown on the Town of Kittery Tax 59 as lots 24 (owned by Gary R. Seward), 25 (owned by Joseph Parsons), 26 (owned by Barry and Heather Seward), 27 (owned by Gary R. Seward, Gregg P. Seward and Pattis S. Parsons) and 28 (owned by Jeffrey A. Parsons and Audrey M. Parsons), their heirs, personal representatives, successors and assigns and guests are hereby granted a perpetual easement, to be used by foot or by motor vehicle, and for all utilities, in common over Seward Farm Lane. Additionally, each Lot owner as well as the owners of lots shown on the Town of Kittery Tax 59 as lots 24 (owned by Gary R. Seward), 25 (owned by Joseph Parsons), 26 (owned by Barry and Heather Seward), 27 (owned by Gary R. Seward, Gregg P. Seward and Pattis S. Parsons) and 28 (owned by Jeffrey A. Parsons and Audrey M. Parsons), their heirs, personal representatives, guests, successors and assigns are hereby granted a perpetual easement over the Lot 9, to be used on foot.

Article C: Homeowners' Association

1. Creation and Purpose:

The Seward Farm Homeowners' Association, Inc. is a non-profit Maine corporation established for the following purposes:

- 1) To hold title to Seward Farm Lane for the benefit of all Lot owners and others until such time as the road may be taken over by the Town of Kittery; however notwithstanding the rights of the Association to petition the Town for acceptance of the roadway (Seward Farm Lane), the Town has no obligation to accept said roadway; Seward Farm Lane may be turned over to the Town of Kittery only upon the vote of 75% of the Lot owners (including the owners of lots shown on the Town of Kittery Tax 59 as lots 24, 25, 26, 27 and 28 as well as the owner(s) of Reserve Area).
- 2) To hold title to any Common Areas, Lot 9 or roadways as shown on the Plan for the benefit of all Lot owners subject to any acceptance of the roadway by the Town of Kittery;
- 3) To maintain and repair the internal roadways within the subdivision in a manner similar to the maintenance and repair (including snow removal) the Town of Kittery cares for public roads until such time as title to the roadways are accepted by the Town of Kittery;
- 4) To administer, maintain and repair the water line and fire hydrants;
- 5) To facilitate the collection of fees from Lot owners for snow removal, road maintenance, fire hydrant rental and Common Area maintenance for the Subdivision for as long as the roadways within the Subdivision remain private;
- 6) To administer, maintain and repair the roads, internal drainage and stormwater management system in compliance with the State of Maine Department of Environmental Protection Permit #L-21967-TB-D-N/L-21967-NA-C-N.
- 7) To administer, maintain and repair any Common Area or Open Space;
- 8) To enforce and administer the Declaration of Rights, Restrictions and Covenants;
- 9) Generally, to preserving property values and amenities within the Seward Farm Subdivision;
- 10) To grant easements over the internal roadways to the Town of Kittery for fire, safety and emergency purposes and such other purposes as the Board of Directors deems appropriate; and
- 11) To undertake any other activities authorized by Title 13 – B, the Maine Nonprofit Corporation Act.;

In addition, to the provisions set forth herein, the Association shall be governed by Articles of Incorporation, Bylaws and any amendments thereto or any rules and regulations subsequently adopted by the Association. In the event of a conflict the provisions of this Declaration and the Articles of Incorporation Bylaws or Rules and Regulation, the provisions of this Declaration shall govern.

2. Membership in the Association and Voting:

- a. **Membership and Voting.** Every record owner of a Lot within the Subdivision, as well as the owners of the lots designated on the 2017 Town of Kittery Tax Map 59 as lots 24 (currently owned by Gary R. Seward), 25 (currently owned by Joseph Parsons), 26 (currently owned by Barry and Heather Seward), 27 (currently owned by Gary R. Seward, Gregg P. Seward and Pattis S. Parsons) and 28 (currently owned by Jeffrey A. Parsons and Audrey M. Parsons) and the owner of the area on the Subdivision Plan as "Reserve Area" shall be members of the Association and each lot shall be entitled to one vote (***collectively, all of these owners are hereinafter identified as Lot Owners or as Members***). Lot Owners in arrears in paying their annual dues or assessments shall not have the right to vote. If a Lot is owned of record by one person, that Lot Owner's right to cast all the Votes allocated to that Lot shall be established by the record title to the Lot. If ownership of a Lot is in more than one person, the person who shall be entitled to cast all the Votes allocated to that Lot shall be the person named in a certificate executed by all of the Owners of such Lot and filed with the Secretary of the Association. If ownership of a Lot is in a corporation, partnership, trust or estate, the officer or employee of that corporation, partner of that partnership, trustee of that trust, or agent of that estate, entitled to cast for the corporation, partnership, trust or estate has failed to file said certificate with the Secretary and if more than one Owner of that Lot is present at the meeting, the Votes allocated to that Lot may be cast only in accordance with the agreement of a majority of the multiple Owners present at the meeting. Such majority agreement shall be conclusively presumed if any one of those multiple Owners shall cast the Vote allocated to the Lot without protest being promptly made to the person presiding over the meeting by any other Owners of that Lot.
- b. **Meetings.** Meetings of the Association membership shall be held at a time and place to be established by the Board of Director of the Association, as shall be specified in the notice of the meeting.
- c. **Annual Meetings.** The annual meetings of the Association members shall be held each year on the first Saturday in June, unless another date is selected by the Board of Directors. In the event that the day for which an annual meeting is scheduled is a legal holiday, then the meeting shall be held on the first day thereafter which is not a legal holiday. At such meetings there shall be elected by vote of the members a Board of Directors in accordance with the provisions of these Bylaws. The Association Members shall also transact such other business as may properly come before them. Unless otherwise specified herein, all matters to come before any meeting of the Association shall be determined by a hand-vote of a majority of members in attendance at the meeting.

- d. **Meeting by Remote Communication.** Any one or more Association member may participate in a meeting of the Association by means of a conference telephone, video conference, or similar communications equipment. Participation by such means shall constitute presence in person at a meeting provided that all persons participating in the meeting can hear each other at the same time and each Member can participate in all matters before the Association, including, without limitation, the ability to propose, object to, and vote upon a specific action to be taken by the Association.

3. Power of the Association:

The Association shall have all of the powers of a Maine non-profit corporation, including the authority to:

- a. Acquire, own, convey, mortgage, pledge or lease such property, or interests in property (e.g., easements), as may be necessary in order to carry out the purposes of the Association and to hold title or an easement to Seward Farm Lane;
- b. The power and duty to determine an annual budget.
- c. To elect a Board of Directors;

ARTICLE D: Board of Directors

1. Creation and Purpose.

The affairs of the Association will be carried out by a four-person Board of Directors elected annually by the Lot Owners Board members shall be owners of lots with addresses on Seward Farm Lane (or their spouse if the spouse is not a title holder). The Board members so chosen shall vote to establish the four positions: President, Vice President, Secretary and Treasurer (the Officers). The officers may, but need not, be chosen from among the Board Members. Homeowners may nominate any Lot Owner (or spouse of a Lot Owner) member to be elected to the Board. Elections will be made by a majority vote at the annual meeting of the Association. Each board member will serve for a three-year term. Board Members may be reelected at the end of their three-year term.

2. Powers and Duties. The Board shall have the duty and power to:

- a. enforce the terms of the Declaration and Bylaws;
- b. open bank accounts on behalf of the Association and designate the signatories thereon.
- c. determine fines for violations of the Declaration of Rights, Restrictions and Covenant and the Rules and Regulations;
- d. create and enforce Rules and Regulations for the administration of the Association and the roadway;

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- e. to designate, hire and dismiss the personnel necessary for the maintenance, operation, repair and replacement of the Common Areas;
 - f. to prepare and present to the Association at the annual meeting a proposed budget for the coming year;
 - g. to establish a capital reserve account if the Board deems it necessary for the management of the Association and its Common areas, i.e., Seward Farm Lane;
 - h. based upon the budget established by the Association, to make assessments against Lot Owners to defray the costs and expenses of the Association, establish the means and methods of collecting such assessments from the Lot Owners and establish the period of the installment payment of annual dues and assessments;
 - i. to collect the assessments for Common Expenses against the Lot Owners, deposit the proceeds thereof in any bank depositories or money market funds designated by the Board of Directors and use the proceeds to carry out the administration of the Common Areas;
 - j. to provide for the operation, care, upkeep and maintenance of all of the Common Areas including improvement, maintenance, signage, repair, street sweeping, paving, sealcoating, snow plowing and snow removal serving the Subdivision on Seward Farm Lane or any other Common Areas and storm water drainage facilities;
 - k. on behalf of the Association to convey title to real property, to execute easements, mortgages and leases;
 - l. carry out the business of the Association in any manner the Board deems necessary and appropriate;
3. **Notice of Meetings.** Notice of a meeting may be sent by mail, telephone, facsimile transmission, telegraph, courier service, electronic mail or hand delivery, directed to each director at his or her address or contact information as it appears on the records of the President. Such notice shall state the time and place where the meeting is to be held and, need not specify the purpose(s) for which the meeting is called. Notice shall be deemed to have been given when sent, and if by mail, when deposited in the United States mail with prepaid postage thereon. No notice shall be required for any regular meeting for which the time and place has been previously fixed by the Board of Directors. Notice of any regular meeting for which the time and place is not fixed by the Board of Directors must be given to each director not less than thirty (30) days before such meeting. Notice of a special meeting of the Board of Directors must be given to each director not less than seven (7) days before such meeting, provided, however, that notice of special meetings relating to an emergency which must, in the reasonable judgment of the President, be resolved in a shorter time frame shall be given as promptly as possible. Notice of a regular or special meeting need not be given to a director who submits a signed waiver of notice before or at the meeting's commencement, or who attends the meeting without protesting (not later than the commencement of the meeting) the lack of notice to him or her.

4. **Quorum.** At each meeting of the Board of Directors, the presence of three-fourths (3/4) of the directors in office immediately prior to the commencement of the meeting shall constitute a quorum for the transaction of business or any specified item of business. If a quorum is not present at any meeting of the Board of Directors, the meeting shall be adjourned to another time without notice other than by announcement at the meeting, until such a quorum is present, except that notice of such adjournment shall be given to any directors who were not present at the time of the adjournment.
5. **Voting.** Except as otherwise provided by statute, the Articles of Organization or these by-laws, the vote of a majority of the directors present at the time of a vote, if a quorum is present, shall be the act of the Board of Directors.
 - a. **Presumption of Assent.** A director of the Association who is present at a meeting of the Board of Directors when action is taken is deemed to have assented to the action taken unless: (i) the director objects at the beginning of the meeting (or promptly upon arrival) to holding the meeting or transacting business at it; (ii) the director's dissent or abstention from the action taken is entered in the minutes of the meeting; or (iii) the director files written notice of the dissent or abstention with the presiding officer of the meeting before its adjournment or with the Association immediately after adjournment of the meeting. This right of dissent or abstention is not available to a director who votes in favor of the action taken.
 - b. **Meeting by Remote Communication.** Any one or more members of the Board of Directors or any committee thereof may participate in a meeting of the Board of Directors or such committee by means of a conference telephone, video conference, or similar communications equipment. Participation by such means shall constitute presence in person at a meeting provided that all persons participating in the meeting can hear each other at the same time and each director can participate in all matters before the Board of Directors, including, without limitation, the ability to propose, object to, and vote upon a specific action to be taken by the Board of Directors or committee.
 - c. **Action Without Meeting.** Any action required or permitted to be taken by the Board of Directors or any committee thereof may be taken without a meeting if all members of the Board of Directors or committee consent in writing to the adoption of a resolution authorizing the action. Such consent may be written or electronic. The resolution and written consents thereto by the members of the Board of Directors or such committee shall be filed with the minutes of the proceedings of the Board of Directors or such committee.

ARTICLE E: Method of Providing General Funds:

For the purpose of providing a general fund to enable the Association to exercise the powers and make and maintain the improvement and render the services herein provided, the Board of Directors of the Association shall determine for each year the total amount required for such fund for such year to be approved by the Association Members at the Annual Meeting by majority vote of those in attendance at the annual meeting. Once approved by the Association Members, the Board of Directors shall levy an annual assessment uniformly against each of Lot, hereinafter called the Association Fee.

The yearly Association Fee shall be assessed to each Lot Owner by July 1 of each year. In the event of failure of any owner to pay any assessment on or before thirty (30) days following notice to such Lot owner of such assessment of the scheduled due date thereof, then such assessment shall become delinquent and shall bear interest at the rate of eighteen percent (18%) per annum from the due date thereof, plus costs of collection, including without limitation attorney fees. When delinquent, payment of principal, interest and costs may thereafter be enforced against the owner personally, and as a lien upon the delinquent Lot Owner's Lot. The Board of Directors shall have the power and duty to place a Certificate of Lien in the York County Registry of Deeds upon the lot of any delinquent Lot Owner. The Board of Directors shall establish a written policy for the enforcement of the annual assessment. It shall be the duty of the Association, acting through its Board, to bring suits to enforce such liens. For each certificate so filed, the Association shall be entitled to collect from the delinquent Lot Owner, in addition to the unpaid assessment, an administration fee based upon the cost of preparing and processing the Certificate of Lien. Such fee shall be collectable in the same manner as the original assessment.

The liens for such assessments shall be subordinate to the lien of any valid mortgage now existing or that may hereafter encumber a Lot. The event of the issuance of a deed pursuant to foreclosures of such mortgage or in lieu of such foreclosure, the Grantee of such deed shall take title free and clear from any liens herein provided which accrue prior to the recording of such deed.

Such liens shall continue for a period of ten years from the date of delinquency and no longer, unless within such time suit shall have been filed for the collection of the assessment, in which case the lien shall continue until the termination of the suit and until the sale of the property under execution of the judgment in such suit.

Expenditures Limited to Assess for Current Year. The Association shall not expend more money within one year than the total amount of the assessment for that particular year, plus any surplus which it may have on hand from previous assessments; nor shall said Association enter into any contract whatsoever binding the assessment of any future year, and no such contract shall be valid or enforceable against the Association

ARTICLE F: General Provisions

1. Each of the Restrictions set forth in **ARTICLE A** of this Declaration shall continue and remain binding for a period of fifty (50) years from the date hereof, and thereafter shall continue automatically in effect for two additional periods of twenty (20) years, unless otherwise agreed to in writing by two-thirds of the Lot Owners (including the owners of lots shown on the 2017 Town of Kittery Tax 59 as lots 24, 25, 26, 27 and 28 and the owner of the area designated as "Reserve Area on the Subdivision Plan).
2. ARTICLES A, B and F of this Declaration may be amended by written consent of **two-thirds** of the Lot Owners (including the owners of lots shown on the 2017 Town of Kittery Tax 59 as lots 24, 25, 26, 27 and 28 and the owner of the area designated as "Reserve Area on the Subdivision Plan). Said written consent to amend shall be prepared and signed by the President and Secretary of the Association and recorded in the York County Registry of Deeds; **ARTICLES C, D AND E** may be amended by with the written consent of a **majority** of the Lot Owners (including the owners of lots shown

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on the 2017 Town of Kittery Tax 59 as lots 24, 25, 26, 27 and 28 and the owner of the area designated as "Reserve Area on the Subdivision Plan). Said written consent to amend shall be prepared and signed by the President and Secretary of the Association and recorded in the York County Registry of Deeds. Provided, however, no amendment shall violate the terms, conditions, restriction or limitations placed upon the Subdivision by the Town of Kittery Planning Board, the State of Maine Department of Environmental Protection or U S Army Corp of Engineers, or any other local, State or Federal permitting agency.

3. The provisions herein set forth shall run with the land and bind the Lot Owners (including the owners of lots shown on the 2017 Town of Kittery Tax 59 as lots 24, 25, 26, 27 and 28 and the owner of the area designated as "Reserve Area on the Subdivision Plan), their heirs, personal representative, successors and assigns, and all parties claiming by, through or under them. Each Lot Owner shall have the right, but not the obligation, jointly and separately, to sue for and obtain a prohibitive and mandatory injunction to prevent the breach of or to enforce the observance of, the provisions of this Declaration or any of them, in addition to the right to bring an ordinary legal action for damages. If any Lot Owner or the Association engages the services of an attorney to enforce the provisions set forth herein and is successful in establishing that a breach of these covenants by defendant has occurred, then the Lot Owner or Association shall be entitled to recover from the defendant reasonable attorney's fees. In no event shall the failure of Lot to enforce any of the provisions herein set forth as to a particular violation be deemed to be a waiver of the right to do so as to any subsequent violation. A Lot Owner aggrieved by the beach of these covenants may in the absence of enforcement action by the Association, initiate his own enforcement action.
4. If a court of competent jurisdiction shall hold invalid or unenforceable any provision contained in this Declaration, such holdings shall not impair, invalidate or otherwise affect the remainder of this Declaration which shall remain in full force and effect.
5. A written or printed notice, deposited in the United States Post Office, postage prepaid, and addressed to any Lot Owner at the address on file with the Town of Kittery Tax Assessor's office shall be sufficient and proper notice to such owner wherever notices are required in the Declaration; a mailing by United States Postal Service "return receipt" to this address shall be deemed delivery of notice to a lot owner.
6. By acceptance of a deed of conveyance to a Lot (including the lots shown on the 2017 Town of Kittery Tax 59 as lots 24, 25, 26, 27 and 28 and the area designated as "Reserve Area on the Subdivision Plan), notice is thereby given to the Lot Owner of this Declaration and these Bylaws of the Seward Farm Homeowners' Association, Inc. whether or not it shall be so expressed in the deed. By acceptance of a deed, each such Lot Owner (including the owners of lots shown on the 2017 Town of Kittery Tax 59 as lots 24, 25, 26, 27 and 28 and the owner of the area designated as "Reserve Area on the Subdivision Plan) agrees to become and remain a member in good standing in the Association and to comply with this Declaration, Bylaws and Rules and Regulations. Each Lot Owner is entitled to the rights and privileges of membership in the Association, as provided in this Declaration and the Bylaws, and shall be responsible for the duties of membership, including the duty to pay Association assessments and the duty to remain in good standing.

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7. This Declaration shall be governed by, construed, and enforced in accordance with the laws of the State of Maine.

Executed this ____ day of October, 2017.

Witness:

Gary R. Seward

Joseph Parsons

Barry Seward

Heather Seward

Gregg P. Seward

Pattis S. Parsons

Jeffrey A. Parsons

Audrey M. Parsons

STATE OF MAINE
County of YORK

October ____, 2017

Then personally appeared the above-named, _____ and acknowledged the foregoing instrument to be his free act and deed.

Before me,

Notary Public

NET RESIDENTIAL ACREAGE CALCULATION

CIVILWORKS NEW ENGLAND

181 WATSON ROAD
P.O. BOX 1166
DOVER, NH 03821-1166
PHONE: (603) 750.4266 FAX: (603) 749.7348

MEMORANDUM

To: File
From: Paige D. Dickie, E.I.T.
Date: August 23, 2017
Re: Net Residential Acreage Calculation
Seward Subdivision
43 Piccott Road, Kittery, ME
Our Reference No. 1689

Per staff review comments provided by the Town of Kittery Planning Board in August 2017, this memo addresses the questions regarding how the deductions were calculated to arrive at the final area to determine how many lots can exist on the property. The following is pertinent:

16.7.8.2 Net Residential Acreage Calculation

- A. All land located below the Highest Annual Tide elevation as published in the Maine DEP Highest Annual Tide (HAT) levels for the most current year.
 - N/A
- B. All land located within the floodplain as defined in Title 16.2, Flood One Hundred (100) Year.
 - Area accounted for in the wetland and wetland setback areas.
- C. All wetlands as defined in Title 16.2 Wetland, as well as vernal pools, ponds, lakes, streams and other water bodies, including fifty (50) percent of the associated setbacks described in Other Buildings and Structures, Table 16.9, Chapter 9 in this Title.
 - Wetland area: 22.84 Ac
 - 50% of wetland setback area: 14.26 Ac
- D. All land located on filled tidal lands, per Title 16.2 Tidal Land, Filled.
 - N/A
- E. All land located within existing rights-of-way and other existing easements wherein dwelling units cannot be built.
 - Existing Road ROW area: 3.56 Ac (area outside of those accounted for in the wetland calculation)
 - Utility Easement: 0.79 Ac (area outside of those accounted for in the wetland & wetland setbacks calculation)
- F. All land located within proposed rights-of-way including parking and travel ways. Driveways are excluded.
 - Proposed Water Easement: 0.09 Ac (area outside of those accounted for in the wetland & wetland setbacks calculation)

CIVILWORKS NEW ENGLAND

181 WATSON ROAD

P.O. BOX 1166

DOVER, NH 03821-1166

PHONE: (603) 750.4266 FAX: (603) 749.7348

- G. All land isolated from the principal location for development on the parcel by a road/street, existing land uses, or any physical feature, natural or manmade, such that it creates a barrier to the central development of the site and no means of access is proposed nor likely to be provided in the future. However, to demonstrate that identified isolated land may be considered developable for the purpose of this calculation, the applicant must submit a plan and supporting documentation for the Board's consideration.
- N/A
- H. All land zoned commercial (C-1, C-2, or C-3).
- N/A
- I. All land one (1) acre or more contiguous area with sustained slopes of 20% or greater.
- N/A
- J. All land identified as exposed bedrock, and soils with a drainage class of poorly drained, and/or very poorly drained as defined in Title 16.2 Soils.
- Gouldsboro & Ossipee soil area accounted for in the wetland calculation
 - Scantic soil area: 1.91 Ac (area outside of those accounted for in the wetland & wetland setbacks calculation)
- K. Fifty (50) percent of all land characterized as drainage class of somewhat poorly drained, unless public sewer is used, in which case no land area is subtracted.
- Colonel soil area: 0.64 Ac (area outside of those accounted for in the wetland, wetland setback, and right-of-way calculation)
 - Lamoine soil area: 8.17 Ac (area outside of those accounted for in the wetland, wetland setback, and right-of-way calculation)
 - Lamoine-eroded soil area: 0.01 Ac (area outside of those accounted for in the wetland, wetland setback, and right-of-way calculation)
- L. All land area within a cemetery and burying ground as defined in Title 16.2, including associated setback per MRSA Title 13 1371-A Limitations on construction and excavation near burial sites.
- N/A
- M. All land within a Commercial Fisheries/Maritime Uses Overlay Zone or Resource Protection Overlay Zone not included in 16.7.8.2.A-L.
- N/A

Total area from A-M: 52.3 Ac.

Total lot area: 69.1 Ac.

$$69.1 \text{ Ac.} - 52.3 \text{ Ac.} = (16.8 \text{ Ac.} \times 43,560 \text{ S.F./Ac.}) / (40,000 \text{ S.F./Lot}) =$$

18 Lots (14 Residential Lots Proposed)

Net Residential Acreage Calculation

Description	Areas (sf)												Total (sf)	Total (Ac)				
A	N/A																	
B	included in wetlands calc																	
C	1626	7295	6353	211615	116333	3149	33744	52863	36520	22525	30634	171791	26775.4	212162	49989	11606	994980	22.84
	349499.2	305022.4	29490.7	70322.9	315544.5	-3484.1	500798.5	-1363.2	-6648.1	37655.8	7918.7	-994980	11606				621383	14.26
D	N/A																	
E	154873.5	114.1	11096.4	16772.2	675.9	403.12	5347.83										154874	3.56
																	34410	0.79
F	Water Easement													3747	0.09			
G	N/A																	
H	N/A																	
I	N/A																	
J	Gouldsboro (Go)													83202	1.91			
	Ossipee (Os)																	
	Scantic (Sc)																	
K	18941.8	36935.6	1300.3	59399.5	23647.4	60454.6	5492.2	3369.98	5818.3	8810.7	2835.98	29414.7	3320.8	82699.5	1763.4	19832.8	27939	0.64
	152233.2	251542.3															355968	8.17
	53.2	621.3	87.8														381	0.01
L	N/A																	
M	N/A																	
Total Area (Ac)												69.1						
Total Less Area (Ac)												52.3						
Total Area Left for Residential Area (Ac)												16.8						
Total (sf)												2276883	52.3					

Soil Areas

Soil Type	Symbol	Areas (sf)						Total (sf)	Total (Ac)
Colonel	Co	56757	41092	13540				111389	2.6
Elmwood	Em	69567						69567	1.6
Gouldsboro	Go	52863						52863	1.2
Lamoine	La	3089	6875	86056	18463	9229	16804	1245965	28.6
Lamoine-eroded(2)	Le	6810	30373	23844	18401			79428	1.8
Lyman-Rock Outcrop Complex	Lr	2277	13865					16142	0.4
Ossipee	Os	212162	171791					383953	8.8
Peru	Pe	40101	60150	7802	33932	49280	16103	231907	5.3
Scantic	Sc	30634	22525	36520	33744	3149	116333	687385	15.8
Tunbridge-Peru Complex	Tp	34077	82520	4249	10551			131397	3.0
								3009996	69.1

**JTC REPORT OF FIELD OBSERVATIONS
& TEST RESULTS**



GEOTECHNICAL ▼ ENVIRONMENTAL ▼ RESIDENT ENGINEERING ▼ TESTING

REPORT OF FIELD OBSERVATIONS

CLIENT: Civilworks NE
Attn: Mr. Stephen Haight
P.O. Box 1166
Dover, NH 03821

PROJECT: Seward Farm Lane
Kittery, ME

DATE: August 29, 2017

REPORT#: 17-55-028-001

Project: Seward Farm Lane
Site Visit Date: August 29, 2017
JTC Field Rep.: Tristan Brackett
Temperature: 61°F
Weather: Overcast
General Location: Roadway
Site Contractor: Civil Works NE

Purpose

As requested by Steve Haight (Civil Works NE), John Turner Consulting (JTC) performed a site visit on Tuesday August 29, 2017 at Seward Farm Lane in Kittery Maine to take soil samples of the existing roadway.

