

Civil Site Planning Environmental Engineering 133 Court Street Portsmouth, NH 03801-4413

November 23, 2021

Bart McDonough, Town Planner Town of Kittery 200 Rogers Road Kittery, Maine 03904

Re: Little Bridge Lobster Restaurant Map 1 Lot 19 Badgers Island West Kittery, Maine

Dear Mr. McDonough:

Altus Engineering, Inc. (Altus) submitted a Shoreland Development Plan Application on October 28, 2021 for a new structure to be used as a restaurant. The plans have been revised to address your comments, including providing an ADA lift system in lieu of a long ramp and other miscellaneous notes. On behalf of One Badgers Island West, LLC, Altus is pleased to submit the following for the Planning Board's consideration:

• Plan Sets – 2 (24"x36") and 10 (11"x17")

We look forward to presenting to the Board on December 9<sup>th</sup>. Please feel free to contact me should you have any questions or need any additional information.

Thank you for your time and consideration.

Respectfully,

ALTUS ENGINEERING, INC.

Eric D. Weinrieb, P.E. President

5053 Cover.ltr.docx Enclosure

ecopy: William Banfield & Elizabeth Casella Zachary Smith, Winter Holden Architecture



#### SHORELAND DEVELOPMENT PLAN APPLICATION

#### TOWN OF KITTERY

Planning & Development Department 200 Rogers Road, Kittery, ME 03904 Telephone: 207-475-1323 Fax: 207-439-6806

MAP LOT
DATE:
FEE: \$ 200.00
ASA*:

PROPERTY	Physical Address	1 & 3 Badger	r's Island West			
DESCRIPTION	Base Zone		Overlay Zone (s)	Water Body/Wetland Protection area Commercial Fisheries/maritime uses		
	Name	William J. Banfie One Badger's Isla	eld, Elizabeth Casella and West, LLC		5 Badger's Island West	
OWNER INFORMATION	Phone			Mailing Address	Kittery, Maine 03904	
	Email	wjbanfield2@gmail.com				
	Name	Eric Weinrieb, PE		Company	Altus Engineering, Inc.	
AGENT	Phone	603-433-2335			133 Court Street	
INFORMATION	Email	Eric@altus-eng.com		Mailing Address	Portsmouth, NH 03801	
	Fax			/ 1441 000		
	Name	Little Bridge Lobster Restaurant				
APPLICANT INFORMATION	Phone			Mailing Address	5 Badger's Island West Kittery, Maine 03904	
	Email	wjbanfield2@gmail.com				

#### Existing Use:

Structures used as marine related storage sheds.

PROJECT DESCRIPTION

Proposed Use (describe in detail):

New structure will be used as a restaurant

Please describe any construction constraints (wetlands, shoreland overlay zone, flood plain, non-conformance, etc.)

The site is developed/paved nearly up to the edge of the highest observable tide line. The entire parking field and most of the building is within the 75-foot buffer to HATL. The development will include removing some of the hardscape adjacent to the HATL by adding a customer dining area. A new building will be constructed essentially in the location of the existing two sheds. A deck and handicap accessible ramps will be installed to make the facility ADA accessible.

I certify I have provided, to the best of my knowledge, information requested for this application that is true and correct and I will not deviate from the Plan submitted without notifying the Planning and Development Department of any changes.

ECSCRIPTION

PROJECT

Applicant's Signature:	with A lof I	Owner's Signature: Well- V M I
Date:	10/28/2021	Date: 10/28/2021

\*Applicant Service Accounts: Fees to pay other direct costs necessary to complete the application process, not including application fees. Title 3, Chapter 3.3.

12 Copies of this Application Form, all supporting documents, and the Development Plan and Vicinity Map 10 plan copies may be half-size (11"x17") and 2 must be full-size (24"x36")				
A) Paper Size; no less than 11" X 17" or greater than 24" X 36"				
<ul> <li>C) Title Block</li> <li>Itile: Shoreland Development Plan</li> <li>Applicant's name and address</li> <li>Name of preparer of plan with professional information</li> <li>Parcel's Kittery tax map identification (map – lot) in bottom right corner</li> <li>Vicinity Map or aerial photo showing geographic features 5,000 feet around the site.</li> </ul>				
Development Plan must include the following existing and proposed information:				
aphy				

- X Structures
- Floor area, volume, devegetated area, and building coverage

Distance to:

- Nearest driveways and intersections
- Nearest fire hydrant
- Nearest significant water body; ocean, wetland, stream

Utilities (Sewer/septic, water, electric, phone)

Distance from structure to water body and property lines

Floor area, volume, devegetated area, and building coverage

Streets, driveways and rights-of-way

X

X

X

Structures

#### AN APPLICATION THE TOWN PLANNER DEEMS SUFFICIENTLY LACKING IN CONTENT WILL NOT BE SCHEDULED FOR PLANNING BOARD REVIEW.

Expansion/Construction Analysis within the Shoreland Overlay Zone<sup>1</sup> (see Table 16.9)

Size of water body or wetland:  $\bigcirc$  <500 sf  $\bigcirc$  <501 sf-1 acre  $\boxed{x}$  >1 acre

#### Structure distance from water body: 61.5 +/- feet

STRUCTURE	Existing	Proposed	% Increase*	
SF (Area)	451 sf	547 sf	0.6 % in 75 ft	buffer
Construction:				Value:
Maintenance/repair: Stol			\$ to be determined	
*Total increase in area may not exceed 30% for any new construction since 1/1/1989.				

PARCEL DE-VEGETATION	% Allowed*	Existing SF	Proposed SF	% Proposed*
Lot Size (sf) 30,457 SF (18,274 sf allowed	60 %	<sup>18,942</sup> 62.2% sf	<sup>18,523</sup> sf	60.8 %
*See underlying zone standards for de-vegetated area percent allowed within a Shoreland Overlay.				

BUILDING COVERAGE	% Allowed*	Existing SF	Proposed SF	% Proposed*
Lot Size (sf) 30,457 SF	%	3,492 sf	3,588 sf	11.8 %
*See underlying zone standards for building coverage percent allowed.				

<sup>1</sup>Calculations for area, volume, and de-vegetated areas must be included on the final plan and certified by a State of Maine registered architect, landscape architect, engineer, or land surveyor.



191 State Road, Suite #1 • Kittery, Maine 03904 • (207) 439-6333 • Fax (207) 439-1354

December 2, 20201

Kittery Maine Planning Board c/o Bart McDonough

Subject: GIS MAPS & FEMA FLOOD ZONES

1 Badgers Island West

Job No: 19808

Dear Bart,

A question arose relative to the location of the FEMA Special Flood Hazard Area (SFHA), which by definition is a Resource Protection Zone. The official location of this line is shown on FEMA Flood Map FIRM 230171 0008 D, effective July 3, 1986.

This line has been digitized onto our Existing Conditions plan dated 6/21/2021 and confirmed by elevation as shown on our survey.

The SFHA zones shown on the Kittery "Official Zoning Map" and by extension the Kittery GIS are grossly inaccurate and should not be used or relied upon for official determination or guidance or measuring.

This inaccuracy is made clear by a simple comparison of the Kittery GIS to the online FEMA Mapping at msc.fema.gov, which I've attached for reference. The FEMA Zone we show on our survey is used by relying on official FEMA products.

Sincerely: North Easterly Surveying, Inc.

Adam M. Pray, PLS Senior Project Manager

mail cc – Eric Weinreb, Altus Engineering

19808\_planner\_letter

#### FEMA MAP SERVICE CENTER (ACCURATE)

#### Search Results—Products for KITTERY, TOWN OF

Show ALL Products »

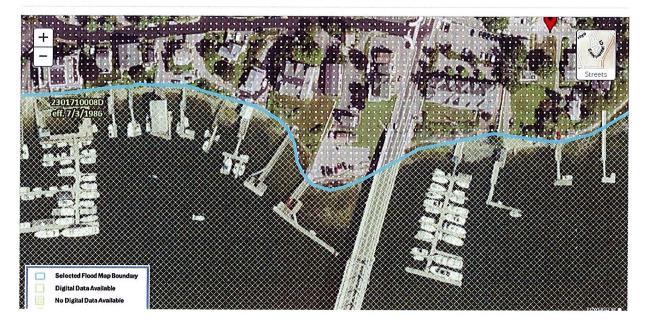
The flood map for the selected area is number 2301710008D, effective on 07/03/1986 🚱



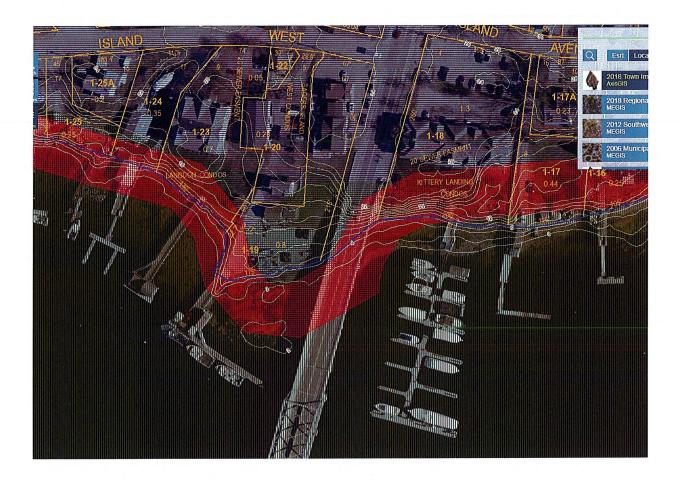
#### Changes to this FIRM @ Revisions (1)

- Amendments (2)
- 🖾 Revalidations (0)

You can choose a new flood map or move the location pin by selecting a different location on the locator map below or by entering a new location in the search field above. It may take a minute or more during peak hours to generate a dynamic FIRMette. If you are a person with a disability, are blind, or have low vision, and need assistance, please contact a map specialist.



### **KITTERY, GIS (NOT ACCURATE)**



NOT ACCURATE – NOTE CONTOUR ELEVATION RELATIVE TO THE GIS FLOOD ZONE

#### **TRUSTEE'S DEED**

DLN# 1002140146451

Anthony J. Marquis, Trustee of The Anthony J. Marquis Revocable Trust u/t/a March 23, 2010, of Kittery, Maine, for consideration paid, grants to William J. Banfield II, a 7% in common and undivided interest, to Elizabeth Casella, a 7% in common and undivided interest and to One Badgers Island West LLC, an 86% in common and undivided interest in and to the land, together with the buildings and improvements thereon and appurtenances thereto, in Kittery, York County, Maine, more particularly bounded and described in Exhibit A attached hereto and made a part hereof.

For source of title, reference may be had to the deed from Anthony J. Marquis to Anthony M. Marquis, Trustee of The Anthony J. Marquis Revocable Trust u/t/a March 23, 2010, dated March 23, 2010, and recorded in the York County Registry of Deeds in Book 15836, Page 518.

In witness whereof, Anthony J. Marquis, in my capacity as Trustee of The Anthony J. Marquis Revocable Trust u/t/a March 23, 2010, have hereunto set my hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Witness:

Truster

Anthony J. Marquis, Trustee The Anthony J. Marquis Revocable Trust u/t/a March 23, 2010

#### **STATE OF NEW HAMPSHIRE**

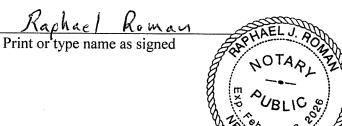
Rockingham County

June 1, 2021

Personally appeared before me the above named Anthony J. Marquis, Trustee, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said Trust.



Notary Public/Attorney-at-law



#### EXHIBIT A

Certain lots or parcels of land, together with the improvements thereon, situate in Kittery, County of York and State of Maine, more particularly described as follows:

#### TRACT I:

A certain lot or parcel of land situate on Badger's Island, so-called, in Kittery, County of York and State of Maine, more particularly described as follows:

Beginning at a low water mark of the Piscataqua River at the southwesterly corner of the parcel herein conveyed and other land, now or formerly of Hugh Marconi; thence running North 54° 38' East 70 a pipe at high water mark of the Piscataqua River; thence continuing North 54° 38' East 71.76 feet to a pipe and right-of-way; thence turning and running by said right-of-way South 72° 13' East 7 feet to a pipe; thence turning and running South 17° 48' West by land now or formerly of Ernest F. Bonin 13 feet to a point; thence turning and running southwesterly by land of the said Bonin to low water mark of the Piscataqua River; thence turning and running westerly by said low water mark to the point of beginning.

Also all right, title and interest in and to a certain share of a right-of-way and to be used only as a right-of-way, the following described parcel:

Beginning at a pipe at the southwesterly corner of said right-of-way; thence running North 23° 12' East 74.02 feet to a pipe; thence turning and running South 17° 48' West 73.67 feet to a pipe; thence turning and running westerly 7 feet to the point of beginning, said parcel being triangular in shape.

