



**Civil
Site Planning
Environmental
Engineering**

133 Court Street
Portsmouth, NH
03801-4413

November 23, 2021

Bart McDonough, Town Planner
Town of Kittery
200 Rogers Road
Kittery, Maine 03904

**Re: Little Bridge Lobster Restaurant
Map 1 Lot 19
Badgers Island West
Kittery, Maine**

Dear Mr. McDonough:

Altus Engineering, Inc. (Altus) submitted a Shoreland Development Plan Application on October 28, 2021 for a new structure to be used as a restaurant. The plans have been revised to address your comments, including providing an ADA lift system in lieu of a long ramp and other miscellaneous notes. On behalf of One Badgers Island West, LLC, Altus is pleased to submit the following for the Planning Board's consideration:

- Plan Sets – 2 (24"x36") and 10 (11"x17")

We look forward to presenting to the Board on December 9th. Please feel free to contact me should you have any questions or need any additional information.

Thank you for your time and consideration.

Respectfully,

ALTUS ENGINEERING, INC.

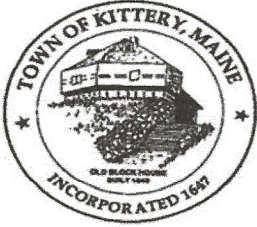
A handwritten signature in black ink, appearing to read "Eric D. Weinrieb".

Eric D. Weinrieb, P.E.
President

5053 Cover.ltr.docx
Enclosure

ecopy: William Banfield & Elizabeth Casella
Zachary Smith, Winter Holden Architecture

SHORELAND DEVELOPMENT PLAN APPLICATION



TOWN OF KITTERY
Planning & Development Department
 200 Rogers Road, Kittery, ME 03904
 Telephone: 207-475-1323 Fax: 207-439-6806


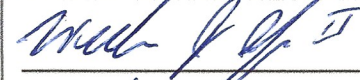
MAP ___ LOT ___
DATE: _____
FEE: \$ <u>200.00</u>
ASA*: _____

PROPERTY DESCRIPTION	Physical Address	1 & 3 Badger's Island West		
	Base Zone	MU-BI	Overlay Zone (s)	Water Body/Wetland Protection area Commercial Fisheries/maritime uses
OWNER INFORMATION	Name	William J. Banfield, Elizabeth Casella One Badger's Island West, LLC		Mailing Address 5 Badger's Island West Kittery, Maine 03904
	Phone			
	Email	wjbanfield2@gmail.com		
AGENT INFORMATION	Name	Eric Weinrieb, PE		Company Altus Engineering, Inc. Mailing Address 133 Court Street Portsmouth, NH 03801
	Phone	603-433-2335		
	Email	Eric@altus-eng.com		
	Fax			
APPLICANT INFORMATION	Name	Little Bridge Lobster Restaurant		Mailing Address 5 Badger's Island West Kittery, Maine 03904
	Phone			
	Email	wjbanfield2@gmail.com		

PROJECT DESCRIPTION	<p><u>Existing Use:</u></p> <p>Structures used as marine related storage sheds.</p>
	<p><u>Proposed Use (describe in detail):</u></p> <p>New structure will be used as a restaurant</p>

PROJECT DESCRIPTION	Please describe any construction constraints (wetlands, shoreland overlay zone, flood plain, non-conformance, etc.)
	The site is developed/paved nearly up to the edge of the highest observable tide line. The entire parking field and most of the building is within the 75-foot buffer to HATL. The development will include removing some of the hardscape adjacent to the HATL by adding a customer dining area. A new building will be constructed essentially in the location of the existing two sheds. A deck and handicap accessible ramps will be installed to make the facility ADA accessible.

I certify I have provided, to the best of my knowledge, information requested for this application that is true and correct and I will not deviate from the Plan submitted without notifying the Planning and Development Department of any changes.

Applicant's Signature:		Owner's Signature:	
Date:	10/28/2021	Date:	10/28/2021

*Applicant Service Accounts: Fees to pay other direct costs necessary to complete the application process, not including application fees. Title 3, Chapter 3.3.

MINIMUM PLAN SUBMITTAL REQUIREMENTS

12 Copies of this Application Form, all supporting documents, and the Development Plan and Vicinity Map 10 plan copies may be half-size (11"x17") and 2 must be full-size (24"x36")

Shoreland Development Plan format and content:

- A) Paper Size; no less than 11" X 17" or greater than 24" X 36"
- B) Plan Scale
 - Under 10 acres: no greater than 1" = 30'
 - 10 + acres: 1" = 50'
- C) Title Block
 - Title: Shoreland Development Plan
 - Applicant's name and address
 - Name of preparer of plan with professional information
 - Parcel's Kittery tax map identification (map – lot) in bottom right corner
 - Vicinity Map or aerial photo showing geographic features 5,000 feet around the site.**
- D) Signature Block
 - Area for signature by Planning Board Chair and Date of Planning Board Approval

Development Plan must include the following existing and proposed information:

<p>Existing:</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Land Use Zones and boundaries <input checked="" type="checkbox"/> Topographic map (optional) <input checked="" type="checkbox"/> Wetlands and flood plains <input checked="" type="checkbox"/> Water bodies and water courses <input checked="" type="checkbox"/> Parcel area <input checked="" type="checkbox"/> Lot dimensions <input type="checkbox"/> Utilities (Sewer/septic, water, electric, phone) <input checked="" type="checkbox"/> Streets, driveways and rights-of-way <input checked="" type="checkbox"/> Structures <input checked="" type="checkbox"/> Distance from structure to water body and property lines <input checked="" type="checkbox"/> Floor area, volume, devegetated area, and building coverage 	<p>Proposed: (Plan must show the lightened existing topography under the proposed project plan for comparison.)</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Recreation areas and open space <input checked="" type="checkbox"/> Setback lines and building envelopes <input checked="" type="checkbox"/> Lot dimensions <input type="checkbox"/> Utilities (Sewer/septic, water, electric, phone) <input checked="" type="checkbox"/> Streets, driveways and rights-of-way <input checked="" type="checkbox"/> Structures <input checked="" type="checkbox"/> Floor area, volume, devegetated area, and building coverage <p>Distance to:</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Nearest driveways and intersections <input type="checkbox"/> Nearest fire hydrant <input checked="" type="checkbox"/> Nearest significant water body; ocean, wetland, stream
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Expansion/Construction Analysis within the Shoreland Overlay Zone¹ (see Table 16.9)

Size of water body or wetland: <500 sf <501 sf-1 acre >1 acre

Structure distance from water body: 61.5 +/- feet

STRUCTURE	Existing	Proposed	% Increase*	
SF (Area)	451 sf	547 sf	0.6 % in 75 ft	
Construction:	New: <input checked="" type="checkbox"/> Demo/Rebuild: <input type="checkbox"/> Maintenance/repair: <input type="checkbox"/>			Value: \$ to be determined
*Total increase in area may not exceed 30% for any new construction since 1/1/1989.				

PARCEL DE-VEGETATION	% Allowed*	Existing SF	Proposed SF	% Proposed*
Lot Size (sf) 30,457 SF (18,274 sf allowed)	60 %	18,942 sf 62.2%	18,523 sf	60.8 %
*See underlying zone standards for de-vegetated area percent allowed within a Shoreland Overlay.				

BUILDING COVERAGE	% Allowed*	Existing SF	Proposed SF	% Proposed*
Lot Size (sf) 30,457 SF	%	3,492 sf	3,588 sf	11.8 %
*See underlying zone standards for building coverage percent allowed.				

¹Calculations for area, volume, and de-vegetated areas must be included on the final plan and certified by a State of Maine registered architect, landscape architect, engineer, or land surveyor.

North
W  EASTERLY
SURVEYING, Inc.

191 State Road, Suite #1 • Kittery, Maine 03904 • (207) 439-6333 • Fax (207) 439-1354

December 2, 2020

Kittery Maine Planning Board
c/o Bart McDonough

Subject: GIS MAPS & FEMA FLOOD ZONES

1 Badgers Island West

Job No: 19808

Dear Bart,

A question arose relative to the location of the FEMA Special Flood Hazard Area (SFHA), which by definition is a Resource Protection Zone. The official location of this line is shown on FEMA Flood Map FIRM 230171 0008 D, effective July 3, 1986.

This line has been digitized onto our Existing Conditions plan dated 6/21/2021 and confirmed by elevation as shown on our survey.

The SFHA zones shown on the Kittery "Official Zoning Map" and by extension the Kittery GIS are grossly inaccurate and should not be used or relied upon for official determination or guidance or measuring.

This inaccuracy is made clear by a simple comparison of the Kittery GIS to the online FEMA Mapping at msc.fema.gov, which I've attached for reference. The FEMA Zone we show on our survey is used by relying on official FEMA products.

Sincerely:
North Easterly Surveying, Inc.



Adam M. Pray, PLS
Senior Project Manager

FEMA MAP SERVICE CENTER (ACCURATE)

Search Results—Products for **KITTERY, TOWN OF**

Show ALL Products »

The flood map for the selected area is number **2301710008D**, effective on **07/03/1986** ⓘ

MAP IMAGE



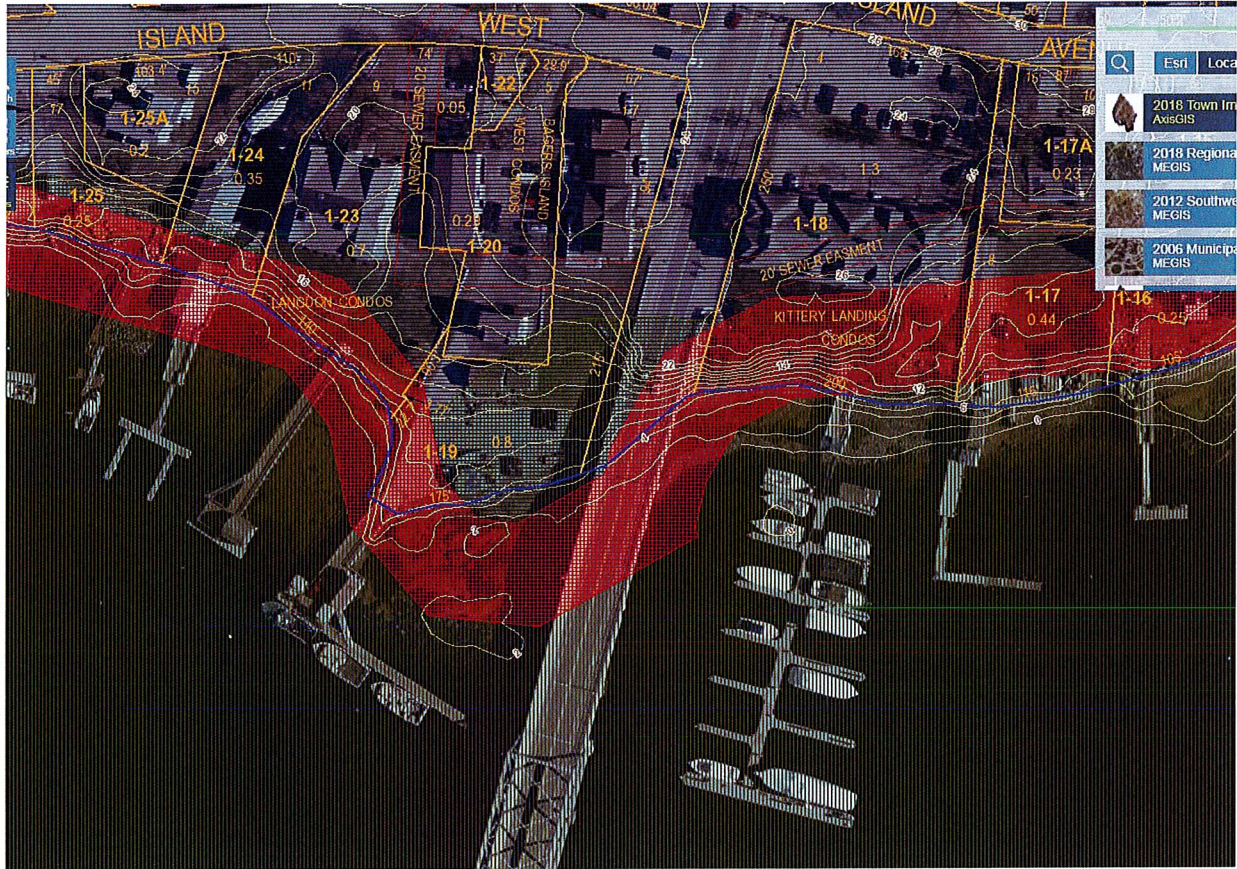
Changes to this FIRM ⓘ

- Revisions (1)
- Amendments (2)
- Revalidations (0)

You can choose a new flood map or move the location pin by selecting a different location on the locator map below or by entering a new location in the search field above. It may take a minute or more during peak hours to generate a dynamic FIRMette. If you are a person with a disability, are blind, or have low vision, and need assistance, please contact a map specialist.



KITTERY, GIS (NOT ACCURATE)



NOT ACCURATE – NOTE CONTOUR ELEVATION RELATIVE TO THE GIS FLOOD ZONE

TRUSTEE'S DEED

DLN# 1002140146451

Anthony J. Marquis, Trustee of The Anthony J. Marquis Revocable Trust u/t/a March 23, 2010, of Kittery, Maine, for consideration paid, grants to **William J. Banfield II**, a 7% in common and undivided interest, to **Elizabeth Casella**, a 7% in common and undivided interest and to **One Badgers Island West LLC**, an 86% in common and undivided interest in and to the land, together with the buildings and improvements thereon and appurtenances thereto, in **Kittery, York County, Maine**, more particularly bounded and described in Exhibit A attached hereto and made a part hereof.

For source of title, reference may be had to the deed from Anthony J. Marquis to Anthony M. Marquis, Trustee of The Anthony J. Marquis Revocable Trust u/t/a March 23, 2010, dated March 23, 2010, and recorded in the York County Registry of Deeds in Book 15836, Page 518.

In witness whereof, Anthony J. Marquis, in my capacity as Trustee of The Anthony J. Marquis Revocable Trust u/t/a March 23, 2010, have hereunto set my hand and seal this 1 day of June, 2021.

Witness:

[Signature]

[Signature: Anthony J. Marquis Trustee]
Anthony J. Marquis, Trustee
The Anthony J. Marquis Revocable Trust
u/t/a March 23, 2010

STATE OF NEW HAMPSHIRE

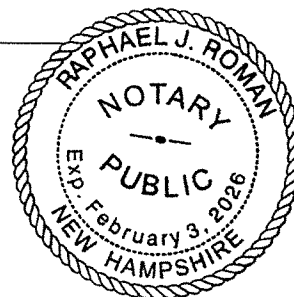
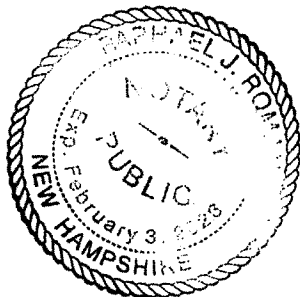
Rockingham County

June 1, 2021

Personally appeared before me the above named Anthony J. Marquis, Trustee, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said Trust.