Observations

- Met Steve Haight (Civil Works NE) on-site.
- Under the direction of Steve Haight of Civil Works NE, three test pits were excavated using a Kubota backhoe.
- The locations of these test pits were stations 19+90, 15+12, and 9+90. All locations were determined by Steve Haight of Civil Works NE.
- In locations 19+90 and 15+12, samples of the base and subbase materials were taken.
- In location 9+90, only a sample of the base material was obtained. JTC was unable to gather a representative sample of the subbase soil due to insufficient lift thickness and contamination by the base material.
- Once collected, all samples were labelled. Samples will be transported to the JTC lab for sieve analysis. Once completed, the results of these tests will be forwarded on to the client.
- Details regarding the field observations of the test pits are listed in the table below:

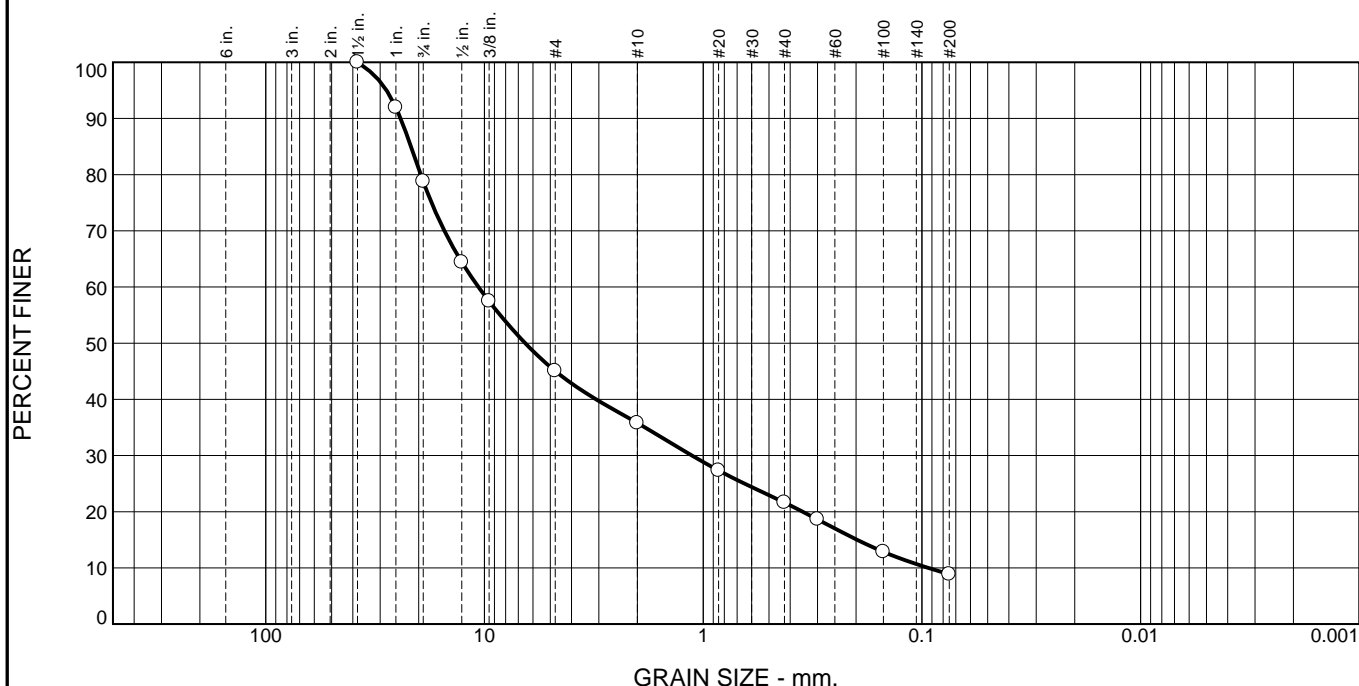


GEOTECHNICAL ▼ ENVIRONMENTAL ▼ RESIDENT ENGINEERING ▼ TESTING

Test Pit Summary Table:

Location	Soil Description	Depth (inches)
Station 19+90	Base Material - Crushed Gravel Light brown color sand with 1" minus stone	0-4"
	Subbase Material - Bank Run Gravel Sand and gravel with both rounded and angular 6" minus stone	4-24"
Station 15+12	Base Material - Crushed Gravel Light brown color sand with 1" minus stone	0-4"
	Subbase Material - Sand Very clean coarse meduim brown sand with no stone	4-20"
Station 9+90	Base Material - Crushed Gravel Light brown color sand with 1" minus stone	0-12"
	Subbase - Sand Very clean coarse to meduim brown sand with no stone	12-18"

Particle Size Distribution Report



% Cobbles	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	21.2	33.7	9.3	14.2	12.7	8.9	

TEST RESULTS			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
1 1/2	100.0		
1	92.0		
3/4	78.8		
1/2	64.4		
3/8	57.5		
#4	45.1		
#10	35.8		
#20	27.3		
#40	21.6		
#50	18.6		
#100	12.9		
#200	8.9		

Material Description		
Well-graded gravel with silt and sand (Crushed Gravel)		
Atterberg Limits (ASTM D 4318)		
PL=	LL=	PI=
Classification		
USCS (D 2487)=	AASHTO (M 145)=	
Coefficients		
D ₉₀ = 24.1767	D ₈₅ = 21.6820	D ₆₀ = 10.6606
D ₅₀ = 6.5134	D ₃₀ = 1.1250	D ₁₅ = 0.1976
D ₁₀ = 0.0934	C _u = 114.13	C _c = 1.27
Remarks		
Date Received: 8-29-17		Date Tested: 9-1-17
Tested By: Ted Moody		
Checked By: Jeff Young		
Title: Lab Manager		

* (no specification provided)

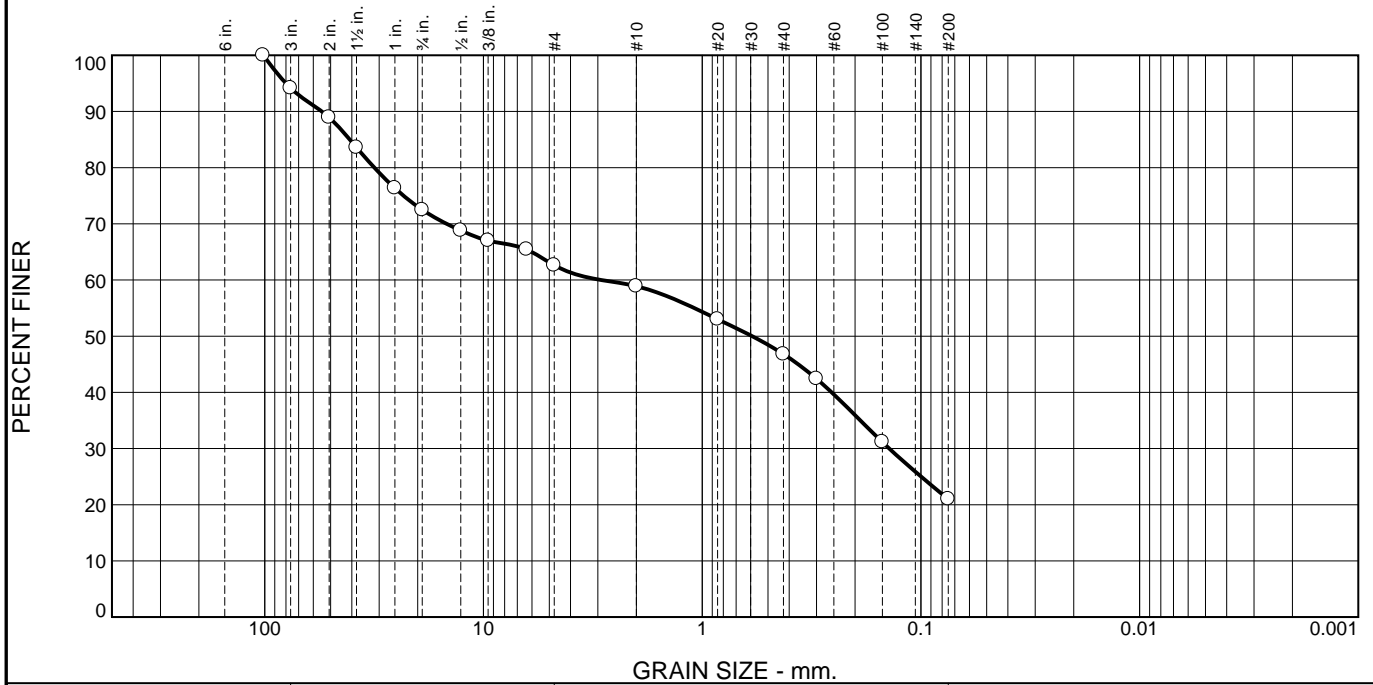
Location: On Site Date Sampled: 8-28-17
 Sample Number: 17-843



Client: Civilworks NE
 Project: Seward Farm Lane - Kittery, ME

Project No: 17-55-028 Figure 001

Particle Size Distribution Report



% Cobbles	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
5.9	21.6	9.9	3.7	12.1	25.8	21.0	

TEST RESULTS			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
4	100.0		
3	94.1		
2	88.9		
1 1/2	83.6		
1	76.3		
3/4	72.5		
1/2	68.8		
3/8	67.0		
1/4	65.4		
#4	62.6		
#10	58.9		
#20	53.0		
#40	46.8		
#50	42.4		
#100	31.2		
#200	21.0		

Material Description

Silty sand with gravel
(Bank Run Gravel)

Atterberg Limits (ASTM D 4318)

PL= _____ LL= _____ PI= _____

Classification

USCS (D 2487)= _____ AASHTO (M 145)= _____

Coefficients

D₉₀= 54.8005 D₈₅= 40.8788 D₆₀= 2.8940
 D₅₀= 0.5911 D₃₀= 0.1395 D₁₅= _____
 D₁₀= _____ C_u= _____ C_c= _____

Remarks

Date Received: 8-29-17 Date Tested: 9-1-17
 Tested By: Ted Moody
 Checked By: Jeff Young
 Title: Lab Manager

* (no specification provided)

Location: On Site
 Sample Number: 17-844

Date Sampled: 8-29-17

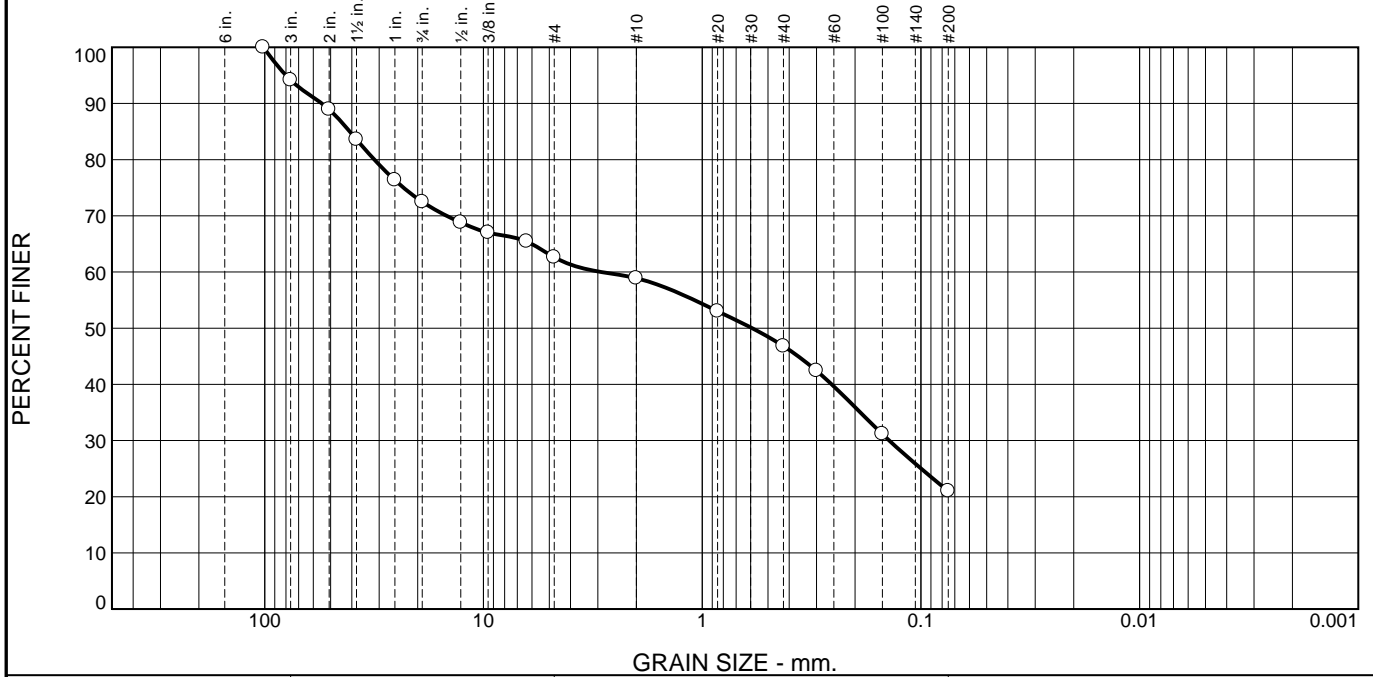


Client: Civilworks NE
 Project: Seward Farm Lane - Kittery, ME

Project No: 17-55-028

Figure 001

Particle Size Distribution Report



% Cobbles	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
5.9	21.6	9.9	3.7	12.1	25.8	21.0	

TEST RESULTS			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
4	100.0		
3	94.1		
2	88.9		
1 1/2	83.6		
1	76.3		
3/4	72.5		
1/2	68.8		
3/8	67.0		
1/4	65.4		
#4	62.6		
#10	58.9		
#20	53.0		
#40	46.8		
#50	42.4		
#100	31.2		
#200	21.0		

Material Description

Silty sand with gravel
(Bank Run Gravel)

Atterberg Limits (ASTM D 4318)

PL= LL= PI=

Classification

USCS (D 2487)= AASHTO (M 145)=

Coefficients

D₉₀= 54.8005 D₈₅= 40.8788 D₆₀= 2.8940
 D₅₀= 0.5911 D₃₀= 0.1395 D₁₅=
 D₁₀= C_u= C_c=

Remarks

Date Received: 8-29-17 Date Tested: 9-1-17
 Tested By: Ted Moody
 Checked By: Jeff Young
 Title: Lab Manager

* (no specification provided)

Location: On Site
 Sample Number: 17-844

Date Sampled: 8-29-17

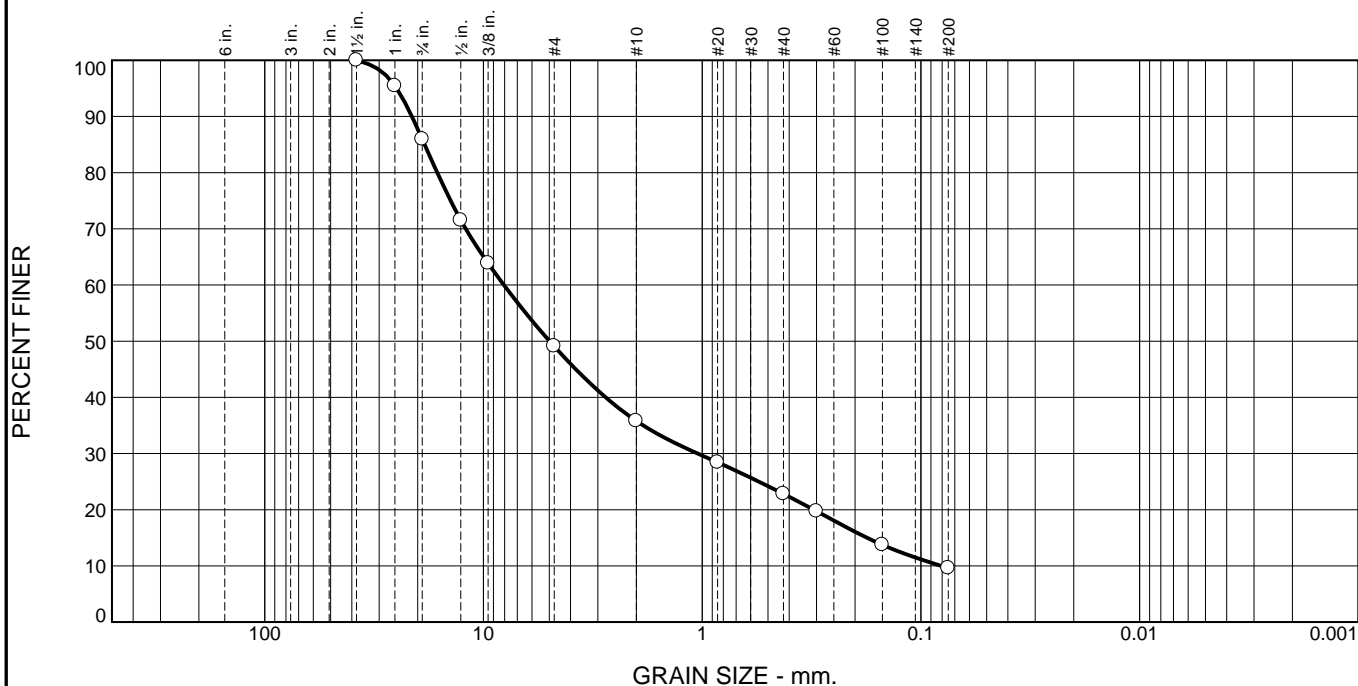


Client: Civilworks NE
 Project: Seward Farm Lane - Kittery, ME

Project No: 17-55-028

Figure 001

Particle Size Distribution Report



% Cobbles	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	14.1	36.8	13.3	13.0	13.2	9.6	

TEST RESULTS			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
1 1/2	100.0		
1	95.5		
3/4	85.9		
1/2	71.5		
3/8	63.9		
#4	49.1		
#10	35.8		
#20	28.4		
#40	22.8		
#50	19.7		
#100	13.7		
#200	9.6		

* (no specification provided)

Material Description
 Poorly graded gravel with silt and sand
 (Crushed Gravel)

Atterberg Limits (ASTM D 4318)
 PL= _____ LL= _____ PI= _____

Classification
 USCS (D 2487)= _____ AASHTO (M 145)= _____

Coefficients
 D₉₀= 21.2525 D₈₅= 18.5784 D₆₀= 8.0650
 D₅₀= 4.9836 D₃₀= 1.0483 D₁₅= 0.1761
 D₁₀= 0.0807 C_u= 99.95 C_c= 1.69

Remarks

Date Received: 8-29-17 **Date Tested:** 9-1-17
Tested By: Ted Moody
Checked By: Jeff Young
Title: Lab Manager

Location: On Site
Sample Number: 17-845

Date Sampled: 8-29-17

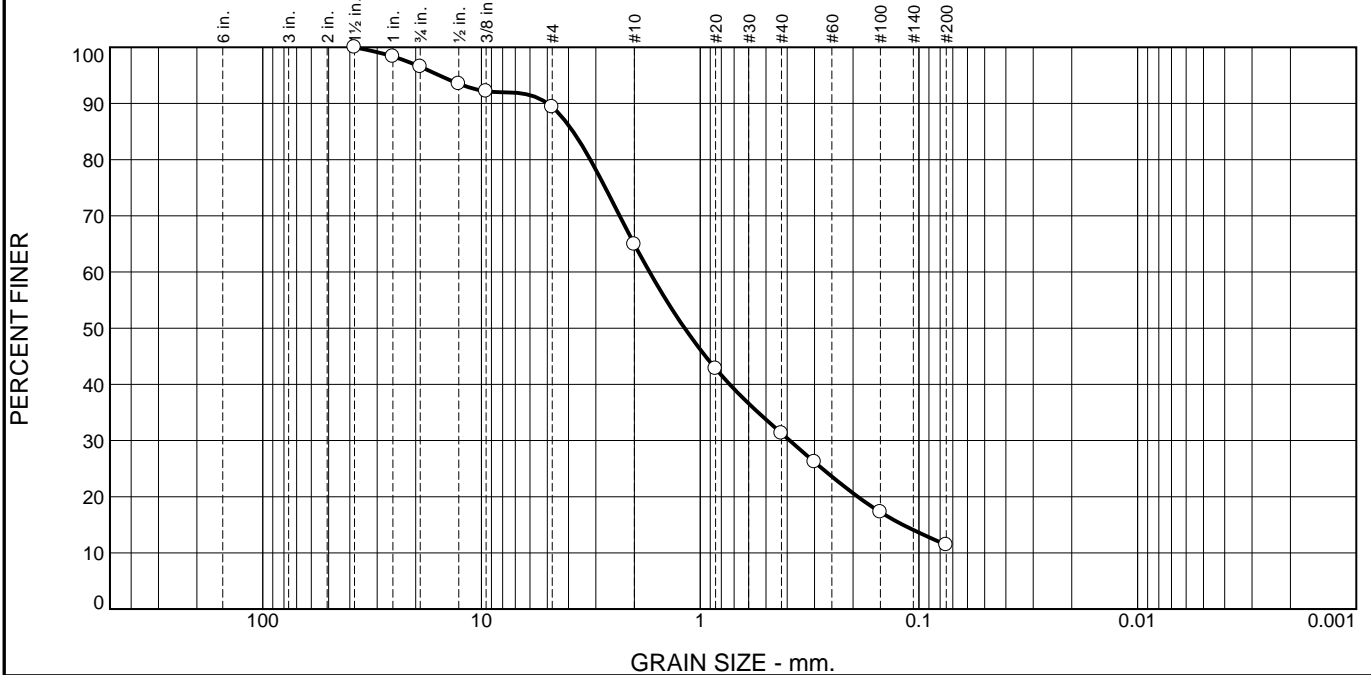


Client: Civilworks NE
Project: Seward Farm Lane - Kittery, ME

Project No: 17-55-028

Figure 003

Particle Size Distribution Report



% Cobbles	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	3.5	7.1	24.5	33.6	19.9	11.4	

TEST RESULTS			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
1 1/2	100.0		
1	98.4		
3/4	96.5		
1/2	93.5		
3/8	92.2		
#4	89.4		
#10	64.9		
#20	42.8		
#40	31.3		
#50	26.2		
#100	17.3		
#200	11.4		

* (no specification provided)

Material Description
Poorly graded sand with silt (Sand)

Atterberg Limits (ASTM D 4318)
PL= _____ LL= _____ PI= _____

Classification
USCS (D 2487)= _____ AASHTO (M 145)= _____

Coefficients
D₉₀= 4.9778 D₈₅= 3.8119 D₆₀= 1.7047
D₅₀= 1.1772 D₃₀= 0.3897 D₁₅= 0.1183
D₁₀= _____ C_u= _____ C_c= _____

Remarks

Date Received: 8-29-17 **Date Tested:** 9-1-17
Tested By: Ted Moody
Checked By: Jeff Young
Title: Lab Manager

Location: On Site
Sample Number: 17-846

Date Sampled: 8-29-17

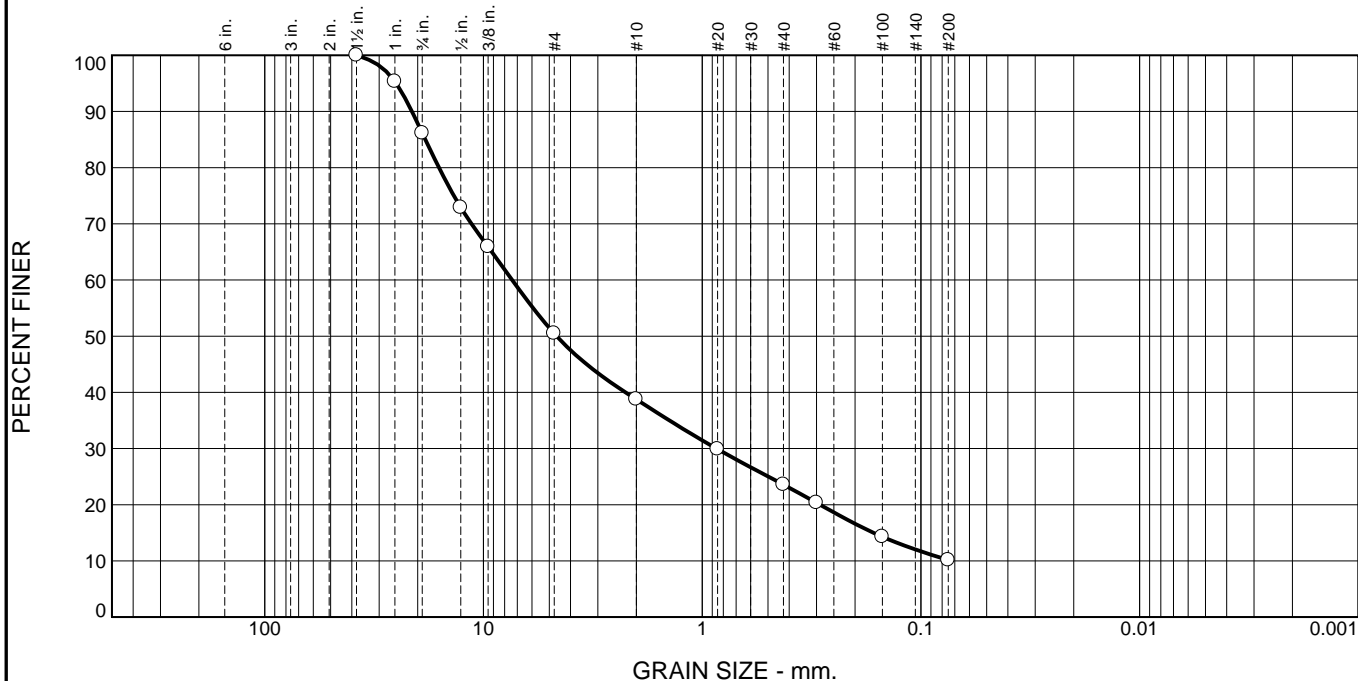


Client: Civilworks NE
Project: Seward Farm Lane - Kittery, ME

Project No: 17-55-028

Figure 004

Particle Size Distribution Report



% Cobbles	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	13.8	35.7	11.8	15.1	13.5	10.1	

TEST RESULTS			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
1 1/2	100.0		
1	95.3		
3/4	86.2		
1/2	72.9		
3/8	65.9		
#4	50.5		
#10	38.7		
#20	29.9		
#40	23.6		
#50	20.3		
#100	14.3		
#200	10.1		

* (no specification provided)

Material Description

Poorly graded gravel with silt and sand
(Crushed Gravel)

Atterberg Limits (ASTM D 4318)

PL= _____ LL= _____ PI= _____

Classification

USCS (D 2487)= _____ AASHTO (M 145)= _____

Coefficients

D₉₀= 21.2391 D₈₅= 18.4413 D₆₀= 7.3950
D₅₀= 4.6272 D₃₀= 0.8610 D₁₅= 0.1645
D₁₀= _____ C_u= _____ C_c= _____

Remarks

Date Received: 8-29-17 Date Tested: 9-1-17
Tested By: Ted Moody
Checked By: Jeff Young
Title: Lab Manager