#### TRACT II:

A certain tract or parcel of land in Kittery, County of York and State of Maine, with the buildings thereon, situate on Badger's Island in said Kittery, known as the Ranger Inn Property, and lying on the Westerly side of State Highway No. 1, bounded and described as follows:

Beginning at a point in the Westerly side line of said State Highway at the Southeasterly corner of land now or formerly of the Mexican Petroleum Corporation; thence running South, thirty-one degrees eighteen minutes West, by said Highway, one hundred seventeen and seventy-five hundredths (117.75) feet to an iron spike; thence by the same course by said Highway, one hundred fifty (150) feet to high water mark of the Piscataqua River; thence by the same course one hundred fifty-eight and seventy-five one hundredths (158.75) feet by said Highway to an iron rod, near low water mark of said River; thence North nineteen degrees ten minutes East, one hundred twenty-one (121) feet to high water mark of said River; thence North nineteen degrees ten minutes East, two hundred ninety-six (296) feet by land now or formerly of one Titton to the Southwesterly corner of land now or formerly of the Mexican Petroleum Corporation, said point being marked by a spike; thence South seventy degrees fifty minutes East, eighty-eight and sixty-two one hundredths (88.62) feet by said land now or formerly of said Mexican Petroleum Corporation to the point of beginning.

Also another certain lot or parcel of land situated on Badger's Island, so-called, in Kittery, County of York and State of Maine, more particularly described as follows:

Beginning at an iron pipe set in the ground on the division line of land now or formerly of Ernest F. Bonin and Hugo S. Marconi, said point of beginning being North 54° 38' East twenty-two and

seventy-one hundredths (22.71) feet from a stake at the mean high water line of the Piscataqua River; thence North 39° 18' 00" West by land now or formerly of said Bonin three and seventy-seven hundredths (3.77) feet to a point; thence North 50° 42' East ten and seventy-three hundredths (10.73) feet to a pipe; thence North 50° 42' East by remaining land of said Bonin seventy-seven and fifty-five hundredths (77.55) feet to a pipe; thence South 23° 12' West by a 14 foot wide right-of-way on land now or formerly of Ebert L. Philpott eighteen and eighty-two hundredths (18.82) feet to a pipe; thence South 54° 38' West by land of said Marconi as conveyed to him by said Bonin by deed recorded in Book 1745, Page 52, seventy-one and seventy-six hundredths (71.76) feet to the point of beginning. Said parcel containing 518.57 square feet. As shown on a plan prepared by Moulton Engineering Co. Titled "Plan showing portion of land of Ernest F. Bonin to be conveyed to Hugo S. Marconi" dated September 10, 1976, and recorded as Plan 79-32 in the York County Registry of Deeds.

Also another certain lot or parcel of land lying on the easterly side of land now or formerly of Ebert L. Philpott on Badger's Island in Kittery, County of York and State of Maine, and bounded more particularly as follows:

Beginning at the southeasterly corner of lot now or formerly of Ebert L. Philpott and running in a westerly direction eleven (11) feet along said line or lot now or formerly of Ebert L. Philpott; thence turning and running in a northerly direction and parallel to easterly sideline of Philpott land for the full distance of said Philpott lot; thence turning and running easterly by the sideline of the present lot now or formerly of Ebert L. Philpott eleven (11) feet, more or less, to an iron pipe in the road at the northwesterly corner of land now or formerly of Hugo Marconi; thence running in a southerly direction along the line of land now or formerly of Hugo Marconi to the point of beginning.

#### TRACT III:

A certain lot or parcel of land together with the buildings thereon situate on Badger's Island, socalled, in Kittery, County of York and State of Maine, and bounded and described as follows:

Beginning at low water mark on the Piscataqua River at the southeasterly corner of land herein conveyed; thence North 17° 47' East to a pipe at high water mark by land now or formerly of Wayne A. Dixon and Arlene J. Dixon; thence continuing North 17° 47' East by said Dixon land 73 feet to a pipe to land now or formerly of Wayne A. Dixon and Arlene J. Dixon; thence turning and running North 72° 13' West by land now or formerly of Wayne A. Dixon and Arlene J. Dixon and land now or formerly of one Philpott 65 feet to land now or formerly of Bonin; thence turning and running South 17° 48' West by land now or formerly of Bonin 13 feet to a point; thence running southwesterly by said Bonin's land to low water mark of the Piscataqua River; thence turning and running easterly by said low water mark of the Piscataqua River to the point of beginning.

Excepting and reserving from the above properties that certain parcel of land described in the deed from Hugo Marconi to Ernest F. Bonin and Minnie G. Bonin dated November 7, 1966 and recorded in Book 1745, Page 54.

There is also hereby conveyed any and all rights of the Grantor in and to rights and easements benefiting the above property, including but not limited to Thorners Lane, so called, and any land lying below the high water mark of the Piscataqua River to the extent not described above.

For Grantor's source of title reference may be had to the deed from Anthony J. Marquis to Anthony J. Marquis, Trustee of The Anthony J. Marquis Revocable Trust u/t/a dated March 23, 2010, dated March 23, 2010, and recorded in the York County Registry of Deeds in Book 15836, Page 518. Reference may also be had to the deed from Josephine Marconi to Anthony J. Marquis recorded in Book 8182, Page 268, in which deed Josephine Marconi reserved a life estate. Josephine Marconi deceased April 6, 2017.

# Owner:

# ONE BADGERS ISLAND WEST, LLC ELIZABETH CASELLA & WILLIAM J. BANFIELD

5 Badgers Island West Kittery, ME 03904 (802) 477–2845

# Applicant: LITTLE BRIDGE LOBSTER. LLC

5 Badgers Island West #3 Kittery, ME 03904 (802) 477–2845

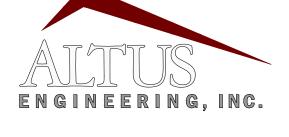
# Arichitect:



architecture + design

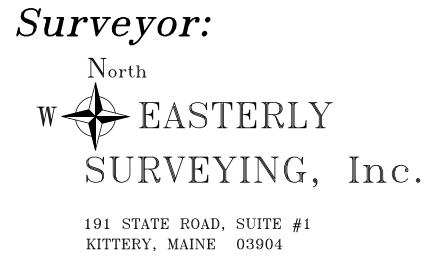
7 WALLINGORD SQUARE, UNIT 2099 KITTERY, MAINE 03904





133 Court Street (603) 433-2335

Portsmouth, NH 0380 www.altus-eng.com



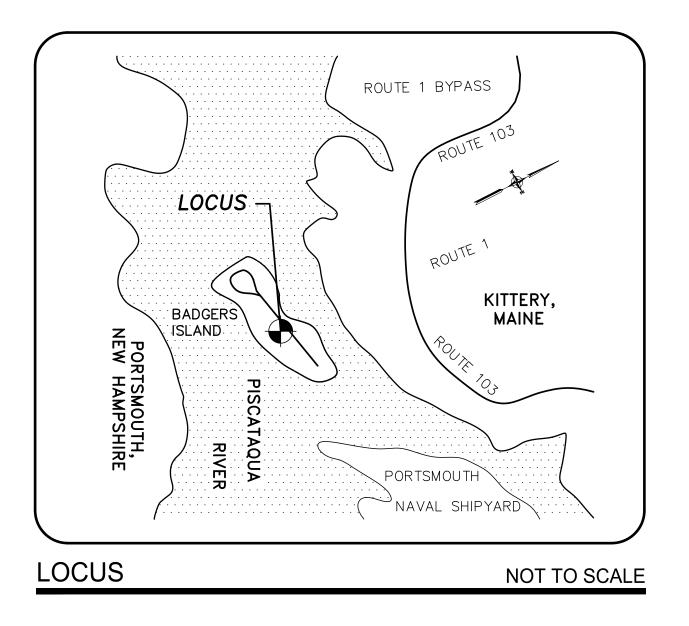
# LITTLE BRIDGE LOBSTER RESTAURANT

# **BADGERS ISLAND WEST** KITTERY, MAINE

# Assessor's Parcel 1, Lot 19

Plan Issue Date:

October 28, 2021 November 23, 2021 Shoreland Development Permit Shoreland Devel. Re-Submission



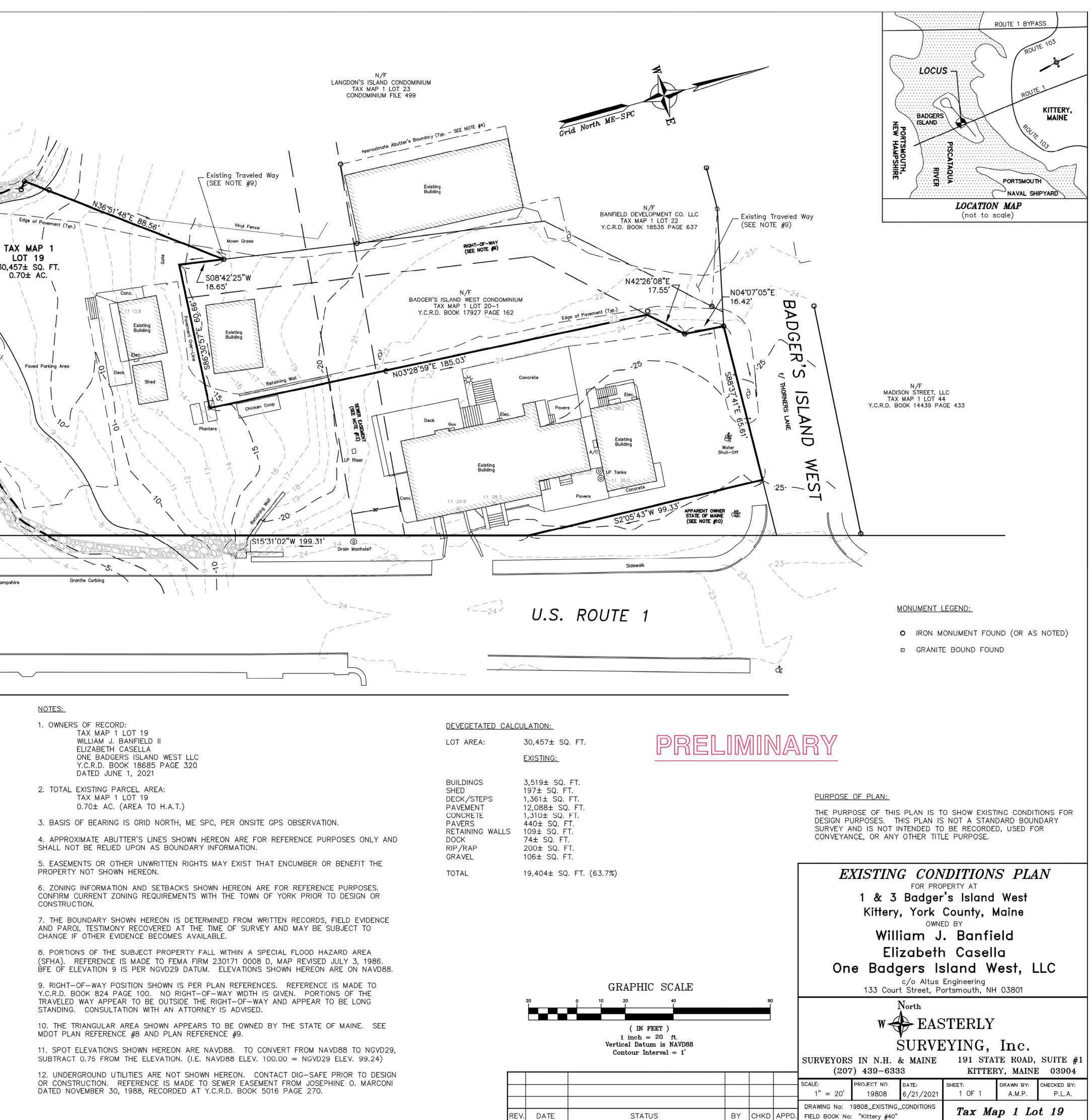
# Sheet Index Title

Exterior Perspe Site Plan for S Site Plan Erosion Control Detail Sheet Elevations View Plan View