[Signature]
Notary Public/Attorney-at-law

Raphael Roman
Print or type name as signed



Maine R.E. Transfer Tax Paid

EXHIBIT A

Certain lots or parcels of land, together with the improvements thereon, situate in Kittery, County of York and State of Maine, more particularly described as follows:

TRACT I:

A certain lot or parcel of land situate on Badger's Island, so-called, in Kittery, County of York and State of Maine, more particularly described as follows:

Beginning at a low water mark of the Piscataqua River at the southwesterly corner of the parcel herein conveyed and other land, now or formerly of Hugh Marconi; thence running North 54° 38' East to a pipe at high water mark of the Piscataqua River; thence continuing North 54° 38' East 71.76 feet to a pipe and right-of-way; thence turning and running by said right-of-way South 72° 13' East 7 feet to a pipe; thence turning and running South 17° 48' West by land now or formerly of Ernest F. Bonin 13 feet to a point; thence turning and running southwesterly by land of the said Bonin to low water mark of the Piscataqua River; thence turning and running westerly by said low water mark to the point of beginning.

Also all right, title and interest in and to a certain share of a right-of-way and to be used only as a right-of-way, the following described parcel:

Beginning at a pipe at the southwesterly corner of said right-of-way; thence running North 23° 12' East 74.02 feet to a pipe; thence turning and running South 17° 48' West 73.67 feet to a pipe; thence turning and running westerly 7 feet to the point of beginning, said parcel being triangular in shape.

TRACT II:

A certain tract or parcel of land in Kittery, County of York and State of Maine, with the buildings thereon, situate on Badger's Island in said Kittery, known as the Ranger Inn Property, and lying on the Westerly side of State Highway No. 1, bounded and described as follows:

Beginning at a point in the Westerly side line of said State Highway at the Southeasterly corner of land now or formerly of the Mexican Petroleum Corporation; thence running South, thirty-one degrees eighteen minutes West, by said Highway, one hundred seventeen and seventy-five hundredths (117.75) feet to an iron spike; thence by the same course by said Highway, one hundred fifty (150) feet to high water mark of the Piscataqua River; thence by the same course one hundred fifty-eight and seventy-five one hundredths (158.75) feet by said Highway to an iron rod, near low water mark of said River; thence North nineteen degrees ten minutes East, one hundred twenty-one (121) feet to high water mark of said River; thence North nineteen degrees ten minutes East, two hundred ninety-six (296) feet by land now or formerly of one Titton to the Southwesterly corner of land now or formerly of the Mexican Petroleum Corporation, said point being marked by a spike; thence South seventy degrees fifty minutes East, eighty-eight and sixty-two one hundredths (88.62) feet by said land now or formerly of said Mexican Petroleum Corporation to the point of beginning.

Also another certain lot or parcel of land situated on Badger's Island, so-called, in Kittery, County of York and State of Maine, more particularly described as follows:

Beginning at an iron pipe set in the ground on the division line of land now or formerly of Ernest F. Bonin and Hugo S. Marconi, said point of beginning being North 54° 38' East twenty-two and

seventy-one hundredths (22.71) feet from a stake at the mean high water line of the Piscataqua River; thence North 39° 18' 00" West by land now or formerly of said Bonin three and seventy-seven hundredths (3.77) feet to a point; thence North 50° 42' East ten and seventy-three hundredths (10.73) feet to a pipe; thence North 50° 42' East by remaining land of said Bonin seventy-seven and fifty-five hundredths (77.55) feet to a pipe; thence South 23° 12' West by a 14 foot wide right-of-way on land now or formerly of Ebert L. Philpott eighteen and eighty-two hundredths (18.82) feet to a pipe; thence South 54° 38' West by land of said Marconi as conveyed to him by said Bonin by deed recorded in Book 1745, Page 52, seventy-one and seventy-six hundredths (71.76) feet to the point of beginning. Said parcel containing 518.57 square feet. As shown on a plan prepared by Moulton Engineering Co. Titled "Plan showing portion of land of Ernest F. Bonin to be conveyed to Hugo S. Marconi" dated September 10, 1976, and recorded as Plan 79-32 in the York County Registry of Deeds.

Also another certain lot or parcel of land lying on the easterly side of land now or formerly of Ebert L. Philpott on Badger's Island in Kittery, County of York and State of Maine, and bounded more particularly as follows:

Beginning at the southeasterly corner of lot now or formerly of Ebert L. Philpott and running in a westerly direction eleven (11) feet along said line or lot now or formerly of Ebert L. Philpott; thence turning and running in a northerly direction and parallel to easterly sideline of Philpott land for the full distance of said Philpott lot; thence turning and running easterly by the sideline of the present lot now or formerly of Ebert L. Philpott eleven (11) feet, more or less, to an iron pipe in the road at the northwesterly corner of land now or formerly of Hugo Marconi; thence running in a southerly direction along the line of land now or formerly of Hugo Marconi to the point of beginning.

TRACT III:

A certain lot or parcel of land together with the buildings thereon situate on Badger's Island, so-called, in Kittery, County of York and State of Maine, and bounded and described as follows:

Beginning at low water mark on the Piscataqua River at the southeasterly corner of land herein conveyed; thence North 17° 47' East to a pipe at high water mark by land now or formerly of Wayne A. Dixon and Arlene J. Dixon; thence continuing North 17° 47' East by said Dixon land 73 feet to a pipe to land now or formerly of Wayne A. Dixon and Arlene J. Dixon; thence turning and running North 72° 13' West by land now or formerly of Wayne A. Dixon and Arlene J. Dixon and land now or formerly of one Philpott 65 feet to land now or formerly of Bonin; thence turning and running South 17° 48' West by land now or formerly of Bonin 13 feet to a point; thence running southwesterly by said Bonin's land to low water mark of the Piscataqua River; thence turning and running easterly by said low water mark of the Piscataqua River to the point of beginning.

Excepting and reserving from the above properties that certain parcel of land described in the deed from Hugo Marconi to Ernest F. Bonin and Minnie G. Bonin dated November 7, 1966 and recorded in Book 1745, Page 54.

There is also hereby conveyed any and all rights of the Grantor in and to rights and easements benefiting the above property, including but not limited to Thorners Lane, so called, and any land lying below the high water mark of the Piscataqua River to the extent not described above.

For Grantor's source of title reference may be had to the deed from Anthony J. Marquis to Anthony J. Marquis, Trustee of The Anthony J. Marquis Revocable Trust u/t/a dated March 23, 2010, dated March 23, 2010, and recorded in the York County Registry of Deeds in Book 15836, Page 518. Reference may also be had to the deed from Josephine Marconi to Anthony J. Marquis recorded in Book 8182, Page 268, in which deed Josephine Marconi reserved a life estate. Josephine Marconi deceased April 6, 2017.

LITTLE BRIDGE LOBSTER RESTAURANT

BADGERS ISLAND WEST
KITTERY, MAINE

Assessor's Parcel 1, Lot 19

Owner:

ONE BADGERS ISLAND WEST, LLC
ELIZABETH CASELLA & WILLIAM J. BANFIELD

5 Badgers Island West
Kittery, ME 03904
(802) 477-2845

Applicant:

LITTLE BRIDGE LOBSTER. LLC

5 Badgers Island West #3
Kittery, ME 03904
(802) 477-2845

Plan Issue Date:

October 28, 2021
November 23, 2021

Shoreland Development Permit
Shoreland Devel. Re-Submission

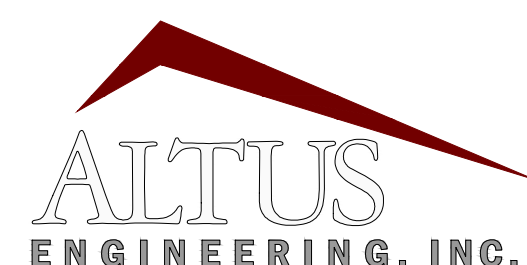
Architect:

**WINTER
HOLBEN**

architecture + design

7 WALLINGFORD SQUARE, UNIT 2099
KITTERY, MAINE 03904

Civil Engineer:

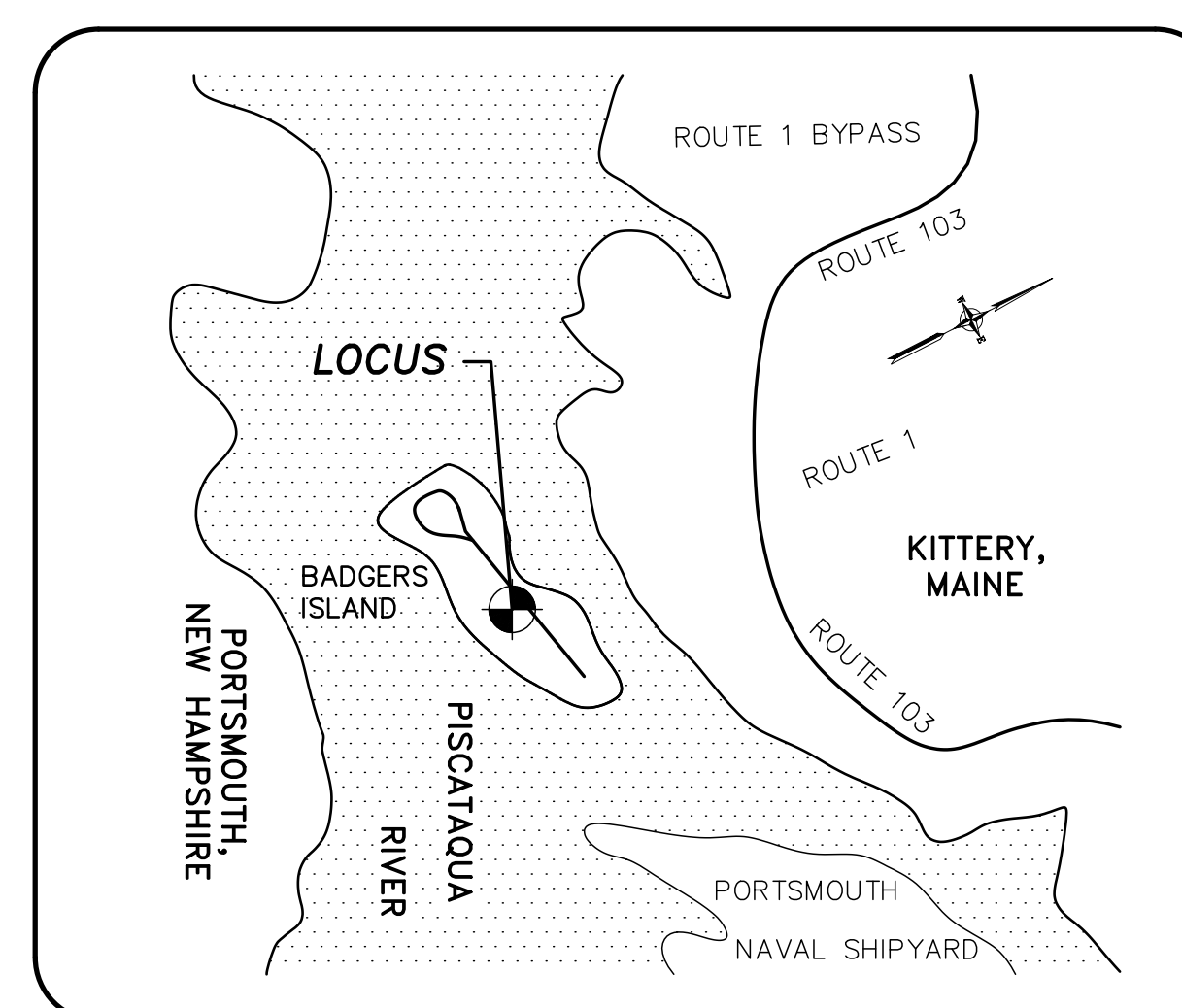


133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

Surveyor:



191 STATE ROAD, SUITE #1
KITTERY, MAINE 03904



LOCUS NOT TO SCALE

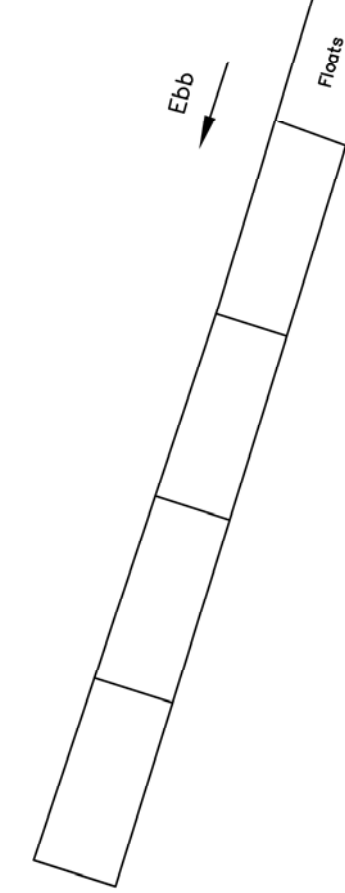
Sheet Index
Title

Exterior Perspective 3
Site Plan for Shoreland Development Permit
Site Plan
Erosion Control Notes
Detail Sheet
Elevations View
Plan View

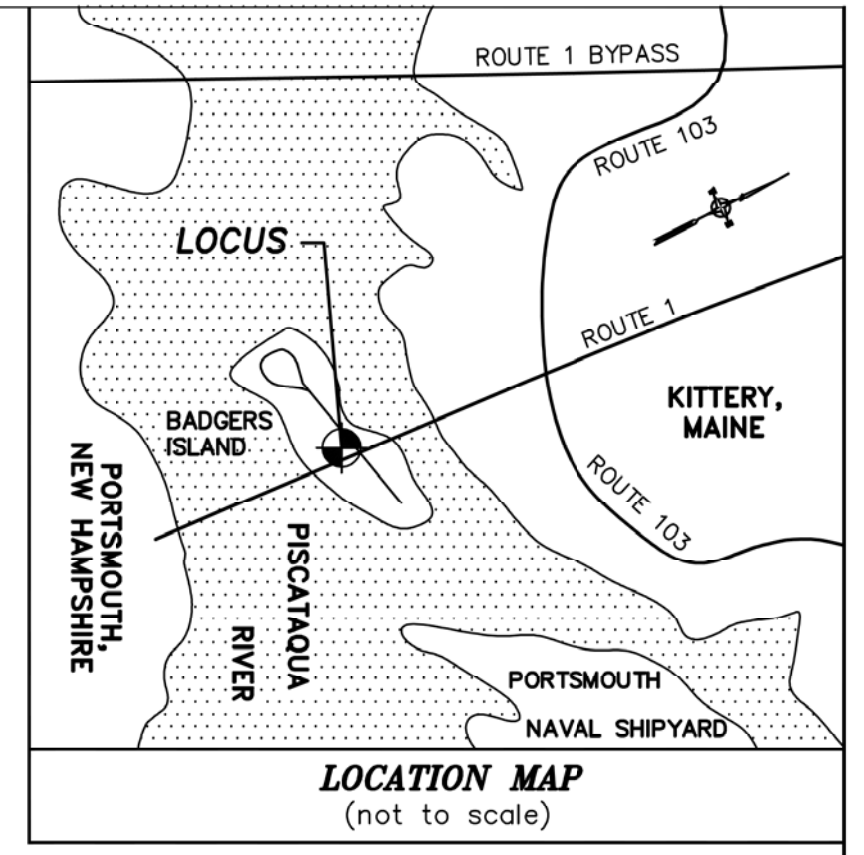
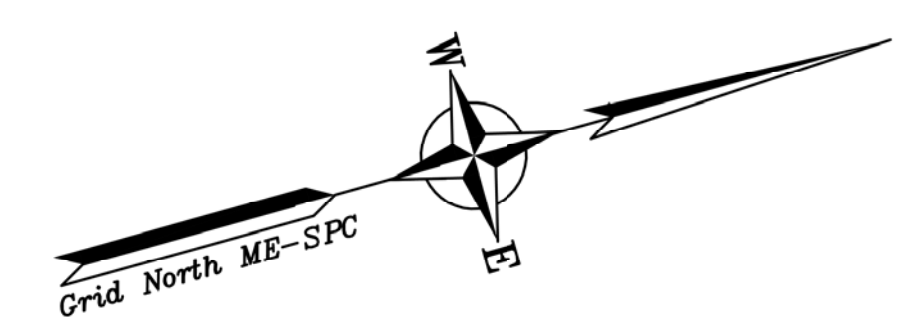
Sheet No.: **Rev.** **Date**