Location: On Site
Sample Number: 17-847

Date Sampled: 8-29-17



Client: Civilworks NE
Project: Seward Farm Lane - Kittery, ME

Project No: 17-55-028

Figure 005

SEWARD FARM LANE SUBDIVISION TAX MAP 46 LOT 04 43 PICOTT ROAD

KITTERY, MAINE

JUNE 22, 2017

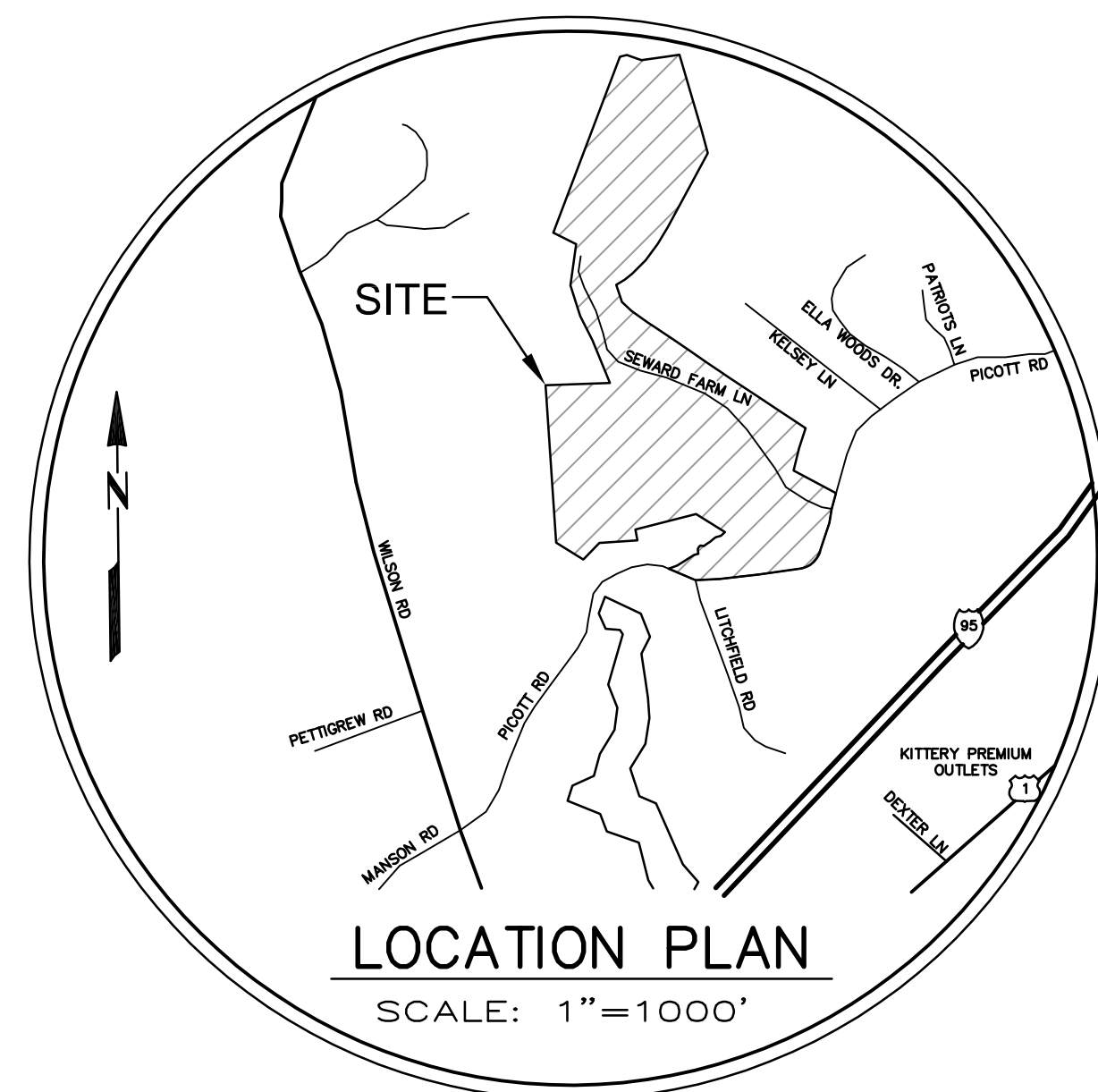
Revised: October 25, 2017
Revised: November 15, 2017

Owner/Applicant: GARY R. SEWARD
191 STATE ROAD
KITTERY, ME 03904

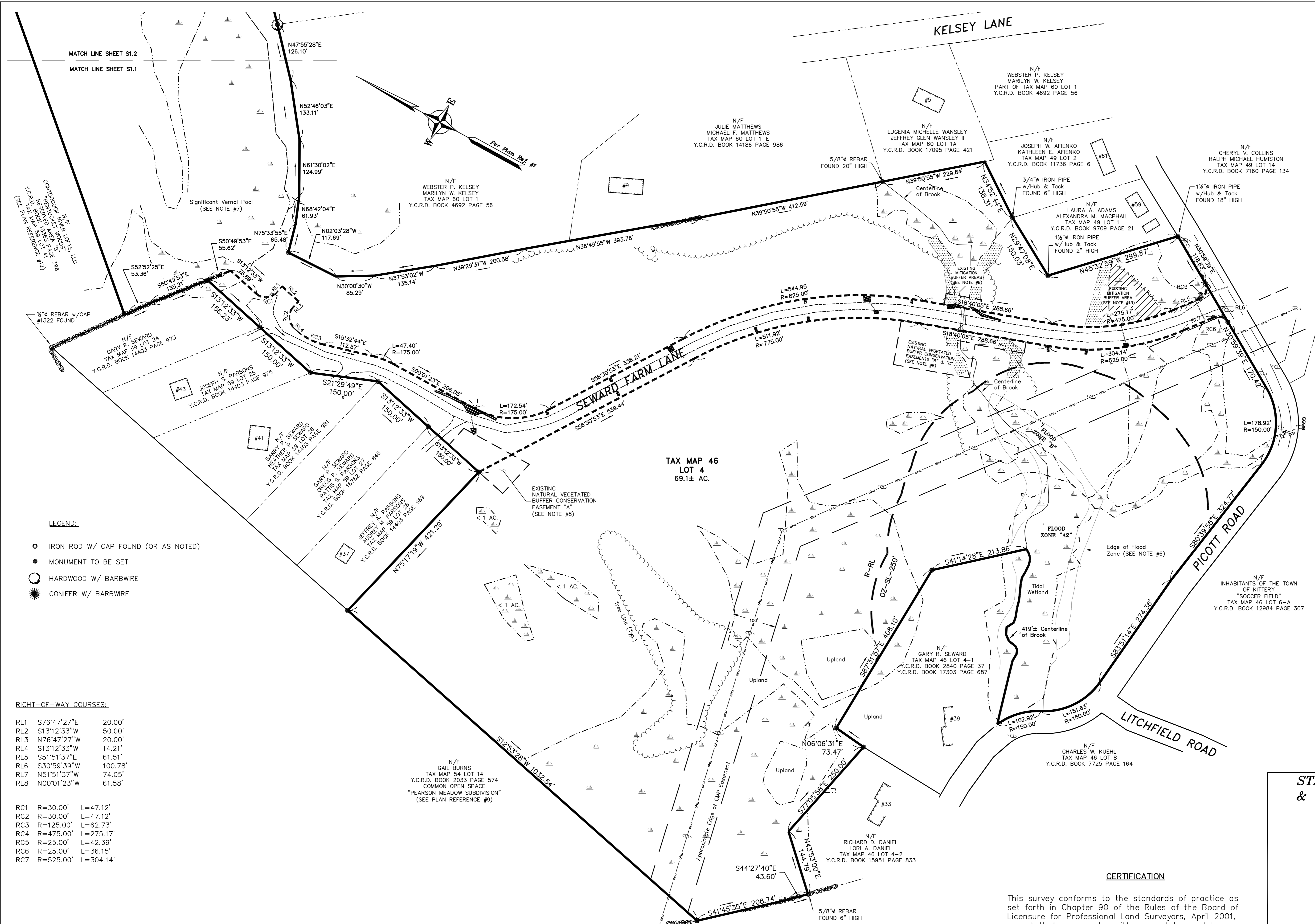
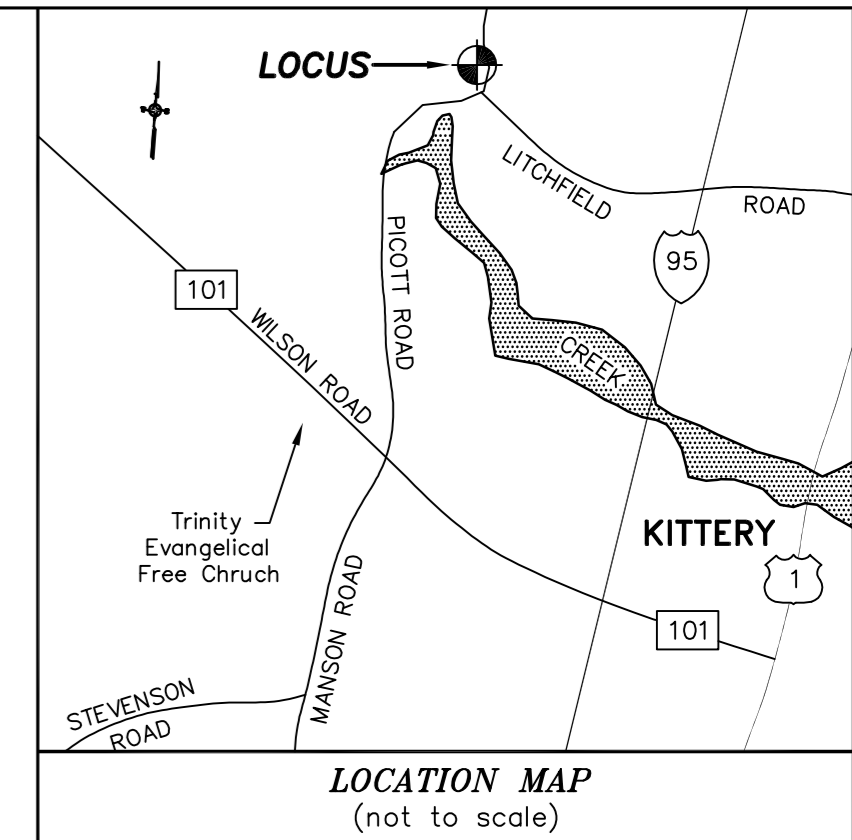
Civil Engineer: CIVILWORKS NEW ENGLAND
CIVIL ENGINEERING
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 749-0443

Surveyor: North Easterly Survey, Inc.
191 State Road, Suite #1
Kittery, ME 03904

Soil/Wetland Scientist: Joseph W. Noel, CPSS
P.O. Box 174
South Berwick, ME 03908
Eliot, Maine 03903



SHEET INDEX	SHEET	REV.
STANDARD BOUNDARY EXISTING CONDITION'S (NORTH EASTERLY SURVEY, INC.)	S1.1	A
STANDARD BOUNDARY EXISTING CONDITION'S (NORTH EASTERLY SURVEY, INC.)	S1.2	A
SEWARD FARM LANE SUBDIVISION (NORTH EASTERLY SURVEY, INC.)	S1.3	2
SEWARD FARM LANE SUBDIVISION (NORTH EASTERLY SURVEY, INC.)	S1.4	2
LOT PLAN	5	2
SOILS PLAN	6	2
SOILS PLAN	7	2
PLAN AND PROFILE - Sta. 0+00 to Sta. 10+50	8	2
PLAN AND PROFILE- Sta. 10+50 to Sta. 18+00	9	2
PLAN AND PROFILE- Sta. 18+00 to Sta. 23+41.39	10	2
EROSION CONTROL NOTES	11	2
EROSION CONTROL DETAILS	12	2
DETAIL SHEET	13	2

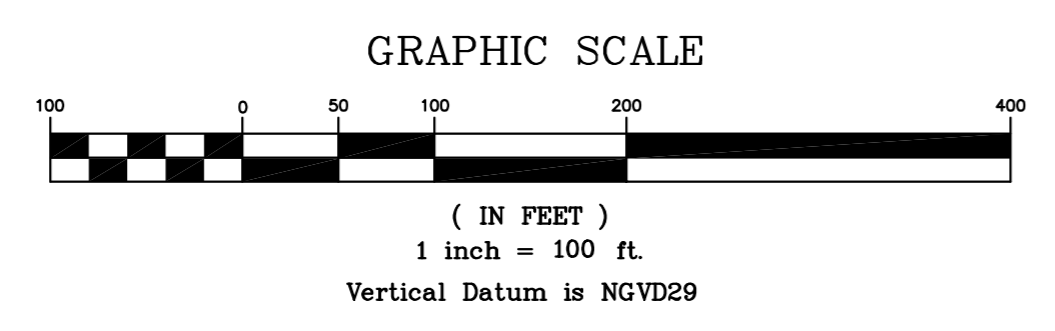


- NOTES:
- TOTAL EXISTING PARCEL AREA
TAX MAP 46 LOT 4
69.1± ACRES
 - OWNER OF RECORD:
TAX MAP 46 LOT 4
GARY R. SEWARD
GREGG P. SEWARD
PATTI S. PARSONS
Y.C.R.D. BOOK 15782 PAGE 850
DATED FEBRUARY 25, 2014
Y.C.R.D. BOOK 16782 PAGE 842
DATED FEBRUARY 25, 2014
 - BASIS OF BEARING IS PER PLAN REFERENCE #1.
 - VERTICAL DATUM IS NGVD29.
 - WETLAND DELINEATION WAS PERFORMED BY JOSEPH NOEL,
MAINE CERTIFIED SOIL SCIENTIST.
 - REFERENCE IS MADE TO "FIRM FLOOD INSURANCE RATE MAP,
TOWN OF KITTERY, MAINE" COMMUNITY PANEL No. 230171 0004
C, EFFECTIVE DATE JULY 5, 1984.
 - VERNAL POOL IS CLASSIFIED AS SIGNIFICANT PER MAINE D.E.P.
 - REFERENCE IS MADE TO Y.C.R.D. PLAN BOOK 299 PAGE 32
(PLAN REFERENCE #7) FOR METES AND BOUNDS OF MITIGATION
BUFFER AREAS AND NATURAL VEGETATED CONSERVATION
EASEMENTS SHOWN HEREON.

- LEGEND:
- IRON ROD W/ CAP FOUND (OR AS NOTED)
 - MONUMENT TO BE SET
 - HARDWOOD W/ BARBWIRE
 - CONIFER W/ BARBWIRE

- RIGHT-OF-WAY COURSES:
- RL1 S76°47'27"E 20.00'
 - RL2 S13°12'33"W 50.00'
 - RL3 N76°47'27"W 20.00'
 - RL4 S13°12'33"W 14.21'
 - RL5 S51°51'37"E 61.51'
 - RL6 S30°59'39"W 100.78'
 - RL7 N51°51'37"W 74.05'
 - RL8 N00°01'23"W 61.58'
- RC1 R=30.00' L=47.12'
 - RC2 R=30.00' L=47.12'
 - RC3 R=125.00' L=62.73'
 - RC4 R=475.00' L=275.17'
 - RC5 R=25.00' L=42.39'
 - RC6 R=25.00' L=36.15'
 - RC7 R=525.00' L=304.14'

YORK,ss REGISTRY OF DEEDS
Received _____
at _____ h _____ m _____ M., and
Filed in Plan Book _____ Page _____
ATTEST: _____
Register



TAX MAP 46
LOT 4
69.1± AC.

CERTIFICATION

This survey conforms to the standards of practice as set forth in Chapter 90 of the Rules of the Board of Licensure for Professional Land Surveyors, April 2001, except that a separate written report has not been prepared.

Adam M. Pray, P.L.S. #2485 _____ Dated _____

STANDARD BOUNDARY SURVEY
& EXISTING CONDITIONS PLAN

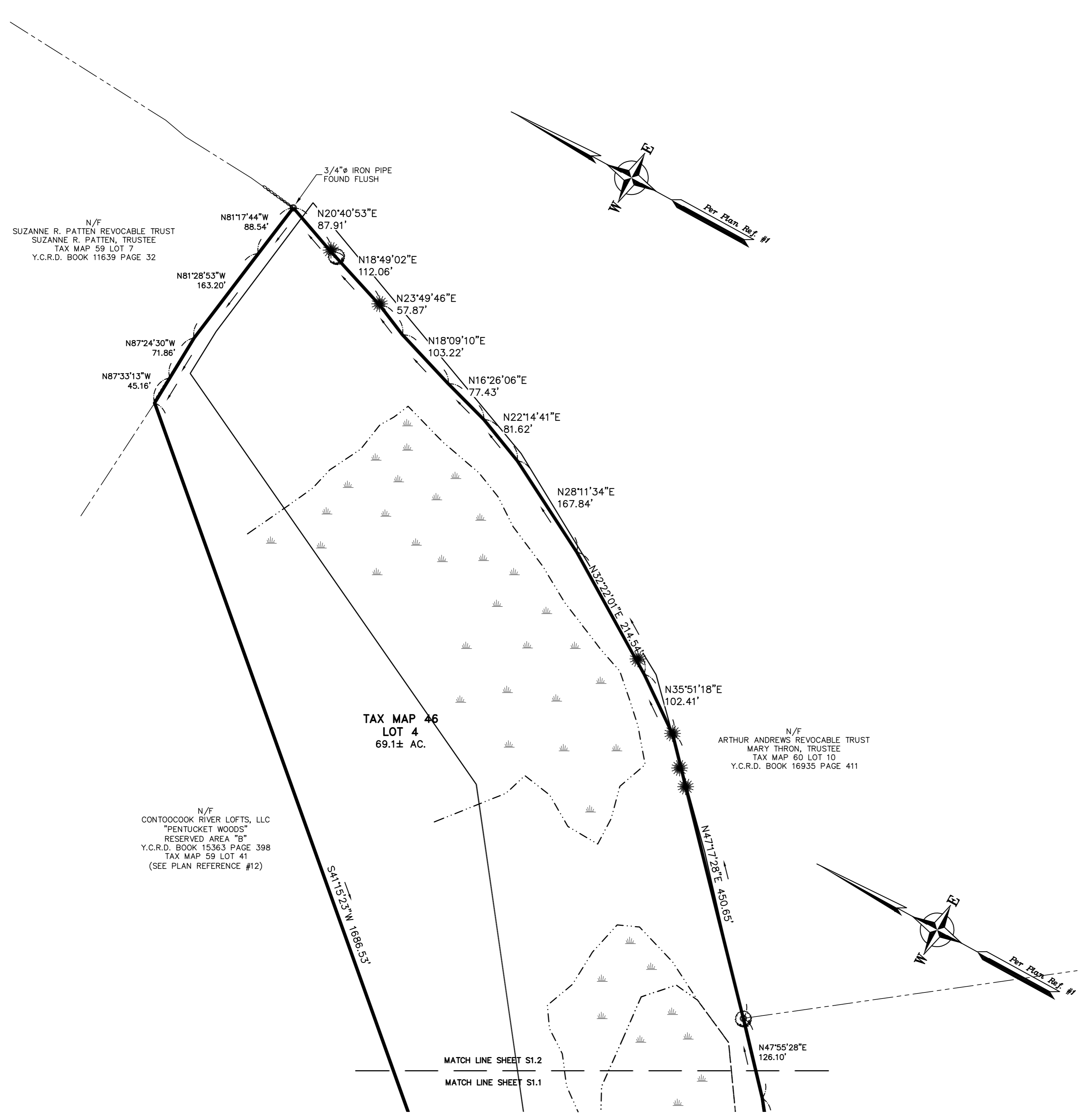
FOR PROPERTY AT
43 Picott Road
Kittery, York County, Maine
OWNED BY
Gary R. Seward
39 Picott Road, Kittery, Maine 03904
Gregg P. Seward
60 Beech Ridge Road, Eliot, Maine 03903
Patti S. Parsons
11 Mill Lane, York, Maine 03909

North
W EASTERLY
SURVEYING, Inc.
SURVEYORS IN N.H. & MAINE 191 STATE ROAD, SUITE #1
(207) 439-6333 KITTERY, MAINE 03904

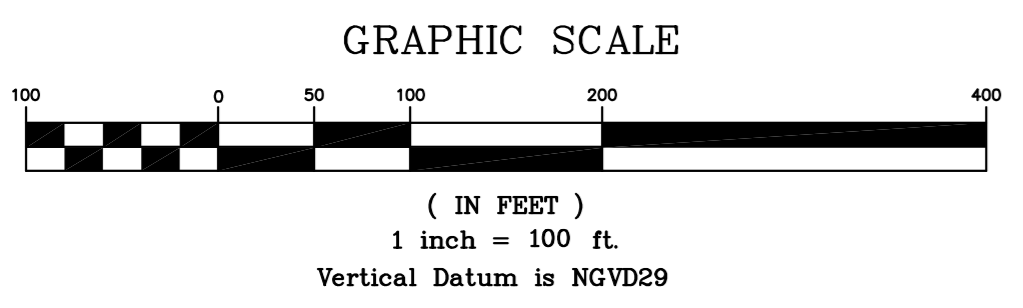
SCALE:	PROJECT NO.	DATE:	SHEET:	DRAWN BY:	CHECKED BY:
1" = 100'	17632	6/22/17	S1.1	A.M.P.	P.L.A.
DRAWING No: 17632_EC.DWG					
FIELD BOOK No: "Kittery #15"					

REV.	DATE	STATUS	BY	CHKD	APPD.
A	11/14/17	REVISE PERIMETER BOUNDARY	A.M.P.	P.L.A.	A.M.P.

Tax Map 46 Lot 4



- PLAN REFERENCES:
- "PLAN OF LOTS OF JOYCE R. SEAWARD, PICOTT ROAD, KITTERY, MAINE" BY EASTERLY SURVEYING DATED MAY 24, 1990 AND RECORDED AT Y.C.R.D. PLAN BOOK 193 PAGE 42.
 - "RIGHT OF WAY PLAN & STANDARD BOUNDARY SURVEY OF LAND OF WEBSTER P. & MARILYN W. KELSEY, LOCATED ON PICOTT ROAD, KITTERY, MAINE AND SHOWING LAND TO BE CONVEYED TO THEIR DAUGHTER, ALISON E. WELLS" BY CIVIL CONSULTANTS DATED JANUARY 28, 1994 AND RECORDED AT Y.C.R.D. PLAN BOOK 217 PAGE 31.
 - "SURVEY TO ESTABLISH WESTERLY SIDELINE OF PORTION OF PROPERTY OF JOYCE R. SEAWARD OFF PICOTT ROAD AND WILSON ROAD, KITTERY, MAINE" BY R.H. CALDWELL DATED AUGUST 1989 AND RECORDED AT Y.C.R.D. PLAN BOOK 186 PAGE 3.
 - "PLAN OF LAND FOR DANA R. & BARBARA A. NEWCOMB, KITTERY, MAINE" BY FRANK EMERY DATED JANUARY 23, 1980 AND RECORDED AT Y.C.R.D. PLAN BOOK 105 PAGE 29.
 - "STANDARD BOUNDARY SURVEY & SUBDIVISION OF LAND OF LESLIE BURTON HALEY, CHERYL HALEY MCCAULEY & BRENDA S. HALEY PREPARED FOR THE TOWN OF KITTERY FOR LAND LOCATED ON LITCHFIELD 7 PICOTT ROADS, TOWN OF KITTERY, COUNTY OF YORK, STATE OF MAINE" BY CIVIL CONSULTANTS DATED MAY 15, 2001 (Preliminary as of Sep. 5, 2001).
 - "COPY OF ANCIENT PLAN, PLAN OF PIERCE FIELD, KITTERY, MAINE SHOWING DIVISION" COPIED BY W. LOCKE DATED NOVEMBER 1974.
 - "REVISED RIGHT OF WAY RELOCATION SURVEY FOR PROPERTY AT 43 PICOTT ROAD, KITTERY, YORK COUNTY, MAINE, OWNED BY JOYCE R. SEWARD", PREPARED BY NORTH EASTERLY SURVEYING, INC., DATED 10/28/03, LAST REVISED 2/25/05 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 299 PAGE 32.
 - "BOUNDARY LINE ADJUSTMENT FOR PROPERTY AT 39 PICOTT ROAD, KITTERY, YORK COUNTY, MAINE, OWNED BY GARY R. SEWARD, AND PROPERTY AT 43 PICOTT ROAD, KITTERY, YORK COUNTY, MAINE, OWNED BY PATTI S. PARSONS, GARY R. SEWARD & GREGG P. SEWARD", PREPARED BY NORTH EASTERLY SURVEYING, INC., DATED 3/18/15 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 375 PAGE 12.
 - "PEARSON MEADOW SUBDIVISION FOR PROPERTY AT 60 WILSON ROAD, KITTERY, YORK COUNTY, MAINE, OWNED BY GAIL BURNS, APPLICANT CHINBURG BUILDERS INC.", PREPARED BY NORTH EASTERLY SURVEYING, INC., DATED 12/16/13, LAST REVISED 8/27/14 AND RECORDED AT THE Y.C.R.D. AS PLAN 370 PAGES 17 AND 18.
 - "PLAN OF LAND N/F OF WEBSTER P. & MARILYN W. KELSEY, LOCATED ON PICOTT ROAD, KITTERY, MAINE", PREPARED BY CIVIL CONSULTANTS, DATED 6/17/04 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 295 PAGE 33.
 - "PENTUCKETT WOODS, TAX MAP 54 LOT 16, 62 WILSON ROAD, KITTERY, MAINE, BOUNDARY PLAT, SHEET S-1", PREPARED BY ALTUS ENGINEERING, INC. & JAMES VERRA AND ASSOCIATES, INC., DATED 9/24/2007 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 325 PAGE 36.
 - "PENTUCKETT WOODS, TAX MAP 54 LOT 16, 62 WILSON ROAD, KITTERY, MAINE, SUBDIVISION PLAN, SHEET C-1", PREPARED BY ALTUS ENGINEERING, INC. & JAMES VERRA AND ASSOCIATES, INC., DATED 9/04/2007 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 324 PAGE 40.
 - "STANDARD BOUNDARY SURVEY PLAN OF LAND OF ARTHUR W. & ROSEANN ANDREWS", PREPARED BY CIVIL CONSULTANTS, DATED JULY 28, 2000 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 289 PAGE 46.