THIS DRAWING SET HAS NOT BEEN RELEASED FOR CONSTRUCTION

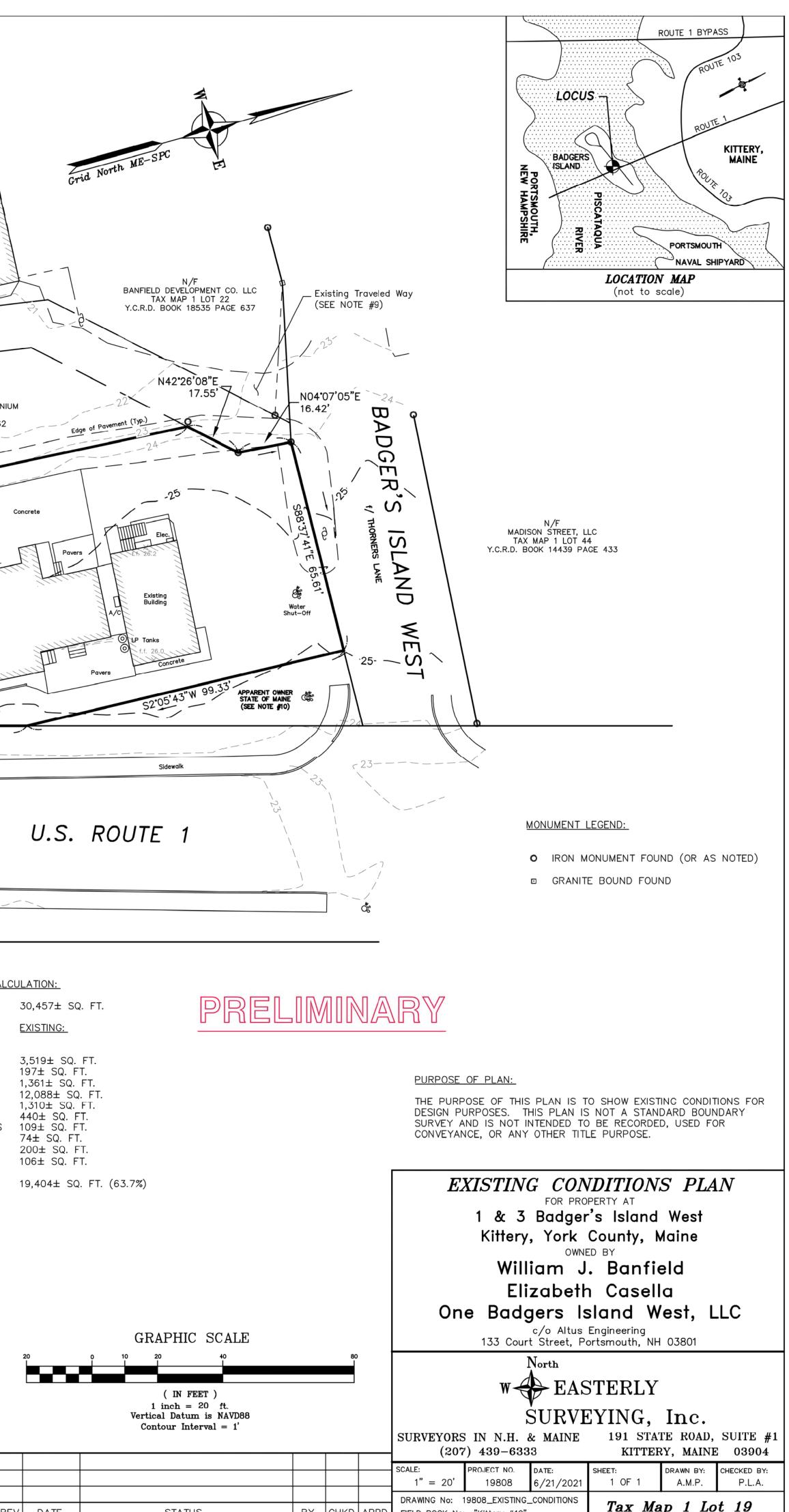
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Shoreland Development Permit	C-1	1	11/23/21
	C-2	1	11/23/21
ol Notes	C-3	1	11/23/21
	C - 4	1	11/23/21
W	PB-1	_	10/28/21
	PB-2	_	10/28/21

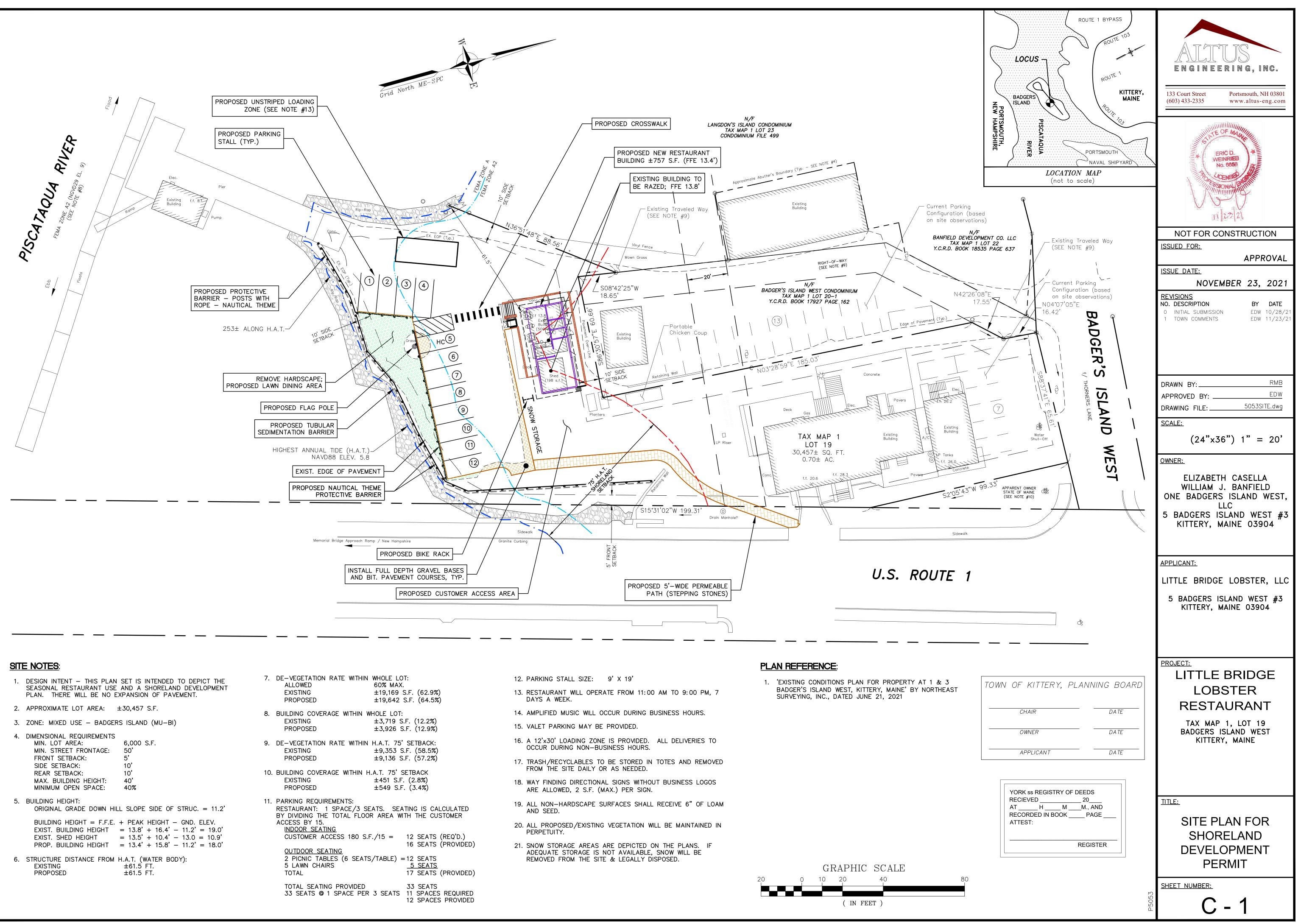
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ZONING DATA PER KITTERY TOWN CODE "TITLE 16 LAND USE AND         DEVELOPMENT CODE"(LAST AMENDMENT 7/25/16) (SEE NOTE #6):         BASE ZONE: MIXED USE – BADGERS ISLAND (MU-BI)         OVERLAY ZONES:         WATER BODY/WETLAND PROTECTION AREA – 250' (OZ-SL-250')	(H.A.T.) EV. 5.8
MINIMUM LAND AREA PER DWELLING UNIT: 3,000 SQ. FT. (UNITS 1 & 2) 6,000 SQ. FT. (UNITS 3+) MINIMUM LOT SIZE: 6,000 SQ. FT. MINIMUM STREET FRONTAGE: 50 FT. MINIMUM FRONT YARD: 5 FT. MINIMUM REAR AND SIDE YARDS: 10 FT. MAXIMUM BUILDING HEIGHT: 40 FT. MINIMUM OPEN SPACE: 40%	emorial Bridge Approach Ramp / New
AND WETLAND DEPENDENT USES: 0 FT. <u>OZ-SL-250' REQUIREMENTS (SEE 16.3.2.17):</u> MAXIMUM DEVEGETATED COVERAGE: 60% PRINCIPAL AND ACCESSORY STRUCTURES SETBACK: 75 FT. ACCESSORY PATIO/DECK < 500 SQ. FT. SETBACK: 75 FT.	
PLAN REFERENCES: 1. "STANDARD BOUNDARY SURVEY BADGERS ISLAND WEST CONDOMINIUMS, THORNERS LANE, KITTERY PREPARED BY ANDERSON LIVINGSTON ENGINEERS, INC., DATED NOVEMBER 2000, LAST REVISED JUNE RECORDED AT THE Y.C.R.D. AS CONDO FILE 528 PAGE 1. 2. "FINAL SITE PLAN OF LANGDON'S ISLAND CONDOMINIUM FOR 9 BADGERS ISLAND WEST L.L.C., DA	E 18, 2001 AND
<ul> <li>1999 BY DOUCET SURVEY INC., RECORDED AT THE Y.C.R.D. AS CONDO FILE 499 PAGE 3.</li> <li>3. "SEWER EASEMENT BADGERS ISLAND SEWER, CONTRACT No. 88-1, KITTERY, MAINE, MADE FOR SEINC.", PREPARED BY TITCOMB ASSOCIATES, DATED OCTOBER 15, 1988 AND RECORDED AT THE Y.C.R BOOK 189 PAGE 27.</li> <li>4. "PLAN SHOWING PORTION OF LAND OF ERNEST F. BROWN TO BE CONVEYED TO HUGO S. MARCON</li> </ul>	2.D. AS PLAN
<ol> <li>PLAN SHOWING PORTION OF LAND OF ERNEST F. BROWN TO BE CONVEYED TO HUGO S. MARCON ISLAND, KITTERY, MAINE", PREPARED BY MOULTON ENGINEERING CO., DATED 9/10/76 AND RECORDE Y.C.R.D. AS PLAN BOOK 79 PAGE 32.</li> <li>PLAN SHOWING PORTION OF PROPERTY ERBERT L. PHILPOTT, LOCATED ON BADGER'S ISLAND, KIT COUNTY, MAINE, CONVEYED TO HUGO S. MARCONI", SURVEYED BY MOULTON ENGINEERING CO. INC., 1960, PLAN DRAWN JAN. 17, 1964.</li> </ol>	D AT THE TTERY, YORK
6. "SKETCH SHOWING PROPERTY OF WAYNE A. DIXON & ARLENE J. DIXON, LOCATED ON BADGERS IS YORK COUNTY, ME., CONVEYED TO HUGO S. MARCONI, APRIL 18, 1966, ALSO A PORTION OF PROPEF BONIN TO BE CONVEYED TO HUGO S. MARCONI; INCLUDING A TRIANGULAR AREA OF LAND TO BE AL EXISTING RIGHT-OF-WAY OF SAID PROPERTIES", SURVEYED BY MOULTON ENGINEERING CO., INC., DA 1966.	RTY OF ERNEST F. DDED TO THE
7. "TOWN ROAD, BADGER'S ISLAND, KITTERY, ME.", SURVEYED BY ALBERT MOULTON, DATED APRIL 1 8. "STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, STATE HIGHWAY "1", K COUNTY, FEDERAL AID PROJECT NO. $F-01-1(63)$ & BH-01-1(62), DATED FEBRUARY 1985 AND REC	ITTERY, YORK
Y.C.R.D. AS PLAN BOOK 155 PAGE 57. 9. "MAINE HIGHWAY COMMISSION PLAN 16—74", RECORDED AUGUST 15, 1922 AS PLAN BOOK 9 PAG	E 4.