1 of 1	0	6/21/21
C-1	1	11/23/21
C-2	1	11/23/21
C-3	1	11/23/21
C-4	1	11/23/21
PB-1	-	10/28/21
PB-2	-	10/28/21

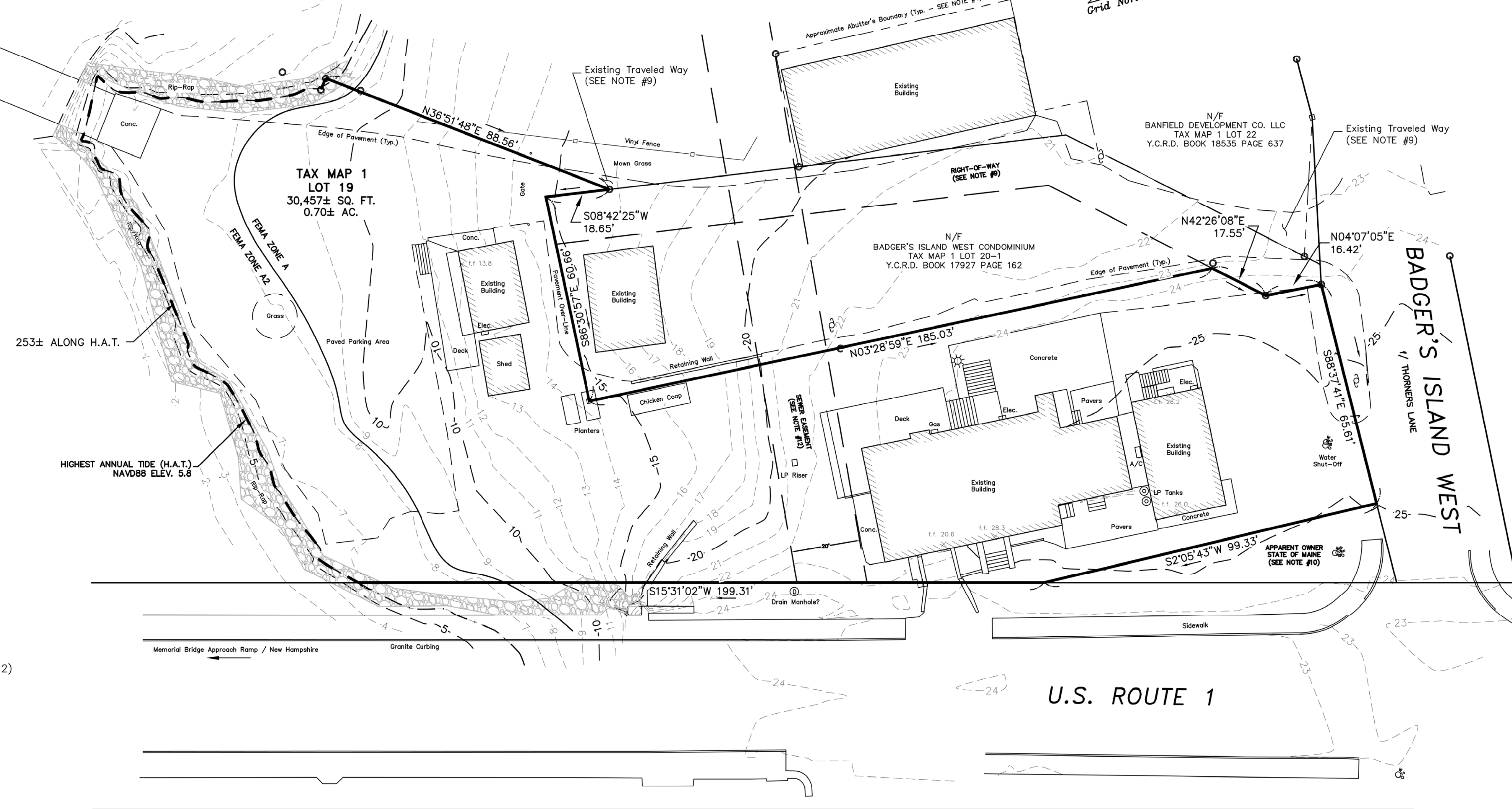
PISCATAQUA RIVER
FEMA ZONE A2 (NOV2019 EL. 9)
(SEE NOTE #8)



N/F LANGDON'S ISLAND CONDOMINIUM
TAX MAP 1 LOT 23
CONDOMINIUM FILE 499



N/F MADISON STREET, LLC
TAX MAP 1 LOT 44
Y.C.R.D. BOOK 14439 PAGE 433



ZONING DATA PER KITTERY TOWN CODE "TITLE 16 LAND USE AND DEVELOPMENT CODE"(LAST AMENDMENT 7/25/16) (SEE NOTE #6):

BASE ZONE: MIXED USE - BADGERS ISLAND (MU-BI)
OVERLAY ZONES:
WATER BODY/WETLAND PROTECTION AREA - 250' (OZ-SL-250')
COMMERCIAL FISHERIES/MARITIME USES - (CFMU)

MU-BI BASE ZONE REQUIREMENTS:
MINIMUM LAND AREA PER DWELLING UNIT: 3,000 SQ. FT. (UNITS 1 & 2)
6,000 SQ. FT. (UNITS 3+)
MINIMUM LOT SIZE: 6,000 SQ. FT.
MINIMUM STREET FRONTAGE: 50 FT.
MINIMUM FRONT YARD: 5 FT.
MINIMUM REAR AND SIDE YARDS: 10 FT.
MAXIMUM BUILDING HEIGHT: 40 FT.
MINIMUM OPEN SPACE: 40%
MINIMUM SETBACK FROM WATER BODY AND WETLAND DEPENDENT USES: 0 FT.

OZ-SL-250' REQUIREMENTS (SEE 16.3.2.17):

MAXIMUM DEVEGETATED COVERAGE: 60%
PRINCIPAL AND ACCESSORY STRUCTURES SETBACK: 75 FT.
ACCESSORY PATIO/DECK < 500 SQ. FT. SETBACK: 75 FT.

PLAN REFERENCES:

- "STANDARD BOUNDARY SURVEY BADGERS ISLAND WEST CONDOMINIUMS, THORNERS LANE, KITTERY, MAINE", PREPARED BY ANDERSON LIVINGSTON ENGINEERS, INC., DATED NOVEMBER 2000, LAST REVISED JUNE 18, 2001 AND RECORDED AT THE Y.C.R.D. AS CONDO FILE 528 PAGE 1.
- "FINAL SITE PLAN OF LANGDON'S ISLAND CONDOMINIUM FOR 9 BADGERS ISLAND WEST L.L.C., DATED 26 OCTOBER 1999 BY DOUCET SURVEY INC., RECORDED AT THE Y.C.R.D. AS CONDO FILE 499 PAGE 3.
- "SEWER EASEMENT BADGERS ISLAND SEWER, CONTRACT No. 88-1, KITTERY, MAINE, MADE FOR SEA CONSULTANTS, INC.", PREPARED BY TITCOMB ASSOCIATES, DATED OCTOBER 15, 1988 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 189 PAGE 27.
- "PLAN SHOWING PORTION OF LAND OF ERNEST F. BROWN TO BE CONVEYED TO HUGO S. MARCONI ON BADGERS ISLAND, KITTERY, MAINE", PREPARED BY MOULTON ENGINEERING CO., DATED 9/10/76 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 79 PAGE 32.
- "PLAN SHOWING PORTION OF PROPERTY ERBERT L. PHILPOTT, LOCATED ON BADGER'S ISLAND, KITTERY, YORK COUNTY, MAINE, CONVEYED TO HUGO S. MARCONI", SURVEYED BY MOULTON ENGINEERING CO. INC., DATED MAY 27, 1960, PLAN DRAWN JAN. 17, 1964.
- "SKETCH SHOWING PROPERTY OF WAYNE A. DIXON & ARLENE J. DIXON, LOCATED ON BADGERS ISLAND, KITTERY, YORK COUNTY, ME., CONVEYED TO HUGO S. MARCONI, APRIL 18, 1966, ALSO A PORTION OF PROPERTY OF ERNEST F. BONIN TO BE CONVEYED TO HUGO S. MARCONI; INCLUDING A TRIANGULAR AREA OF LAND TO BE ADDED TO THE EXISTING RIGHT-OF-WAY OF SAID PROPERTIES", SURVEYED BY MOULTON ENGINEERING CO., INC., DATED JUNE 14, 1966.
- "TOWN ROAD, BADGER'S ISLAND, KITTERY, ME.", SURVEYED BY ALBERT MOULTON, DATED APRIL 17, 1951.
- "STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, STATE HIGHWAY "1", KITTERY, YORK COUNTY, FEDERAL AID PROJECT NO. F-01-1(63) & BH-01-1(62), DATED FEBRUARY 1985 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 155 PAGE 57.
- "MAINE HIGHWAY COMMISSION PLAN 16-74", RECORDED AUGUST 15, 1922 AS PLAN BOOK 9 PAGE 4.

NOTES:

- OWNERS OF RECORD:
TAX MAP 1 LOT 19
WILLIAM J. BANFIELD II
ELIZABETH CASELLA
ONE BADGERS ISLAND WEST LLC
Y.C.R.D. BOOK 18685 PAGE 320
DATED JUNE 1, 2021
- TOTAL EXISTING PARCEL AREA:
TAX MAP 1 LOT 19
0.70± AC. (AREA TO H.A.T.)
- BASIS OF BEARING IS GRID NORTH, ME SPC, PER ONSITE GPS OBSERVATION.
- APPROXIMATE ABUTTER'S LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE RELIED UPON AS BOUNDARY INFORMATION.
- EASEMENTS OR OTHER UNWRITTEN RIGHTS MAY EXIST THAT ENCUMBER OR BENEFIT THE PROPERTY NOT SHOWN HEREON.
- ZONING INFORMATION AND SETBACKS SHOWN HEREON ARE FOR REFERENCE PURPOSES. CONFIRM CURRENT ZONING REQUIREMENTS WITH THE TOWN OF YORK PRIOR TO DESIGN OR CONSTRUCTION.
- THE BOUNDARY SHOWN HEREON IS DETERMINED FROM WRITTEN RECORDS, FIELD EVIDENCE AND PAROL TESTIMONY RECOVERED AT THE TIME OF SURVEY AND MAY BE SUBJECT TO CHANGE IF OTHER EVIDENCE BECOMES AVAILABLE.
- PORTIONS OF THE SUBJECT PROPERTY FALL WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA). REFERENCE IS MADE TO FEMA FIRM 230171 0008 D, MAP REVISED JULY 3, 1986, BFE OF ELEVATION 9 IS PER NGVD29 DATUM. ELEVATIONS SHOWN HEREON ARE ON NAVD88.
- RIGHT-OF-WAY POSITION SHOWN IS PER PLAN REFERENCES. REFERENCE IS MADE TO Y.C.R.D. BOOK 824 PAGE 100. NO RIGHT-OF-WAY WIDTH IS GIVEN. PORTIONS OF THE TRAVELED WAY APPEAR TO BE OUTSIDE THE RIGHT-OF-WAY AND APPEAR TO BE LONG STANDING. CONSULTATION WITH AN ATTORNEY IS ADVISED.
- THE TRIANGULAR AREA SHOWN APPEARS TO BE OWNED BY THE STATE OF MAINE. SEE MDOT PLAN REFERENCE #8 AND PLAN REFERENCE #9.
- SPOT ELEVATIONS SHOWN HEREON ARE NAVD88. TO CONVERT FROM NAVD88 TO NGVD29, SUBTRACT 0.75 FROM THE ELEVATION. (I.E. NAVD88 ELEV. 100.00 = NGVD29 ELEV. 99.24)
- UNDERGROUND UTILITIES ARE NOT SHOWN HEREON. CONTACT DIG-SAFE PRIOR TO DESIGN OR CONSTRUCTION. REFERENCE IS MADE TO SEWER EASEMENT FROM JOSEPHINE O. MARCONI DATED NOVEMBER 30, 1988, RECORDED AT Y.C.R.D. BOOK 5016 PAGE 270.

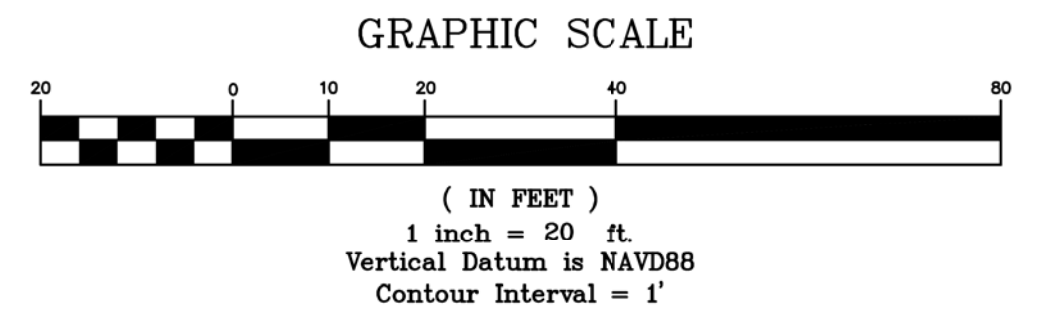
DEVEGETATED CALCULATION:

LOT AREA:	30,457± SQ. FT.
EXISTING:	
BUILDINGS	3,519± SQ. FT.
SHED	197± SQ. FT.
DECK/STEPS	1,361± SQ. FT.
PAVEMENT	12,088± SQ. FT.
CONCRETE	1,310± SQ. FT.
PAVERS	440± SQ. FT.
RETAINING WALLS	109± SQ. FT.
DOCK	74± SQ. FT.
RIP/RAP	200± SQ. FT.
GRAVEL	106± SQ. FT.
TOTAL	19,404± SQ. FT. (63.7%)

PRELIMINARY

PURPOSE OF PLAN:

THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS FOR DESIGN PURPOSES. THIS PLAN IS NOT A STANDARD BOUNDARY SURVEY AND IS NOT INTENDED TO BE RECORDED, USED FOR CONVEYANCE, OR ANY OTHER TITLE PURPOSE.