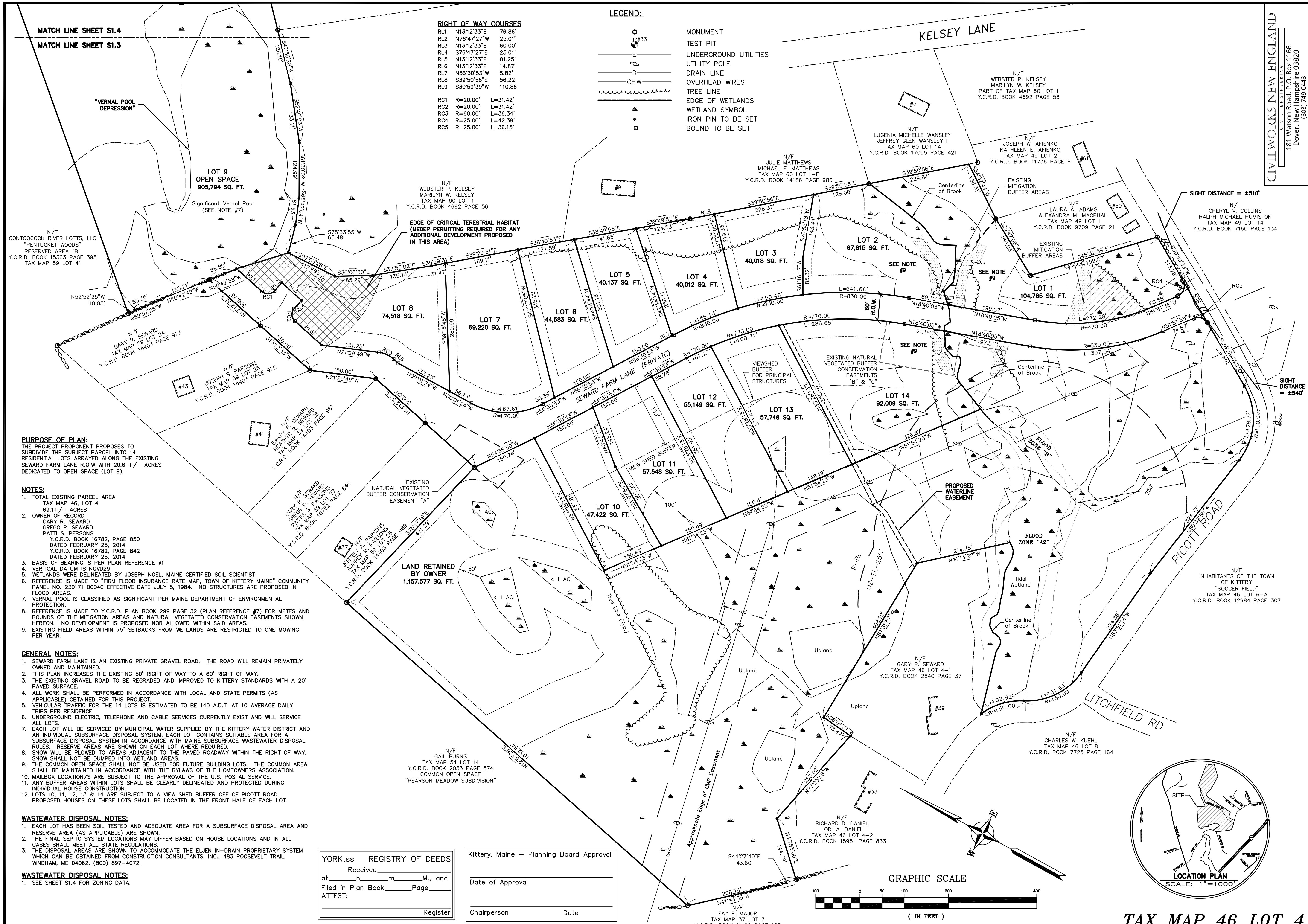
YORK,ss REGISTRY OF DEEDS
 Received _____
 at _____ h _____ m _____ M., and
 Filed in Plan Book _____ Page _____
 ATTEST: _____
 Register

**STANDARD BOUNDARY SURVEY
 & EXISTING CONDITIONS PLAN**
 FOR PROPERTY AT
43 Picott Road
 Kittery, York County, Maine
 OWNED BY
Gary R. Seward
 39 Picott Road, Kittery, Maine 03904
Gregg P. Seward
 60 Beech Ridge Road, Eliot, Maine 03903
Patti S. Parsons
 11 Mill Lane, York, Maine 03909

North

**EASTERLY
 SURVEYING, Inc.**
 SURVEYORS IN N.H. & MAINE 191 STATE ROAD, SUITE #1
 (207) 439-6333 KITTERY, MAINE 03904

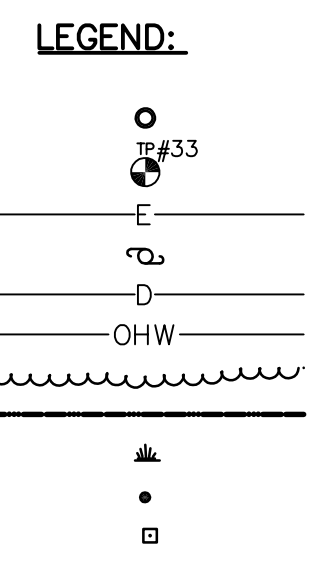
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1" = 100'	17632	6/22/17	S1.2	A.M.P.	P.L.A.
DRAWING No: 17632_EC.DWG		FIELD BOOK No: "Kittery #15"		Tax Map 46 Lot 4	



RIGHT OF WAY COURSES

RL1	N131°2'33"E	76.86'
RL2	N76°47'27"W	25.01'
RL3	N131°2'33"E	60.00'
RL4	S76°47'27"W	25.01'
RL5	N131°2'33"E	81.25'
RL6	N131°2'33"E	14.87'
RL7	N56°30'53"W	5.82'
RL8	S39°50'56"E	56.22'
RL9	S30°59'39"W	110.86'

RC1	R=20.00'	L=31.42'
RC2	R=20.00'	L=31.42'
RC3	R=60.00'	L=36.34'
RC4	R=25.00'	L=42.39'
RC5	R=25.00'	L=36.15'



PURPOSE OF PLAN:
 THE PROJECT PROPONENT PROPOSES TO SUBDIVIDE THE SUBJECT PARCEL INTO 14 RESIDENTIAL LOTS ARRANGED ALONG THE EXISTING SEWARD FARM LANE R.O.W WITH 20.6 +/- ACRES DEDICATED TO OPEN SPACE (LOT 9).

- NOTES:**
- TOTAL EXISTING PARCEL AREA TAX MAP 46, LOT 4 69.14 +/- ACRES
 - OWNER OF RECORD GARY R. SEWARD GREGG P. SEWARD PATTI S. PARSONS Y.C.R.D. BOOK 16782, PAGE 850 DATED FEBRUARY 25, 2014 Y.C.R.D. BOOK 16782, PAGE 842 DATED FEBRUARY 25, 2014
 - BASIS OF BEARING IS PER PLAN REFERENCE #1
 - VERTICAL DATUM IS NGVD29
 - WETLANDS WERE DELINEATED BY JOSEPH NOEL, MAINE CERTIFIED SOIL SCIENTIST
 - REFERENCE IS MADE TO "FIRM FLOOD INSURANCE RATE MAP, TOWN OF KITTEERY MAINE" COMMUNITY PANEL NO. 230171 0004C EFFECTIVE DATE JULY 5, 1984. NO STRUCTURES ARE PROPOSED IN FLOOD AREAS.
 - VERNAL POOL IS CLASSIFIED AS SIGNIFICANT PER MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION
 - REFERENCE IS MADE TO Y.C.R.D. PLAN BOOK 299 PAGE 32 (PLAN REFERENCE #7) FOR METES AND BOUNDS OF THE MITIGATION AREAS AND NATURAL VEGETATED CONSERVATION EASEMENTS SHOWN HEREON. NO DEVELOPMENT IS PROPOSED NOR ALLOWED WITHIN SAID AREAS.
 - EXISTING FIELD AREAS WITHIN 75' SETBACKS FROM WETLANDS ARE RESTRICTED TO ONE MOWING PER YEAR.

- GENERAL NOTES:**
- SEWARD FARM LANE IS AN EXISTING PRIVATE GRAVEL ROAD. THE ROAD WILL REMAIN PRIVATELY OWNED AND MAINTAINED.
 - THIS PLAN INCREASES THE EXISTING 50' RIGHT OF WAY TO A 60' RIGHT OF WAY.
 - THE EXISTING GRAVEL ROAD TO BE REGRADED AND IMPROVED TO KITTEERY STANDARDS WITH A 20' PAVED SURFACE.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL AND STATE PERMITS (AS APPLICABLE), OBTAINED FOR THIS PROJECT.
 - VEHICULAR TRAFFIC FOR THE 14 LOTS IS ESTIMATED TO BE 140 A.D.T. AT 10 AVERAGE DAILY TRIPS PER RESIDENCE.
 - UNDERGROUND ELECTRIC, TELEPHONE AND CABLE SERVICES CURRENTLY EXIST AND WILL SERVICE ALL LOTS.
 - EACH LOT WILL BE SERVICED BY MUNICIPAL WATER SUPPLIED BY THE KITTEERY WATER DISTRICT AND AN INDIVIDUAL SUBSURFACE DISPOSAL SYSTEM. EACH LOT CONTAINS SUITABLE AREA FOR A SUBSURFACE DISPOSAL SYSTEM IN ACCORDANCE WITH MAINE SUBSURFACE WASTEWATER DISPOSAL RULES. RESERVE AREAS ARE SHOWN ON EACH LOT WHERE REQUIRED.
 - SNOW WILL BE PLOWED TO AREAS ADJACENT TO THE PAVED ROADWAY WITHIN THE RIGHT OF WAY. SNOW SHALL NOT BE DUMPED INTO WETLAND AREAS.
 - THE COMMON OPEN SPACE SHALL NOT BE USED FOR FUTURE BUILDING LOTS. THE COMMON AREA SHALL BE MAINTAINED IN ACCORDANCE WITH THE BYLAWS OF THE HOMEOWNERS ASSOCIATION.
 - MAILBOX LOCATION/S ARE SUBJECT TO THE APPROVAL OF THE U.S. POSTAL SERVICE.
 - ANY BUFFER AREAS WITHIN LOTS SHALL BE CLEARLY DELINEATED AND PROTECTED DURING INDIVIDUAL HOUSE CONSTRUCTION.
 - LOTS 10, 11, 12, 13 & 14 ARE SUBJECT TO A VIEW SHED BUFFER OFF OF PICOTT ROAD. PROPOSED HOUSES ON THESE LOTS SHALL BE LOCATED IN THE FRONT HALF OF EACH LOT.

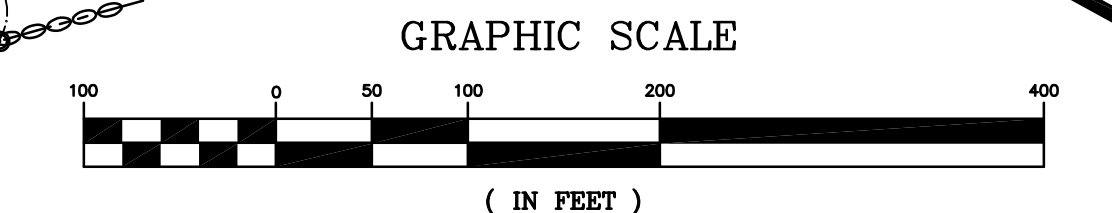
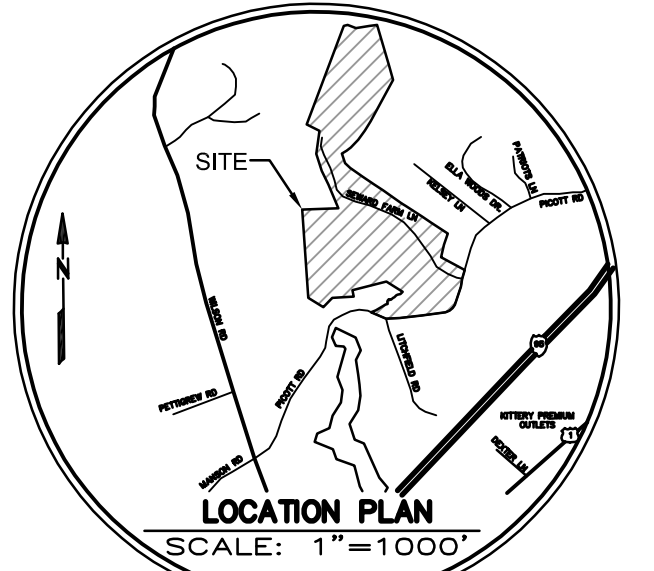
- WASTEWATER DISPOSAL NOTES:**
- EACH LOT HAS BEEN SOIL TESTED AND ADEQUATE AREA FOR A SUBSURFACE DISPOSAL AREA AND RESERVE AREA (AS APPLICABLE) ARE SHOWN.
 - THE FINAL SEPTIC SYSTEM LOCATIONS MAY DIFFER BASED ON HOUSE LOCATIONS AND IN ALL CASES SHALL MEET ALL STATE REGULATIONS.
 - THE DISPOSAL AREAS ARE SHOWN TO ACCOMMODATE THE ELIJAH IN-DRAIN PROPRIETARY SYSTEM WHICH CAN BE OBTAINED FROM CONSTRUCTION CONSULTANTS, INC., 483 ROOSEVELT TRAIL, WINDHAM, ME 04062. (800) 897-4072.

- WASTEWATER DISPOSAL NOTES:**
- SEE SHEET S1.4 FOR ZONING DATA.

YORK,ss REGISTRY OF DEEDS
 Received _____
 at _____ h _____ m _____ M., and
 Filed in Plan Book _____ Page _____
 ATTEST:

 Register

Kittery, Maine - Planning Board Approval
 Date of Approval _____
 Chairperson _____ Date _____



CIVILWORKS NEW ENGLAND
 181 Webster Road, P.O. Box 1166
 Dover, NH 03820
 (603) 749-0445

North
EASTERLY SURVEYING, Inc.
 SURVEYORS IN N.E. & MAINE
 191 STATE ROAD, SUITE #1
 KITTEERY, MAINE 03904
 (207) 439-6838

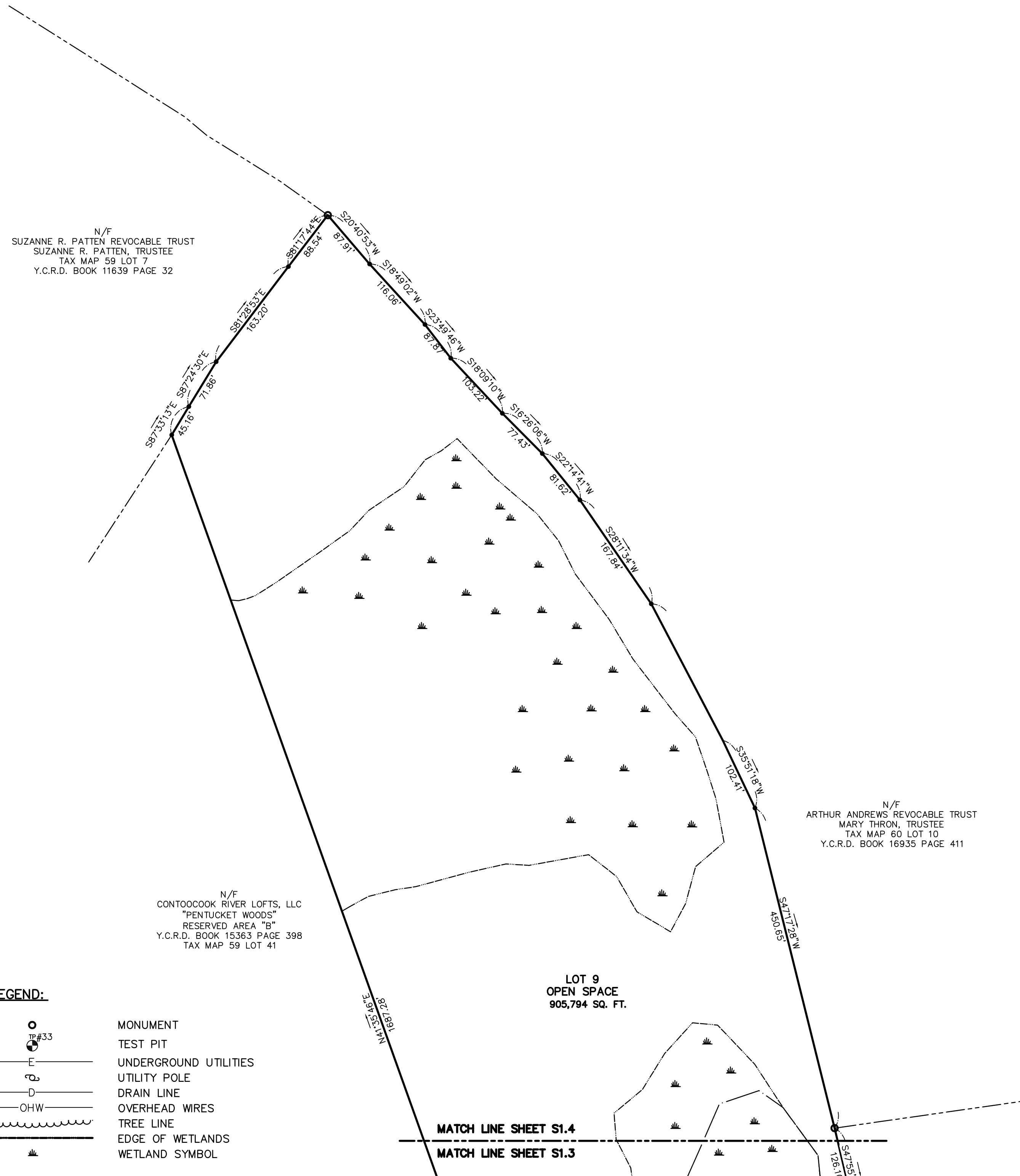
DATE	NO.	REVISION	APP'D	DATE
6-22-17	1	PER TOWN COMMENTS	SJH	11-15-17
6-22-17	2	PER MAINE DEP COMMENTS	SJH	10-25-17

GARY R. SEWARD - 39 PICOTT ROAD
 KITTEERY, MAINE 03904
 GREGG P. SEWARD - 60 BEECH RIDGE ROAD
 ELIOT, MAINE 03903
 PATTI S. PARSONS - 11 MILL LANE
 YORK, MAINE 03909

SEWARD FARM LANE SUBDIVISION
 SEWARD FARM LANE
 SUBDIVISION
 48 PICOTT ROAD
 YORK COUNTY
 KITTEERY, MAINE

S1.3

TAX MAP 46 LOT 4



N/F
SUZANNE R. PATTEN REVOCABLE TRUST
SUZANNE R. PATTEN, TRUSTEE
TAX MAP 59 LOT 7
Y.C.R.D. BOOK 11639 PAGE 32

N/F
CONTOOCOOCK RIVER LOFTS, LLC
"PENTUCKET WOODS"
RESERVED AREA "B"
Y.C.R.D. BOOK 15363 PAGE 398
TAX MAP 59 LOT 41

N/F
ARTHUR ANDREWS REVOCABLE TRUST
MARY THRON, TRUSTEE
TAX MAP 60 LOT 10
Y.C.R.D. BOOK 16935 PAGE 411

MATCH LINE SHEET S1.4
MATCH LINE SHEET S1.3

- LEGEND:**
- TP#33 MONUMENT
 - TEST PIT
 - UNDERGROUND UTILITIES
 - UTILITY POLE
 - DRAIN LINE
 - OHW OVERHEAD WIRES
 - TREE LINE
 - EDGE OF WETLANDS
 - WETLAND SYMBOL

YORK,ss REGISTRY OF DEEDS	
Received _____	
at _____h_____m_____M., and	
Filed in Plan Book _____Page _____	
ATTEST:	
_____	Register

Kittery, Maine – Planning Board Approval	
_____	Date of Approval
_____	Chairperson
_____	Date

ZONING DATA PER TOWN OF KITTERY LAND USE AND DEVELOPMENT CODE 16.3.2.1
 ZONE: RURAL RESIDENTIAL (R-RL)
 SHORELAND OVERLAY ZONE: (OZ-SL-250)
 REQUIREMENTS:
 MIN. LAND AREA PER DWELLING: 40,000 S.F.
 MIN. LOT SIZE: 40,000 S.F.
 MIN. STREET FRONTAGE: 150'
 MIN. FRONT SETBACK: 40'
 MIN. SIDE SETBACK: 20'
 MIN. REAR SETBACK: 20'
 MAX. BUILDING COVERAGE: 15%
 MAX. BUILDING HEIGHT: 35'

ZONING SUMMARY
 ZONE: RESIDENTIAL RURAL (R-RL)
 TOTAL SUBDIVISION AREA: 69.1± AC.
 TOTAL WETLANDS AREA: 22.8± AC.
 TOTAL UPLANDS AREA: 46.3± AC.

NET RESIDENTIAL AREA CALCULATED*
 TOTAL SUBDIVISION AREA: 69.1 Ac.
 LESS WETLANDS: 22.84 Ac.
 LESS 50% OF WETLAND SETBACKS: 14.26 Ac.
 LESS ROAD R.O.W.: 3.58 Ac.
 LESS UTILITY R.O.W.: 0.79 Ac.
 LESS WATER EASEMENT: 0.09 Ac.
 *LESS HYDRIC SOILS: 1.91 Ac.
 LESS 50% OF S.F.D. SOILS: 8.82 Ac.
 TOTAL: 16.8 Ac.

*NET RESIDENTIAL CALCULATIONS PREPARED BY CIVILWORKS NEW ENGLAND
 **NOTED POOR OR VERY POOR BY 1975 SOIL SUITABILITY GUIDE

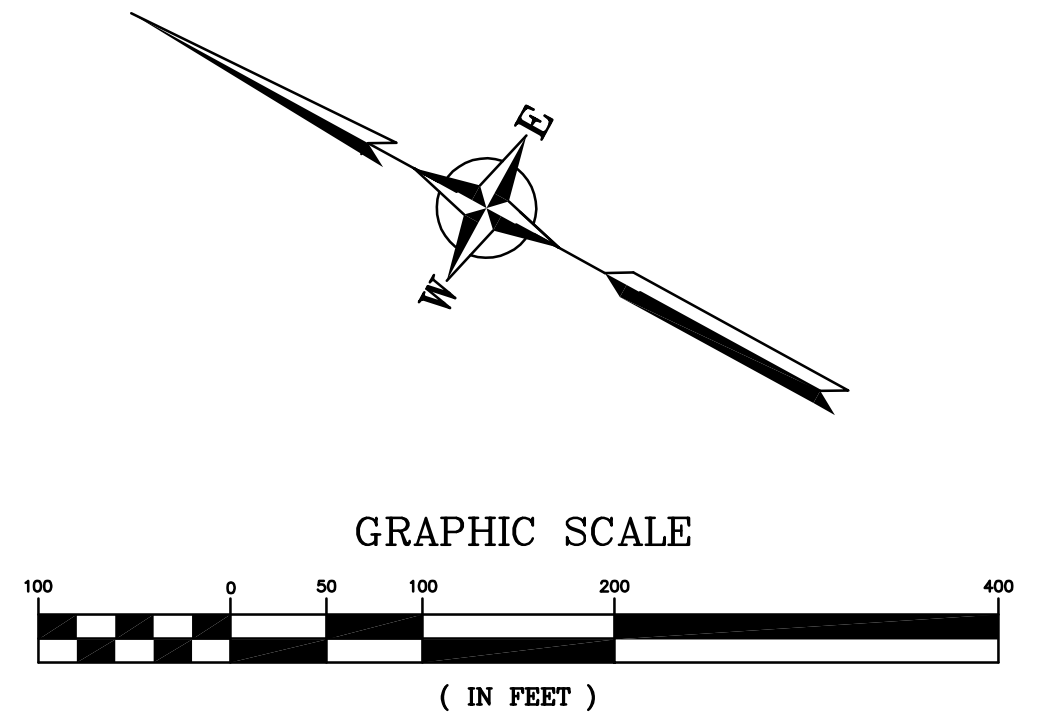
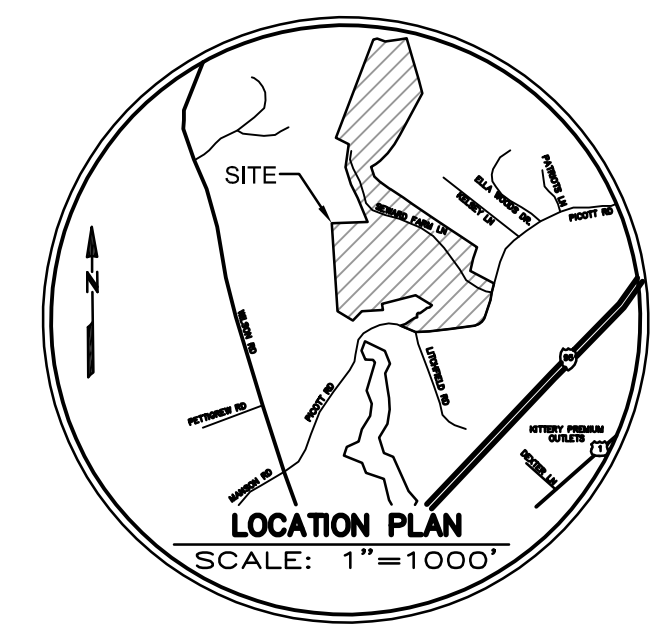
ALLOWABLE LOTS PER NET RESIDENTIAL DENSITY
 69.1 Ac. – 52.3 Ac. = (16.8 Ac. X 43,560 s.f./Ac.) / (40,000 s.f./lot) = 18 LOTS (14 RESIDENTIAL LOTS PROPOSED)

PLAN REFERENCES:
 1. STANDARD BOUNDARY AND EXISTING CONDITION PLAN FOR PROPERTY AT 43 PICOTT, KITTERY, YORK COUNTY, MAINE OWNED BY GARY R. SEWARD, 39 PICOTT ROAD, KITTERY MAINE GREGG P. SEWARD, 60 BEECH RIDGE ROAD, ELIOT, MAINE, PATTI S. PARSONS, 11 MILL LANE, YORK, MAINE; PREPARED BY: NORTH EASTERLY SURVEYING, INC. 191 SATE ROAD, SUITE #1, KITTERY, MAINE.

WAIVERS:
 1. FROM SECTION 16.8.4.11 TABLE 1 MINOR STREET STANDARDS FOR A PRIVATE STREET
 A: TO ALLOW THE CONTINUED USE OF THE HAMMER HEAD AT THE TERMINUS OF SEWARD FARM LANE
 B: TO NOT PROVIDE SIDEWALKS AS THERE ARE NO SIDEWALKS CURRENTLY ON SEWARD FARM LANE AND NONE ON PICOTT ROAD
 C: TO ALLOW A 20' PAVED ROADWAY WITH 2' GRAVEL SHOULDERS TO MATCH THE EXISTING SEWARD FARM LANE
 2. FROM 16.9.1.3.C – WAIVER FROM REVIEW BY YORK COUNTY SOIL & WATER CONSERVATION

SPECIAL EXCEPTION REQUEST:
 PURSUANT TO 16.6.4.4 TO ALLOW FOR A CONVENTIONAL LOT SUBDIVISION IN THE RESIDENTIAL RURAL (R-RL) DISTRICT.

ADDITIONAL NOTES:
 1. SEE SHEET S1.3 FOR PROPOSED LOT SIZES, STREET FRONTAGE AND YARD SETBACK.