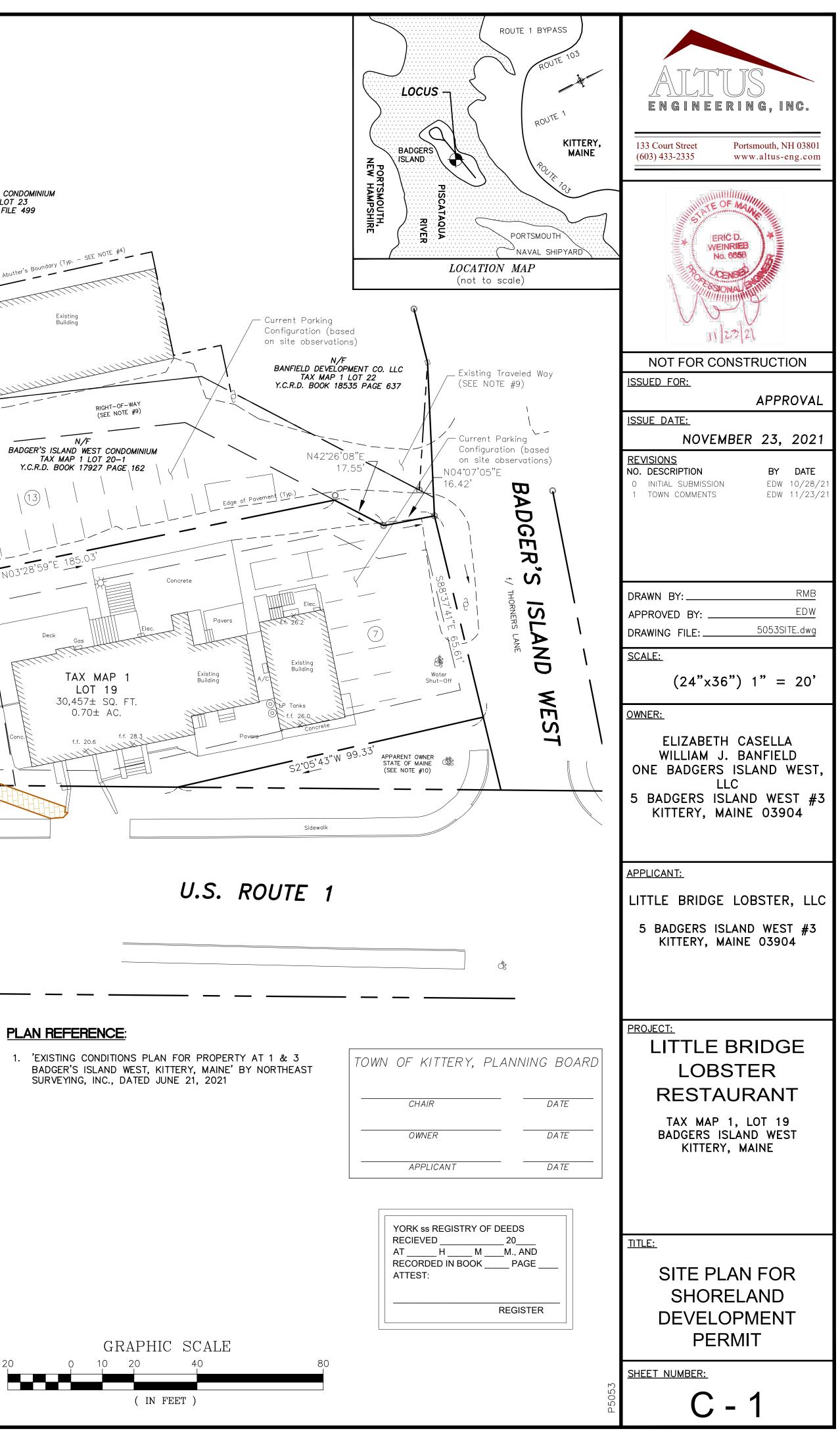
LOT ARE	A:	30,457±	SQ.	FT.
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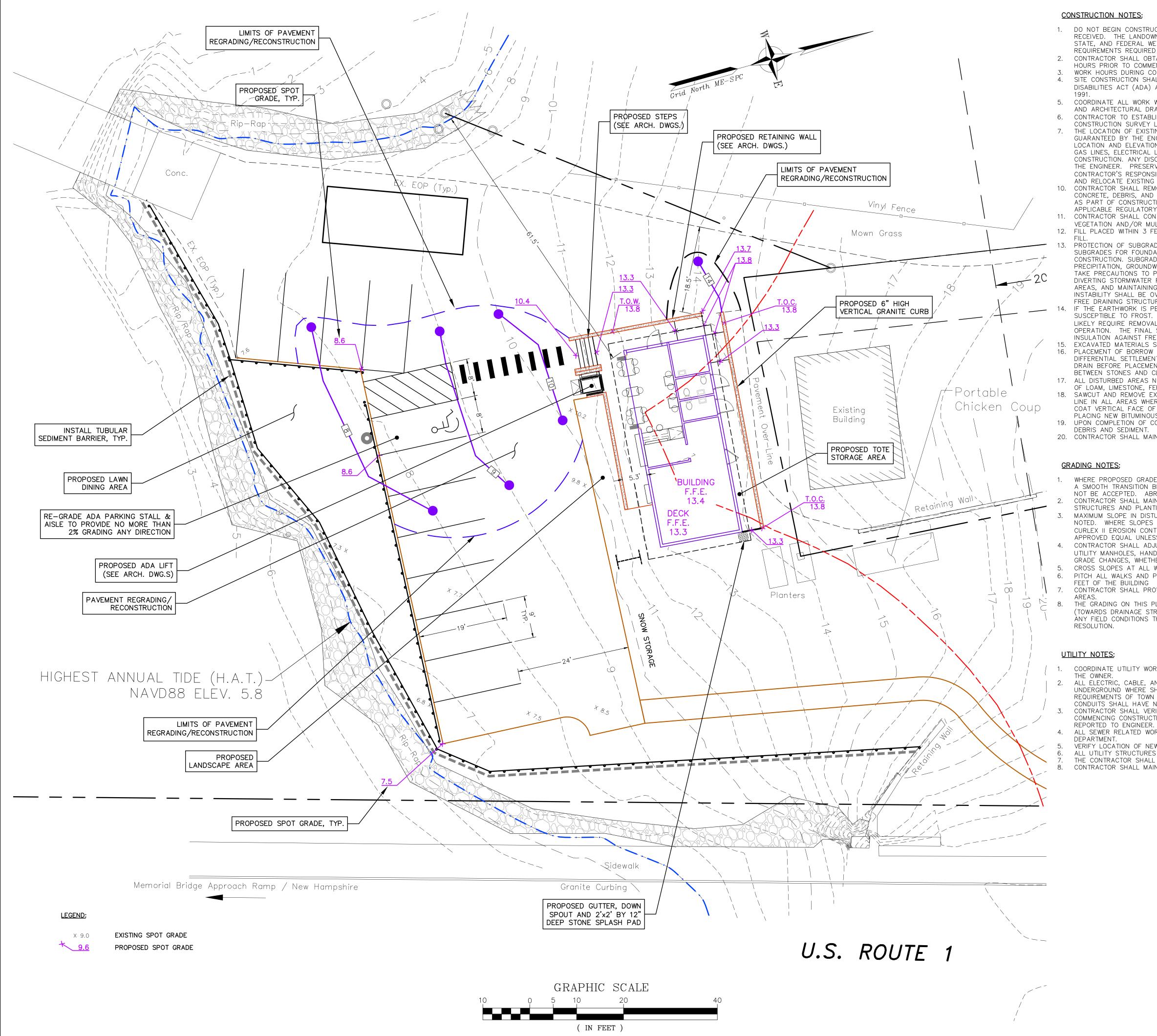
JILDINGS	3,519±
HED	197± S
ECK/STEPS	1,361±
AVEMENT	12,088:
ONCRETE	1,310±
AVERS	440± \$
ETAINING WALLS	109± 3
JCK	74± S0
P/RAP	200± \$
RÁVEL	106± 3
	10 101





3.	. ZONE: MIXED USE - BADGERS ISLA	ND (MU-BI)
4.		0 S.F.
5.	. BUILDING HEIGHT: ORIGINAL GRADE DOWN HILL SLOP	PE SIDE OF STRUC. = 11.2'
	BUILDING HEIGHT = F.F.E. + PEA EXIST. BUILDING HEIGHT = 13.8 EXIST. SHED HEIGHT = 13.8 PROP. BUILDING HEIGHT = 13.4	8' + 16.4' - 11.2' = 19.0' 5' + 10.4' - 13.0 = 10.9'
6.		(WATER BODY): 5 FT. 5 FT.





RECEIVED. THE LANDOWNER AND CONTRACTOR ARE RESPONSIBLE FOR COMPLYING WITH ALL LOCA STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACKS REQUIREMENTS REQUIRED UNDER THESE REGULATIONS. CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AND NOTIFY TOWN OF KITTERY AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. WORK HOURS DURING CONSTRUCTION WILL BE AS APPROVED BY THE TOWN OF KITTERY	λL,
CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AND NOTIFY TOWN OF KITTERY AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.	
SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS PUBLISHED IN THE FEDERAL REGISTER, VOL. 56, NO. 144, DATED JULY	
1991. COORDINATE ALL WORK WITHIN TEN (10') FEET OF PROPOSED BUILDINGS WITH BUILDING CONTRACT	OR
AND ARCHITECTURAL DRAWINGS. CONTRACTOR TO ESTABLISH AND MAINTAIN TEMPORARY BENCHMARKS (TBMS) AND PERFORM	
CONSTRUCTION SURVEY LAYOUT. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND THE LOCATIONS ARE NO GUARANTEED BY THE ENGINEER, SURVEYOR, OR OWNER. CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL EXISTING DRAIN AND SEWER LINES; VERIFY LOCATION OF EXISTII GAS LINES, ELECTRICAL LINES, COMMUNICATION LINES, AND WATER MAIN PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD AND PLAN SHALL BE IMMEDIATELY REPORTED THE ENGINEER. PRESERVE AND PROTECT ANY UTILITY LINES TO BE RETAINED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS, REPAIR DAMAGE TO EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES WHERE SHOWN.	NG
CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING ON-SITE STRUCTURES, BITUMINOUS CONCRETE, DEBRIS, AND CONSTRUCTION WASTE PRODUCTS WHICH ARE NOT AUTHORIZED TO BE US AS PART OF CONSTRUCTION. DISPOSE OF EXCESS MATERIALS OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATORY REQUIREMENTS.	SED
CONTRACTOR SHALL CONTROL DUST BY SPRAYING WATER, SWEEPING PAVED SURFACES AND VEGETATION AND/OR MULCHING STOCKPILES.	
FILL PLACED WITHIN 3 FEET OF THE OUTSIDE OF FOUNDATION WALLS SHALL CONSIST OF STRUCTU FILL.	
PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATEI SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTUR PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSIT AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH	re, L <u>Is</u> TVE
FREE DRAINING STRUCTURAL FILL. F THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WIL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S	
OPERATION. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF NSULATION AGAINST FREEZING. EXCAVATED MATERIALS SHALL BE PLACED AS FILL MATERIALS WITHIN UPLAND AREAS ONLY. PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TO DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO	ERM (
DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION. VOIDS BETWEEN STONES AND CLUMPS OF MATERIAL SHALL BE FILLED WITH FINE MATERIALS. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE FOUR (4") INCL OF LOAM, LIMESTONE, FERTILIZER, SEED, MULCH, AND APPROPRIATE SOIL STABILIZATION TECHNIQUE SAWCUT AND REMOVE EXISTING PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR CUR LINE IN ALL AREAS WHERE NEW PAVEMENT OR CURBING ABUTS EXISTING PAVEMENT. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 IMMEDIATELY PRIOR TO	ES. RB
PLACING NEW BITUMINOUS CONCRETE. UPON COMPLETION OF CONSTRUCTION, THE DRAINAGE INFRASTRUCTURE SHALL BE CLEANED OF AL	
DEBRIS AND SEDIMENT. CONTRACTOR SHALL MAINTAIN AND PROVIDE RECORD DRAWINGS TO TOWN OF KITTERY	
DING NOTES:	C

STRUCTURES AND PLANTING BEDS. MAXIMUM SLOPE IN DISTURBED AREAS SHALL BE NO STEEPER THAN 3:1 (h:v), UNLESS OTHERWISE NOTED. WHERE SLOPES IN DISTURBED AREAS ARE STEEPER THAN 3:1, CONTRACTOR SHALL PROVIDE CURLEX II EROSION CONTROL BLANKET FROM AMERICAN EXCELSIOR COMPANY (800) 777-7645 OR APPROVED EQUAL UNLESS OTHERWISE NOTED. 4. CONTRACTOR SHALL ADJUST UTILITY ELEMENTS MEANT TO BE FLUSH WITH GRADE (CLEANOUTS,

UTILITY MANHOLES, HANDHOLDS, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. CROSS SLOPES AT ALL WALKS SHALL BE PITCHED TO DRAIN 1-1/2% MINIMUM 2% MAXIMUM.

PITCH ALL WALKS AND PATIOS AWAY FROM BUILDINGS AT 1-1/2% MINIMUM 2% MAXIMUM WITHIN 5 FEET OF THE BUILDING 7. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING

THE GRADING ON THIS PLAN SHOWS THE GENERAL INTENT AND DIRECTION OF THE STORMWATER FLOW (TOWARDS DRAINAGE STRUCTURES). CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY FIELD CONDITIONS THAT WILL IMPACT THE GRADING DESIGN SHOWN ON THIS PLAN FOR

1. COORDINATE UTILITY WORK WITH RESPECTIVE UTILITY COMPANIES, ARCHITECTURAL DRAWINGS AND

ALL ELECTRIC, CABLE, AND TELECOMMUNICATION SERVICES AND CONDUITS SHALL BE LOCATED UNDERGROUND WHERE SHOWN. UNDERGROUND UTILITIES INSTALLATIONS SHALL MEET THE MINIMUM REQUIREMENTS OF TOWN OF KITTERY AND RESPECTIVE UTILITY COMPANIES. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING IN CABLES. CONTRACTOR SHALL VERIFY THE EXACT LOCATION & ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD AND PLAN SHALL BE IMMEDIATELY

ALL SEWER RELATED WORK SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE KITTERY SEWER VERIFY LOCATION OF NEW UTILITY BOXES WITH OWNER AND UTILITY COMPANIES.