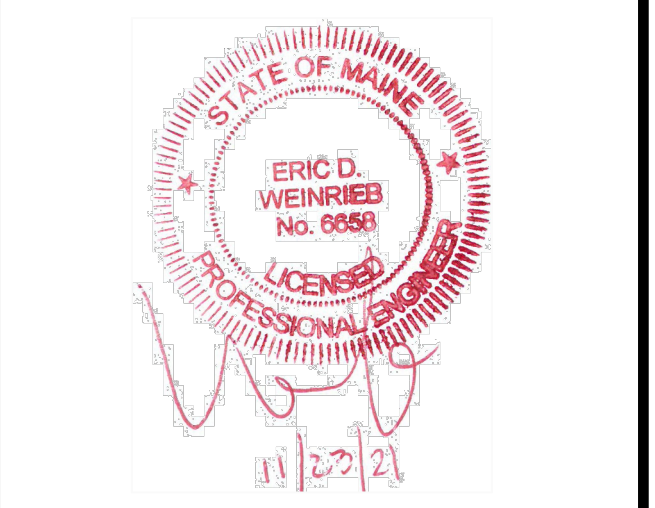
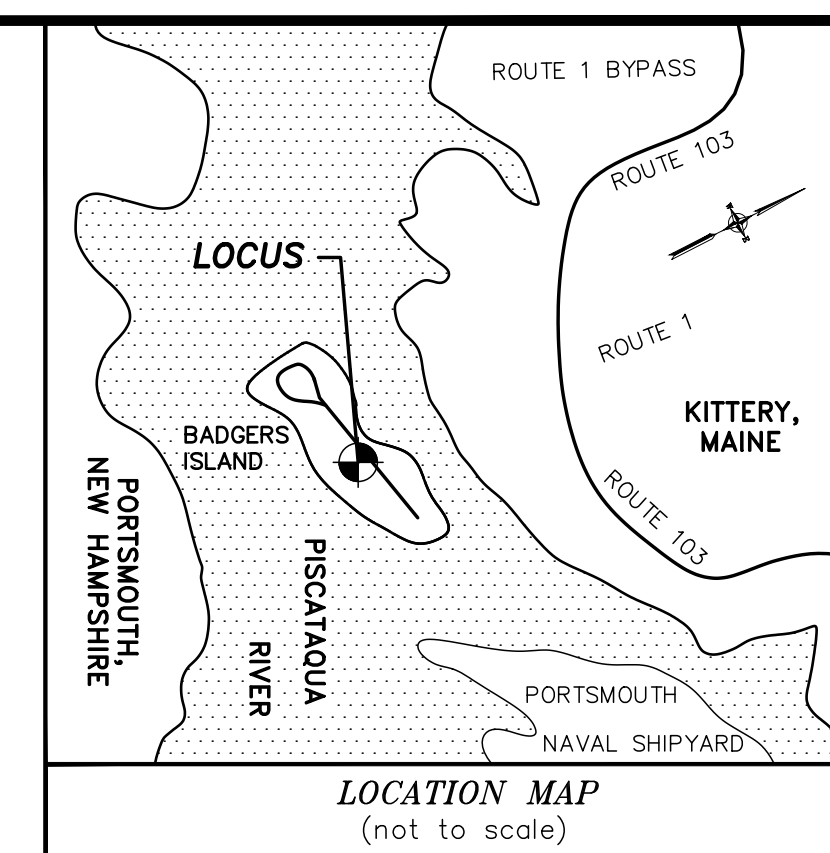
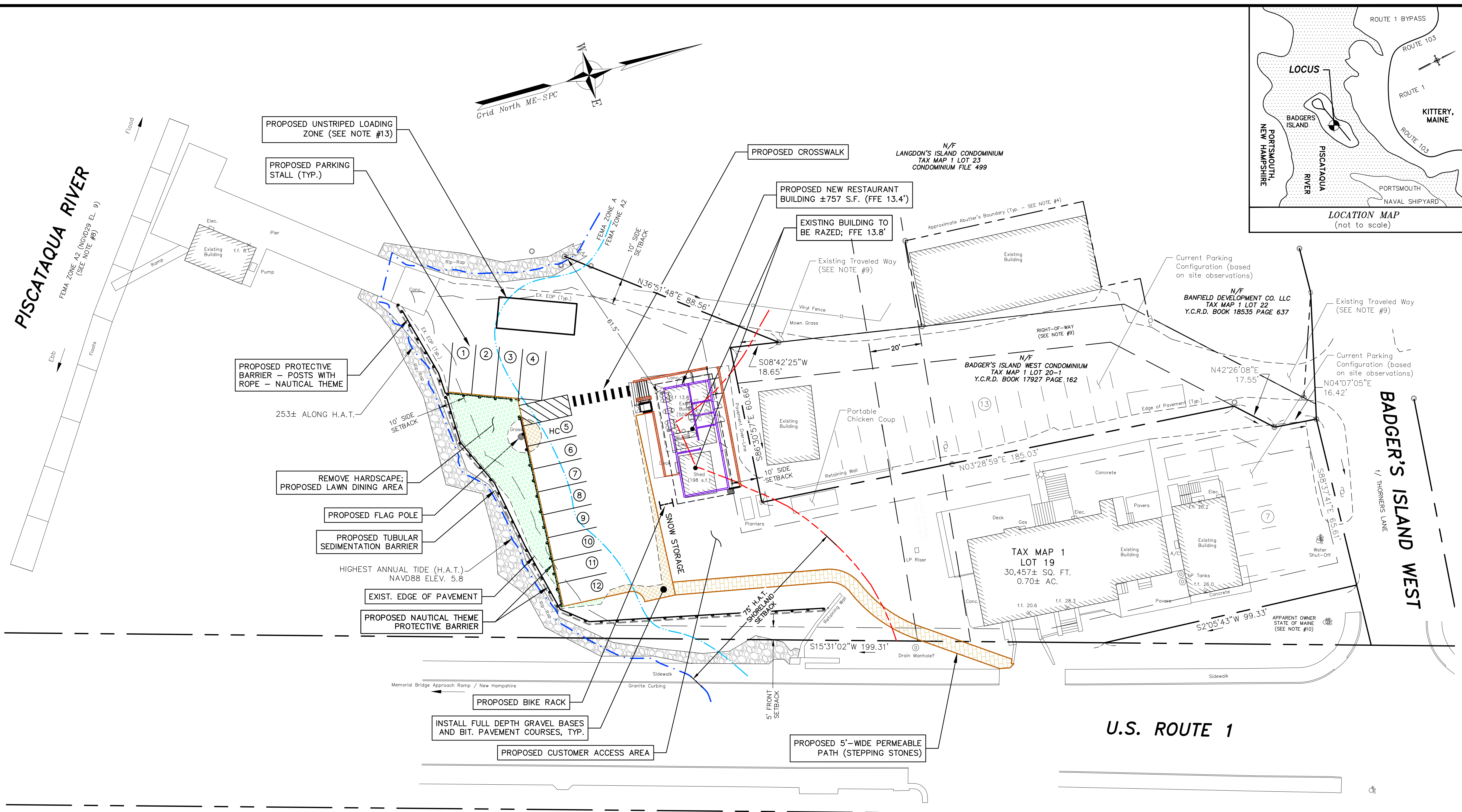


EXISTING CONDITIONS PLAN
FOR PROPERTY AT
1 & 3 Badger's Island West
Kittery, York County, Maine
OWNED BY
William J. Banfield
Elizabeth Casella
One Badgers Island West, LLC
c/o Altus Engineering
133 Court Street, Portsmouth, NH 03801

EASTERLY SURVEYING, Inc.
SURVEYORS IN N.H. & MAINE 191 STATE ROAD, SUITE #1
(207) 439-6333 KITTERY, MAINE 03904

SCALE:	PROJECT NO:	DATE:	SHEET:	DRAWN BY:	CHECKED BY:
1" = 20'	19808	6/21/2021	1 OF 1	A.M.P.	P.L.A.
DRAWING No: 19808-EXISTING-CONDITIONS			Tax Map 1 Lot 19		
FIELD BOOK No: "Kittery #40"					

REV.	DATE	STATUS	BY	CHKD	APPD.



NOT FOR CONSTRUCTION

ISSUED FOR: APPROVAL

ISSUE DATE: NOVEMBER 23, 2021

REVISIONS NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EDW	10/28/21
1	TOWN COMMENTS	EDW	11/23/21

DRAWN BY: RMB

APPROVED BY: EDW

DRAWING FILE: 5053SITE.dwg

SCALE: (24"x36") 1" = 20'

OWNER:
ELIZABETH CASELLA
WILLIAM J. BANFIELD
ONE BADGERS ISLAND WEST, LLC
5 BADGERS ISLAND WEST #3
KITTERY, MAINE 03904

APPLICANT:
LITTLE BRIDGE LOBSTER, LLC
5 BADGERS ISLAND WEST #3
KITTERY, MAINE 03904

PROJECT:
LITTLE BRIDGE LOBSTER RESTAURANT
TAX MAP 1, LOT 19
BADGERS ISLAND WEST
KITTERY, MAINE

TITLE:
SITE PLAN FOR SHORELAND DEVELOPMENT PERMIT

SHEET NUMBER:
C - 1

SITE NOTES:

- DESIGN INTENT - THIS PLAN SET IS INTENDED TO DEPICT THE SEASONAL RESTAURANT USE AND A SHORELAND DEVELOPMENT PLAN. THERE WILL BE NO EXPANSION OF PAVEMENT.
- APPROXIMATE LOT AREA: ±30,457 S.F.
- ZONE: MIXED USE - BADGERS ISLAND (MU-BI)
- DIMENSIONAL REQUIREMENTS
MIN. LOT AREA: 6,000 S.F.
MIN. STREET FRONTAGE: 50'
FRONT SETBACK: 5'
SIDE SETBACK: 10'
REAR SETBACK: 10'
MAX. BUILDING HEIGHT: 40'
MINIMUM OPEN SPACE: 40%
- BUILDING HEIGHT:
ORIGINAL GRADE DOWN HILL SLOPE SIDE OF STRUC. = 11.2'
BUILDING HEIGHT = F.F.E. + PEAK HEIGHT - GND. ELEV.
EXIST. BUILDING HEIGHT = 13.8' + 16.4' - 11.2' = 19.0'
EXIST. SHED HEIGHT = 13.5' + 10.4' - 13.0 = 10.9'
PROP. BUILDING HEIGHT = 13.4' + 15.8' - 11.2' = 18.0'
- STRUCTURE DISTANCE FROM H.A.T. (WATER BODY):
EXISTING ±61.5 FT.
PROPOSED ±61.5 FT.

- DE-VEGETATION RATE WITHIN WHOLE LOT:
ALLOWED 60% MAX.
EXISTING ±19,169 S.F. (62.9%)
PROPOSED ±19,642 S.F. (64.5%)
- BUILDING COVERAGE WITHIN WHOLE LOT:
EXISTING ±3,719 S.F. (12.2%)
PROPOSED ±3,926 S.F. (12.9%)
- DE-VEGETATION RATE WITHIN H.A.T. 75' SETBACK:
EXISTING ±9,353 S.F. (58.5%)
PROPOSED ±9,136 S.F. (57.2%)
- BUILDING COVERAGE WITHIN H.A.T. 75' SETBACK
EXISTING ±451 S.F. (2.8%)
PROPOSED ±549 S.F. (3.4%)
- PARKING REQUIREMENTS:
RESTAURANT: 1 SPACE/3 SEATS. SEATING IS CALCULATED BY DIVIDING THE TOTAL FLOOR AREA WITH THE CUSTOMER ACCESS BY 15.
INDOOR SEATING
CUSTOMER ACCESS 180 S.F./15 = 12 SEATS (REQ'D.)
16 SEATS (PROVIDED)
OUTDOOR SEATING
2 PICNIC TABLES (6 SEATS/TABLE) = 12 SEATS
5 LAWN CHAIRS = 5 SEATS
TOTAL 17 SEATS (PROVIDED)
TOTAL SEATING PROVIDED 33 SEATS
33 SEATS @ 1 SPACE PER 3 SEATS 11 SPACES REQUIRED
12 SPACES PROVIDED

- PARKING STALL SIZE: 9' X 19'
- RESTAURANT WILL OPERATE FROM 11:00 AM TO 9:00 PM, 7 DAYS A WEEK.
- AMPLIFIED MUSIC WILL OCCUR DURING BUSINESS HOURS.
- VALET PARKING MAY BE PROVIDED.
- A 12'x30' LOADING ZONE IS PROVIDED. ALL DELIVERIES TO OCCUR DURING NON-BUSINESS HOURS.
- TRASH/RECYCLABLES TO BE STORED IN TOTES AND REMOVED FROM THE SITE DAILY OR AS NEEDED.
- WAY FINDING DIRECTIONAL SIGNS WITHOUT BUSINESS LOGOS ARE ALLOWED, 2 S.F. (MAX.) PER SIGN.
- ALL NON-HARDSCAPE SURFACES SHALL RECEIVE 6" OF LOAM AND SEED.
- ALL PROPOSED/EXISTING VEGETATION WILL BE MAINTAINED IN PERPETUITY.
- SNOW STORAGE AREAS ARE DEPICTED ON THE PLANS. IF ADEQUATE STORAGE IS NOT AVAILABLE, SNOW WILL BE REMOVED FROM THE SITE & LEGALLY DISPOSED.

