

Shoreland Development Plan Application

SDP-20-3

Status: Active

Submitted: Jul 31, 2020

Applicant



Nicholas Mercier

6036748239

nick@macyind.com

Location

134 WHIPPLE ROAD

KITTERY, ME 03904

Project Information

Size of Waterbody

> 1 Acre

Will this project create one acre or more of disturbed area? If yes, you will be required to file a MDEP Notice of Intent to Comply with the Maine Construction Permit. Excavation will require a Maine Dep certified contractor in erosion control measures.

No

Full description of the project

Our existing single family house's foundation is less that ten feet from the top of a 2:1 slope along the river side. That slope extends down to the river edge where a seawall has been in place for many years. Erosion over the years of the slope has become a concern an created cracks in the foundation of the house an visible soil erosion to the surrounds areas. We recognize that the soil stabilization will be critical to ensure long-term preservation of our home.

Our home is located within the Shoreland Overlay Zone. We recognize that the Overlay Zone provides for the protection of your property, it also mandates that the impacts on the Piscataqua River be minimized when selecting options to protect the land and the house.

We love the community here in Kittery an we want to be good stewards of our property. In doing so we have consulted with the town and professionals to best understand how to achieve our wishes of preserving our property. We have included a letter detailing the impact of our project to the surrounding area.

Our plan to replace the small existing wall and stairway section leading to the existing pier section, shown on the Existing Condition drawing, with a new long lasting environmentally friendly material and soils will achieve our preservation of the property. We have also included a re-vegetation plan to improve the new upper retaining wall area and the lower existing section below. This includes planting 82 new native plants.

We have given great thought to this proposal, spoken with multiple organizations, engineers, private companies to ensure that we are presenting the best solution for our site that is the least intrusive to the environment an most importantly provide soil and foundation stabilization.

Lot Size (SF)

13381

Base Zone

--

Overlay Zone(s)

OZ-SL-250 Shoreland Overlay Zone\\tWater Body/Wetland Protection Area 250'

true

OZ-SL-75 Shoreland Overlay Zone Stream Protection Area 75'

true

OZ-CFMU Commercial Fisheries/Maritime Uses Overlay Zone

--

OZ-RP Resource Protection Overlay Zone

--

Project within buffer of overlay zone?

WITHIN 100FT or 75FT (0-100FT from Highest Annual Tide)

see sect. A, B, C, D, F Planning Board Review

A. Devegetated Area - Parcel Devegetation

% Allowed (Enter 20% , 50%, 60% or 70% per narrative above)	Existing (sf) Devegated Area within 250' Shoreland Overlay Zone
20	--
Proposed (sf) Devegated Area within 250' Shoreland Overlay Zone	% Existing Devegated Area within 250' Shoreland Overlay Zone
--	--
	% Proposed Devegated Area within 250' Shoreland Overlay Zone
	24.2

B. Building Footprint - Principle and Accessory Structures

Structure distance from Highest Annual Tide or upland edge of wetland (FT)	Building Coverage Existing (sf)
8	1358
	(%) Building Coverage Allowed
	--
Building Coverage Proposed (sf)	(%) Building Coverage Existing
1358	10.1
(%) Building Coverage Proposed	(%) Increase of Coverage
10.1	--
Type of Construction	Value (\$) of Construction
--	--

C. Building Height

Bldg. Height Existing (FT)	Bldg. Height Proposed (FT)
23	23

D. Certifications

I certify I have provided, to the best of my knowledge, information requested for this application that is true and correct and I will not deviate from the Plan submitted without notifying the Code Enforcement Departments of any changes.

true

I understand an approved Shoreland Development Plan must be recorded in the York County Registry of Deeds and I am responsible for incurred costs.

true

I understand calculations for area, volume, and de-vegetated areas must be included on the final plan and certified by a State of Maine registered architect, landscape architect, engineer, or land surveyor

--

Applicant is

Owner

Attachments (3)

- pdf Shoreland Development Plan**
Jul 31, 2020
- pdf Associated Documents**
Jul 31, 2020
- pdf SFC Shoreland Impact Letter.pdf**
Jul 31, 2020
-

Timeline

Application Completeness Review

Status: In Progress

Assignee: Bart McDonough

Nicholas Mercier July 31st 2020, 1:27:50 pm

Please let me know if there are any additional documents that you would like to see or if I can answer any questions. Thanks Nick

Bart McDonough August 10th 2020, 5:44:54 pm

Hi Nick,

After reviewing the plans you submitted online, I have the following comments:

Site Plan

All the elements of the shoreland development plan need to be on a single plan sheet. Currently, there are two plan sets: one from Easterly Surveying illustrating the existing conditions, and the other from SFC Engineering showing the location of the retaining wall and design specs thereof. The revised shoreland development plan will need to include the following:

- Location of proposed retaining wall;
- Location and type of proposed re-vegetation;
- The 25ft. setback line from the H.A.T (highest annual tide)
- Planning Board signature block;
- Registry of deeds recording block;
- Proposed devegetation coverage calculations; and
- Revised language for the Plan Purpose section to reflect the shoreland development plan's intent.