ALL UTILITY STRUCTURES SHALL BE SET FLUSH WITH PROPOSED GRADE. THE CONTRACTOR SHALL NOT DISRUPT THE EXISTING SEWER FLOWS.

CONTRACTOR SHALL MAINTAIN WATER SERVICE AT ALL TIMES TO BUILDING

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	ENGINEERING, INC.
	133 Court StreetPortsmouth, NH 03801(603) 433-2335www.altus-eng.com
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	WILLIAM J. BANFIELD ONE BADGERS ISLAND WEST,
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	<u>APPLICANT:</u>
	LITTLE BRIDGE LOBSTER, LLC
	5 BADGERS ISLAND WEST #3
	KITTERY, MAINE 03904 <sup>"</sup>
ŀ	PROJECT:
	LITTLE BRIDGE
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	TAX MAP 1, LOT 19 BADGERS ISLAND WEST
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#### ROJECT NAME AND LOCATION

Little Bridge Lobster Restaurant 1ap 1 Lot 19 Badgers Island West Kittery, Maine

Latitude: 043° 07' 05" N Longitude: 070° 43' 58" W

#### DESCRIPTION

he project consists of constructing a seasonal restaurant and associated improvements.

#### DISTURBED AREA

he total area to be disturbed is approximately 8,000 square feet for new building and reconstruction of paved parking lot. Prior to lot clearing and soil disturbance, sedimentation barrier shall be installed to prevent sediment leaving the lot.

#### SEQUENCE OF MAJOR ACTIVITIES

Install temporary erosion control measures, including silt fences and stabilized construction entrances.

- Raze existing building Construct new foundation
- Install utilities. Prepare parking and lawn dining area.
- Stabilize disturbed areas.

When all construction activity is complete and site is stabilized, remove all hay bales, storm check dams, silt fences and sediment that has been trapped by these devices.

#### NAME OF RECEIVING WATER

Piscataqua River

TEMPORARY EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

Il work shall be in accordance with state and local permits. Work shall conform to the practices described n the "Maine Erosion and Sediment Control BMPs, 2003" published by the Maine Department of Environmental rotectior

As indicated in the sequence of Major Activities, the hay bales and silt fences shall be installed prior to ommencing any clearing or grading of the site. Structural controls shall be installed concurrently with the pplicable activity. Once construction activity ceases permanently in an area, silt fences and hay bale barriers and any earth/dikes will be removed once permanent measures are established.

During construction, runoff will be diverted around the site with stabilized channels where possible. Sheet unoff from the site will be filtered through hay bale barriers, stone check dams, and silt fences. All storm Irain inlets shall be provided with hay bale filters or stone check dams. Stone rip rap shall be provided at ne outlets of drain pipes and culverts where shown.

emporary and permanent vegetation and mulching is an integral component of the erosion and sedimentation ontrol plan. All areas shall be inspected and maintained until desires vegetative cover is established. These ontrol measures are essential to erosion prevention and also reduce costly rework of graded and shaped

emporary vegetation shall be maintained in these areas until permanent seeding is applied. Additionally, rosion sedimentation measures shall be maintained until permanent vegetation is established.

#### ISTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND EDIMENT CONTROL MEASURES

GENERAL Perimeter controls shall be installed prior to earth moving operations.

- The smallest practical portion of the site will be denuded at one time and no more than be mulched in one day. All disturbed areas must be stabilized by temporary measures within 5 days of initial disturbance and stabilized by permanent measures immediately after final grading.
- Sediment barriers shall be installed downgradient of stockpiles and diversion swales installed upgradient of stockpiles to prevent movement of soil.
- Built-up sediment shall be removed from sedimentation barrier or other barriers when it has reached one-third the height of the tubular barrier or bale, or when "bulges" occur in sedimentation barrier. All diversion dikes shall be inspected and any breaches promptly repaired.
- Temporary seeding and planting shall be inspected for bare spots, washouts, and unhealthy growth. The owner's authorized engineer shall inspect the site on a periodic basis to review compliance with the
- All ditches and swales shall be stabilized prior to directing runoff to them. All diversion dikes will be inspected and any breaches promptly repaired.
- Temporary water diversion (swales, basins, etc) shall be used as necessary until areas are stabilized. Ponds and swales shall be installed early on in the construction sequence (before rough grading site).
- All cut and fill slopes shall be seeded/loamed within 72 hours of achieving finished grade. An area shall be considered stable if one of the following has occurred:
- a. Base coarse gravels have been installed in areas to be paved;
- b. A minimum of 90% vegetated growth as been established; c. A minimum of 3 inches of non-erosive material such as stone of riprap has been installed; or Erosion control blankets have been properly installed.

#### MULCHING

- <u>Application</u> \* In sensitive areas (within 100 ft of streams, wetlands and in lake watersheds) temporary mulch shall be applied within 7 days of exposing soil or prior to any storm event.
- \* Areas, which have been temporarily or permanently seeded, shall be mulched immediately following seeding.
- \* Areas which cannot be seeded within the growing season shall be mulched for over-winter
- protection and the area should be seeded at the beginning of the growing season. \* Mulch anchoring should be used on slopes greater than 5% in late fall (past September 15), and over-winter (September 15 - April 15).

<u>Type of Mulch</u> Hay or Straw Mulches

> Organic mulches, including hay and straw, shall be air-dried, free of undesirable seeds and coarse materials. Application rate shall be 2 bales (70-90 pounds) per 1000 sq. ft. or 1.5 to 2 tons (90-100 bales) per acre to cover 75 to 90 % of the ground surface. Hay mulch subject to wind blowing shall be anchored via: netting; peg and twine or tracking.

#### Frosion Control Mix

Erosion control mix shall consist primarily of organic material and shall include any of the following: shredded bark, stump grindings, composted bark or other acceptable products based on a similar raw source. Wood or bark chips, ground construction debris or reprocessed wood products shall not be acceptable as the organic component of the mix.

- It can be used as a stand-alone reinforcement: \* On slopes 2 horizontal to 1 vertical or less.
- \* On frozen ground or forested areas.
- \* At the edge of gravel parking areas and areas under construction.
- Other reinforcement BMPs (i.e. riprap) should be used:
- \* On slopes with groundwater seepage; At low points with concentrated flows and in gullies;
- At the bottom of steep perimeter slopes exceeding 100 feet in length;
- Below culvert outlet aprons; and \* Around catch basins and closed storm systems.

#### Composition

Installation

Erosion control mix shall contain a well-graded mixture of particle sizes and may contain rocks less than 4" in diameter. Erosion control mix must be free of refuse, physical contaminants, and material toxic to plant growth. The mix composition shall meet the following standards: \* The organic matter content shall be between 80 and 100%, dry weight basis.

- \* Particle size by weight shall be 100% passing a 6" screen and a minimum of 70%, maximum of 85%, passing a 0.75" screen.
- \* The organic portion needs to be fibrous and elongated.
- \* Large portions of silts, clays or fine sands are not acceptable in the mix.
- \* Erosion control mix shall not be used on slopes steeper than 2:1. \* On slopes of 3:1 or less; 2 inches plus an additional 1/2 inch per 20 feet of slope up to 100 feet.
- \* On slopes between 3:1 and 2:1, 4 inch plus an additional 1/2 inch per 20 feet of slope up to 100 feet. The thickness of the mulch at the bottom of the slope needs to be:
  - <3:1 slope slopes between 3:1 and 2:1 <20' of slope 2.0" 4.0'
  - 3.0" <60' of slope 5.0' <100' of slope 4.0" 6.0'
- \* It shall be placed evenly and must provide 100% soil coverage, with the soil totally invisible

Any required repairs shall be made immediately, with additional erosion control mix placed on top of the mulch to reach the recommended thickness. When the mix is decomposed, clogged with sediment, eroded or ineffective, it shall be replaced or repaired. Erosion control mix mulch shall be left in place. If the mulch needs to be removed spread it out into the landscape.

#### Maintenance

All mulches must be inspected periodically, in particular after rainstorms, to check for rill erosion. If less than 90% of the soil surface is covered by mulch, additional mulch shall be immediately applied. Nets shall be inspected after rain events for dislocation or failure. If washouts or breakage occur, re-install the nets as necessary after repairing damage to the slope. Inspections shall take place until grasses are firmly established (95% soil surface covered with grass). Where mulch is used in conjunction with ornamental plantings, inspect periodically throughout the year to determine if mulch is maintaining coverage of the soil surface. Repair as needed.

#### C. TEMPORARY VEGETATION

<u>Considerations</u> Proper seedbed preparation and the use of quality seed are important in this practice just as in permanent seeding. Failure to carefully follow sound agronomic recommendations will often result n an inadequate stand of vegetation that provides little or no erosion control. \* Nutrients and pesticides used to establish and maintain a vegetation cover shall be managed to

- protect the surface and ground water quality.
- slopes, streambanks, etc.).

#### <u>Specifications</u>

Seedbed Preparation Apply limestone and fertilizer according to soil test recommendations. If soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 600 pounds per acre or 13.8 pounds per 1,000 square feet of 10-10-10 (N-P20S-K20) or equivalent. Apply limestone (equivalent to 50 percent calcium plus magnesium oxide) at a rate of 3 tons per acre (138 lb. per 1,000 square feet).

### \* Select seed from recommendations in enclosed table.

\* Where the soil has been compacted by construction operations, loosen soil to a depth of 2 inches

- before applying fertilizer, lime and seed. Seeding rates must be increased 10% when hydroseeding.
- Apply mulch over seeded area according to the TEMPORARY MULCHING BMP.

#### Maintenance Temporary seeding shall be periodically inspected. At a minimum, 95% of the soil surface should be

	Seeding Rates and			
Seed	Lb./Ac	Seeding Depth	Recommended Seeding Dates	Remarks
Winter Rye	112 (2.0 bu)	1-1.5 in	8/15-10/1	Good for fall seeding. Select a hardy species, such as Aroostook Rye.
Oats	80 (2.5 bu)	1-1.5 in	4/1-7/1 8/15-9/15	Best for spring seeding. Early fall seeding will die when winter weather moved in, but mulch will provide protection.
Annual Ryegrass	40	.25 in	4/1-7/1	Grows quickly but is of short duration. Use where appearance is important. With mulch, seeding may be done throughout growing season.
Sudangrass	40 (1.0 bu)	.5-1 in	5/15-8/15	Good growth during hot summer periods.
Perennial	40 (2.0 bu)	.25 in	8/15-9/15	Good cover, longer lasting than Annual Ryegrass. Mulching will allow seeding throughout growing season.
Temporary mulch and/or without do			10/1-4/1	Refer to TEMPORARY MULCHING BMP PERMANENT VEGETATION BMP.

#### D. FILTERS

#### <u>Tubular Sediment Barrier</u> a. To be provided by an approved manufacturer or supplier: b. Installed per manufacturer's specifications; areas has been permanently stabilized.

- <u>Straw/Hay\_Bales</u> tightly abutting one another
- \* All bales shall be either wire-bound or string-tied. Bales shall be installed so that bindings are
- and the length of the proposed barrier to a minimum depth of 4 inches.
- Backfill soil shall conform to the ground level on the downhill side and shall be build up to 4 inches against the uphill side of the barrier.
- escaping between the bales.

## <u>Organic Filter Berm</u> See detail

\* Sediment barriers shall be installed along the down gradient side of proposed ground disturbance areas prior to any construction activities. \* The barrier must be placed along a relatively level contour.

- <u>Maintenance</u> sediment barriers shall be replaced with a temporary check dam.
- \* Should the fabric on a sedimentation barrier or filter barrier decompose or become ineffective replaced promptly.
- height of the barrier.
- \* Filter berms should be reshaped as needed.
- seeded
- PERMANENT SEEDING
- lime and fertilizer should be based on an evaluation of soil tests.
- 3. Seed Mixture (See Landscape Drawings for additional information): germination of each variety.
- 3.2. Seed mixture shall conform to landscape specifications erodible soils (fine sand/silt). etc.

\* Temporary seeding shall be used extensively in sensitive areas (ponds and lake watersheds, steep \* Late fall seeding may fail and cause water quality deterioration in spring runoff events, thus other measures such as mulching shall be implemented.

\* Apply seed uniformly by hand, cyclone seeder, drill, cultipacker type seeder or hydroseeder (slurry including seed and fertilizer). Hydroseeding that includes mulch may be left on soil surface.

covered by vegetation. If any evidence of erosion or sedimentation is apparent, repairs shall be made and in the interim (mulch filter barrier

c. Barrier shall be removed when they have served their useful purpose but not before the upslope

Bales shall be placed in a single row, lengthwise on the contour, with ends of adjacent bales

oriented around the sides, parallel to the ground surface to prevent deterioration of the bindings. \* The barrier shall be entrenched and backfilled. A trench shall be excavated the width of a bale \* After the bales are staked and chinked, the excavated soil shall be backfilled against the barrier.