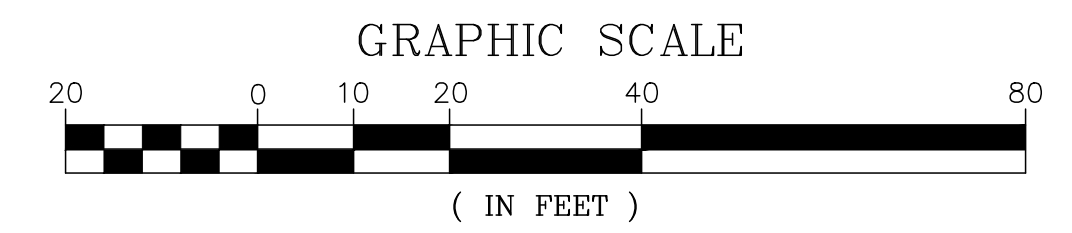
PLAN REFERENCE:

- 'EXISTING CONDITIONS PLAN FOR PROPERTY AT 1 & 3 BADGER'S ISLAND WEST, KITTERY, MAINE' BY NORTHEAST SURVEYING, INC., DATED JUNE 21, 2021

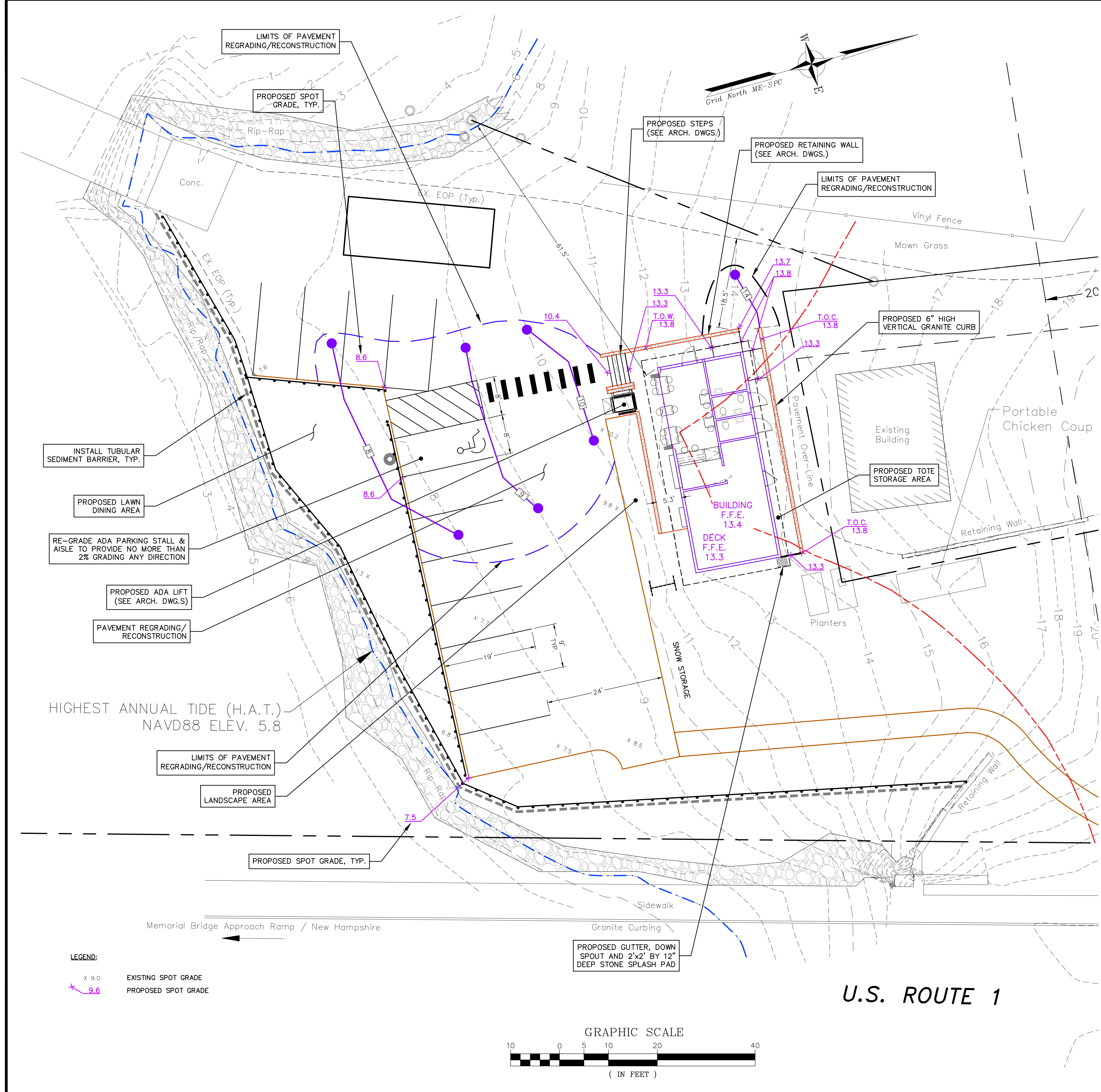
TOWN OF KITTERY, PLANNING BOARD

CHAIR	DATE
OWNER	DATE
APPLICANT	DATE

YORK ss REGISTRY OF DEEDS
RECEIVED 20
AT H M M. AND
RECORDED IN BOOK PAGE
ATTEST:
REGISTER



P5053



CONSTRUCTION NOTES:

- DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE AND LOCAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. THE LANDOWNER AND CONTRACTOR ARE RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACKS REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AND NOTIFY TOWN OF KITTERY AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- WORK HOURS DURING CONSTRUCTION WILL BE AS APPROVED BY THE TOWN OF KITTERY.
- SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS PUBLISHED IN THE FEDERAL REGISTER, VOL. 56, NO. 144, DATED JULY 26, 1991.
- COORDINATE ALL WORK WITHIN TEN (10') FEET OF PROPOSED BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL DRAWINGS.
- CONTRACTOR TO ESTABLISH AND MAINTAIN TEMPORARY BENCHMARKS (TBMS) AND PERFORM CONSTRUCTION SURVEY LAYOUT.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE ENGINEER, SURVEYOR, OR OWNER. CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL EXISTING DRAIN AND SEWER LINES, VERIFY LOCATION OF EXISTING GAS LINES, ELECTRICAL LINES, COMMUNICATION LINES, AND WATER MAIN PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD AND PLAN SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER. PRESERVE AND PROTECT ANY UTILITY LINES TO BE RETAINED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS, REPAIR DAMAGE TO EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES WHERE SHOWN.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING ON-SITE STRUCTURES, BITUMINOUS CONCRETE, DEBRIS, AND CONSTRUCTION WASTE PRODUCTS WHICH ARE NOT AUTHORIZED TO BE USED AS PART OF CONSTRUCTION. DISPOSE OF EXCESS MATERIALS OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATORY REQUIREMENTS.
- CONTRACTOR SHALL CONTROL DUST BY SPRAYING WATER, SWEEPING PAVED SURFACES AND VEGETATION AND/OR MULCHING STOCKPILES.
- FILL PLACED WITHIN 3 FEET OF THE OUTSIDE OF FOUNDATION WALLS SHALL CONSIST OF STRUCTURAL FILL.
- PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL.
- IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATION. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
- EXCAVATED MATERIALS SHALL BE PLACED AS FILL MATERIALS WITHIN UPLAND AREAS ONLY.
- PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION. VOIDS BETWEEN STONES AND CLUMPS OF MATERIAL SHALL BE FILLED WITH FINE MATERIALS.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE FOUR (4") INCHES OF LOAM, LIMESTONE, FERTILIZER, SEED, MULCH, AND APPROPRIATE SOIL STABILIZATION TECHNIQUES.
- SAWCUT AND REMOVE EXISTING PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR CURB LINE IN ALL AREAS WHERE NEW PAVEMENT OR CURBING ABUTS EXISTING PAVEMENT. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- UPON COMPLETION OF CONSTRUCTION, THE DRAINAGE INFRASTRUCTURE SHALL BE CLEANED OF ALL DEBRIS AND SEDIMENT.
- CONTRACTOR SHALL MAINTAIN AND PROVIDE RECORD DRAWINGS TO TOWN OF KITTERY.

GRADING NOTES:

- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ACCEPTED. ABRUPT RIDGES AT TOPS AND BOTTOM WILL NOT BE ACCEPTED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- MAXIMUM SLOPE IN DISTURBED AREAS SHALL BE NO STEEPER THAN 3:1 (h:v), UNLESS OTHERWISE NOTED. WHERE SLOPES IN DISTURBED AREAS ARE STEEPER THAN 3:1, CONTRACTOR SHALL PROVIDE CURLEX II EROSION CONTROL BLANKET FROM AMERICAN EXCELSIOR COMPANY (800) 777-7645 OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ADJUST UTILITY ELEMENTS MEANT TO BE FLUSH WITH GRADE (CLEANOUTS, UTILITY MANHOLES, HANDHOLDS, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- CROSS SLOPES AT ALL WALKS SHALL BE PITCHED TO DRAIN 1-1/2% MINIMUM 2% MAXIMUM.
- PITCH ALL WALKS AND PATIOS AWAY FROM BUILDINGS AT 1-1/2% MINIMUM 2% MAXIMUM WITHIN 5 FEET OF THE BUILDING.
- CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS.
- THE GRADING ON THIS PLAN SHOWS THE GENERAL INTENT AND DIRECTION OF THE STORMWATER FLOW (TOWARDS DRAINAGE STRUCTURES). CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY FIELD CONDITIONS THAT WILL IMPACT THE GRADING DESIGN SHOWN ON THIS PLAN FOR RESOLUTION.

UTILITY NOTES:

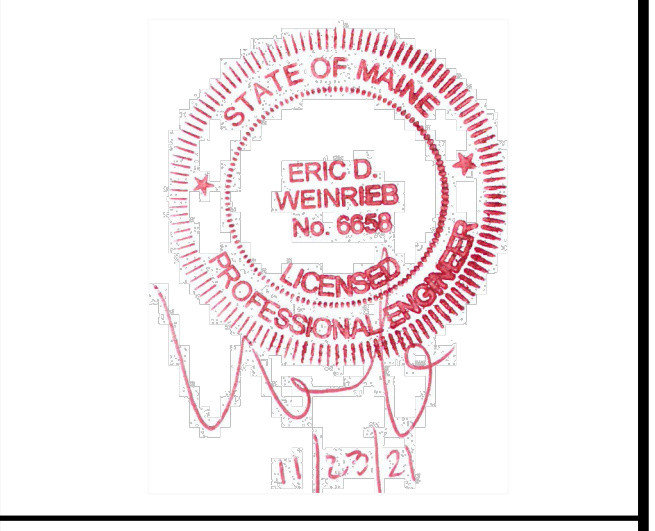
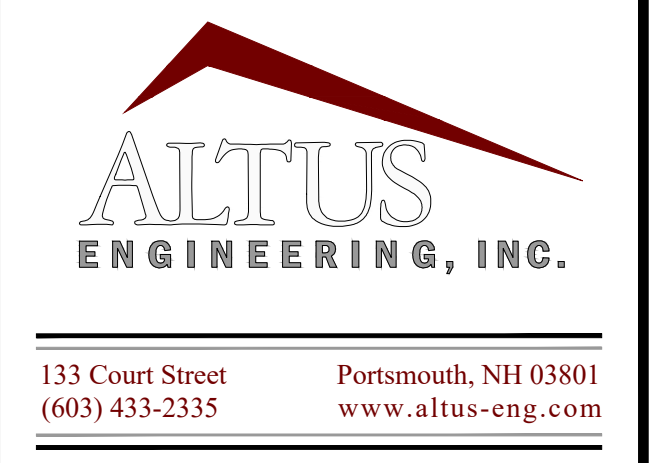
- COORDINATE UTILITY WORK WITH RESPECTIVE UTILITY COMPANIES, ARCHITECTURAL DRAWINGS AND THE OWNER.
- ALL ELECTRIC, CABLE, AND TELECOMMUNICATION SERVICES AND CONDUITS SHALL BE LOCATED UNDERGROUND WHERE SHOWN. UNDERGROUND UTILITIES INSTALLATIONS SHALL MEET THE MINIMUM REQUIREMENTS OF TOWN OF KITTERY AND RESPECTIVE UTILITY COMPANIES. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING IN CABLES.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION & ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD AND PLAN SHALL BE IMMEDIATELY REPORTED TO ENGINEER.
- ALL SEWER RELATED WORK SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE KITTERY SEWER DEPARTMENT.
- VERIFY LOCATION OF NEW UTILITY BOXES WITH OWNER AND UTILITY COMPANIES.
- ALL UTILITY STRUCTURES SHALL BE SET FLUSH WITH PROPOSED GRADE.
- THE CONTRACTOR SHALL NOT DISRUPT THE EXISTING SEWER FLOWS.
- CONTRACTOR SHALL MAINTAIN WATER SERVICE AT ALL TIMES TO BUILDING.

TOWN OF KITTERY, PLANNING BOARD

CHAIR	DATE
OWNER	DATE
APPLICANT	DATE

YORK ss REGISTRY OF DEEDS
 RECEIVED _____ 20____
 AT _____ H _____ M _____, AND
 RECORDED IN BOOK _____ PAGE _____
 ATTEST:

 REGISTER



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ISSUED FOR: APPROVAL
 ISSUE DATE: NOVEMBER 23, 2021

REVISIONS NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EDW	10/28/21
1	TOWN COMMENTS	EDW	11/23/21

DRAWN BY: RMB
 APPROVED BY: EDW
 DRAWING FILE: 5053SITE.dwg

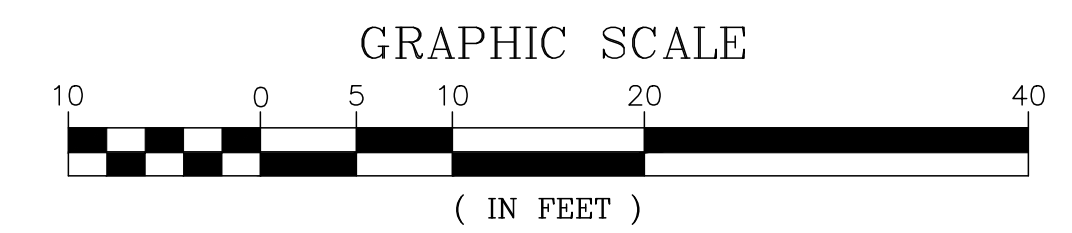
SCALE:
 (24"x36") 1" = 10'

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 WILLIAM J. BANFIELD
 ONE BADGERS ISLAND WEST, LLC
 5 BADGERS ISLAND WEST #3
 KITTERY, MAINE 03904

APPLICANT:
 LITTLE BRIDGE LOBSTER, LLC
 5 BADGERS ISLAND WEST #3
 KITTERY, MAINE 03904

PROJECT:
 LITTLE BRIDGE LOBSTER RESTAURANT
 TAX MAP 1, LOT 19
 BADGERS ISLAND WEST
 KITTERY, MAINE

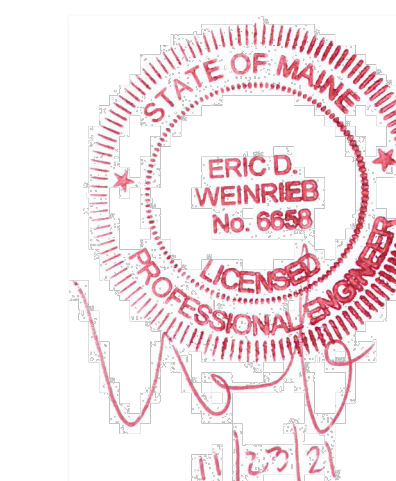
TITLE:
 SITE PLAN ENLARGEMENT
 SHEET NUMBER:
 C - 2



LEGEND:
 x 9.0 EXISTING SPOT GRADE
 x 9.6 PROPOSED SPOT GRADE

U.S. ROUTE 1

P5053



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APPROVED BY: EDW

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SCALE: NOT TO SCALE

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5 BADGERS ISLAND WEST #3
KITTERY, MAINE 03904