CIVILWORKS NEW ENGLAND
 181 WELDON ROAD, P.O. BOX 1166
 DOVER, NEW HAMPSHIRE 03820
 (603) 749-0413

North
 W
EASTERLY SURVEYING, Inc.
 SURVEYORS IN N.H. & MAINE 191 STATE ROAD, SUITE #1
 KITTERY, MAINE 03904
 (207) 438-6838

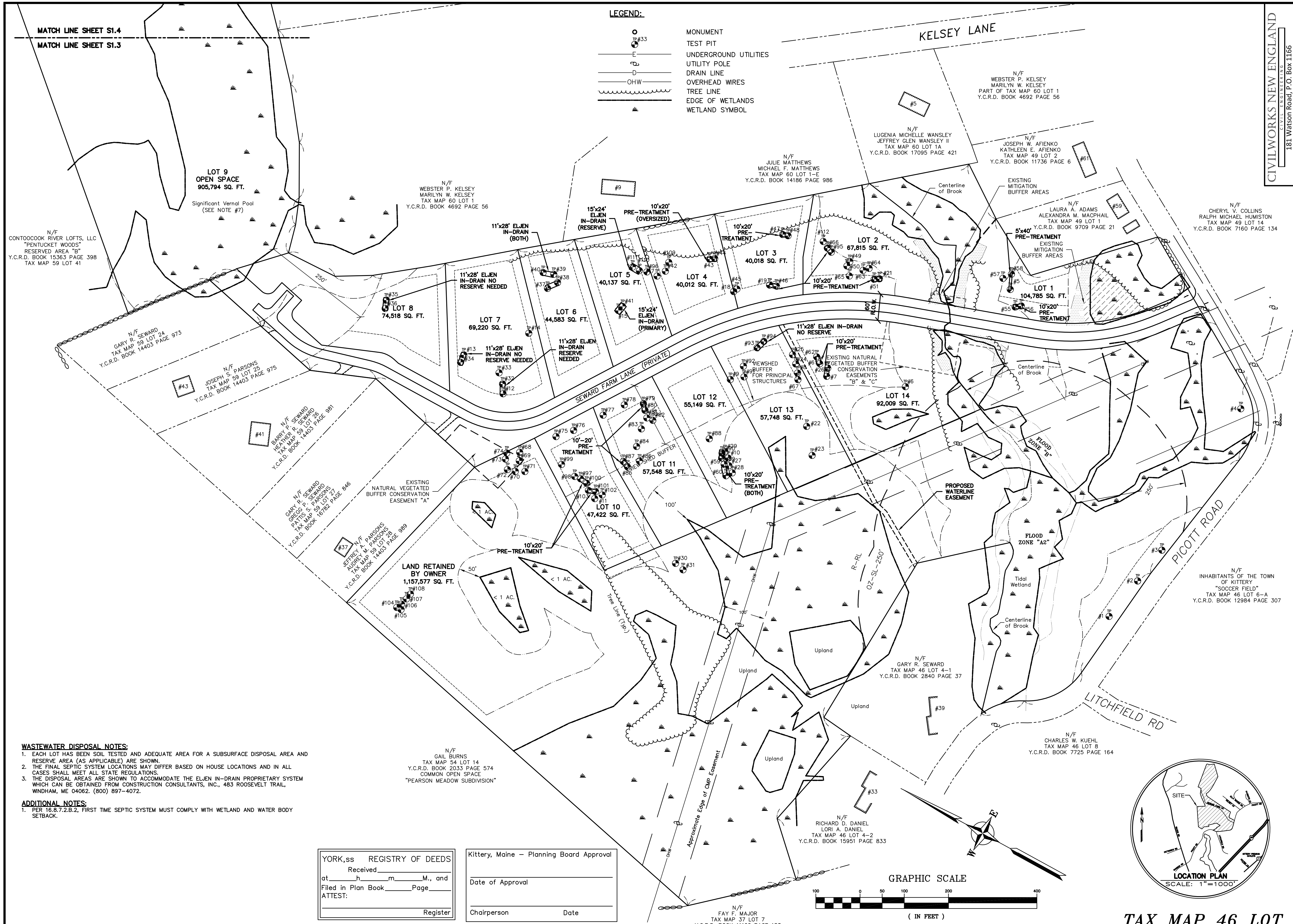
DATE	BY	REVISION	NO.
6-22-17	SRD		
	BY: SRD		
	DESIGN BY: SRD		
	APPROVED BY: SJH	PER TOWN COMMENTS	11-15-17
	PROJECT NO: 1689	PER MAINE DEP COMMENTS	SJH 10-25-17
	FILE: SITE.DWG		APPD

OWNER:
 GARY R. SEWARD – 39 PICOTT ROAD
 KITTERY, MAINE 03904
 GREGG P. SEWARD – 60 BEECH RIDGE ROAD
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 PATTI S. PARSONS – 11 MILL LANE
 YORK, MAINE 03909

SEWARD FARM LANE SUBDIVISION

SEWARD FARM LANE
 SUBDIVISION
 43 PICOTT ROAD
 YORK COUNTY
 KITTERY, MAINE

S1.4



LEGEND:

- TP#33 MONUMENT
- E — TEST PIT
- U — UNDERGROUND UTILITIES
- P — UTILITY POLE
- D — DRAIN LINE
- OHW — OVERHEAD WIRES
- T — TREE LINE
- W — EDGE OF WETLANDS
- WS — WETLAND SYMBOL

MATCH LINE SHEET S1.4
MATCH LINE SHEET S1.3

N/F
CONTOOCOOK RIVER LOFTS, LLC
"PENTUCKET WOODS"
RESERVED AREA "B"
Y.C.R.D. BOOK 15363 PAGE 398
TAX MAP 59 LOT 41

LOT 9
OPEN SPACE
905,794 SQ. FT.
Significant Vernal Pool
(SEE NOTE #7)

N/F
WEBSTER P. KELSEY
MARILYN W. KELSEY
TAX MAP 60 LOT 1
Y.C.R.D. BOOK 4692 PAGE 56

N/F
JULIE MATTHEWS
MICHAEL F. MATTHEWS
TAX MAP 60 LOT 1-E
Y.C.R.D. BOOK 14186 PAGE 986

N/F
LUGENIA MICHELLE WANSLEY
JEFFREY GLEN WANSLEY II
TAX MAP 60 LOT 1A
Y.C.R.D. BOOK 17095 PAGE 421

N/F
WEBSTER P. KELSEY
MARILYN W. KELSEY
PART OF TAX MAP 60 LOT 1
Y.C.R.D. BOOK 4692 PAGE 56

N/F
JOSEPH W. ARIENKO
KATHLEEN E. ARIENKO
TAX MAP 49 LOT 2
Y.C.R.D. BOOK 11736 PAGE 6

N/F
LAURA A. ADAMS
ALEXANDRA M. MACPHAIL
TAX MAP 49 LOT 1
Y.C.R.D. BOOK 9709 PAGE 21

N/F
CHERYL V. COLLINS
RALPH MICHAEL HUMISTON
TAX MAP 49 LOT 14
Y.C.R.D. BOOK 7160 PAGE 134

N/F
GARY R. SEWARD
TAX MAP 59 LOT 24
Y.C.R.D. BOOK 14403 PAGE 973

N/F
JOSEPH S. PARSONS
TAX MAP 59 LOT 25
Y.C.R.D. BOOK 14403 PAGE 975

N/F
GARY R. SEWARD
HEATHER R. SEWARD
TAX MAP 59 LOT 26
Y.C.R.D. BOOK 14403 PAGE 981

N/F
GARY R. SEWARD
GREGG P. SEWARD
PATTI S. PARSONS
TAX MAP 59 LOT 26
Y.C.R.D. BOOK 10782 PAGE 846

N/F
JEREMY M. PARSONS
ANDREW M. PARSONS
TAX MAP 59 LOT 26
Y.C.R.D. BOOK 14403 PAGE 989

LAND RETAINED
BY OWNER
1,157,577 SQ. FT.
#108
#107
#106
#105

N/F
GAIL BURNS
TAX MAP 54 LOT 14
Y.C.R.D. BOOK 2033 PAGE 574
COMMON OPEN SPACE
"PEARSON MEADOW SUBDIVISION"

N/F
GARY R. SEWARD
TAX MAP 46 LOT 4-1
Y.C.R.D. BOOK 2840 PAGE 37

N/F
CHARLES W. KUEHL
TAX MAP 46 LOT 8
Y.C.R.D. BOOK 7725 PAGE 164

N/F
RICHARD D. DANIEL
LORI A. DANIEL
TAX MAP 46 LOT 4-2
Y.C.R.D. BOOK 15951 PAGE 833

N/F
FAY F. MAJOR
TAX MAP 37 LOT 7
Y.C.R.D. BOOK 11160 PAGE 183

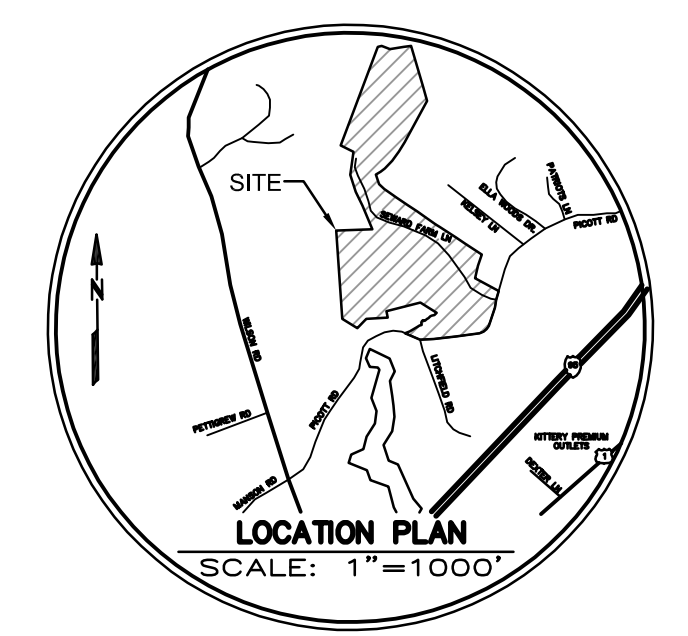
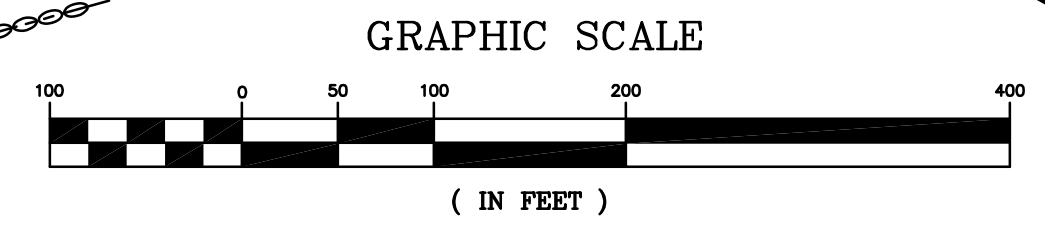
- WASTEWATER DISPOSAL NOTES:**
- EACH LOT HAS BEEN SOIL TESTED AND ADEQUATE AREA FOR A SUBSURFACE DISPOSAL AREA AND RESERVE AREA (AS APPLICABLE) ARE SHOWN.
 - THE FINAL SEPTIC SYSTEM LOCATIONS MAY DIFFER BASED ON HOUSE LOCATIONS AND IN ALL CASES SHALL MEET ALL STATE REGULATIONS.
 - THE DISPOSAL AREAS ARE SHOWN TO ACCOMMODATE THE ELJEN IN-DRAIN PROPRIETARY SYSTEM WHICH CAN BE OBTAINED FROM CONSTRUCTION CONSULTANTS, INC., 483 ROOSEVELT TRAIL, WINDHAM, ME 04062. (800) 897-4072.

- ADDITIONAL NOTES:**
- PER 16.8.7.2.B.2, FIRST TIME SEPTIC SYSTEM MUST COMPLY WITH WETLAND AND WATER BODY SETBACK.

YORK,ss REGISTRY OF DEEDS
Received _____
at _____ h _____ m _____ M., and
Filed in Plan Book _____ Page _____
ATTEST:

Register

Kittery, Maine - Planning Board Approval
Date of Approval _____
Chairperson _____ Date _____



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DATE	NO.	REVISION	APP'D	DATE
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11-15-17	2	PER TOWN COMMENTS	SJH	11-15-17
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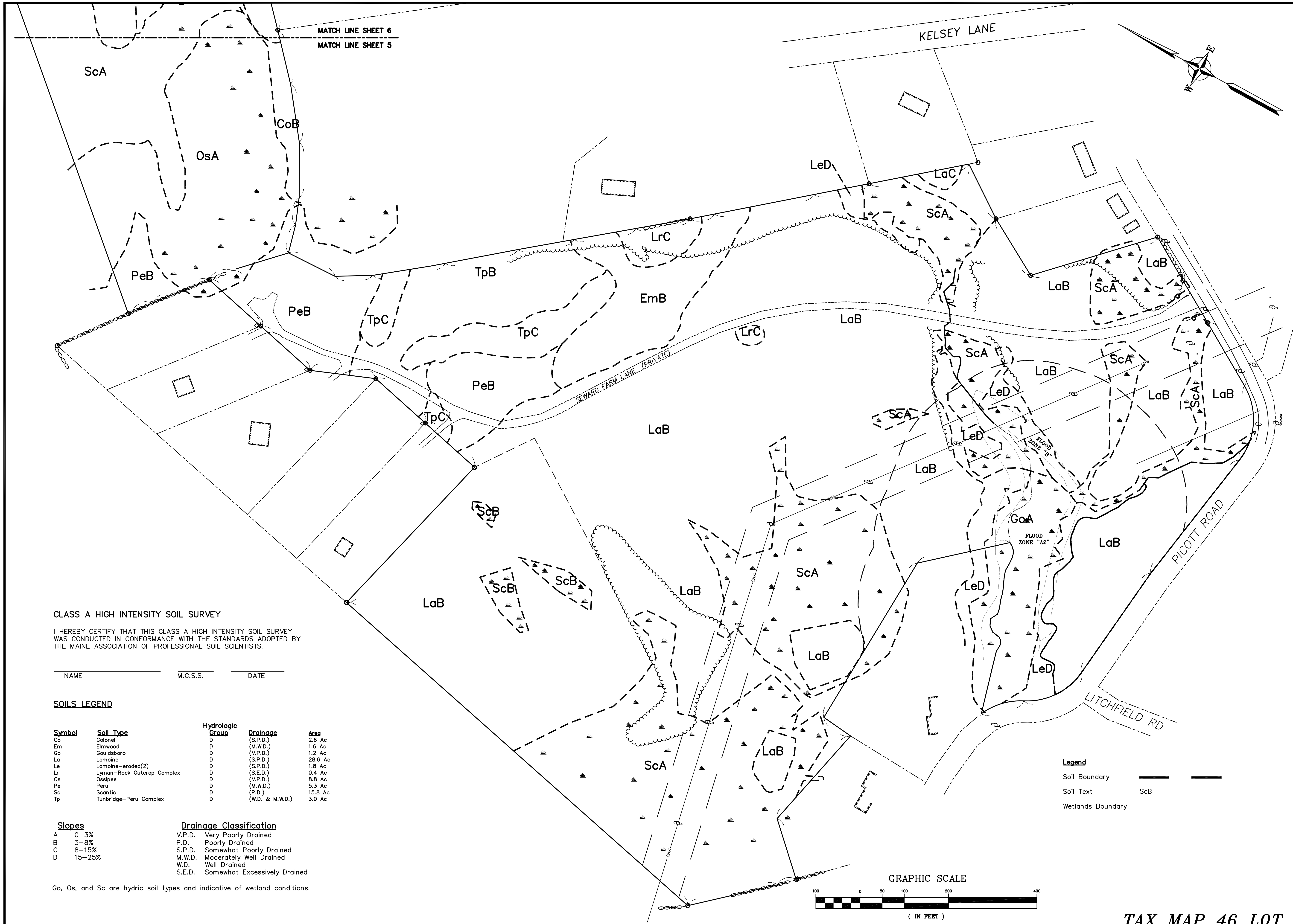
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SEWARD FARM LANE
SUBDIVISION
48 PICOTT ROAD
YORK COUNTY
KITTERY, MAINE

LOT PLAN

5

TAX MAP 46 LOT 4



CLASS A HIGH INTENSITY SOIL SURVEY

I HEREBY CERTIFY THAT THIS CLASS A HIGH INTENSITY SOIL SURVEY WAS CONDUCTED IN CONFORMANCE WITH THE STANDARDS ADOPTED BY THE MAINE ASSOCIATION OF PROFESSIONAL SOIL SCIENTISTS.

NAME	M.C.S.S.	DATE

SOILS LEGEND

Symbol	Soil Type	Hydrologic Group	Drainage	Area
Co	Colonel	D	(S.P.D.)	2.6 Ac
Em	Elmwood	D	(M.W.D.)	1.6 Ac
Go	Gouldsboro	D	(V.P.D.)	1.2 Ac
La	Lamoine	D	(S.P.D.)	28.6 Ac
Le	Lamoine-eroded(2)	D	(S.P.D.)	1.8 Ac
Lr	Lyman-Rock Outcrop Complex	D	(S.E.D.)	0.4 Ac
Os	Ossipee	D	(V.P.D.)	8.8 Ac
Pe	Peru	D	(M.W.D.)	5.3 Ac
Sc	Scantic	D	(P.D.)	15.8 Ac
Tp	Tunbridge-Peru Complex	D	(W.D. & M.W.D.)	3.0 Ac

Slopes

A	0-3%
B	3-8%
C	8-15%
D	15-25%

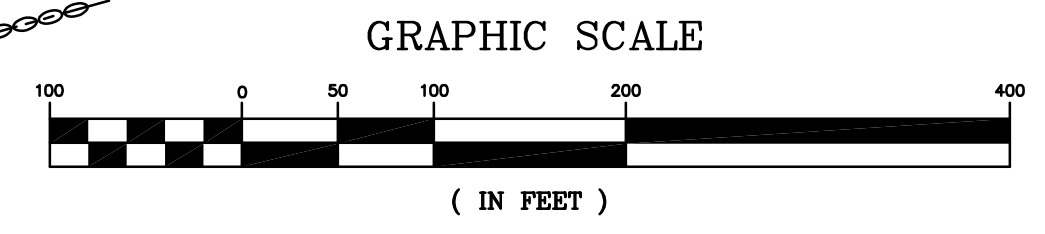
Drainage Classification

V.P.D.	Very Poorly Drained
P.D.	Poorly Drained
S.P.D.	Somewhat Poorly Drained
M.W.D.	Moderately Well Drained
W.D.	Well Drained
S.E.D.	Somewhat Excessively Drained

Go, Os, and Sc are hydric soil types and indicative of wetland conditions.

Legend

Soil Boundary	— — — — —
Soil Text	ScB
Wetlands Boundary	— — — — —



<p>CIVILWORKS NEW ENGLAND <small>CIVIL ENGINEERING</small> 181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820 (603) 749-0443</p>	
<p>DATE: 6-22-17 SCALE: 1"=100' DRAWN BY: SRD DESIGN BY: SRD APPROVED BY: SJH PROJECT NO: 1689 FILE: SITE.DWG</p>	<p>NO. 1 REVISION APP'D DATE PER TOWN COMMENTS PER MAINE DEP COMMENTS</p>
<p>SEWARD FARM LANE SUBDIVISION 48 PICOTT ROAD YORK COUNTY KITTYRY, MAINE</p>	
<p>SOILS PLAN</p>	
<p>6</p>	

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Le	Lamoine-eroded(2)	D	(S.P.D.)	1.8 Ac
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Os	Ossipee	D	(V.P.D.)	8.8 Ac
Pe	Peru	D	(M.W.D.)	5.3 Ac
Sc	Scantic	D	(P.D.)	15.8 Ac
Tp	Tunbridge-Peru Complex	D	(W.D. & M.W.D.)	3.0 Ac

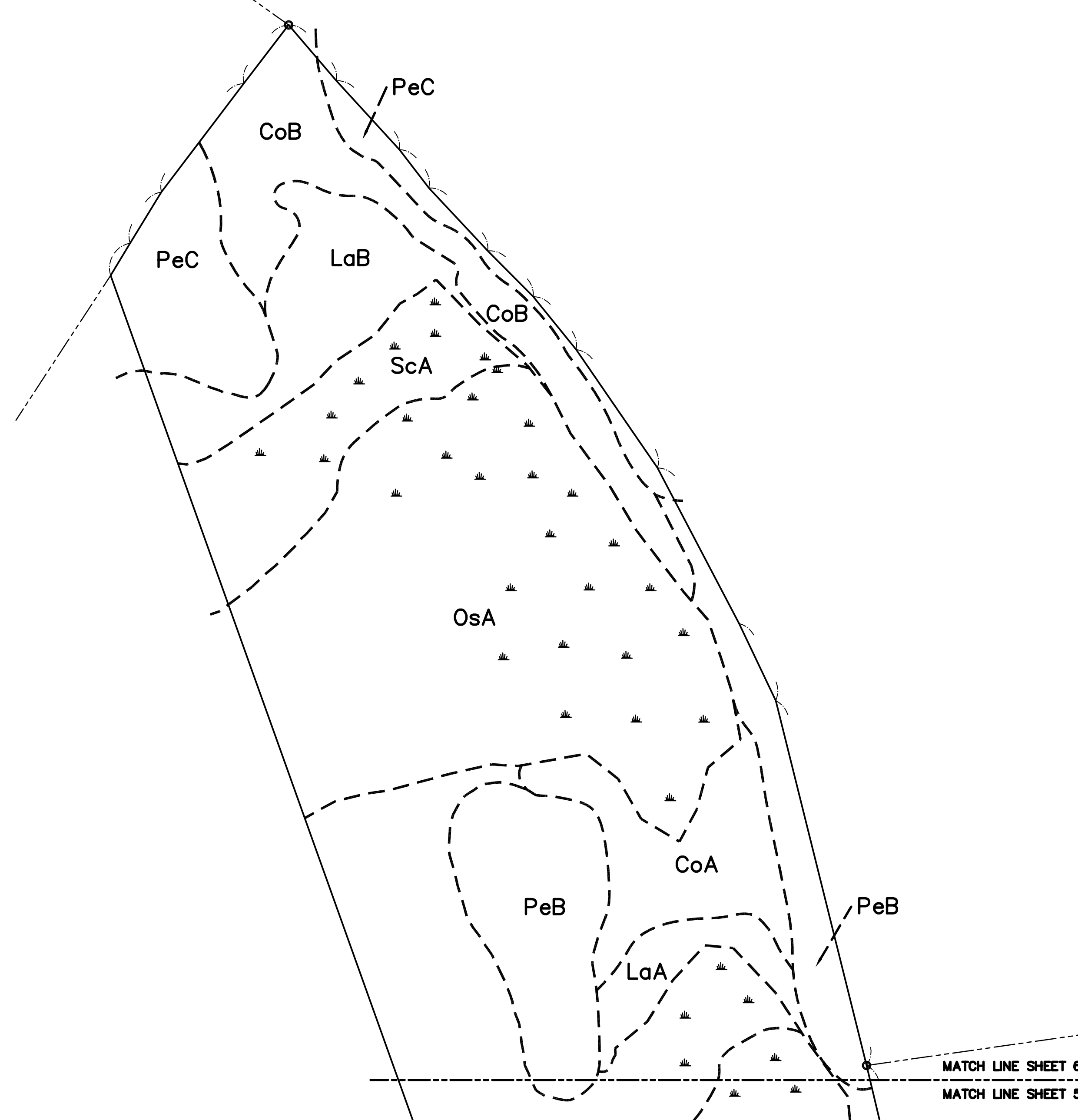
Slopes

A	0-3%
B	3-8%
C	8-15%
D	15-25%

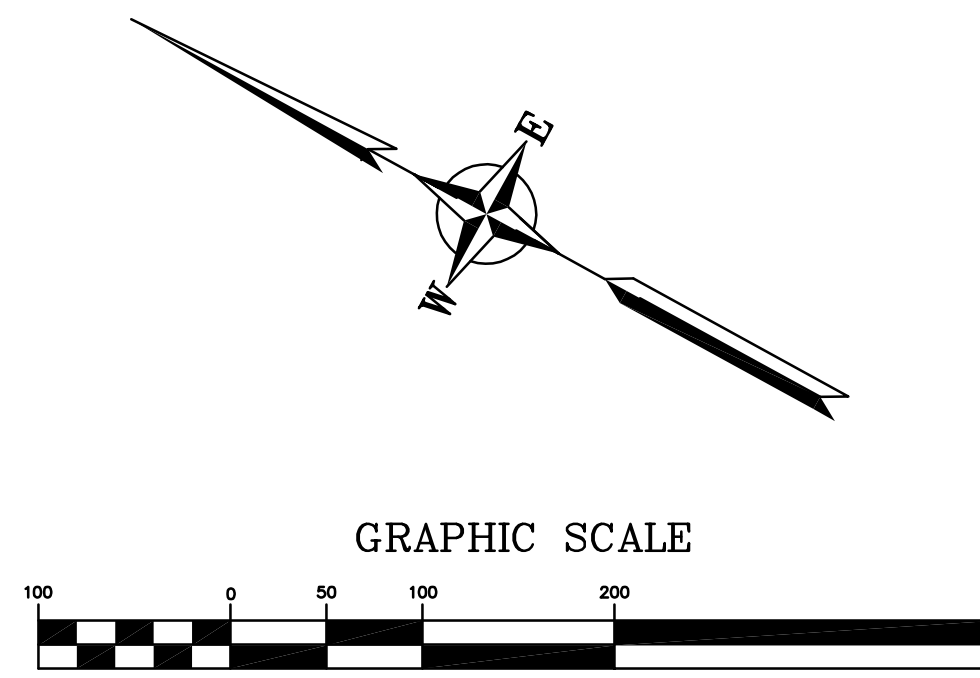
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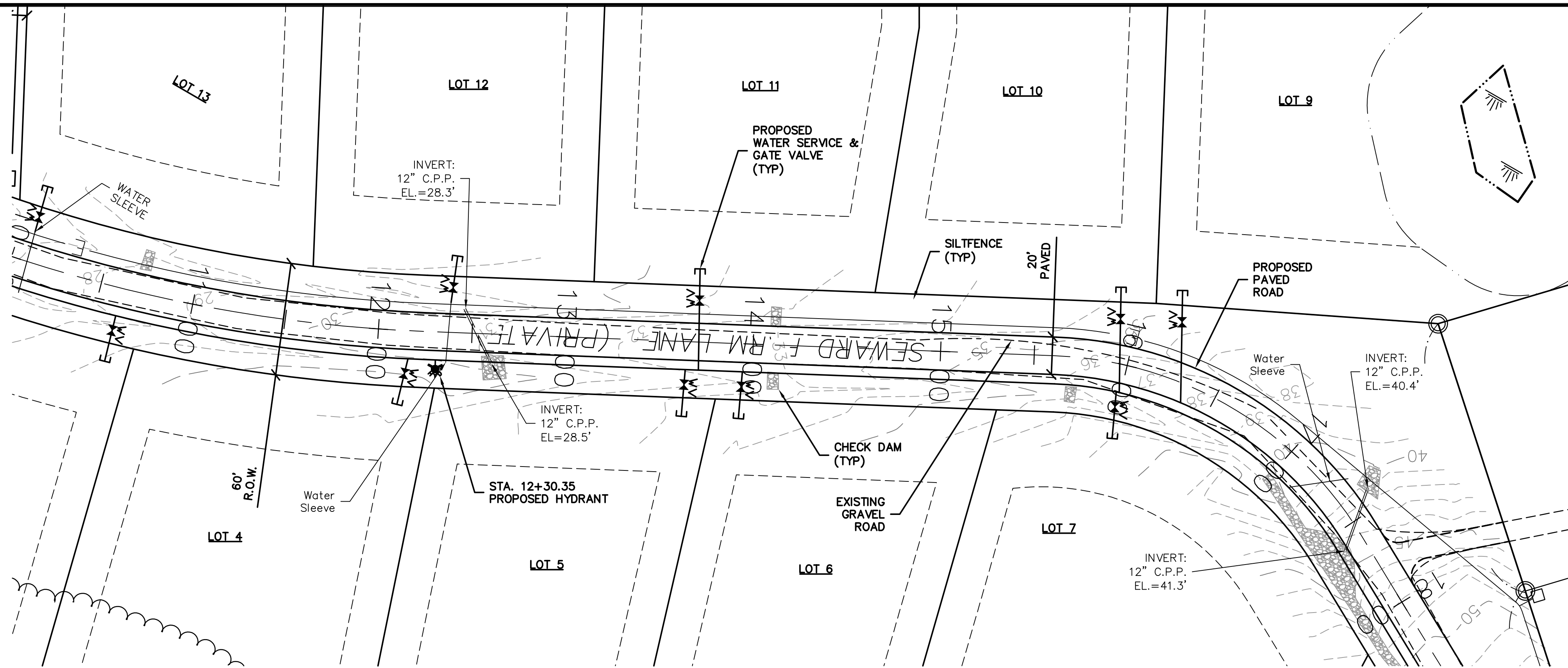