\* At least two stakes or rebars driven through the bale shall securely anchor each bale. The first stake in each bale shall be driven toward the previously laid bale to force the bales together. Stakes or re-bars shall be driven deep enough into the ground to securely anchor the bales. \* The gaps between bales shall be chinked (filled by wedging) with hay to prevent water from

\* Hay bale barriers, sedimentation barriers and filter berms shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. They shall be repaired immediately if there are any signs of erosion or sedimentation below them. If there are signs of undercutting at the center or the edges of the barrier, or impounding of large volumes of water behind them,

prior to the end of the expected usable life and the barrier still is necessary, the fabric shall be \* Sediment deposits should be removed when deposits reach approximately one third (1/3) the

\* Any sediment deposits remaining in place after the sedimentation barrier or filter barrier is no longer required shall be dressed or removed to conform to the existing grade, prepared and

\* Additional stone may have to be added to the construction stabilized entrance, rock barriers, stone lined swales, etc., periodically to maintain proper function of the erosion control structure.

1. Bedding - stones larger than  $1^{1/2}$ , trash, roots, and other debris that will interfere with seeding and future maintenance of the area should be removed. Where feasible, the soil should be tilled to a depth of 6" to prepare a seedbed and mix fertilizer (refer to Landscape Drawings and Specifications) into the

2. Fertilizer (refer to Landscape Drawings and Specifications) - lime and fertilizer should be applied evenly over the area prior to or at the time of seeding and incorporated into the soil. Kinds and amounts of

3.1. Lawn seed mix shall be a fresh, clean new seed crop. The Contractor shall furnish a dealer's guaranteed statement of the composition of the mixture and the percentage of purity and

4. Sodding - sodding is done where it is desirable to rapidly establish cover on a disturbed area. Sodding an area may be substituted for permanent seeding procedures anywhere on site. Bed preparation, fertilizing, and placement of sod shall be performed according to the S.C.S. Handbook. Sodding is recommended for steep sloped areas, areas immediately adjacent to sensitive water courses, easily

#### DEWATERING

A dewatering plan shall be implemented to address excavation de-watering following heavy rainfall events or where the excavation may intercept the groundwater table during construction. The collected water needs treatment and a discharge point that will not cause downgradient erosion and offsite sedimentation or within a resource.

All dewatering discharge locations shall be located on relatively flat ground at least 75' from streams and 25' from wetlands. The contractor shall utilize "Dirtbags", erosion control mix berms, or similar methods for filtration of dewatering and shall conform to the Maine Erosion and Sediment Control BMPs.

Placement of "Dirtbags" shall be located such that they can be removed intact upon completion of construction with no discharge of silt at the site and properly disposed.

MONITORING SCHEDULE The contractor shall be responsible for installing, monitoring, maintaining, repairing, replacing and removing all of the erosion and sedimentation controls or appointing a gualified subcontractor to do so. Maintenance measures will be applied as needed during the entire construction cycle. immediately following any significant rainfall, and at least once a week, a visual inspection will be made of all erosion and sedimentation controls as follows:

sedimentation barrier shall be inspected and repaired. Sediment trapped behind these barriers shall be excavated when it reaches a depth of 6" and redistributed to areas undergoing final grading. 2. Construction entrance shall be visually inspected and repaired as needed. Any areas subject to rutting shall be stabilized immediately. If the voids of the construction entrance become filled with mud, more crushed stone shall be added as needed. The public roadway shall be swept should mud be deposited/tracked onto them.

STANDARDS FOR STABILIZING SITES FOR THE WINTER

- The following standards and methodologies shall be used for stabilizing the site during the winter construction period:
- 1. Standard for the timely stabilization of disturbed slopes (any area having a grade greater than 25%) the contractor will seed and mulch all slopes to be vegetated by September 15th. If the contractor fails to stabilize any slope to be vegetated by September 15th, then the contractor will take one of the following actions to stabilize the slope for late fall and winter.
- A. <u>Stabilize the soil with temporary vegetation and erosion control mats</u>: by October 1st the contractor will seed the disturbed slope with winter rye at a rate of 3 pounds per 1000 square feet and then install erosion control mats or anchored hay mulch over the seeding. The contractor will monitor growth of the rve over the next 30 days.
- B. <u>Stabilize the slope with wood-waste compost</u>: the contractor will place a six-inch layer of wood-waste compost on the slope by November 15th. The contractor will not use wood-waste compost to stabilize slopes having grades greater than 50% (2h:iv) or having groundwater seeps on the slope face. C. <u>Stabilize the slope with stone riprap</u>: the contractor will place a layer of stone riprap on the slope by November 15th. The development's owner will hire a registered professional engineer to determine the
- stone size needed for stability on the slope and to design a filter layer for underneath the riprap. 2. Standard for the timely stabilization of disturbed soils - by September 15th the contractor will seed and
- mulch all disturbed soils on the site. If the contractor fails to stabilize these soils by this date, then the contractor will take on of the following actions to stabilize the soil for late fall and winter. A. <u>Stabilize the soil with temporary vegetation</u>: by October 1st the contractor will seed the disturbed soil with winter rye at a seeding rate of 3 pounds per 1000 square feet, lightly mulch the seeded soil with hay or straw at 75 pounds per 1000 square feet, and anchor the mulch with plastic netting. The contractor will monitor growth of the rye over the next 30 days. If the rye fails to grow at least three inches or fails to cover at least 75% of the disturbed soil before November 1, then the contractor will mulch the area for
- over-winter protection as described in item iii of this standard. B. <u>Stabilize the soil with sod</u>: the contractor will stabilize the disturbed soil with properly installed sod by October 1st. proper installation includes the contractor pinning the sod onto the soil with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, and watering the sod to promote root
- growth into the disturbed soil. C. <u>Stabilize the soil with mulch</u>: by November 15th the contractor will mulch the disturbed soil by spreading hay or straw at a rate of at least 150 pounds per 1000 square feet on the area so that no soil is visible through the mulch. Immediately after applying the mulch, the contractor will anchor the mulch with netting or other method to prevent wind from moving the mulch off the disturbed soil.

Winter inspections shall be preformed after, each rainfall, snowstorm or thawing and at least once a week. All areas within 75 feet of a protected natural resource must be protected with a double row of sediment barrier.

#### EROSION CONTROL REMOVAL

- An area is considered stable if it is paved or if 90% growth of planted seeds is established. once an area is considered stable, the erosion control measures can be removed as follows: . sedimentation barrier: sedimentation barrier shall be disposed of legally and properly off-site. all sediment trapped behind these controls shall be distributed to an area undergoing final grading or removed and
- relocated off-site. 2. <u>Stabilized Construction Entrance</u>: The stabilized construction entrance shall be removed once the
- compacted roadway base in in place. Stone and sediment from the construction entrance shall be redistributed to an area undergoing grading or removed and relocated offsite.
- Miscellaneous: Once all the trapped sediments have been removed from the temporary sedimentation devices the disturbed areas must be regraded in an aesthetic manner to conform to the surrounding topography. Once graded these disturbed areas must be loamed (if necessary), fertilized, seeded and mulched in accordance with the rates previously stated.

The above erosion controls must be removed within 30 days of final stabilization of the site. Conformance with this plan and following these practices will result in a project that complies with the state regulations and the standards of the natural resources protection act, and will protect water quality in areas downstream from the project.

#### INSPECTION AND MAINTENANCE

. All sediment control measures shall be inspected at least once each week and following any storm event of 0.5 inches or greater. An inspection report shall be made after each inspection by a qualified inspector engaged by the Owner. The qualified inspector shall be a Professional Engineer licensed in Maine or be a Certified Professional in Erosion and Sediment Control approved by the Owner and MDEP. 2. All measures shall be maintained in good working order; if a repair is necessary, it will be initiated within

- 24 hours and completed within 72 hours. 3. Inspection and maintenance requirements: Inspect disturbed and impervious areas, erosion and stormwater control measures, areas used for storage that are exposed to precipitation, and locations where vehicles enter or exit the site. Inspect these areas at least once a week as well as before and after a 0.5 inches or greater storm event and prior to completion of permanent stabilization measures. A person with knowledge of erosion and stormwater control, including the standards in the Maine Construction General Permit and any departmental companion document to the MCGP, must conduct the inspection. This person must be identified in the inspection log. If best management practices (BMPs) need to be modified or if additional BMPs are necessary, implementation must be completed within 7 calendar days and prior to any storm event (rainfall). All measures must be maintained in effective operating condition
- until areas area permanently stabilized. 4. Inspection Log (report): A log (report) must be kept summarizing the scope of the inspection, name(s) and qualifications of the personnel making the inspection, the date(s) of the inspection, and major observations relating to operation of erosion and sedimentation controls and pollution prevention measures. Major observations must include BMPs that need maintenance, BMPs that failed to operate as designed or proved inadequate for a particular location, and locations(s) where additional BMPs are needed. For each BMP requiring maintenance, BMP needing replacement, and location needing additional BMPs, note in the inspection log the correct action taken and when it was taken. The log must be made accessible to the department staff and a copy must be provided upon request. The permittee shall retain a copy of the log for a period of at least three years from the completion of the permanent stabilization.

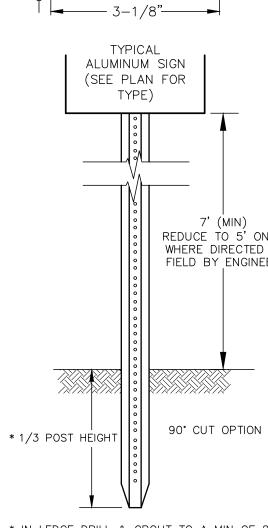
#### HOUSEKEEPING

- . Spill prevention: Controls must be used to prevent pollutants from construction and waste materials stored onsite, including storage practices to minimize exposure of the materials to stormwater and appropriate spill prevention, containment, and response planning implementation. The contractor and owners need to take care with construction and waste materials such that contaminates do not enter the stormwater. The storage of materials such as paint, petroleum products, cleaning agents and the like are to be stored in watertight containers. The use of the products should be in accordance with manufacturer recommendations. When fueling equipment, including snowblowers and lawnmowers, have oil absorbent pads available below the fueling. Refueling of small engines by the owner should occur in the garage or on a paved surface. Any spill or release of toxic or hazardous substances must be reported to the department. For oil spills, call 1-800-482-0777 which is available 24 hours a day. For spills of toxic or hazardous material, call 1-800-452-4664 which is available 24 hours a day. For more information, visit the department's website at: HTTP://WWW.MAINE.GOV/DEP/SPILLS/EMERGSPILLRESP/
- 2. Groundwater protection: Protection of the groundwater is required by the contractor and owner. During construction, liquid petroleum products and other hazardous materials with the potential to contaminate groundwater may not be stored or handled in areas of the site draining to an infiltration area. An "infiltration area" is any area of the site that by design or as a result of soils, topography, and other relevant factors accumulates runoff that infiltrates into the soil. Petroleum products should be stored in manufactured cans designed for the purpose. Dikes, berms, sumps, and other forms of secondary containment that prevent discharge to groundwater may be used to isolate portions of the site for the purposes of storage and handling of these materials. Spill preventions procedures should be followed.
- Note: Lack of appropriate pollutant removal BMPs may result in violations of the groundwater quality standard established by 39 M.R.S.A. §465-C(1). Any project proposing infiltration of stormwater must provide adequate pre-treatment of stormwater prior to discharge of stormwater to the infiltration area, or provide treatment within the infiltration area, in order to prevent accumulation of fines, reductions in infiltration rate, and consequent flooding and destabilization.