PROJECT:
LITTLE BRIDGE
LOBSTER
RESTAURANT
TAX MAP 1, LOT 19
BADGERS ISLAND WEST
KITTERY, MAINE

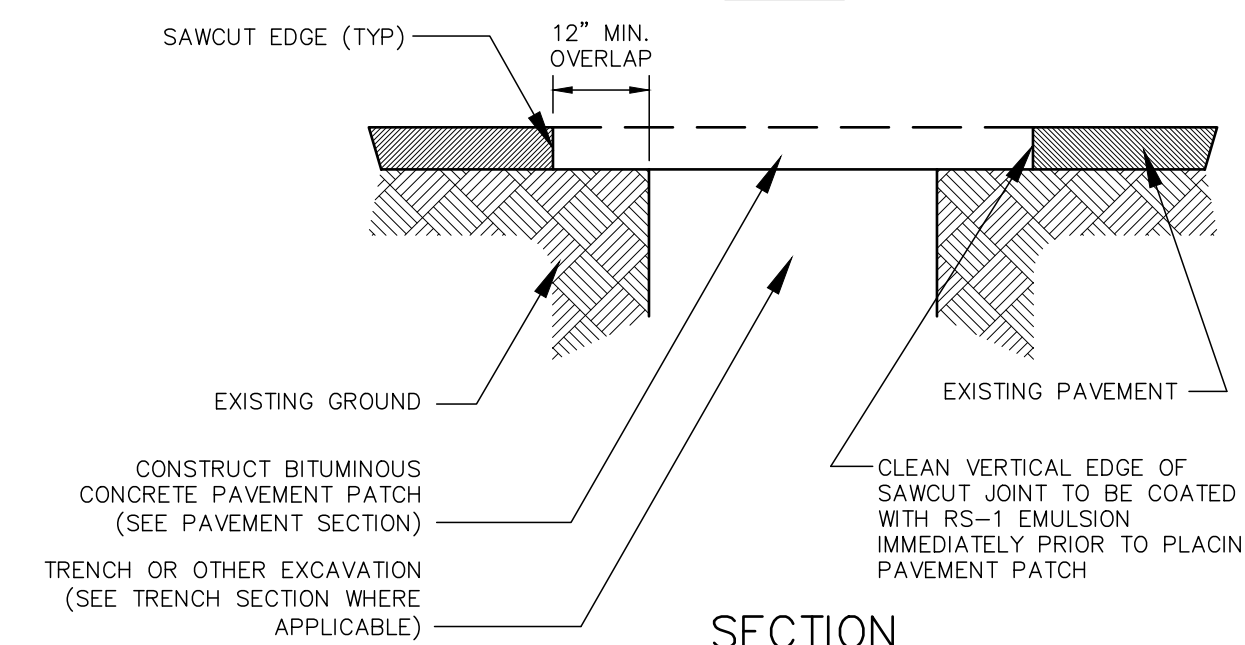
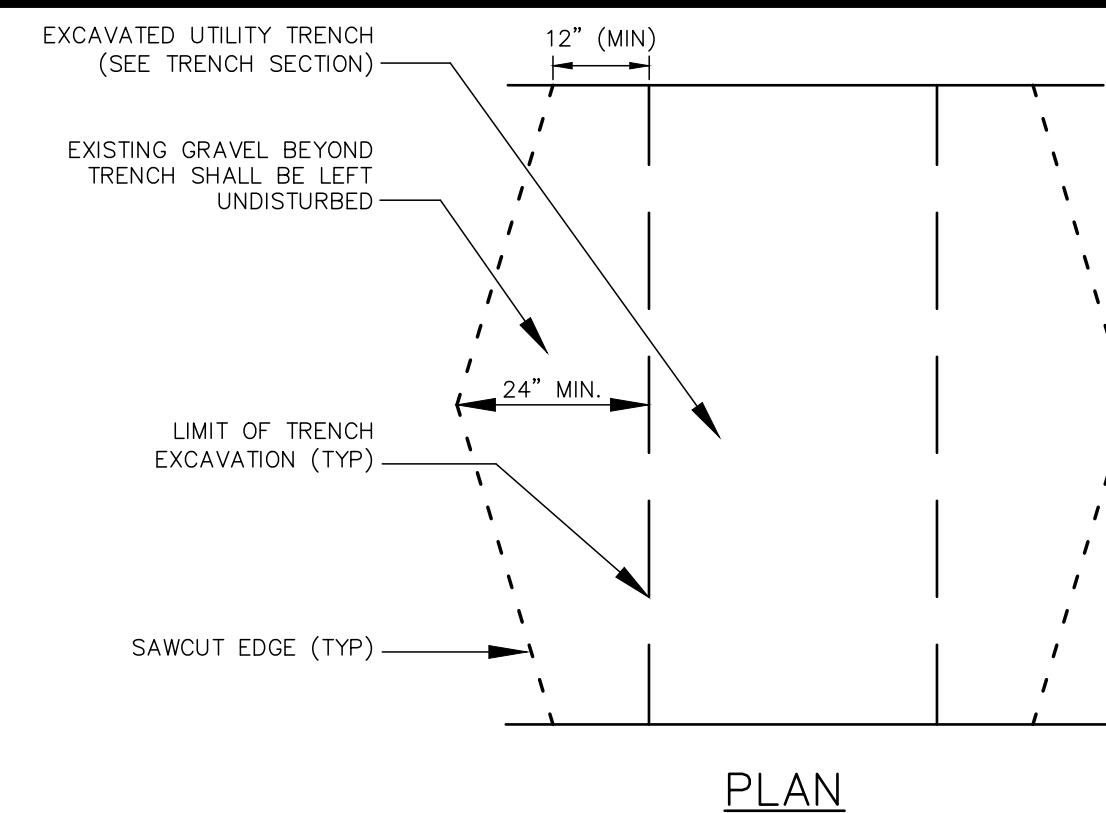
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DETAIL SHEET

SHEET NUMBER:

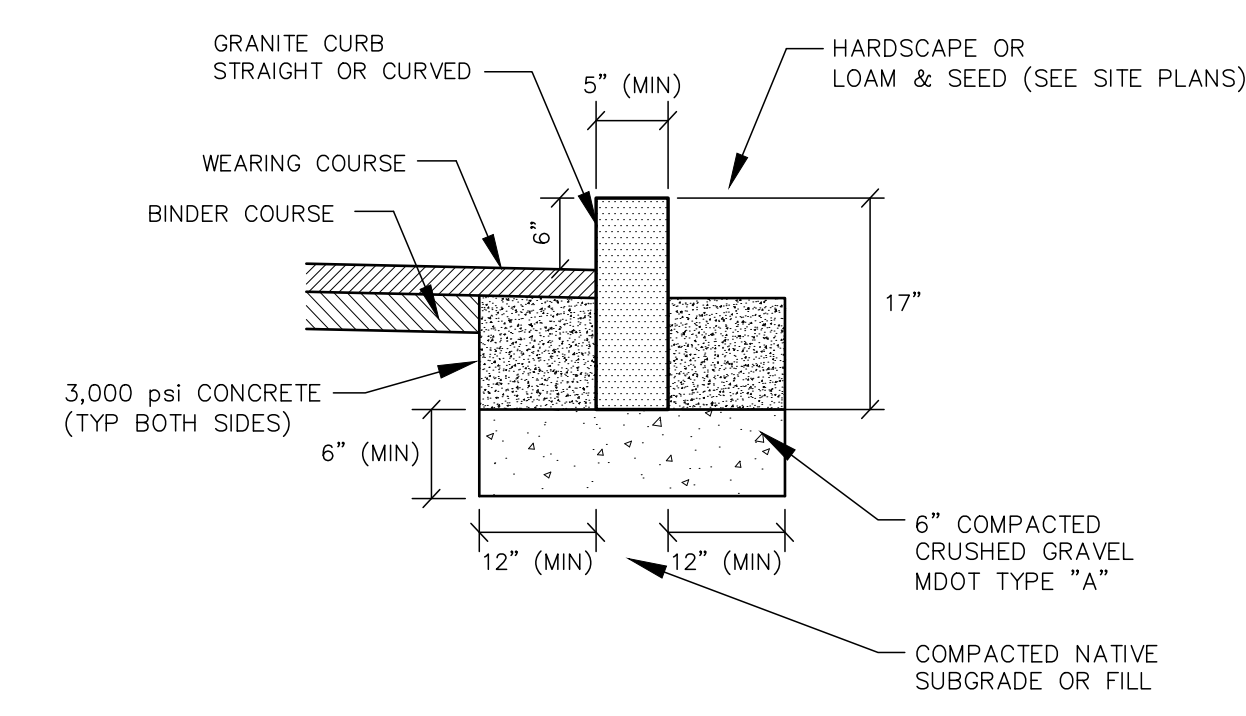
C - 4

P5053



- NOTES:**
1. MACHINE CUT EXISTING PAVEMENT.
 2. ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT OF PERMANENT TRENCH REPAIRS.
 3. DIAMOND PATCHES, SHALL BE REQUIRED FOR ALL TRENCHES CROSSING ROADWAY. DIAMOND PATCHES SHALL MEET NHDOT REQUIREMENTS.

TYPICAL TRENCH PATCH NOT TO SCALE

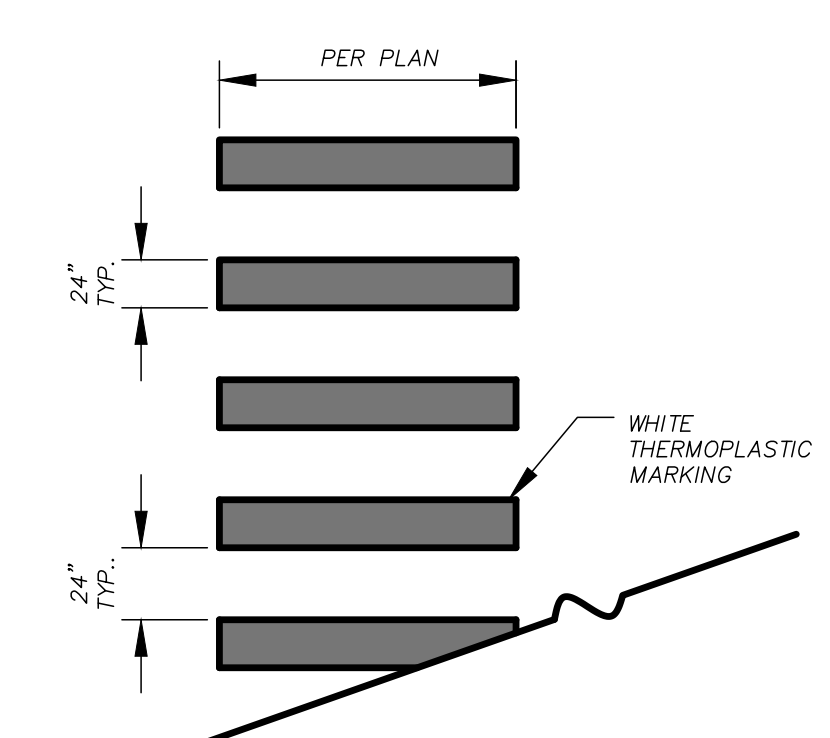


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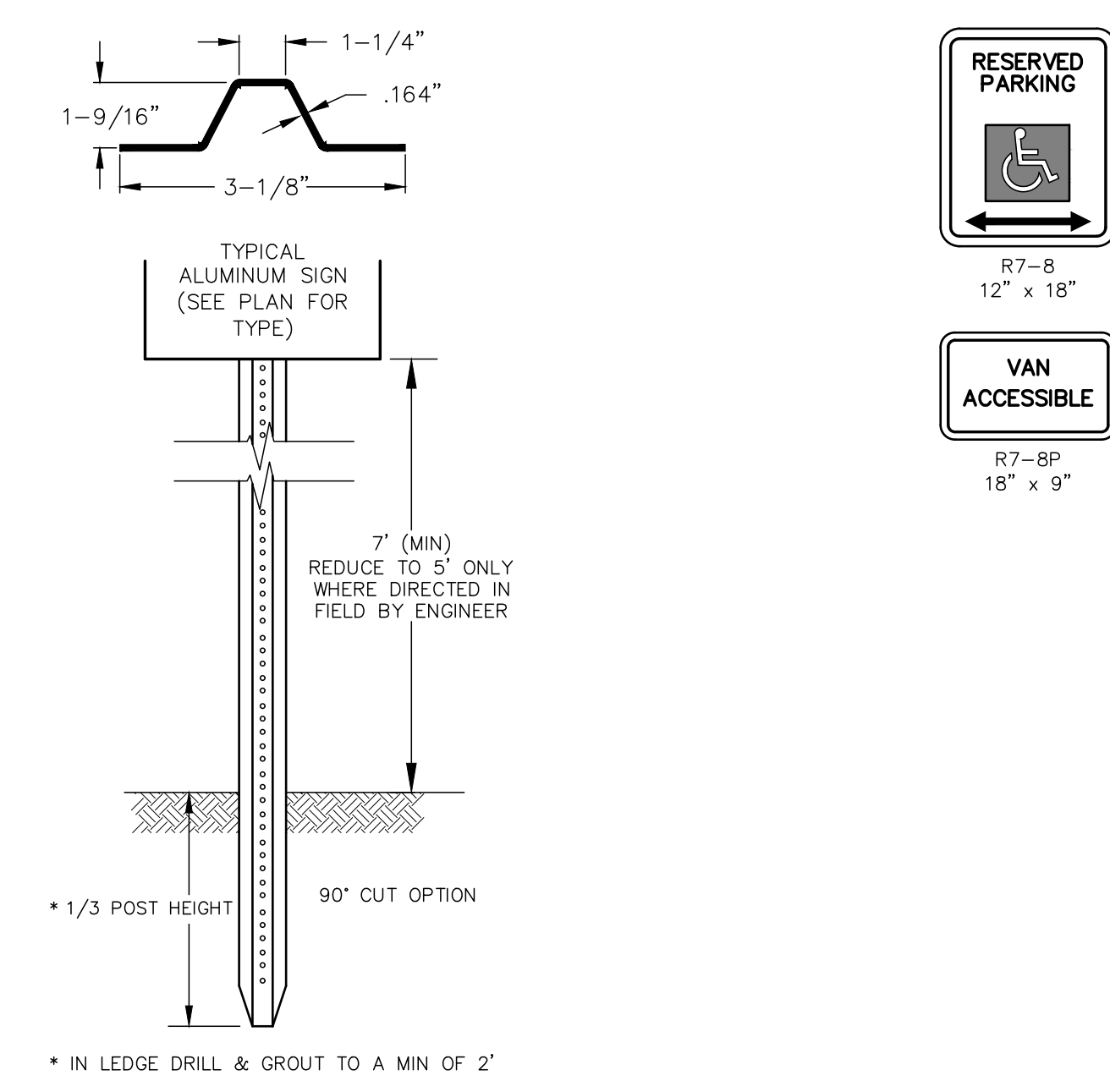
1. SEE PLANS FOR CURB LOCATION.
2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
3. MINIMUM LENGTH OF CURB STONES = 3'
4. MAXIMUM LENGTH OF CURB STONES = 10'
5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.
6. CURB ENDS TO ROUNDED AND BATTERED FACES TO BE CUT WHEN CALLED FOR ON THE PLANS.