Legend
 Soil Boundary ———
 Soil Text ScB
 Wetlands Boundary ———



TAX MAP 46 LOT 4

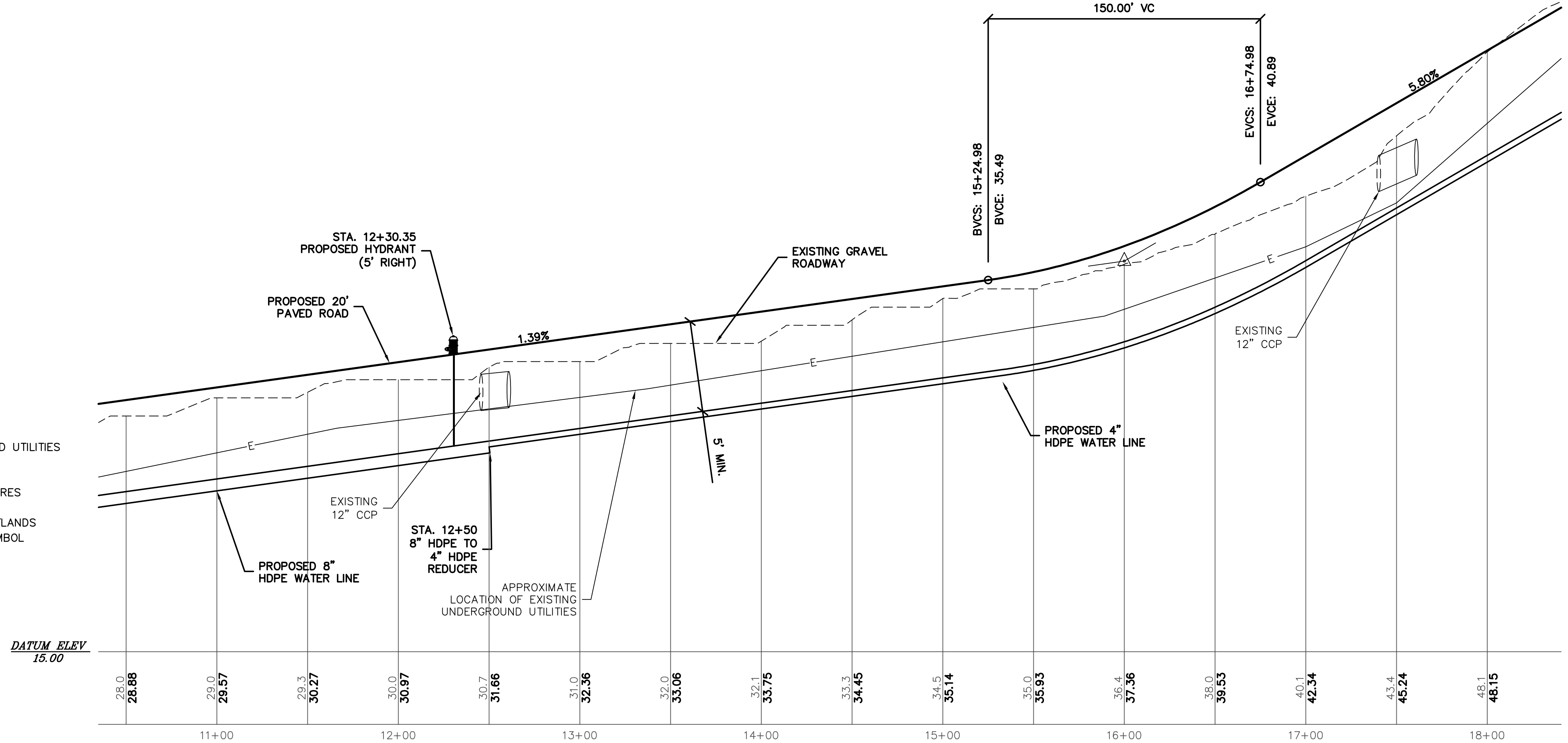
CIVILWORKS NEW ENGLAND CIVIL ENGINEERING 181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820 (603) 749-0443	
DATE: 6-22-17 SCALE: 1"=100' DRAWN BY: SRD DESIGN BY: SRD APPROVED BY: SJH 2 PROJECT NO: 1689 1 FILE: SITE.DWG	DATE APPD REVISION NO.
OWNER: GARY R. SEWARD - 39 PICOT ROAD KITTERY, MAINE 03904 GREGG P. SEWARD - 60 BEECH RIDGE ROAD ELIOT, MAINE 03903 PATTI S. PARSONS - 11 MILL LANE YORK, MAINE 03909	
SOILS PLAN SEWARD FARM LANE SUBDIVISION 43 PICOTT ROAD YORK COUNTY KITTERY, MAINE	
7	



CONSTRUCTION NOTES:
1. SEE PLAN & PROFILE - STA. 18+00 TO STA. 23+41.36 SHEET FOR CONSTRUCTION NOTES AND STORMWATER MANAGEMENT INFORMATION.

PVI STA = 15+99.98
PVI ELEV = 36.54
A.D. = 4.41
K = 34.00
150.00' VC

- LEGEND:**
- MONUMENT
 - TEST PIT
 - UNDERGROUND UTILITIES
 - UTILITY POLE
 - DRAIN LINE
 - OVERHEAD WIRES
 - TREE LINE
 - EDGE OF WETLANDS
 - WETLAND SYMBOL



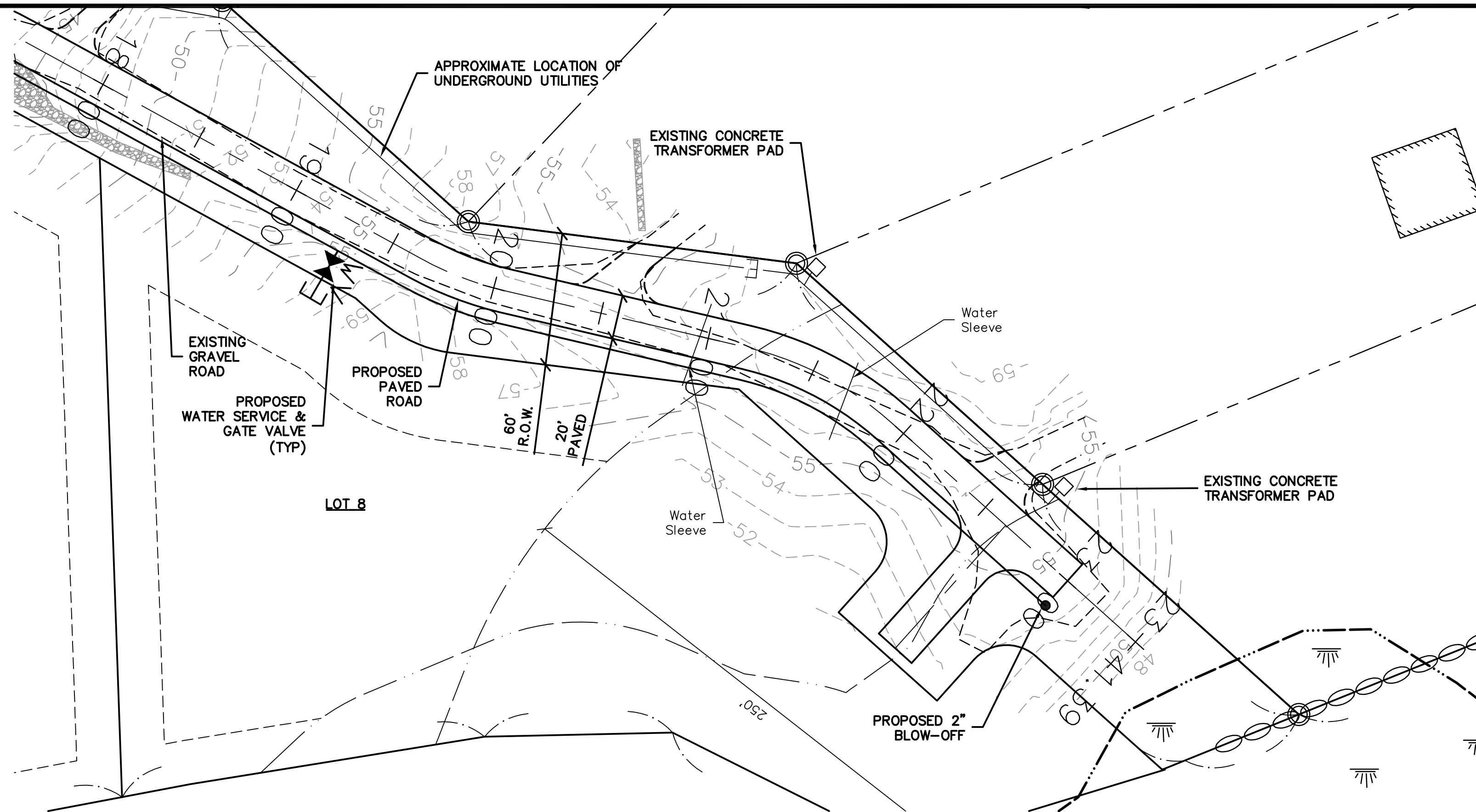
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SCALE: 1"=100'		APP'D
DRAWN BY: SRD		NO.
DESIGN BY: SRD		REVISION
APPROVED BY: SJH		NO.
PROJECT NO: 1689		NO.
FILE: SITE.DWG		NO.
PER TOWN COMMENTS		NO.
PER MAINE DEP COMMENTS		NO.
11-15-17		DATE
10-25-17		DATE
181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820		
CIVILWORKS NEW ENGLAND CIVIL ENGINEERING		
GARY R. SEWARD - 39 PICOT ROAD KITTERY, MAINE 03904		
GREGG P. SEWARD - 60 BEECH RIDGE ROAD ELIOT, MAINE 03903		
PATTI S. PARSONS - 11 MILL LANE YORK, MAINE 03909		
SEWARD FARM LANE SUBDIVISION 43 PICOTT ROAD YORK COUNTY KITTERY, MAINE		
9		

CONSTRUCTION NOTES:

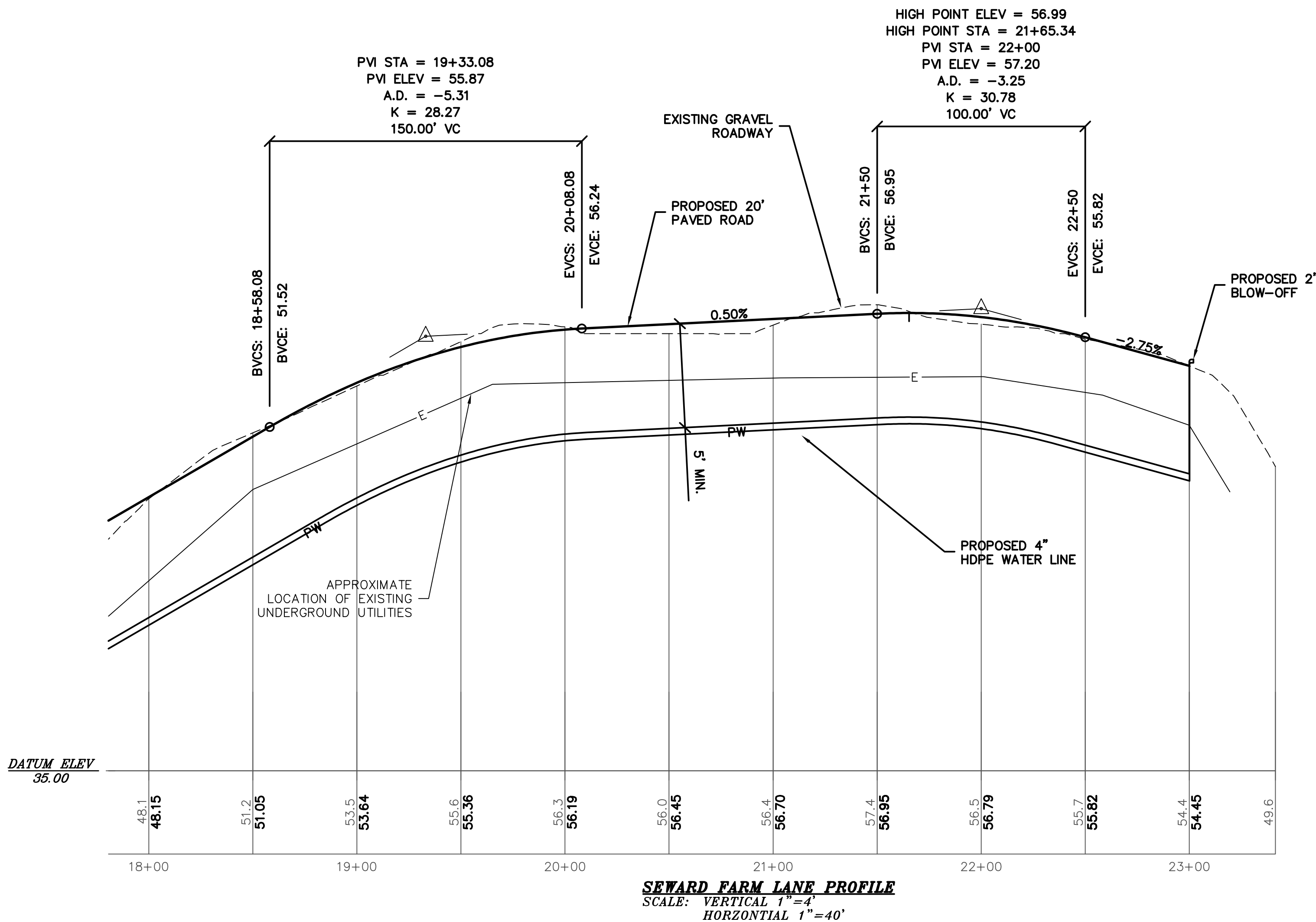
1. THE CONTRACTOR SHALL CONTACT DIG-SAFE AND OBTAIN A DIG SAFE NUMBER A MINIMUM OF 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND THE LOCATIONS OR COMPLETENESS ARE NOT GUARANTEED BY THE ENGINEER, SURVEYOR OR OWNER/DEVELOPER. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES SHOWN HEREON THESE PLANS BUT IN EXISTENCE IS NOT INTENDED NOR IMPLIED. IT IS THE SITE CONTRACTORS RESPONSIBILITY TO LOCATE ALL UTILITIES AND ANTICIPATE CONFLICTS, RELOCATE UTILITIES AS NECESSARY TO PERFORM THE WORK, REPAIR EXISTING UTILITIES AT NO ADDITIONAL COST TO THE OWNER/DEVELOPER.
3. ALL CONSTRUCTION SHALL CONFORM TO THE MINIMUM CONSTRUCTION STANDARDS OF THE TOWN OF KITTERY AND THE M.D.O.T. STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, LATEST EDITION.
4. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM WITH THE MINIMUM STANDARDS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" AND "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" LATEST EDITION.
5. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
6. THE LOCATION AND CONSTRUCTION OF EACH DRIVEWAY SHALL ENSURE THAT ADEQUATE DRAINAGE FLOW IS MAINTAINED.

STORMWATER MANAGEMENT NOTES:

1. IN ACCORDANCE WITH THE KITTERY LAND USE AND DEVELOPMENT CODE SECTION 16.10.5.2.C.7 STORMWATER MANAGEMENT PLAN; THESE PLANS DEPICT KEY ELEMENTS OF THE PROPOSED STORMWATER MANAGEMENT PLAN FOR THE REGRADING AND PAVING OF THE EXISTING GRAVEL ROAD. THIS PROJECT DOES NOT REQUIRE A STORMWATER LICENSE FROM MAINE DEP AS THIS IS AN EXISTING GRAVEL ROAD THAT WAS PREVIOUSLY PERMITTED. THE GRAVEL AREAS TO BE PAVED ARE WITHIN THE LIMITS OF THE EXISTING GRAVEL ROAD.



SEWARD FARM LANE PLAN
SCALE: HORIZONTAL 1"=40'



SEWARD FARM LANE PROFILE
SCALE: VERTICAL 1"=4'
HORIZONTAL 1"=40'

LEGEND:

	MONUMENT
	TEST PIT
	UNDERGROUND UTILITIES
	UTILITY POLE
	DRAIN LINE
	OVERHEAD WIRES
	TREE LINE
	EDGE OF WETLANDS
	WETLAND SYMBOL

CIVILWORKS NEW ENGLAND CIVIL ENGINEERING 181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820 (603) 749-0443	
DATE: 6-22-17	DATE
SCALE: 1"=100'	SCALE
DRAWN BY: SRD	DRAWN BY
DESIGN BY: SRD	DESIGN BY
APPROVED BY: SRD	APPROVED BY
PROJECT NO: 1689	PROJECT NO
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PLAN & PROFILE SEWARD FARM LANE SUBDIVISION 43 PICOTT ROAD YORK COUNTY KITTERY, MAINE	
10	

DESCRIPTION

THE INTENT OF THIS PLAN IS TO SHOW SITE IMPROVEMENTS ASSOCIATED WITH CONSTRUCTION OF A 20' PAVED ROAD FOR THE SUBDIVISION.

PROJECT NAME AND LOCATION

GARY R. SEWARD - 39 PICOT ROAD KITTERY, MAINE 03904
GREGG P. SEWARD - 60 BEECH RIDGE ROAD ELIOT, MAINE 03903
PATTI S. PARSONS - 11 MILL LANE YORK, MAINE 03909

LATITUDE N43°07'21" LONGITUDE W70°44'04"

SEQUENCE OF MAJOR ACTIVITIES

- 1. PLACE TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S PRIOR TO EARTH MOVING ACTIVITIES.
2. INSTALL UNDERGROUND UTILITIES AND FOUNDATIONS FOR STRUCTURES
3. PLACE GRAVELS AND FINE GRADE AND PAVE
4. STABILIZE ROADWAYS WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
5. ALL SLOPES SHALL BE LOAMED AND SEEDED (AS APPLICABLE) WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
6. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EVERY 1/4" OF RAINFALL.
7. WHEN ALL SITE WORK IS COMPLETE AND ALL DISTURBED AREAS ARE STABILIZED REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

DEFINITIONS

- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED.
1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED; OR
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES OF EROSION AND SEDIMENT CONTROLS

- A. GENERAL
THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.
0 ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
0 THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DENUDED AT ONE TIME.
0 ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 1/2 INCH OR GREATER.
0 ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
0 BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE OR CHECK DAMS WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE FENCE OR DAM.
0 ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
0 TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
0 A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
0 A REPRESENTATIVE OF THE OWNER, WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.
0 ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE

Table with 4 columns: Physical Property, Test, Requirements, and Flow Rate. Includes rows for Silt Fence, Filtering Efficiency, Tensile Strength, and Flow Rate.

Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of six (6) months of expected usable construction life at a temperature range of 0 degrees F to 120 Degrees F.

- b. The height of a silt fence shall not exceed thirty-six (36) inches.
c. The filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints.
d. Posts shall be spaced a maximum of ten (10) feet apart at the barrier location and driven securely into the ground (minimum of 12 inches).
e. Posts for silt fences shall be 2-inch diameter wood with a minimum length of 5 feet.
f. Wire fence reinforcement for silt fences using standard strength filter cloth shall be a minimum of 42 inches in height, a minimum of 14 gauge and shall have a maximum mesh spacing of 6 inches.
g. A trench shall be excavated approximately four (4) inches wide and four (4) inches deep along the line of posts and upslope from the barrier.
h. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least one (1) inch long, tie wires or hog rings.
i. The "standard strength" filter fabric shall be stapled or wired to the fence, and eight (8) inches of the fabric shall be extended into the trench.
j. When extra strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated.
k. The trench shall be backfilled and the soil compacted over the filter fabric.
l. Silt fences shall be removed when they have served their useful purpose, but not before the upslope areas has been permanently stabilized.

- 2. Sequence of Installation
Sediment barriers shall be installed prior to any soil disturbance of the contributing drainage area above them.
3. Maintenance
a. Check dams and silt fence barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall.
b. Should the fabric on a silt fence or filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier still is necessary, the fabric shall be replaced promptly.
c. Sediment deposits should be removed after each storm event.
d. Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared and seeded.

- C. MULCHING
1. Timing
In order for mulch to be effective, it must be in place prior to major storm events.
a. Apply mulch prior to any storm event.
b. Application Rate
Mulch shall be applied at a rate of between 1.5 to 2 tons per acre, or 90 to 100 pounds per 1000 square feet.
3. Guidelines for Winter Mulch Application.
4. Maintenance
Excelsior Matting Excelsior Matting shall be used in place of mulch on all slopes steeper than 3:1.

- D. TEMPORARY GRASS COVER
1. Seeded Preparation
Apply fertilizer at the rate of 600 pounds per acre of 10-10-10.
2. Seeding
a. Utilize annual rye grass at a rate of 40 lbs/acre.
b. Apply seed uniformly by hand, cyclone seeder, or hydroseeder.
3. Maintenance
Temporary seedings shall be periodically inspected.

- E. PERMANENT SEEDING
1. Bedding - stones larger than 1 1/2", trash, roots, and other debris interfere with seeding.
2. Fertilizer - lime and fertilizer should be applied evenly over the area prior to or at the time of seeding.
3. Seed Mixture (recommended)
Rate: Type, LBS. per Acre, LBS. per 1,000 s.f.
Agricultural Limestone @ 100 lbs. per 1,000 s.f.
10-20-20 fertilizer @ 12 lbs. per 1,000 s.f.

- F. STORM DRAIN INLET PROTECTION
1. Straw/Hay Bale Inlet Structure
a. Bales shall be either wire bound or string tied with the bindings oriented around the sides rather than over and under the bales.
b. Bales shall be placed lengthwise in a single row surrounding the inlet, with the ends of adjacent bales pressed together.
c. The filter barrier shall be entrenched and backfilled.
d. Each bale shall be securely anchored and held in place by at least two (2) stakes or rebars driven through the bale.
e. Loose straw/hay shall be wedged between bales to prevent water from entering between bales.
f. All structures should be inspected after every rainstorm and repairs made as necessary.
g. Sediment should be removed from the devices after the sediment has reached a maximum of one-third the depth of the trap.
h. Haybales should be removed and the area repaired as soon as the contributing drainage area to the inlet has been completely stabilized.

- 2. Storm Drain Inlet Protection
a. Bales shall be either wire bound or string tied with the bindings oriented around the sides rather than over and under the bales.
b. Bales shall be placed lengthwise in a single row surrounding the inlet, with the ends of adjacent bales pressed together.
c. The filter barrier shall be entrenched and backfilled.
d. Each bale shall be securely anchored and held in place by at least two (2) stakes or rebars driven through the bale.
e. Loose straw/hay shall be wedged between bales to prevent water from entering between bales.
f. All structures should be inspected after every rainstorm and repairs made as necessary.
g. Sediment should be removed from the devices after the sediment has reached a maximum of one-third the depth of the trap.
h. Haybales should be removed and the area repaired as soon as the contributing drainage area to the inlet has been completely stabilized.

TIMING OF CONTROLS/MEASURES
As indicated in the sequence of Major Activities the silt fences shall be installed prior to commencing any clearing or grading of the site. Structural controls shall be installed concurrently with the applicable activity.

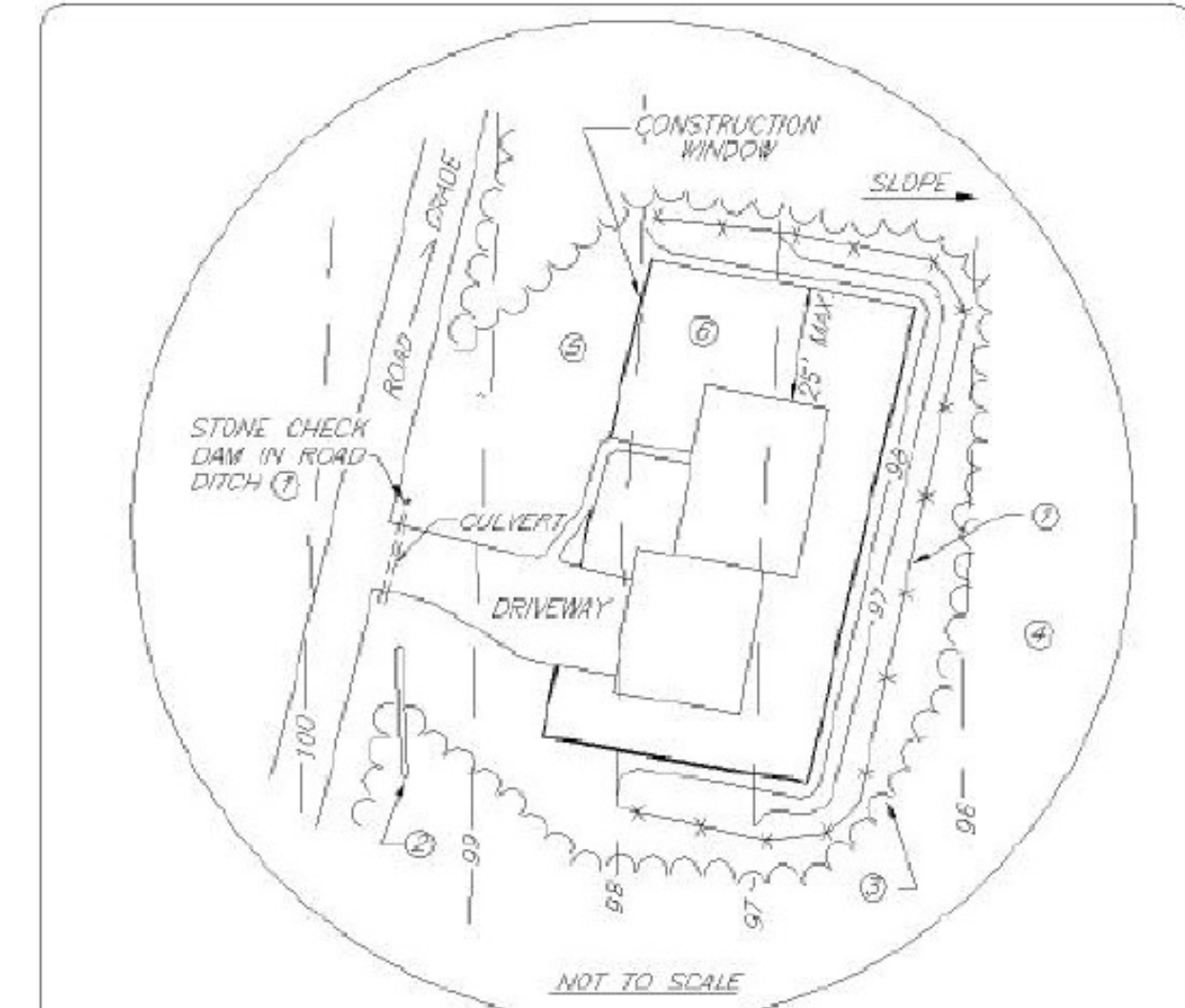
WASTE DISPOSAL

- A. WASTE MATERIALS
All waste materials will be collected and stored in securely lidded receptacles.
B. HAZARDOUS WASTE
All hazardous waste materials will be disposed of in the manner specified by local or state regulation.
C. SANITARY WASTE
All sanitary waste will be collected from the portable units a minimum of once per week by a licensed sanitary waste management contractor.