<ol> <li>Fugitive sediment and dust: Actions must be taken to ensure that activities do not result in noticeable erosion of soils or fugitive dust emissions during or after construction. Oil may not be used for dust control.</li> </ol>				
Note: Dewatering a stream without a permit from the department violates state water quality standards and the Natural Resources Protection Act.	ALTUS			
4. Debris and other materials: Litter, construction debris, and construction chemicals exposed to stormwater must be prevented from becoming a pollutant source. Construction materials and construction debris should be covered to prevent rainwater from washing contaminants off the site. Any fertilizers, cleaning products, herbicides should be protected from the weather and used in accordance with manufacturers recommendations.	ENGINEERING, INC.			
Note: Any contaminants that are washed off the site by rainwater is a violation of the Clean Waters Act. To prevent these materials from becoming a source of pollutants, construction activities related to a project may be required to comply with applicable provisions of rules related to solid, universal, and hazardous waste, including, but not limited to, the Maine Solid Waste and Hazardous Waste	133 Court Street     Portsmouth, NH 03801       (603) 433-2335     www.altus-eng.com			
<ul> <li>Management Rules; Maine Hazardous Waste Management Rules; Maine Oil Conveyance and Storage Rules; and Maine Pesticide requirements.</li> <li>5. Trench or foundation dewatering: Trench dewatering is the removal of water from trenches, foundations, coffer dams, ponds, and other areas within the construction area that retain water after excavation. In most cases the collected water is heavily silted and hinders correct and safe construction practices. The collected water removed from the ponded area, either through gravity or pumping, must be spread through natural wooded buffers or removed to areas that are specifically designed to collect the maximum amount of sediment possible, like a cofferdam sedimentation basin. Avoid allowing the water to flow over disturbed areas of the site.</li> </ul>	ERIC D. WEINRIED No. 6658			
Note: For guidance on dewatering controls, consult the Maine Erosion and Sediment Control BMPs, published by the Maine Department of Environmental Protection.	SIGNAL			
6. Non-stormwater discharges: Identify and prevent contamination by non-stormwater discharges. Where allowed non-stormwater discharges exist, they must be identified and steps should be taken to ensure the implementation of appropriate pollution prevention measures for the non-stormwater component(s) of the discharge. Authorized non-stormwater discharges are:				
<ul> <li>Discharges from firefighting activities</li> <li>Fire hydrant flushings</li> <li>Vehicle washwater if detergents are not used and washing is limited to the exterior of vehicles (engine, undercarriage, and transmission washing is prohibited</li> <li>Dust control runoff in accordance with permit conditions</li> </ul>	NOT FOR CONSTRUCTION  ISSUED FOR: APPROVAL			
<ul> <li>Routine external building washdown, not including surface paint removal, that does not involve detergents</li> <li>Pavement washwater (where spills/leaks of toxic or hazardous materials have not occurred, unless all spilled material had been removed) if detergents are not used</li> <li>Uncontaminated air conditioning or compressor condensate</li> </ul>	ISSUE DATE: NOVEMBER 23, 2021			
<ul> <li>Uncontaminated groundwater or spring water</li> <li>Foundation or footer drain-water where flows are not contaminated</li> <li>Uncontaminated excavation dewatering</li> <li>Potable water sources including waterline flushings</li> </ul>	REVISIONS NO. DESCRIPTION BY DATE			
<ul> <li>7. Unauthorized non-stormwater discharges: Identify and prevent contamination from discharges that is mixed with a source of non-stormwater, other than those discharges in compliance with 6. Unauthorized non-stormwater discharges are: <ul> <li>Wastewater from the washout or cleanout of concrete, stucco, paint, form release oils, curing compounds or other construction materials;</li> <li>Fuels, oils, or other pollutants used in vehicle and equipment operations and maintenance;</li> <li>Soaps, solvents or detergents used in vehicle and equipment wash;</li> <li>Toxic or hazardous substances from a spill or other release.</li> </ul> </li> </ul>	0 INITIAL SUBMISSION EDW 10/28/21 1 TOWN COMMENTS EDW 11/23/21			
Allowable non-stormwater discharges cannot be authorized under this permit unless they are directly related to and originate from a construction site or dedicated support activity.	RAWN BY: RMB			
This project has a written erosion control plan and stormwater maintenance plan. Modifications to the plan must be approved by the Town.	DRAWN BY:   RMB     APPROVED BY:   EDW			
Maintenance of stormwater treatment and control systems must occur regularly. The stormwater maintenance report provides inspection details and time lines for doing the inspections and reporting to the Town.	DRAWING FILE: 5053SITE.dwg			
	<u>SCALE:</u> NOT TO SCALE			
	OWNER: ELIZABETH CASELLA WILLIAM J. BANFIELD ONE BADGERS ISLAND WEST, LLC 5 BADGERS ISLAND WEST #3 KITTERY, MAINE 03904			
	APPLICANT:			
	LITTLE BRIDGE LOBSTER, LLC			
	5 BADGERS ISLAND WEST #3 KITTERY, MAINE 03904			
STAKE ON 10' LINEAR SPACING STAKE (TYP.); REBAR W/ORANGE SAFETY				
FILTREXX® 12" SILT-SOXX <sup>TM</sup> AREA TO BE AREA TO BE AREA TO BE	PROJECT: LITTLE BRIDGE LOBSTER			
WATER FLOW PROTECTED WORK AREA	RESTAURANT			
WORK AREA	TAX MAP 1, LOT 19			
FILTREXX®       COMPOST       SILT-SOXXTM       PLAN_VIEW	BADGERS ISLAND WEST KITTERY, MAINE			
NOTES: 1. SILTSOXX MAY BY USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.				
<ol> <li>ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.</li> <li>SILTSOXX COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.</li> <li>ALL SEDIMENT TRAPPED BY SILTSOXX SHALL BE DISPOSED OF PROPERLY.</li> </ol>	<u>TITLE:</u>			
TUBULAR SEDIMENT BARRIER NOT TO SCALE				
	EROSION CONTROL NOTES			
ى ت	SHEET NUMBER:			
D2 D	C - 3			

# SIGN DETAILS

LENGTH: AS REQUIRED WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN.) HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)



1 - 9/16"

.4 €

# <u>NOTES</u> 1. ALL SIGNS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED

AS INDICATED IN THE MANUAL ON

LATEST EDITION.

UNIFORM TRAFFIC CONTROL DEVICES,

NOT TO SCALE

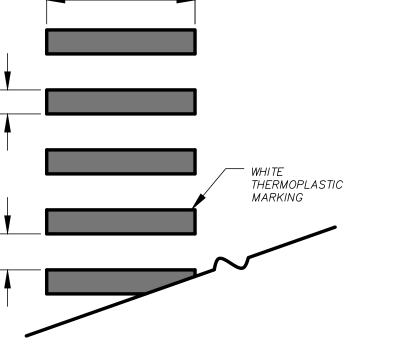
\* IN LEDGE DRILL & GROUT TO A MIN OF 2'

7'(MIN) REDUCE TO 5' ONLY WHERE DIRECTED IN FIELD BY ENGINEER

**I**−1/4" .164"

# **CROSSWALK STRIPING DETAIL**

PER PLAN



NOT TO SCALE

RESERVED PARKING

R7-8

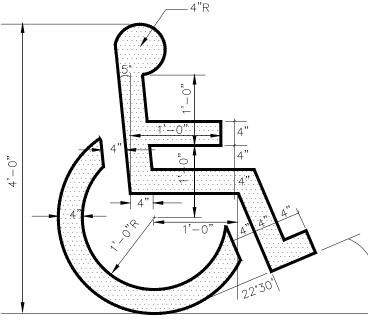
12" x 18"

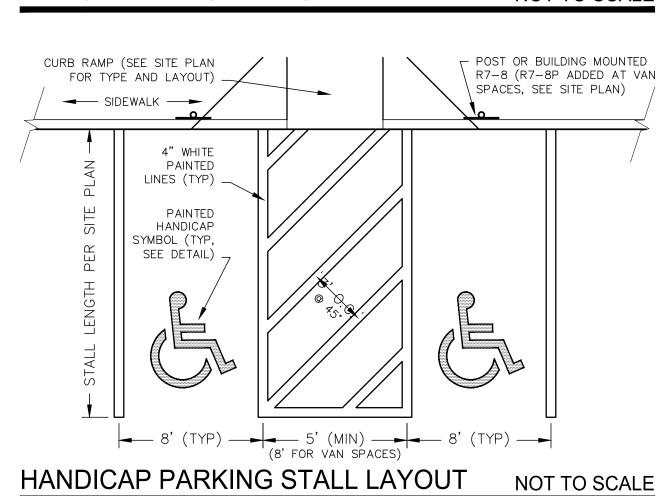
VAN ACCESSIBLE

> R7-8P 18" x 9"

# PAINTED HANDICAP SYMBOL

<u>NOTES</u> 1. SYMBOL TO BE PAINTED IN ALL HANDICAPPED ACCESSIBLE SPACES IN WHITE PAINT (BLUE-PAINTED SQUARE BACKGROUND OPTIONAL).





# **TYPICAL TRENCH PATCH**

### NOT TO SCALE

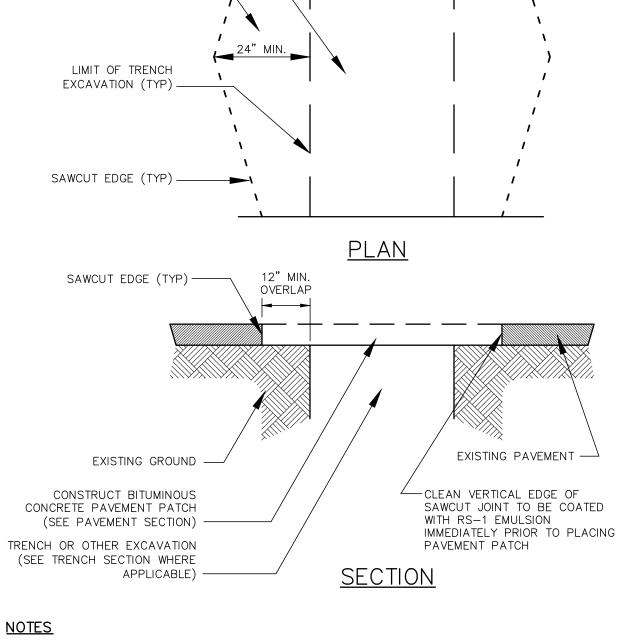
- 3. DIAMOND PATCHES, SHALL BE REQUIRED FOR ALL TRENCHES CROSSING ROADWAY. DIAMOND PATCHES SHALL MEET NHDOT REQUIREMENTS.
- 2. ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT OF PERMANENT TRENCH REPAIRS.
- 1. MACHINE CUT EXISTING PAVEMENT.