RADIUS	MAX. LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'

VERTICAL GRANITE CURB NOT TO SCALE

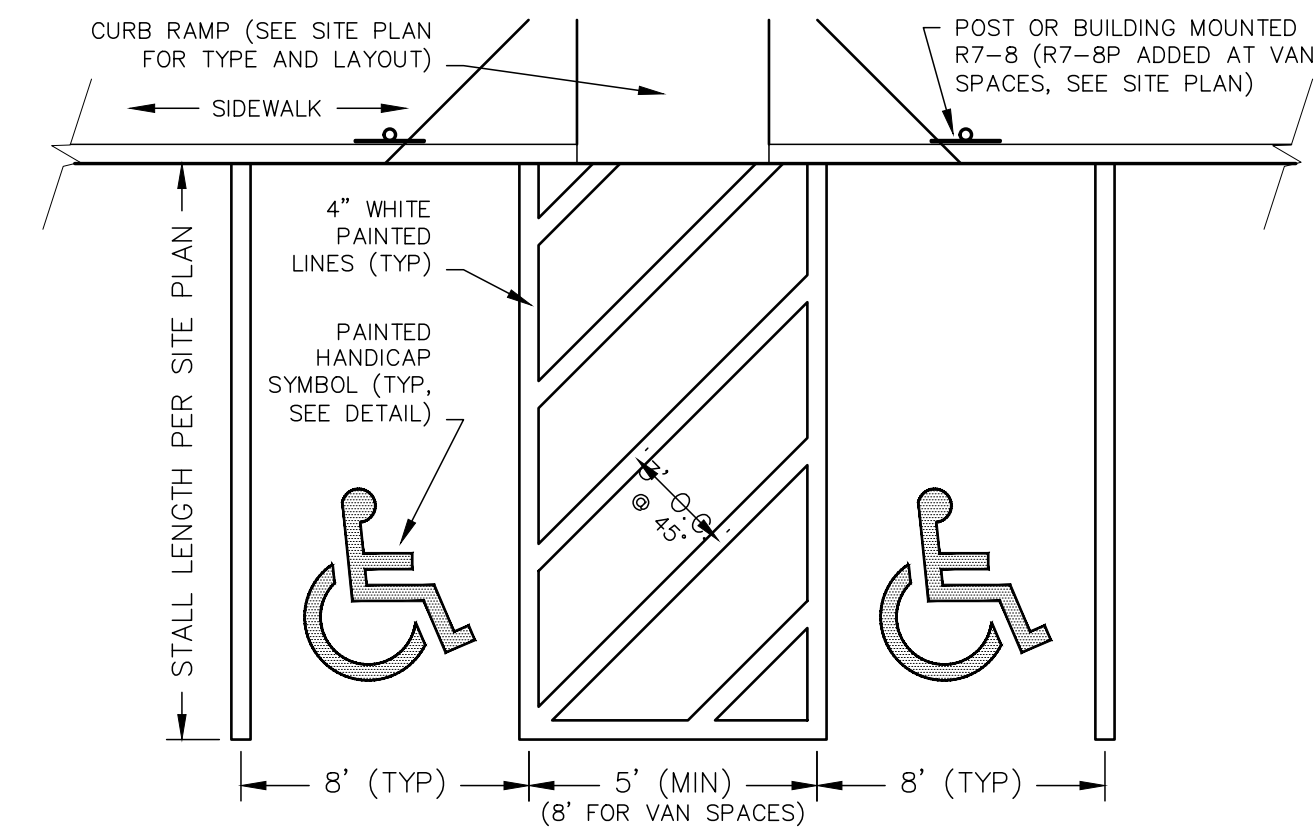


CROSSWALK STRIPING DETAIL NOT TO SCALE

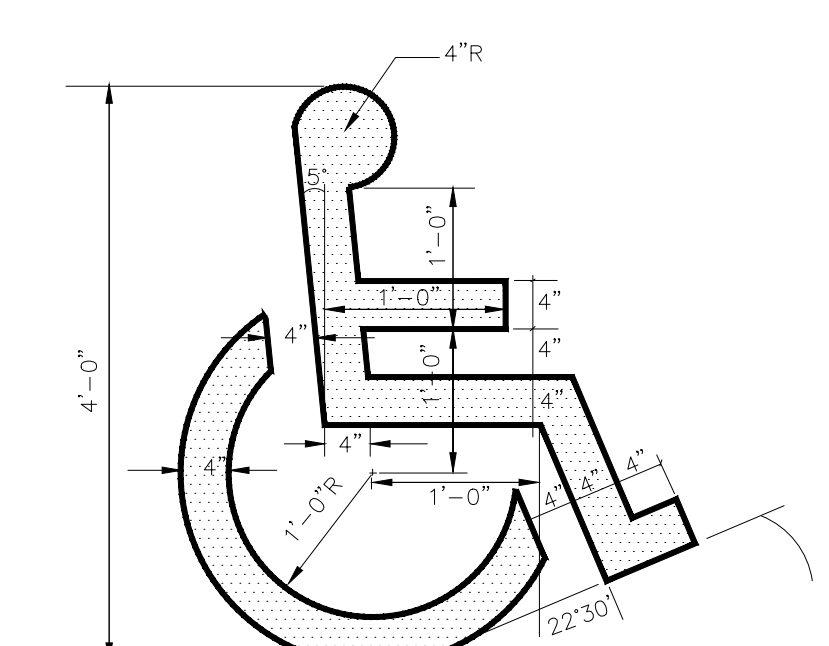


- NOTES:**
1. ALL SIGNS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

SIGN DETAILS NOT TO SCALE

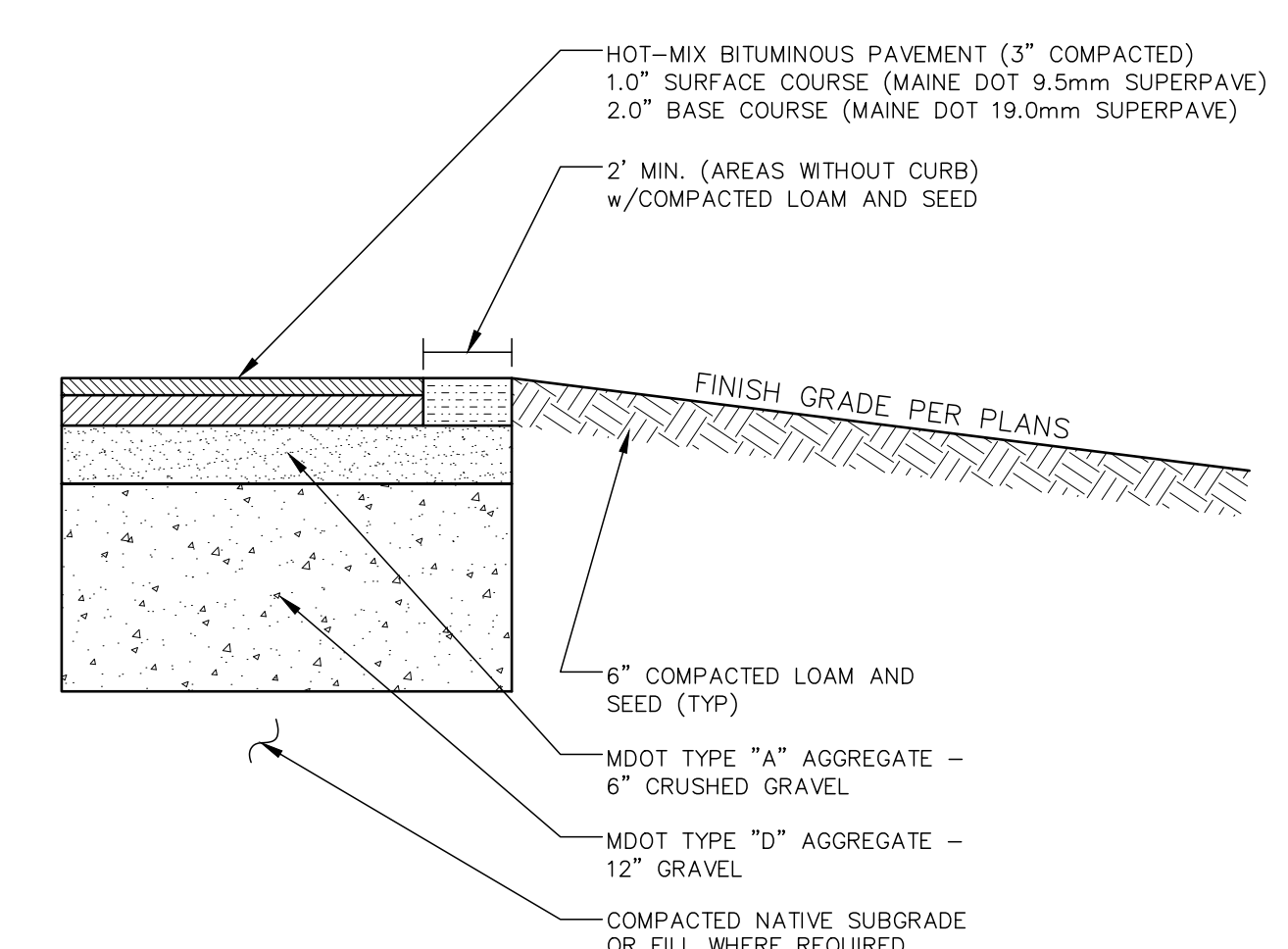


HANDICAP PARKING STALL LAYOUT NOT TO SCALE



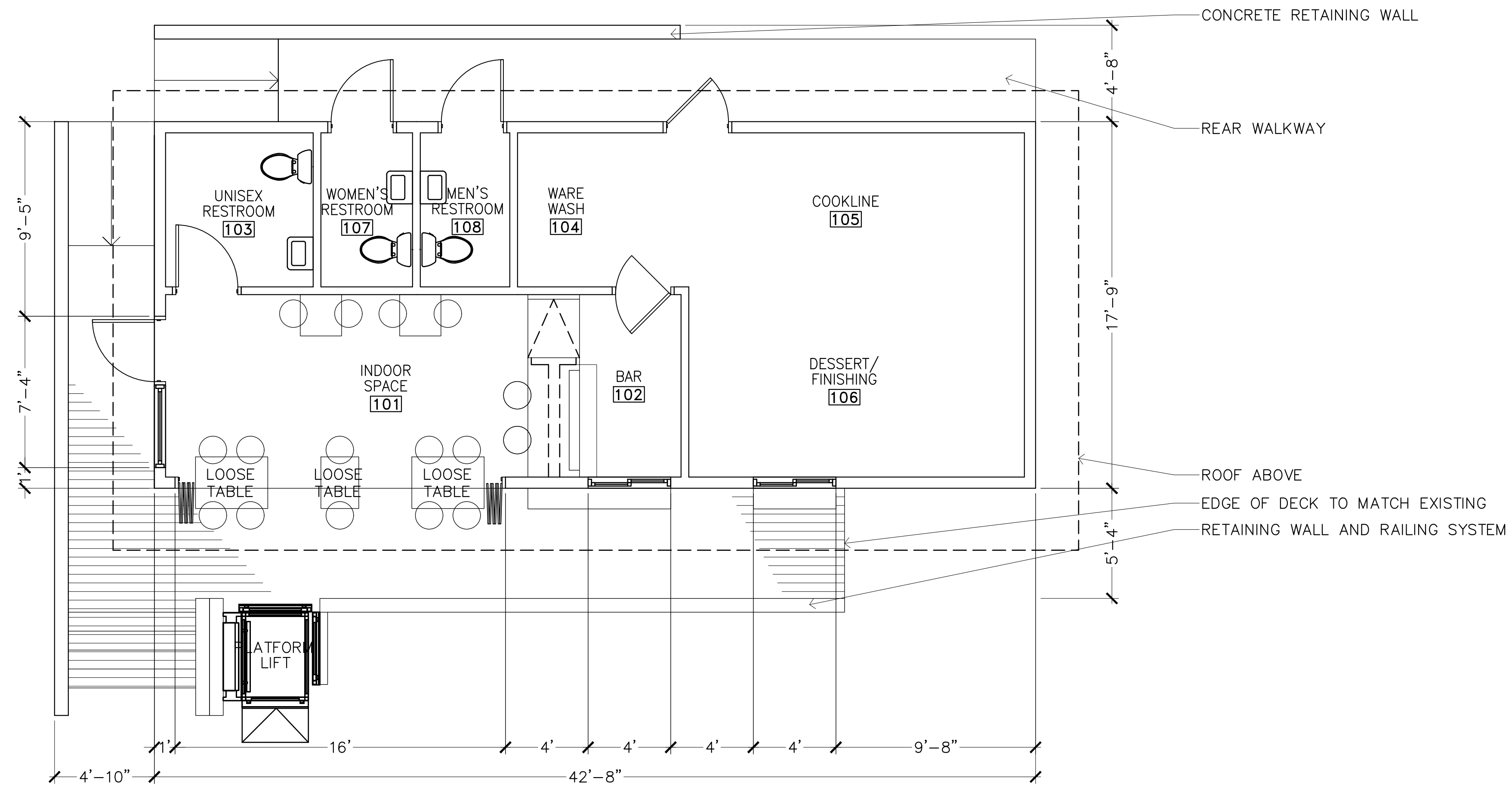
- NOTES:**
1. SYMBOL TO BE PAINTED IN ALL HANDICAPPED ACCESSIBLE SPACES IN WHITE PAINT (BLUE-PAINTED SQUARE BACKGROUND OPTIONAL).

PAINTED HANDICAP SYMBOL NOT TO SCALE

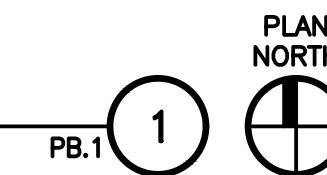


- NOTES:**
1. PROJECT GEOTECHNICAL REPORT MAY REQUIRE A DIFFERENT PAVEMENT CROSS SECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND FOLLOWING ALL RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE EVENT THAT THE REPORT AND CIVIL PLANS DIFFER, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
 2. ALL EXISTING FILL, BURIED ORGANIC MATTER, CLAY, LOAM, MUCK, AND/OR OTHER QUESTIONABLE MATERIAL SHALL BE REMOVED FROM BELOW ALL PAVEMENT, SHOULDERS AND UNDERGROUND PIPING/UTILITIES TO DEPTHS RECOMMENDED IN GEOTECHNICAL REPORT.
 3. SUBGRADE SHALL BE PROOFROLLED A MINIMUM OF 6 PASSES WITH A 10-TON VIBRATORY COMPACTOR OPERATING AT PEAK RATED FREQUENCY OR BY MEANS APPROVED BY THE ENGINEER.
 4. FILL BELOW PAVEMENT GRADES SHALL BE GRANULAR BORROW COMPACTED PER MDOT REQUIREMENTS.
 5. SITEWORK CONTRACTOR SHALL COORDINATE GEOTECHNICAL ENGINEERING INSPECTIONS WITH THE CONSTRUCTION MANAGER PRIOR TO PLACING GRAVELS.
 6. TACK COAT SHALL BE APPLIED BETWEEN SUCCESSIVE LIFTS OF ASPHALT.
 7. THE BITUMINOUS PAVEMENT SHALL BE COMPACTED TO 92 TO 97 PERCENT OF ITS THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D-2041. THE BASE AND SUBBASE MATERIALS SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THEIR MAXIMUM DRY DENSITIES AS DETERMINED BY ASTM D-1557.