SPILL PREVENTION

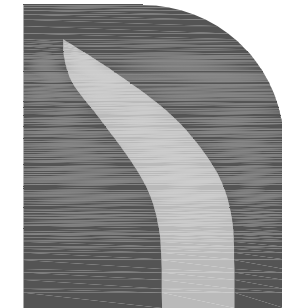
- A. MATERIAL MANAGEMENT PRACTICES
The following are the material management practices that will be used to reduce the risk of spills or other accidental exposure of materials and substances during construction to stormwater runoff.
Good Housekeeping:
The following good housekeeping practices will be followed on site during the construction project:
o An effort will be made to store only sufficient amounts of products to do the job.
o All materials stored on site will be stored in a neat, orderly manner.
Hazardous Products:
The following practices will be used to reduce the risks associated with hazardous materials:
o Products will be kept in their original containers unless they are not resealable.
o Original labels and material safety data will be retained for important product information.
o Surplus product that must be disposed of will be discarded according to the manufacturer's recommended methods of disposal.

- B. PRODUCT SPECIFICATION PRACTICES
The following product specific practices will be followed on site:
Petroleum Products:
All on site vehicles will be monitored for leaks and receive regular preventive maintenance to reduce leakage.
Fertilizers:
Fertilizers used will be applied only in the minimum amounts directed by the specifications.
Concrete Trucks:
Concrete trucks will discharge and wash out surplus concrete or drum wash water in a contained area on site.
C. SPILL CONTROL PRACTICES
In addition to good housekeeping and material management practices discussed in the previous section the following practices will be followed for spill prevention and cleanup:
o Manufacturer's recommended methods for spill cleanup will be clearly posted and site personnel will be made aware of the procedures and the location of the information and cleanup supplies.
o Materials and equipment necessary for spill cleanup will be kept in the material storage area on site.
o The spill area will be kept well ventilated and personnel will wear appropriate protective clothing to prevent injury from contact with a hazardous substance.
o Spills of toxic or hazardous material will be reported to the appropriate state or local government agency, regardless of the size.
o The spill prevention plan will be adjusted to include measures to prevent this type of spill from recurring and how to cleanup the spill if it recurs.
o The site superintendent responsible for day-to-day site operations will be the spill prevention and cleanup coordinator.



INSTALLATION
1. INSTALL SEDIMENT BARRIERS ON YOUR SITE BEFORE DISTURBING SOILS.
2. CONSTRUCT A DIVERSION DITCH TO KEEP UP-SLOPE RUNOFF OUT OF WORK AREA.
3. MARK CLEARING LIMITS ON THE SITE TO KEEP EQUIPMENT OUT OF AREAS WITH STEEP SLOPES, CHANNELIZED FLOW, OR ADJACENT SURFACE WATERS AND WETLANDS.
4. PRESERVE BUFFERS BETWEEN THE WORK AREA AND ANY DOWNSTREAM SURFACE WATERS AND WETLANDS.
5. USE TEMPORARY MULCH AND RYE-SEED TO PROTECT DISTURBED SOILS OUTSIDE THE ACTIVE CONSTRUCTION AREA.
6. PERMANENTLY SEED AREAS NOT TO BE PAVED WITHIN SEVEN DAYS OF COMPLETING FINAL GRADING.
MAINTENANCE
EVERY MONTH THE FIRST YEAR AFTER CONSTRUCTION AND YEARLY THEREAFTER, INSPECT FOR AREAS SHOWING EROSION OR POOR VEGETATION GROWTH.
HOUSE SITE BMP

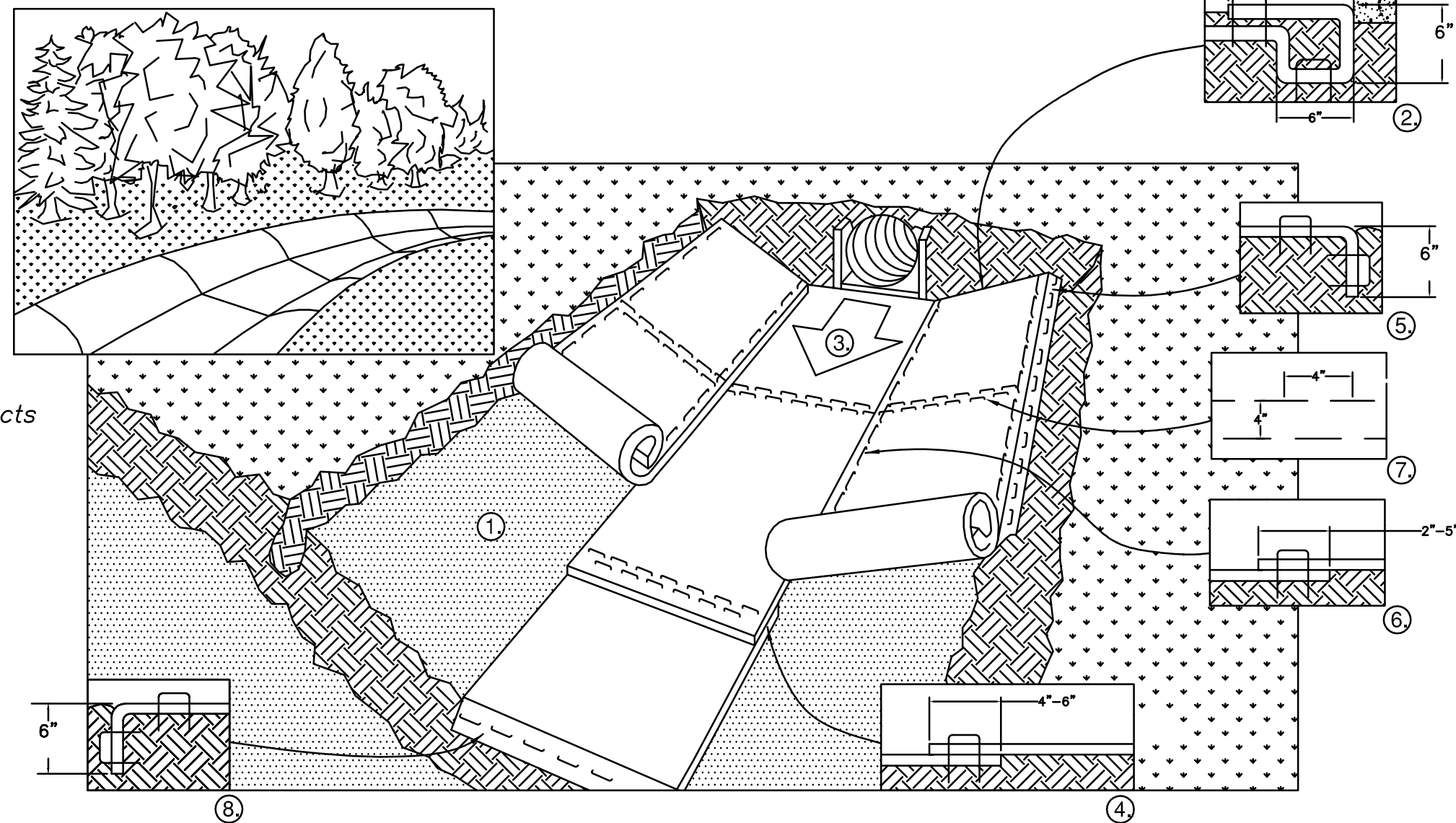
EROSION CONTROL NOTES
SEWARD FARM LANE SUBDIVISION
43 PICOTT ROAD YORK COUNTY KITTERY, MAINE
OWNER: GARY R. SEWARD - 39 PICOT ROAD KITTERY, MAINE 03904
GREGG P. SEWARD - 60 BEECH RIDGE ROAD ELIOT, MAINE 03903
PATTI S. PARSONS - 11 MILL LANE YORK, MAINE 03909
CIVILWORKS NEW ENGLAND CIVIL ENGINEERING
181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820
(C03) 749-0443
DATE: 6-22-17
SCALE: 1"=100'
DRAWN BY: SRD
DESIGN BY: SRD
APPROVED BY: SRD
PROJECT NO: 1689
FILE: SITE.DWG
NO. 1
REVISION
APPD
DATE



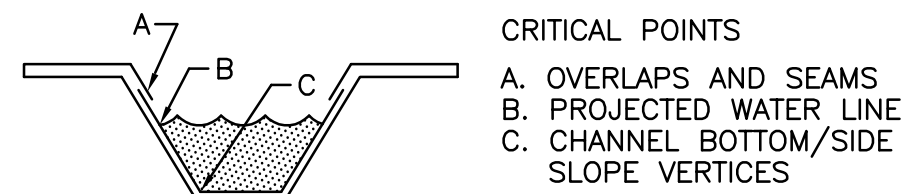
NORTH AMERICAN GREEN

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CHANNEL INSTALLATION



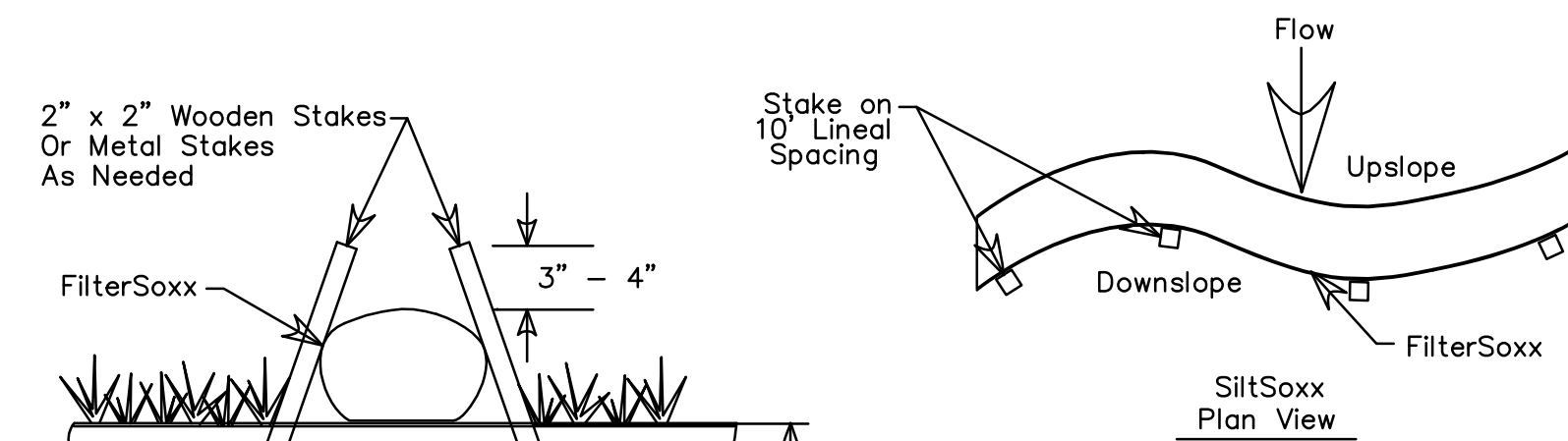
1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE RECP's IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECP's EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP's WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP's BACK OVER SEED AND COMPACTED SOIL. SECURE RECP's OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" ACROSS THE WIDTH OF THE RECP's.
3. ROLL CENTER RECP's IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. RECP's WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP's MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. PLACE CONSECUTIVE RECP's END OVER END (SHINGLE STYLE) WITH A 4" - 6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE RECP's.
5. FULL LENGTH EDGE OF RECP's AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. ADJACENT RECP's MUST BE OVERLAPPED APPROXIMATELY 2" - 5" (DEPENDING ON RECP's TYPE) AND STAPLED.
7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
8. THE TERMINAL END OF THE RECP's MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. NOTE: * IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE RECP's.



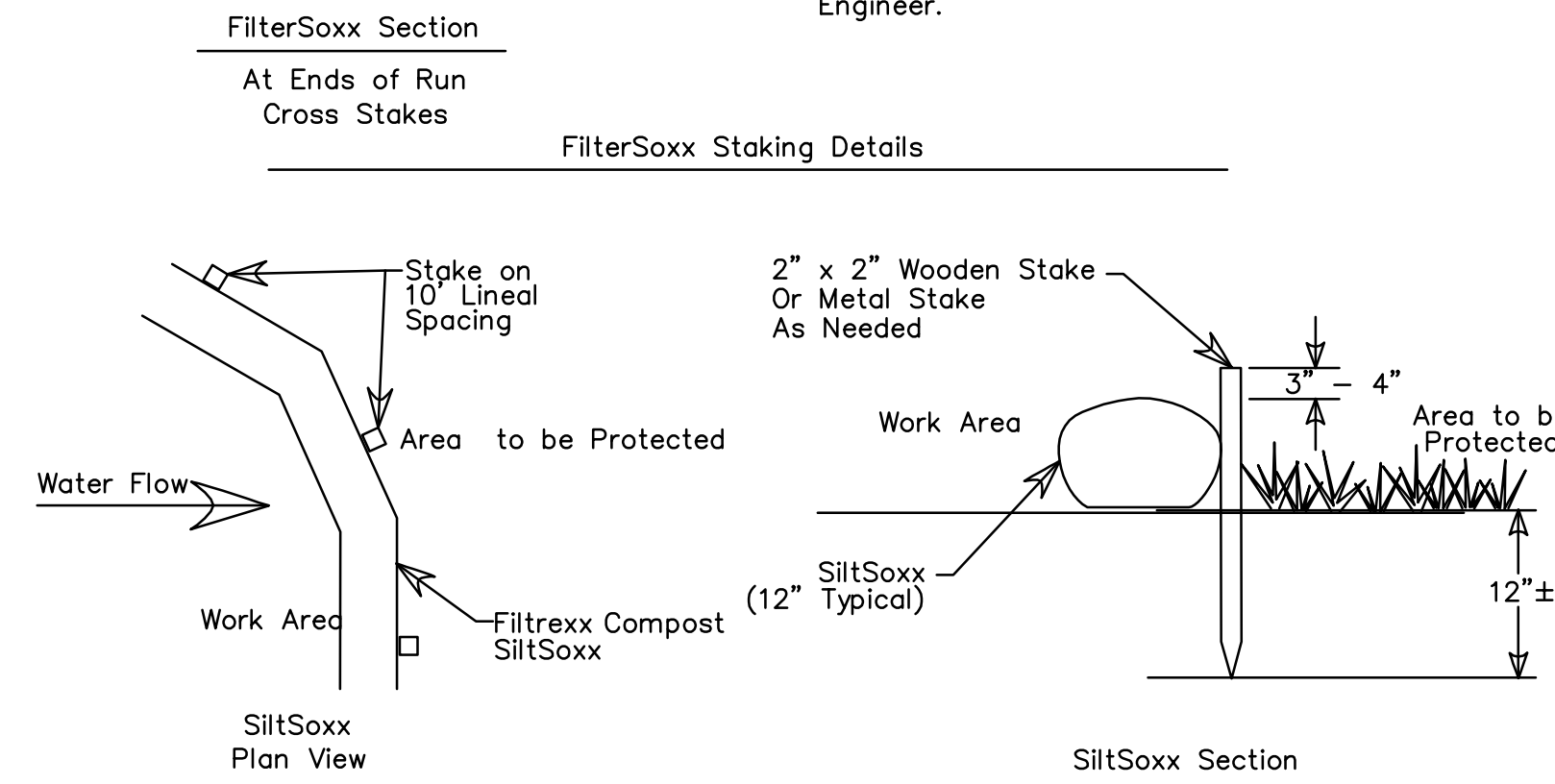
CRITICAL POINTS
A. OVERLAPS AND SEAMS
B. PROJECTED WATER LINE
C. CHANNEL BOTTOM/SIDE SLOPE VERTICES

NOTE:
* HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.

** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE RECP's.

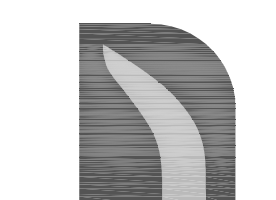


- Notes:**
1. All material to meet Filtrexx specifications
 2. FilterSoxx compost/soil/rock/seed fill to meet application requirements.
 3. Compost material to be dispersed on site, as determined by Engineer.



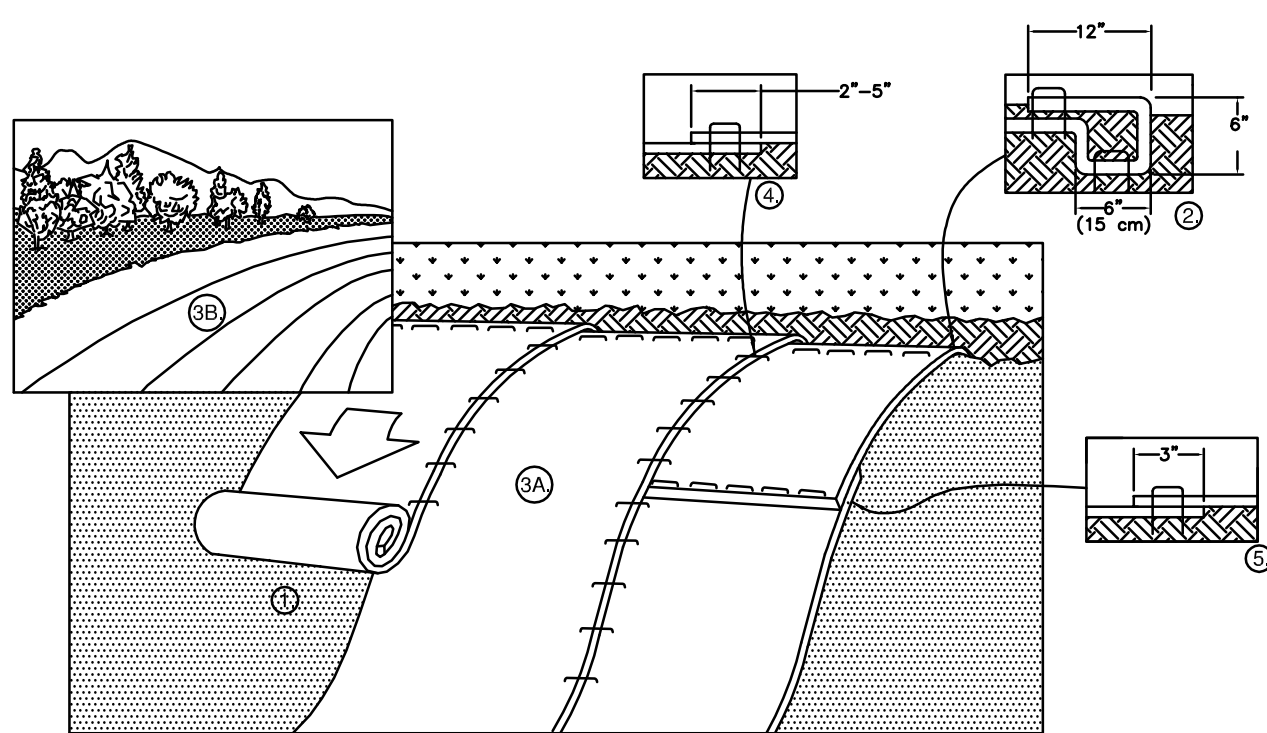
- Notes:**
1. All material to meet Filtrexx specifications
 2. SiltSoxx compost/soil/rock/seed fill to meet application requirements.
 3. SiltSoxx depicted is for minimum slopes. Greater slopes may require larger socks per the Engineer.
 4. Compost material to be dispersed on site, as determined by Engineer.

SiltSoxx Details
NOT TO SCALE

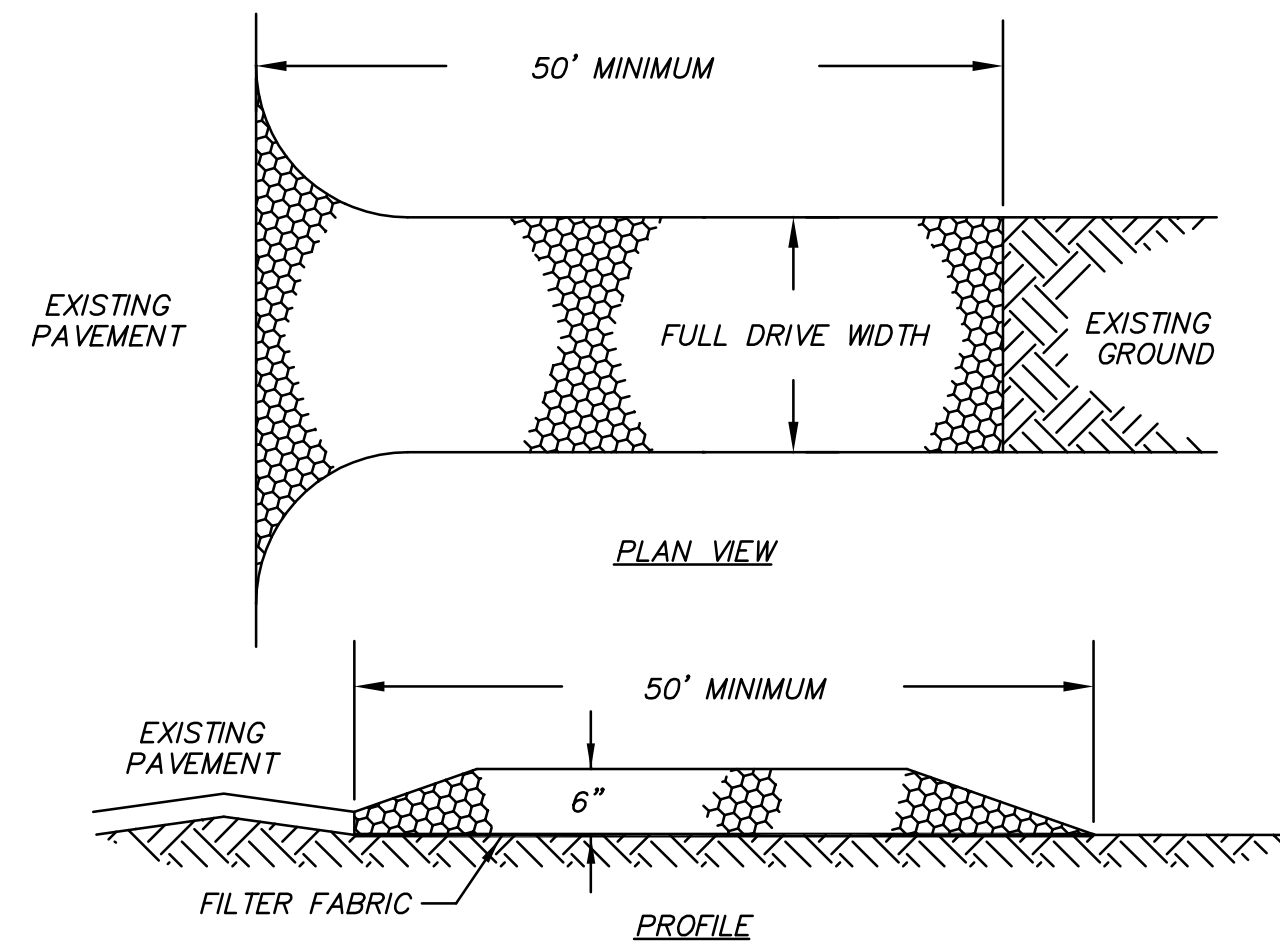


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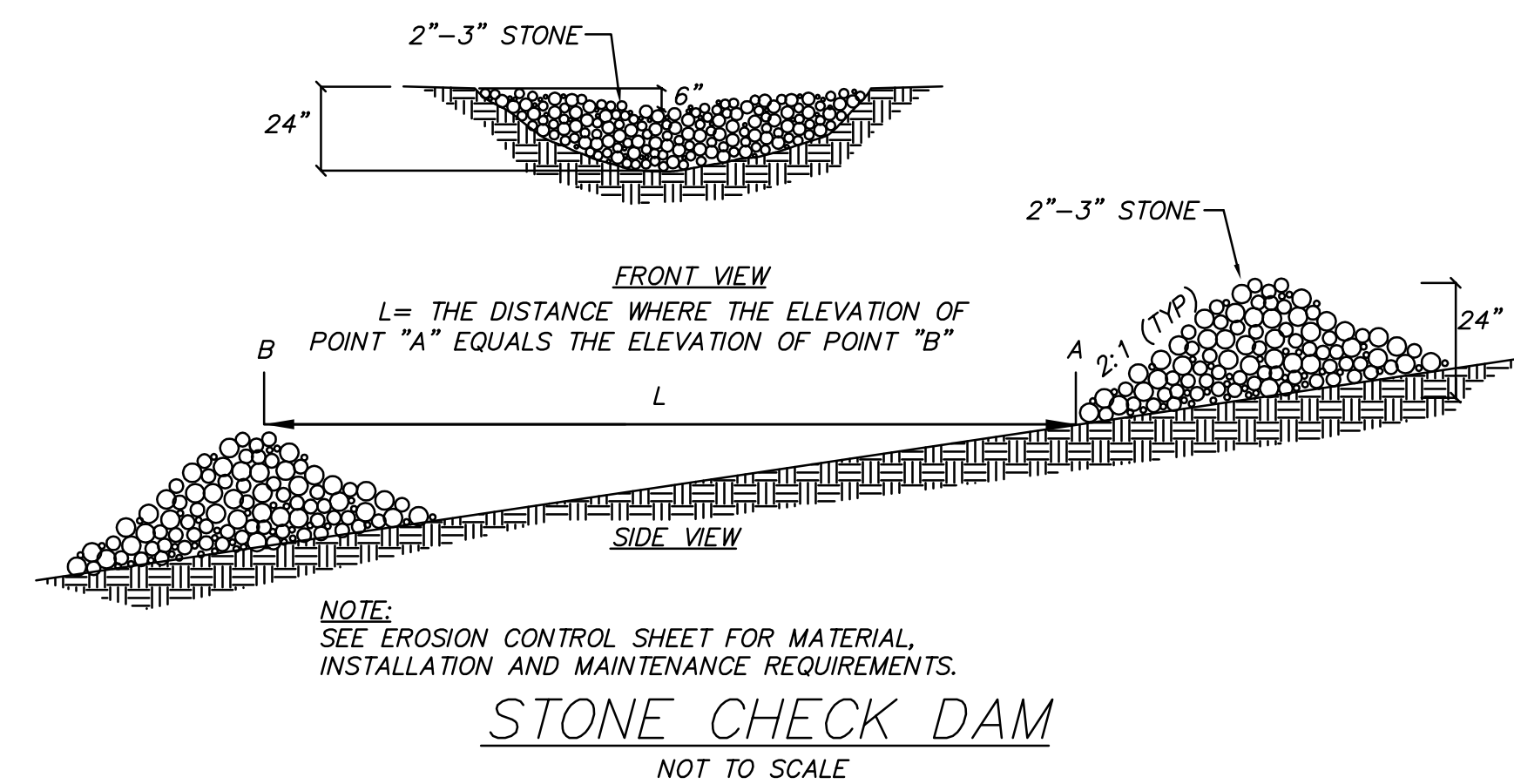
SLOPE INSTALLATION



1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP's IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECP's EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP's WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP's BACK OVER SEED AND COMPACTED SOIL. SECURE RECP's OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) ACROSS THE WIDTH OF THE RECP's.
3. ROLL THE RECP's (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP's WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP's MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECP's MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECP's TYPE.
5. CONSECUTIVE RECP's SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP's WIDTH.
NOTE:
* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP's.