EXCAVATED UTILITY TRENCH

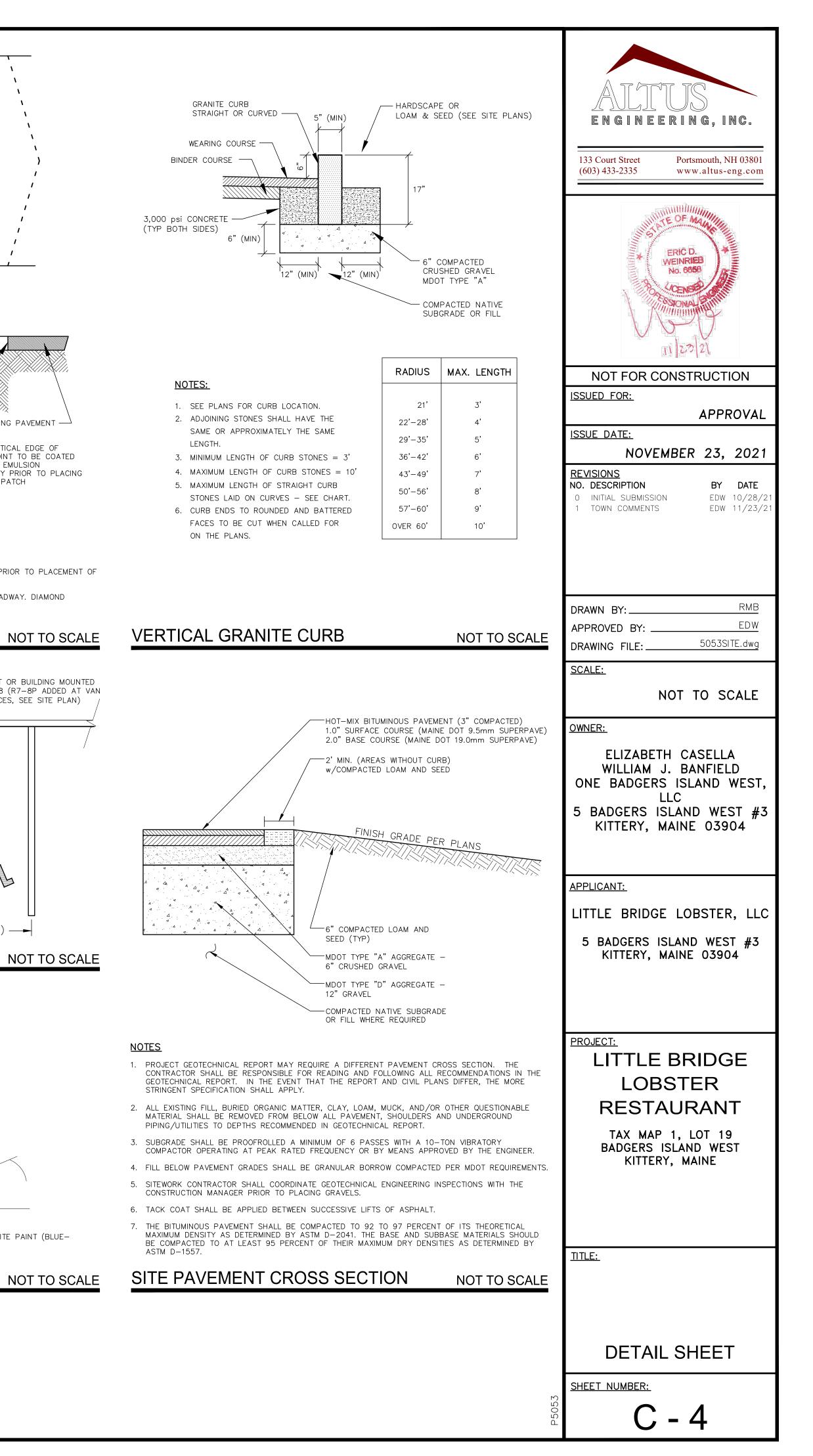
EXISTING GRAVEL BEYOND TRENCH SHALL BE LEFT

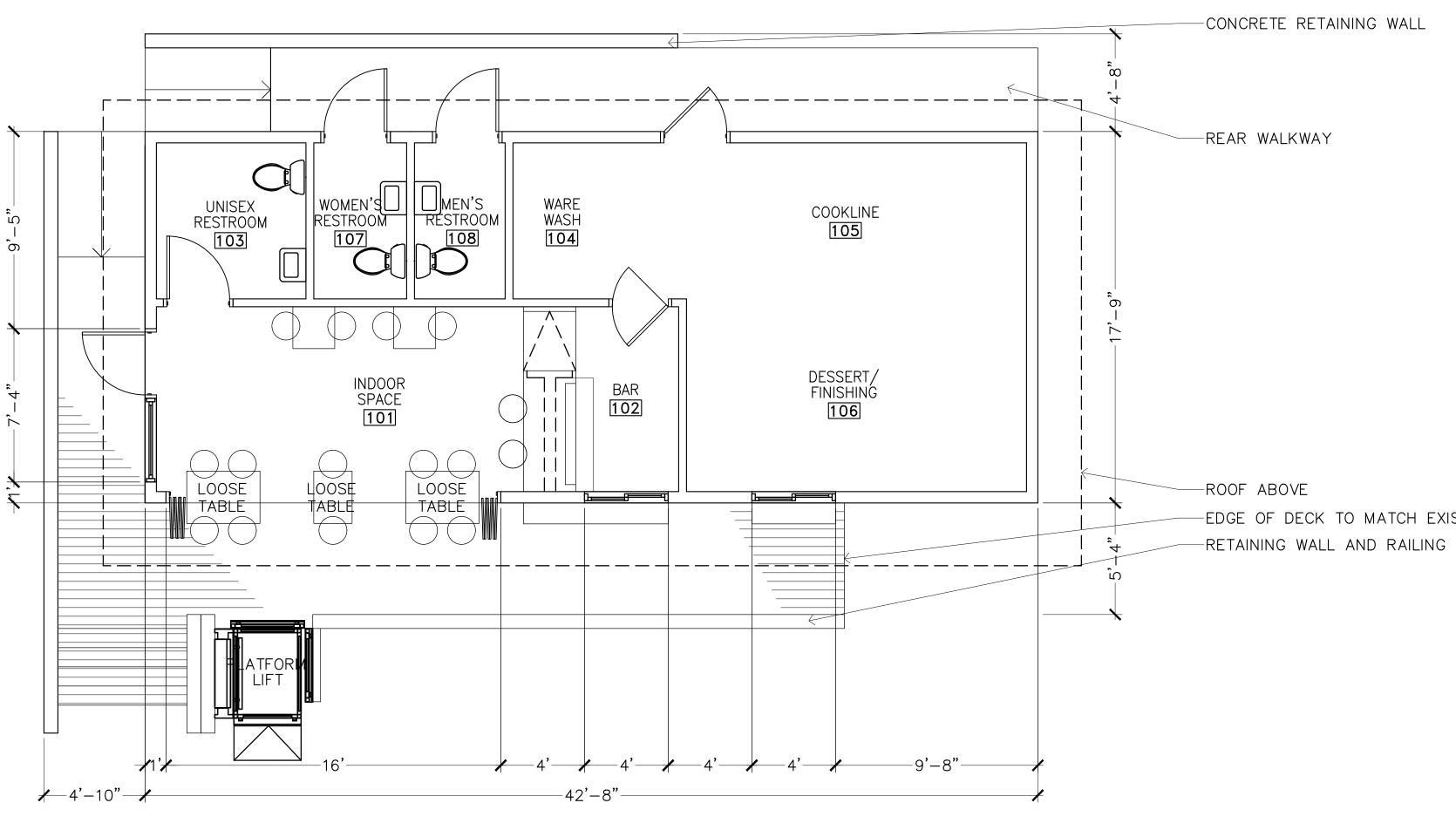
(SEE TRENCH SECTION) -

UNDISTURBED -



12" (MIN)





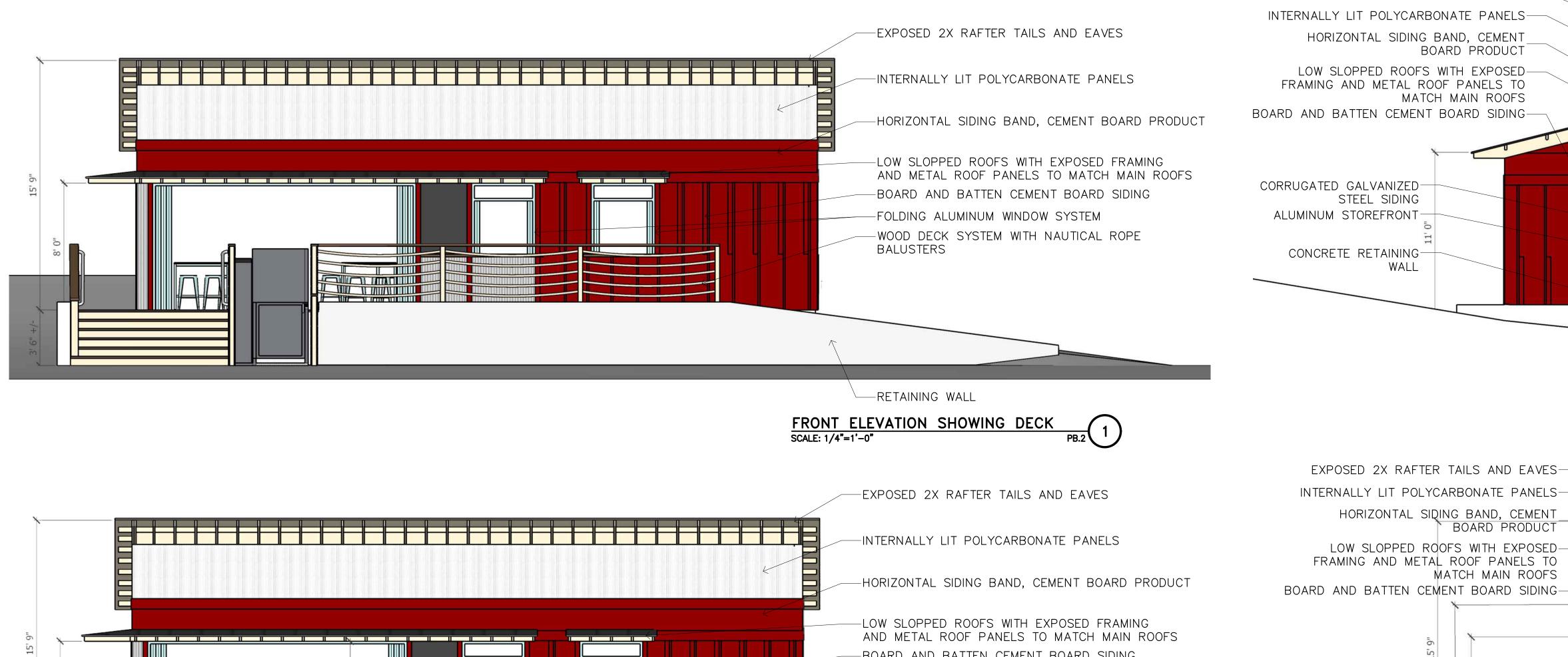


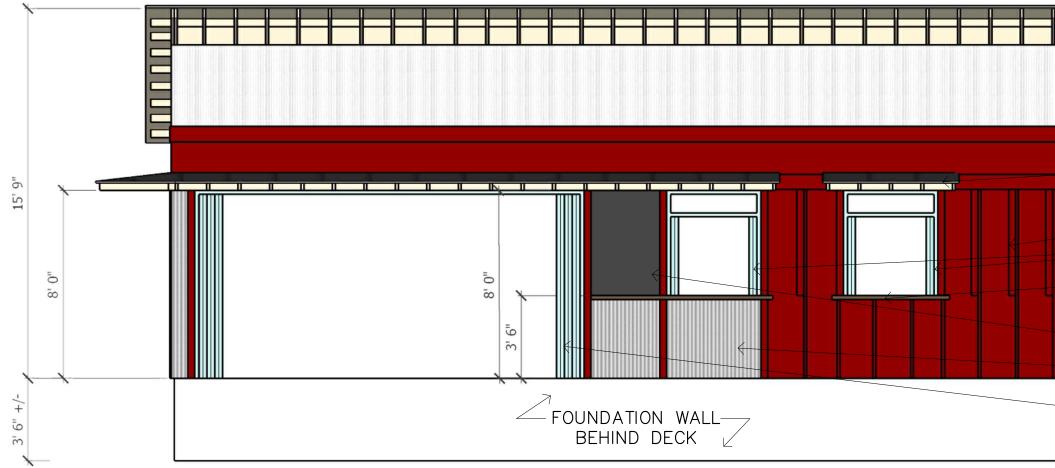
# PROPOSED FLOOR PLAN SCALE: 1/4"=1'-0"

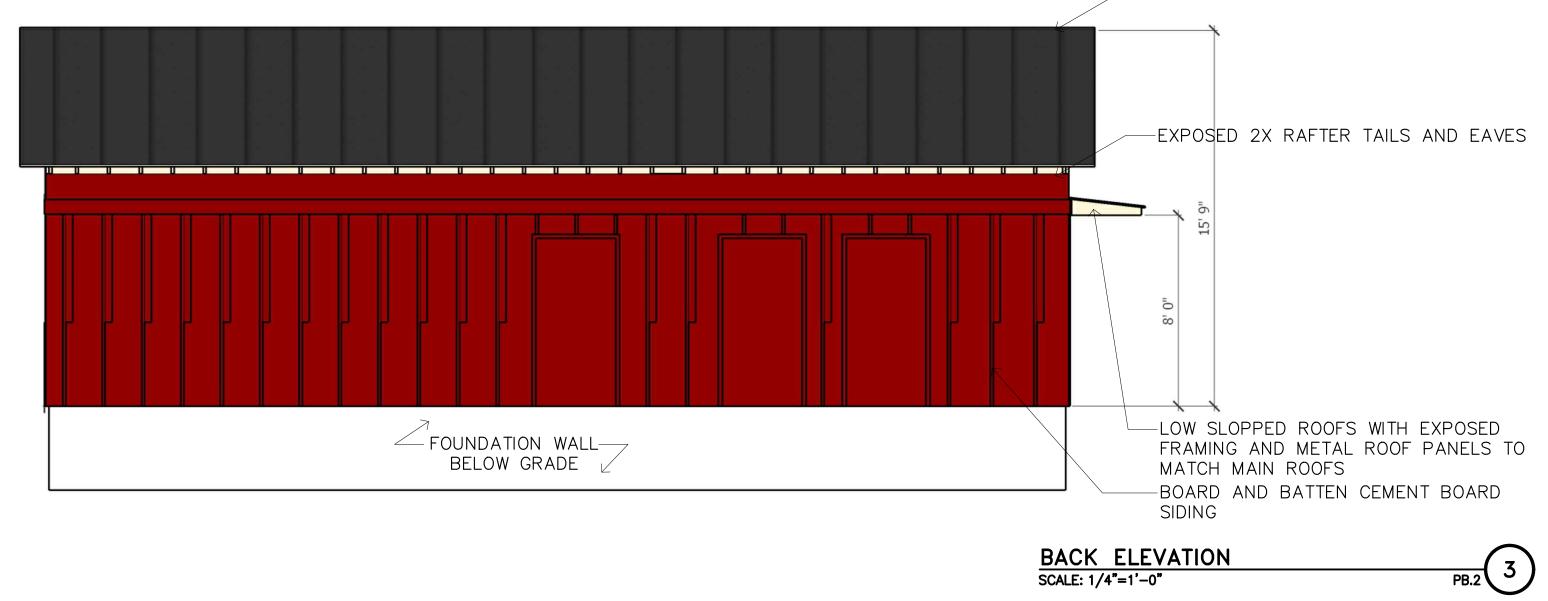


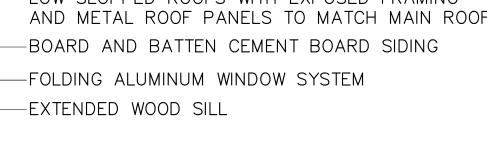


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РВ.2 2

-CHALKBOARD MENU PANEL

- -CORRUGATED GALVANIZED STEEL SIDING
- -FOLDING GLASS PANEL WALL SYSTEM, SHOWN OPEN

FRONT ELEVATION SCALE: 1/4"=1'-0"

-BLACK STANDING SEAM METAL ROOFING

HORIZONTAL SIDING BAND, CEMENT BOARD PRODUCT LOW SLOPPED ROOFS WITH EXPOSED-FRAMING AND METAL ROOF PANELS TO MATCH MAIN ROOFS BOARD AND BATTEN CEMENT BOARD SIDING-10