SITE PAVEMENT CROSS SECTION NOT TO SCALE



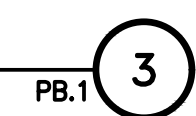
PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED RENDER
SCALE: N/A



EXISTING STRUCTURES
SCALE: N/A



SYN	DESCRIPTION	DATE	APPR

WINTER HOLBEN
architecture + design

7 WALLINGFORD SQUARE
UNIT 2099
KITTERY, ME 03904
207.994.3104

DES ZS | DRW ZS | CHK BMH

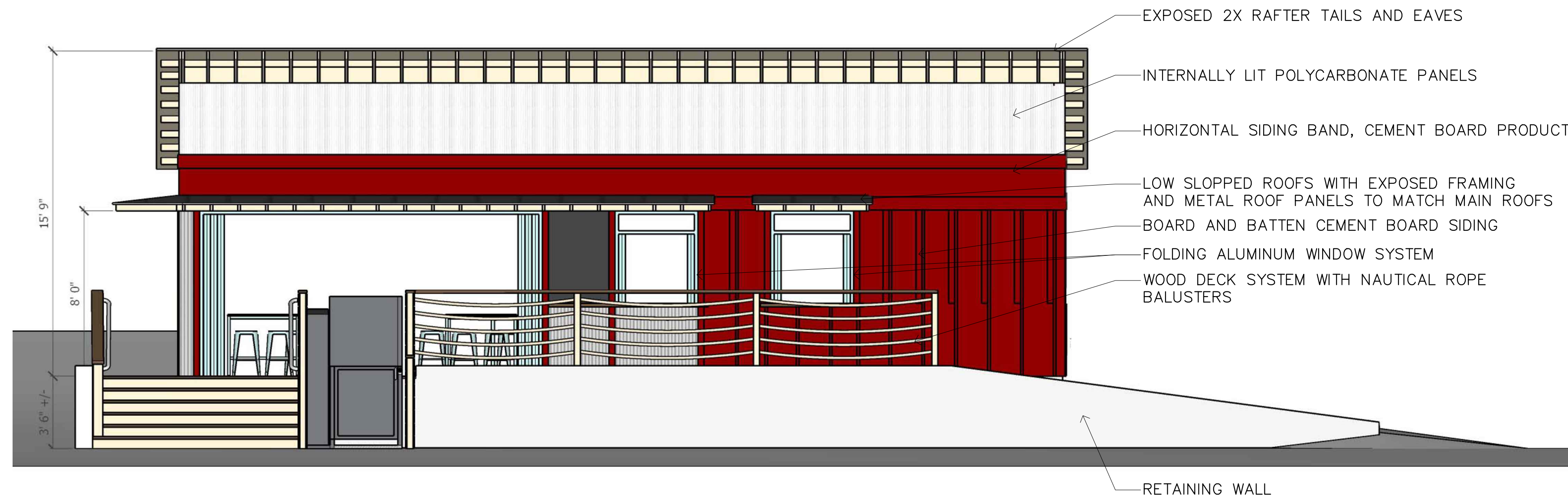
28OCT2021

One Badgers Island
1 Badgers Island West
Kittery, Maine 03904
PLANNING BOARD PRESENTATION DRAWINGS

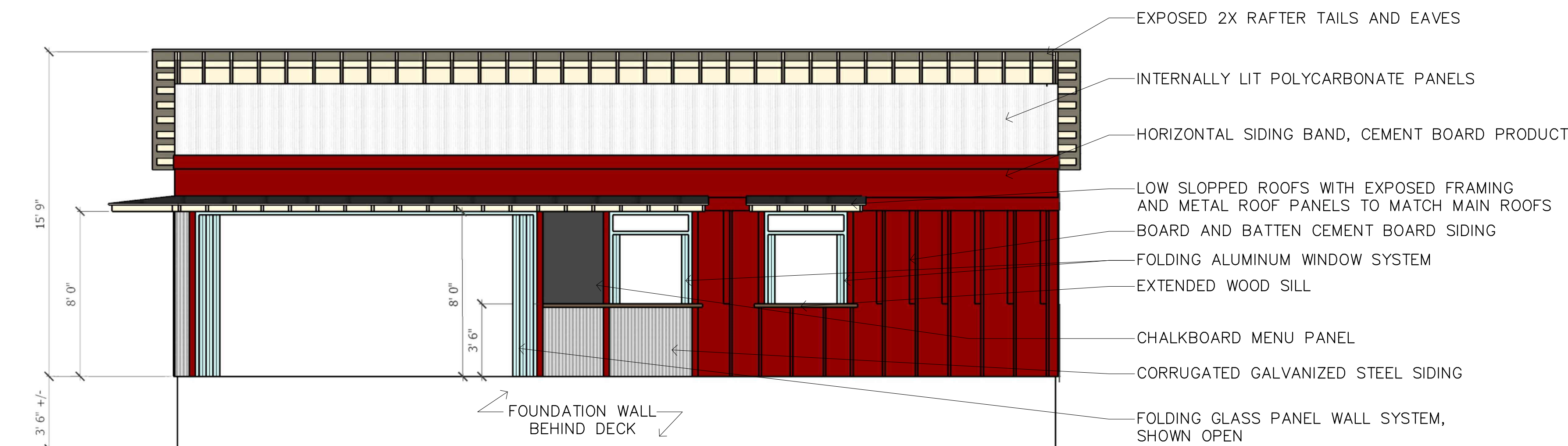
PROJECT NO.: 21081

SHEET 1 OF ---

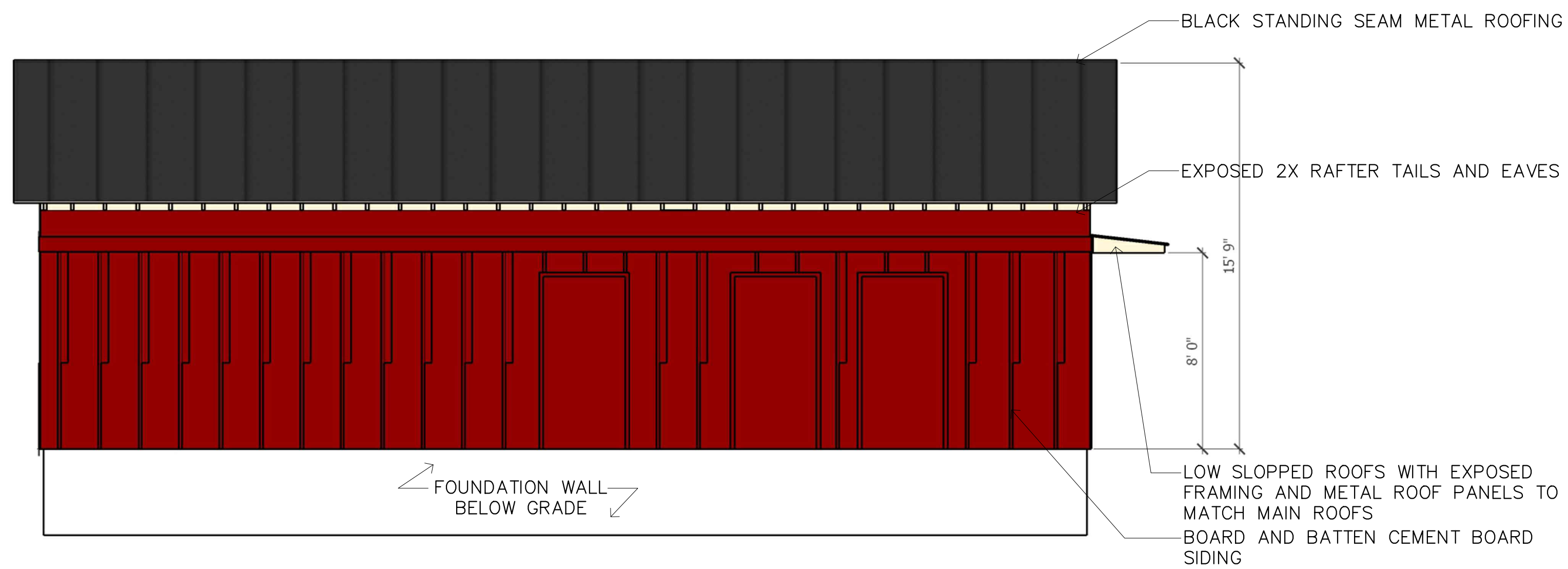
PB.1



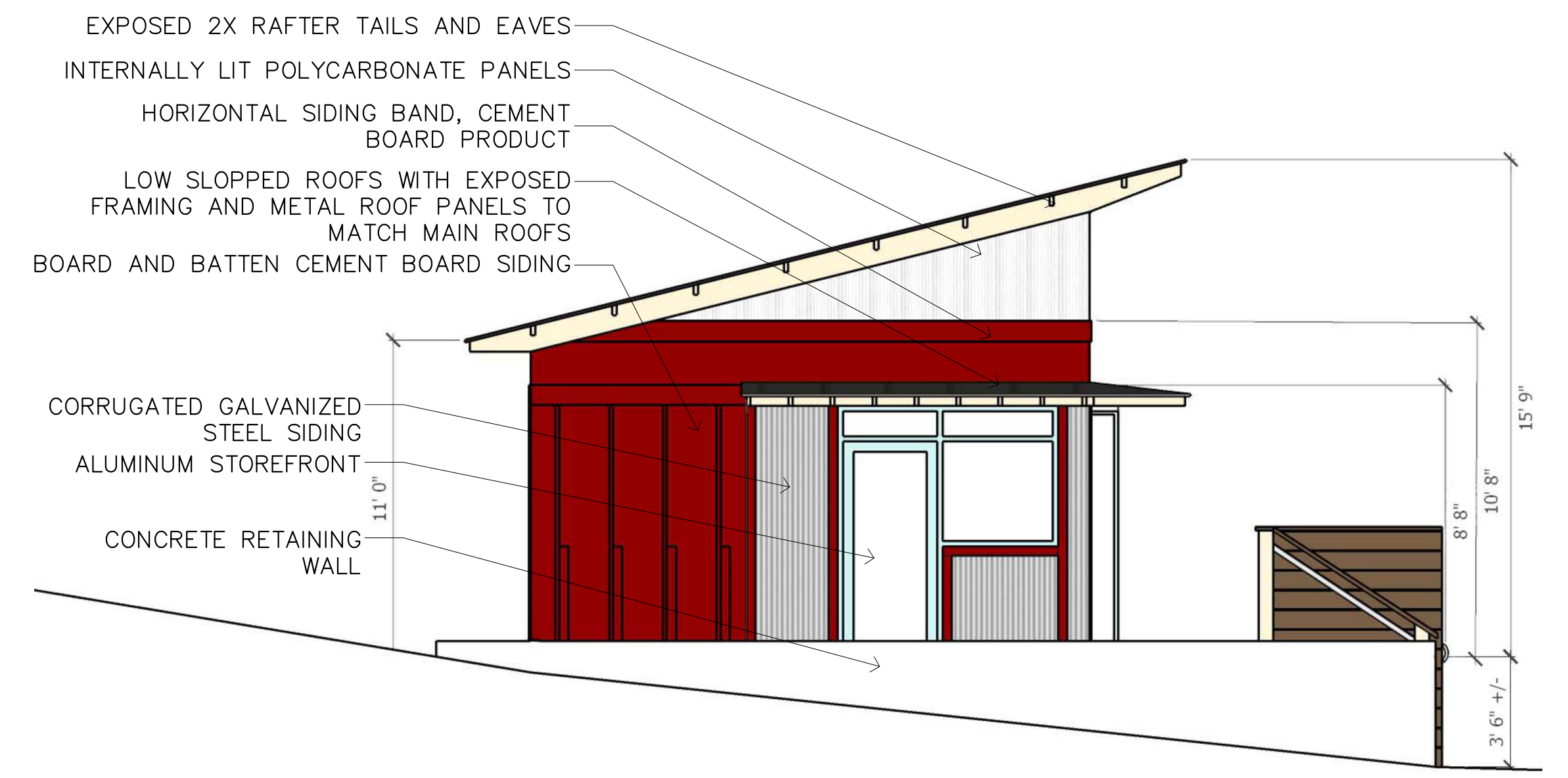
FRONT ELEVATION SHOWING DECK
SCALE: 1/4"=1'-0" PB.2 1



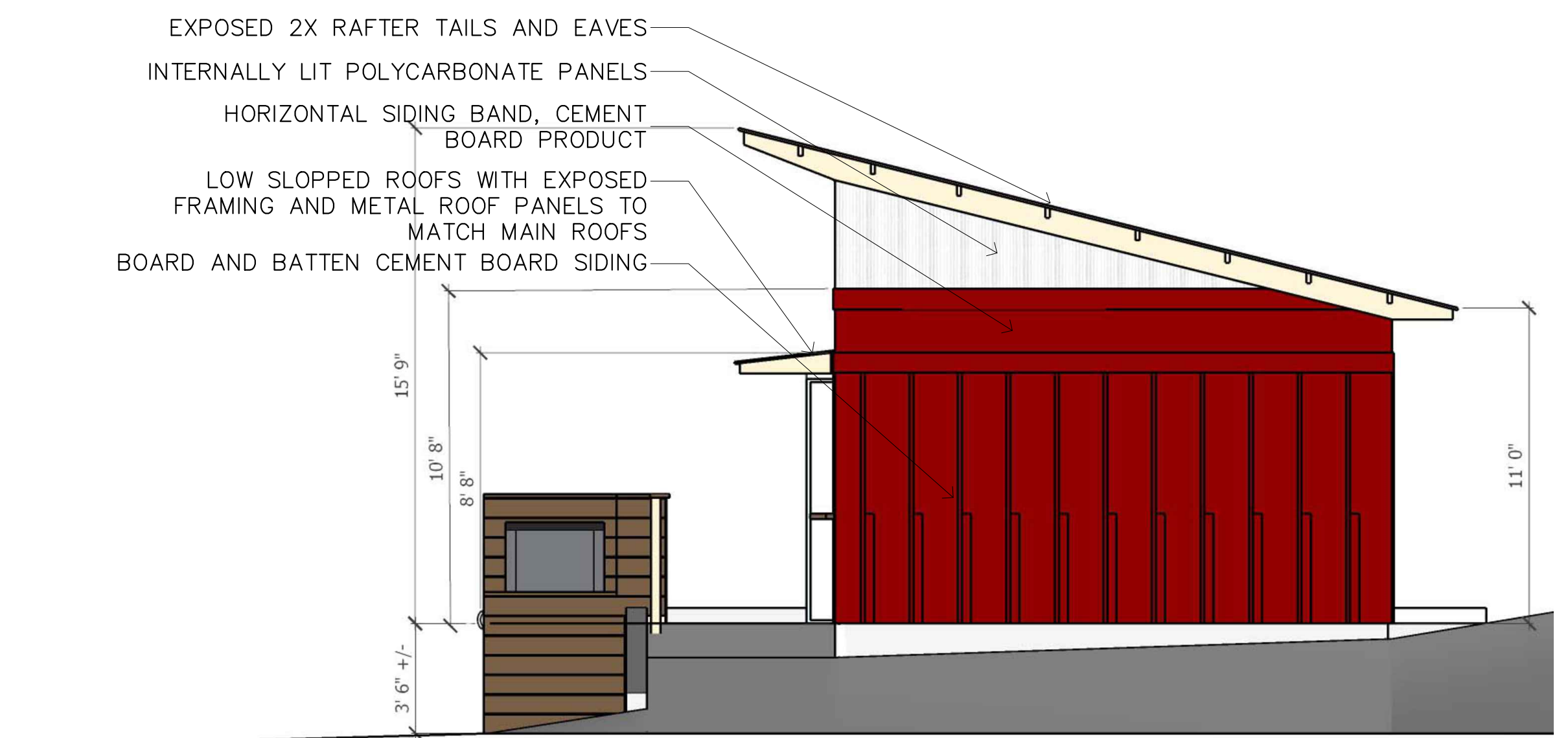
FRONT ELEVATION
SCALE: 1/4"=1'-0" PB.2 2



BACK ELEVATION
SCALE: 1/4"=1'-0" PB.2 3



WEST ELEVATION
SCALE: 1/4"=1'-0" PB.2 4



EAST ELEVATION
SCALE: 1/4"=1'-0" PB.2 5

APPR	DATE
SYM	DESCRIPTION
WINTER HOLBEN architecture + design	
7 WALLINGSFORD SQUARE UNIT 2099 KITTERY, ME 03904 207.994.3104	
DES ZS	DRW ZS CHK BMH
28OCT2021	
One Badgers Island 1 Badgers Island West Kittery, Maine 03904	
PLANNING BOARD PRESENTATION DRAWINGS	
PROJECT NO.:	21081
SHEET 1	OF ---
PB.2	