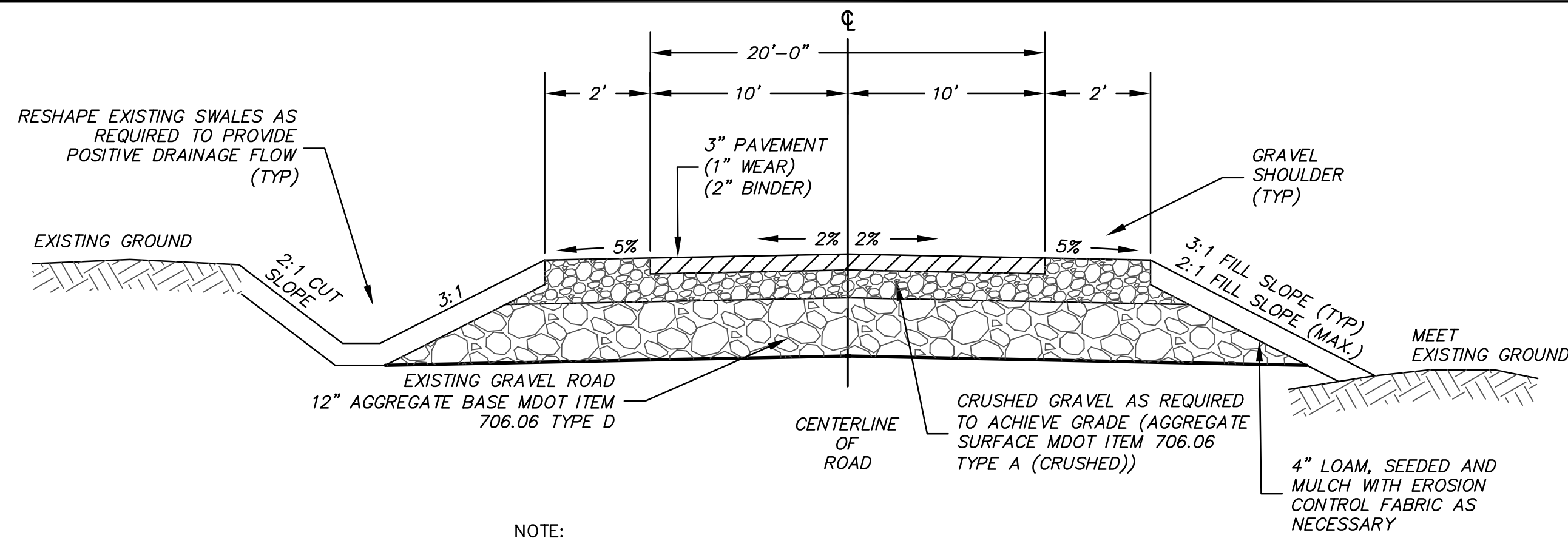


- NOTES:**
1. SEE EROSION CONTROL NOTES FOR MATERIAL, INSTALLATION AND MAINTENANCE REQUIREMENTS.
- STABILIZED CONSTRUCTION ENTRANCE*
NOT TO SCALE



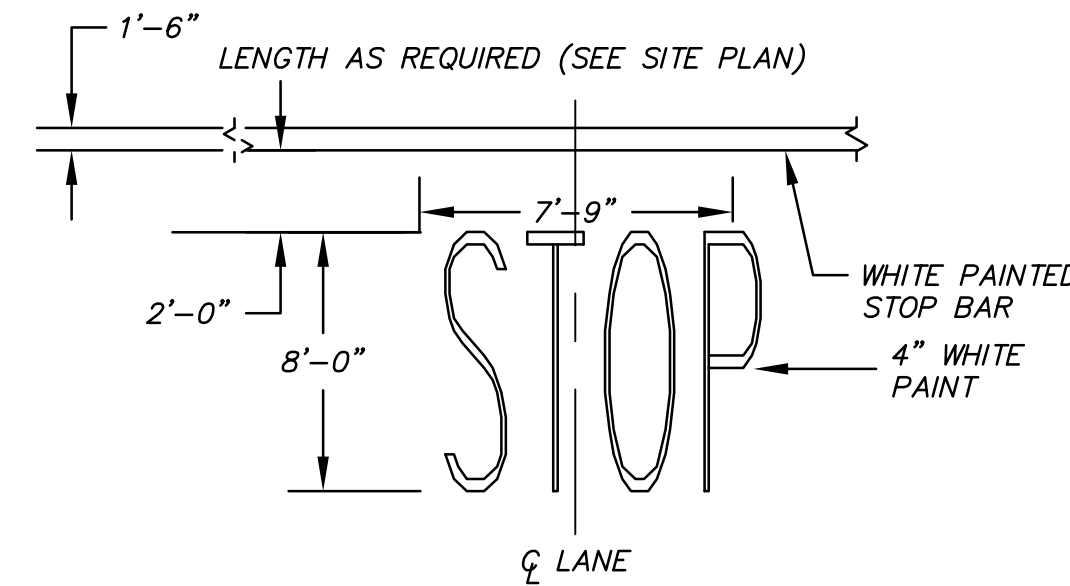
- NOTE:**
SEE EROSION CONTROL SHEET FOR MATERIAL, INSTALLATION AND MAINTENANCE REQUIREMENTS.
- STONE CHECK DAM*
NOT TO SCALE

DATE: 6-22-17		SCALE: 1"=100'	DRAWN BY: SRD	DESIGN BY: SRD	APPROVED BY: SJH	PROJECT NO: 1689	FILE: SITE.DWG
OWNER: GARY R. SEWARD - 39 PICOT ROAD KITTEERY, MAINE 03904 GREGG P. SEWARD - 60 BEECH RIDGE ROAD ELIOT, MAINE 03903 PATTI S. PARSONS - 11 MILL LANE YORK, MAINE 03909		PER TOWN COMMENTS	PER MAINE DEP COMMENTS	NO.	REVISION		
CIVILWORKS NEW ENGLAND CIVIL ENGINEERING 181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820 (603) 749-0443		SJH	SJH	1	1	11-15-17	10-25-17
EROSION CONTROL DETAILS							
SEWARD FARM LANE SUBDIVISION 43 PICOTT ROAD YORK COUNTY KITTEERY, MAINE							
12							

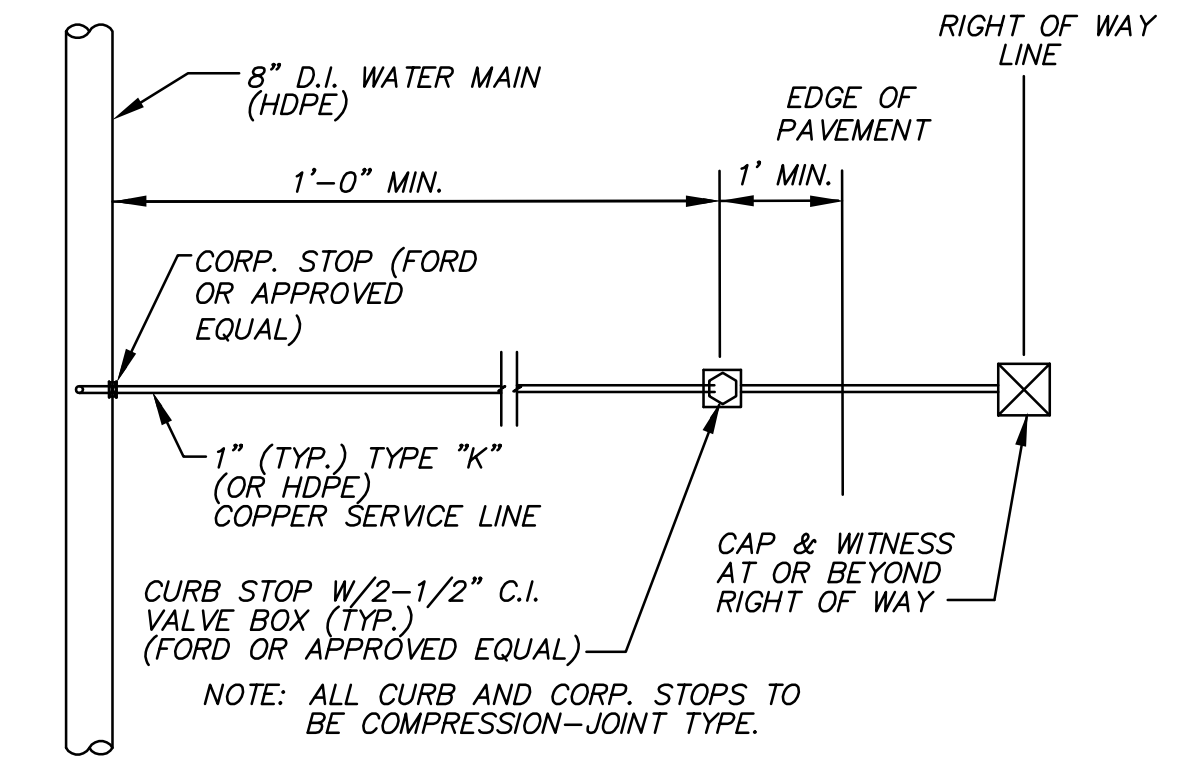


NOTE:
 1. THE INTENT IS TO RESHAPE AND REGRADE THE EXISTING GRAVEL.
 2. CONTRACTOR TO ADD CRUSHED GRAVEL AS REQUIRED TO MEET GRADE.

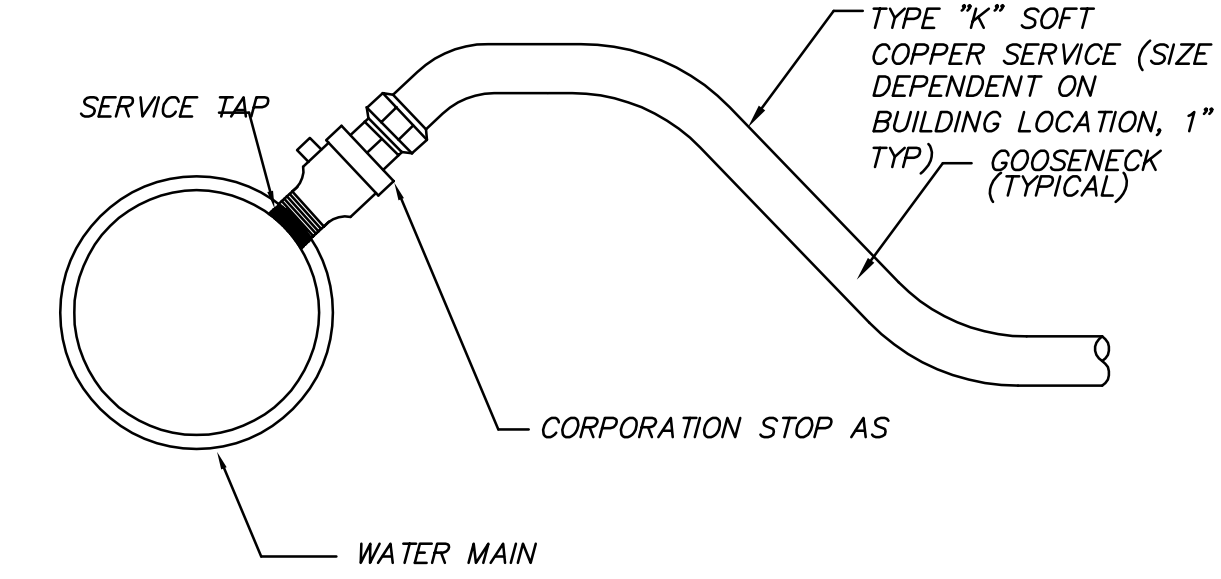
TYPICAL ROAD CROSS SECTION
 NOT TO SCALE



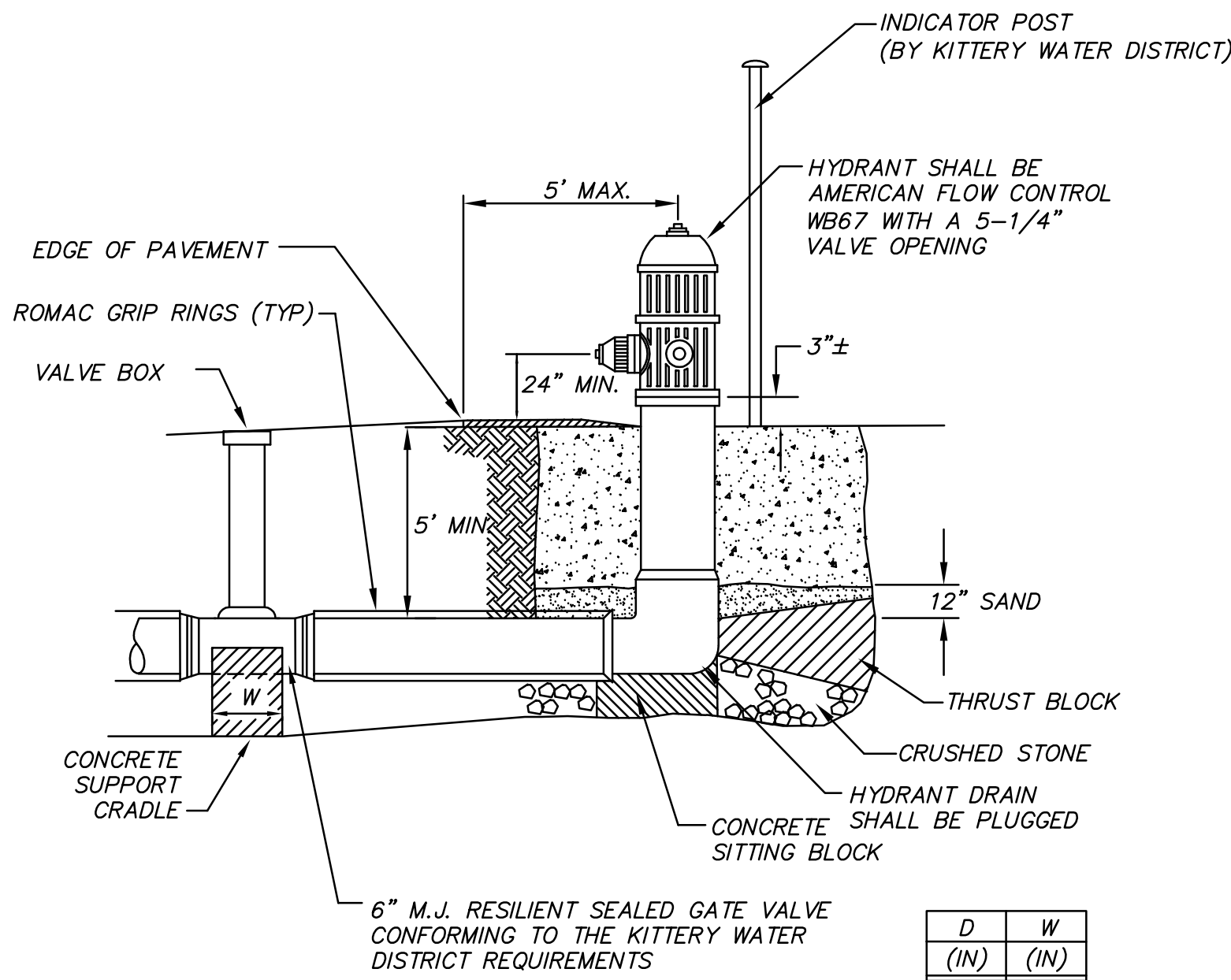
NOTE: SEE SITE PLAN FOR LOCATIONS
STOP BAR & LEGEND
 NOT TO SCALE



NOTE: ALL MATERIALS AND SPECIFICATIONS SHALL CONFORM TO KITTERY WATER DISTRICT WATER DEPARTMENT STANDARDS AND REQUIREMENTS. VERIFY PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.

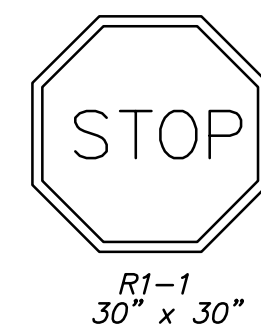
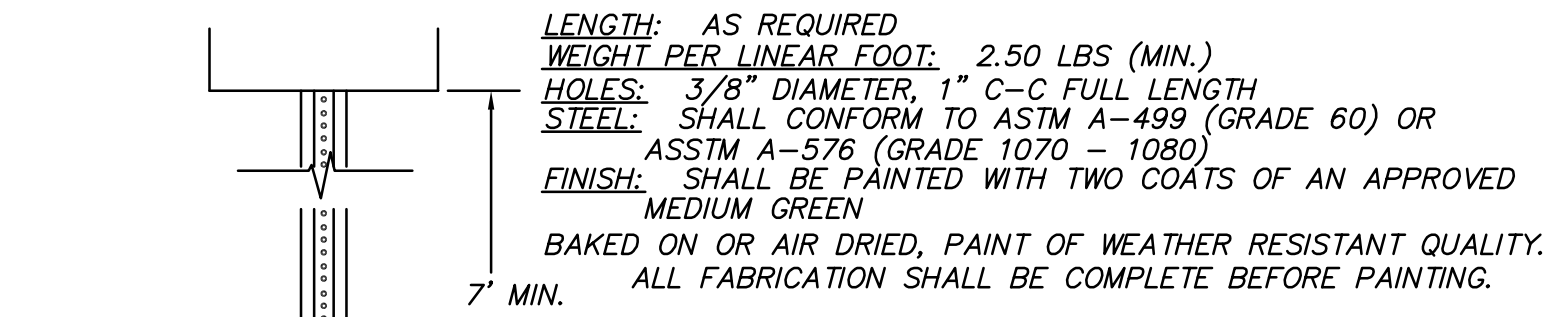


WATER SERVICE CONNECTION
 WITH D.I. INSTALLATION COORDINATE
 INSTALLATION WITH KITTERY WATER DISTRICT
 NOT TO SCALE



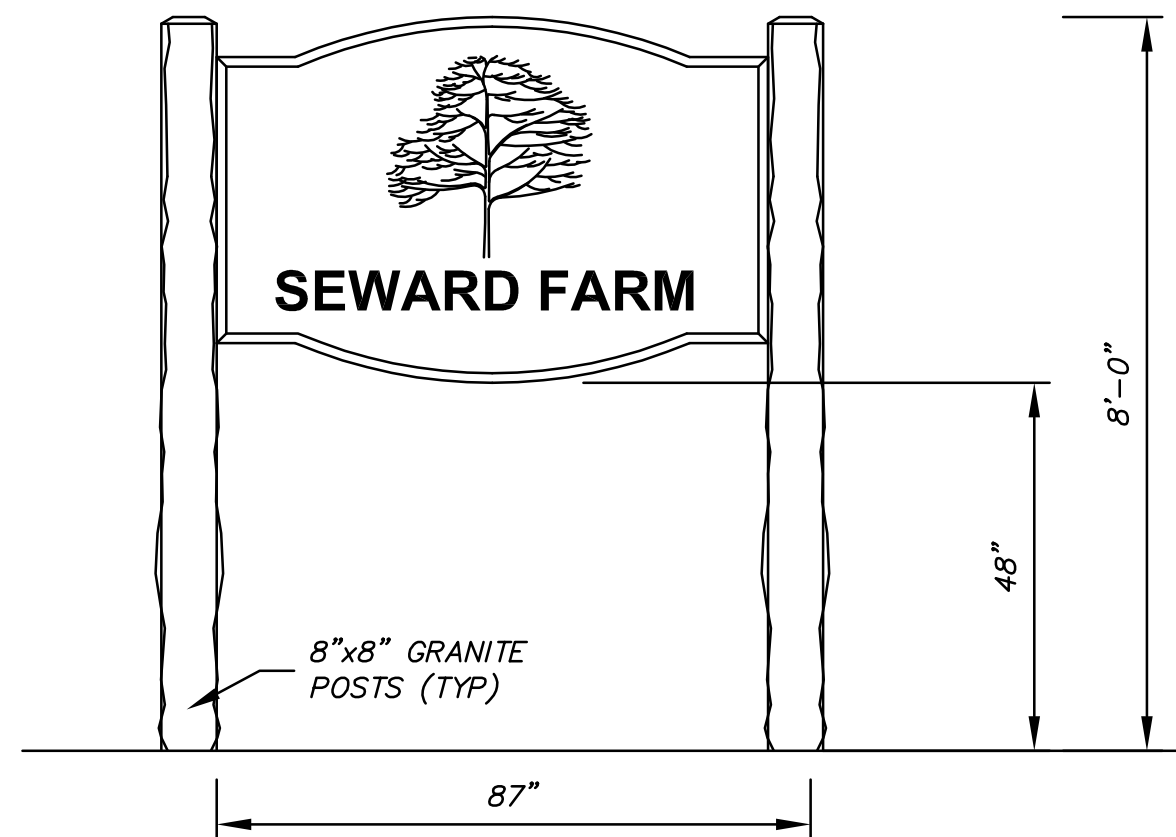
NOTES
 1. HYDRANT INSTALLATION AND OPERATION TO CONFORM TO REGULATIONS OF THE KITTERY WATER DISTRICT.
 2. GATE VALVES & HYDRANTS TO OPEN LEFT (COUNTER CLOCKWISE).

FIRE HYDRANT DETAIL
 NOT TO SCALE

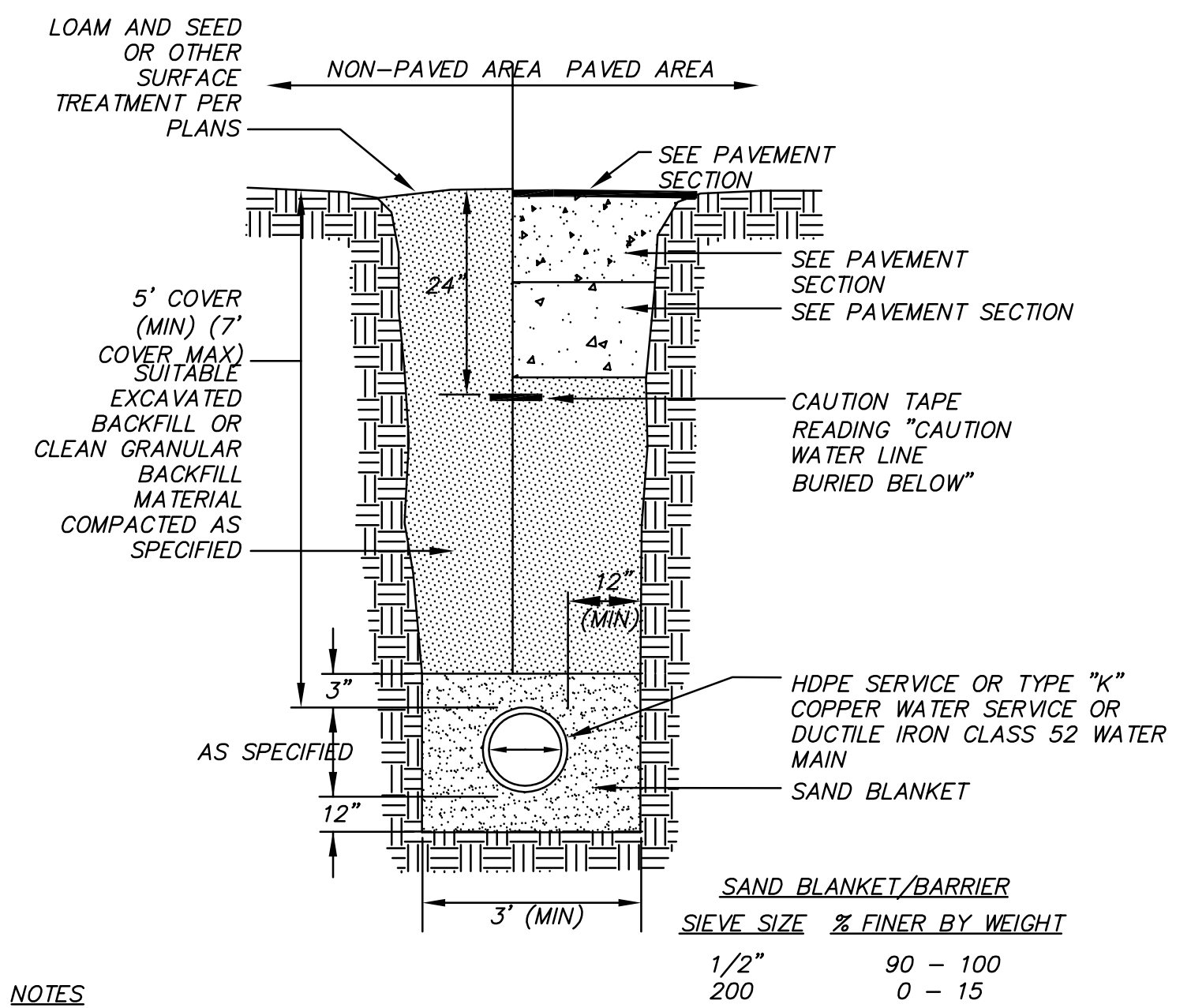


NOTE:
 ALL SIGNS TO BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

SIGN LEGEND & SIGN POST
 NOT TO SCALE



SIGN DETAIL
 NOT TO SCALE



NOTES
 1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
 2. COORDINATE WITH KITTERY WATER DISTRICT.

WATER MAIN TRENCH DETAIL
 NOT TO SCALE

WATER INSTALLATION NOTES:

- ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL BE CONSTRUCTED AND TESTED PER KITTERY WATER DISTRICT STANDARDS AND SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE TO THE STANDARDS AND SPECIFICATIONS OF THE RESPECTIVE UTILITY PROVIDERS.
- KITTERY WATER DISTRICT SHALL INSTALL WATER MAINS, SERVICES, TAPS, THRUST BLOCKS AND GATE VALVES AT ALL CONNECTIONS TO EXISTING WATERMANS. CONTRACTOR TO PROVIDE TRENCHING AND BACKFILLING.
- SERVICES SHALL BE 10' HORIZONTAL FOR UNDERGROUND ELECTRIC LINES.

CIVILWORKS NEW ENGLAND
 CIVIL ENGINEERING
 181 Watson Road, P.O. Box 1166
 Dover, New Hampshire 03820
 (603) 749-0443

DATE	SCALE	DRAWN BY	DESIGN BY	APPROVED BY	PROJECT NO.	PER TOWN COMMENTS	PER MAINE DEP COMMENTS	APP'D	DATE
6-22-17	1"=100'	SRD	SRD	SRD	1689	2	1		

OWNER:
GARY R. SEWARD - 99 PICOT ROAD
KITTERY, MAINE 03904
GREGG P. SEWARD - 60 BEECH RIDGE ROAD
ELIOT, MAINE 03903
PATTI S. PARSONS - 11 MILL LANE
YORK, MAINE 03909

SEWARD FARM LANE
SUBDIVISION
43 PICOTT ROAD
YORK COUNTY
KITTERY, MAINE

DETAIL SHEET

13