The reason why all the information needs to be on one plan sheet is for recording purposes at the York County Registry of Deeds. I am going to send you a separate email you a marked-up plan sheet that reflects the elements above.

Application

It appears that the online application was missing elements that are on the paper copy. This was an internal mishap on our end-- sorry about that. I revised the application, which is in the 'Details' section of this online application.

Thanks,

Bart

Shoreland Application Payment

Status: Pending

Code Dept Approval - Final Plan

Status: Pending

Final Plan Uploaded to Vision Account

Status: Pending

Maine R.E. Transfer Tax Paid

DEED OF SALE BY PERSONAL REPRESENTATIVE
Maine Statutory Short Form

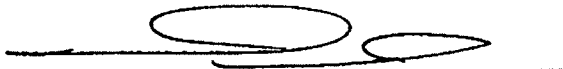
KNOW ALL MEN BY THESE PRESENTS

That **Duncan A. McEachern** of Kittery, York County, Maine, duly appointed and acting Personal Representative of the **Estate of Carrie B. Varney**, deceased (testate), as shown by the probate records of the County of York, Maine, Docket No. 2017-0113, and having been authorized under the Will to sell real estate without giving notice pursuant to 18-A M.R.S. §3-711, by the power conferred by the Probate Code, and every other power, for consideration paid, grants to **Nicholas E. Mercier** and **Amy L. Mercier**, whose mailing address is 35 Goffstown Road, Hooksett, NH 03106-2400, as joint tenants and not as tenants in common, the real property in Kittery, County of York, State of Maine, described as follows:

See Exhibit A attached hereto and incorporated herein.

Being the same premises conveyed to Carrie B. Varney by warranty deed of Lloyd L. Seaward dated February 26, 1987 and recorded in the York County Registry of Deeds in Book 4197, Page 182.

WITNESS my hand and seal this 29th day of September, 2017.



Witness




Duncan A. McEachern,
Personal Representative of the
Estate of Carrie B. Varney

State of Maine,
County of York, ss.

September 29, 2017

Then personally appeared the above named Duncan A. McEachern in his said capacity and acknowledged the foregoing instrument to be his free act and deed.

Before me,



Dan W. Thornhill
Notary Public
My commission expires: 7/25/19

EXHIBIT A

Estate of Carrie B. Varney to Nicholas E. Mercier and Amy L. Mercier

A certain lot or parcel of land with the buildings thereon situate in said Kittery and bounded and described as follows:

Beginning on the southerly side of Whipple Road at line of land of Inhabitants of the Town of Kittery, being the Town Landing; thence South $22^{\circ}12'$ West by said Town land, seventy-six and twenty-seven hundredths (76.77) feet, to a hub at high water mark of the Back Channel of the Piscataqua River; thence westerly by the line of high water mark as the face wall stands, one hundred thirty-four and eighty-two hundredths (134.82) feet, more or less, to a hub at land of Duncan A. McEachern; thence North $22^{\circ}12'$ East by land of said McEachern, one hundred twenty-seven and seventy-six hundredths (127.76) feet, to said Whipple Road; thence South $68^{\circ}24'$ East by said road, one hundred twenty (120) feet, to place of beginning.

Together with all the tide land lying between high and low water mark on the Back Channel of the Piscataqua River adjoining the southwesterly side of said lot.

\\probate\varney dos
16975-24080

134 Whipple Road
Kittery 10/6A



**26 Maclellan Ln
Eliot, ME 03903**

Phone: 207-439-2241 / Fax: 207-439-6661

PROPOSAL: 10482
SHEET NO: 1 of 4
DATE: 7/9/2020

PROPOSAL SUBMITTED TO:

Nick Mercier
Nick Mercier
134 Whipple Rd
Kittery, ME 03904

Phone:

Email: nick@macyind.com

WORK TO BE PERFORMED AT:

Mercier, Nick
134 Whipple Rd
Kittery, ME 03904

Scope of Work

Plantings at base of new seawall and top of new seawall

Remove all plant material at base of wall and plant;

(3) Juniper 'Emerald Sentinel' size 6-7'

(12) Bayberry size #5

(15) Yarrow 'Terra Cotta' size #3

(15) 'Little Miss' Grass size #2

Amend soil as needed and mulch with brown mulch at 2" thickness.

Add loam/compost mix to top area of wall, build bed and cut fresh edge along grass and plant;

(9) Hosta 'Big Daddy' size #1

(9) Hosta 'Fragrant Bouquet size #2

(12) Daylilly 'Rosy Returns' size #2

(7) Hakonechloa grass size #2

Mulch area with brown mulch at 2" thickness.

**All plantings will need to be watered daily after planting until established.*

Construction Softscape

Total \$8,750.00

PAYMENT SCHEDULE

SCHEDULE	TOTAL PRICE
1st Payment due on Signing	\$4,375.00
Due on Completion	\$4,375.00
	<hr/> \$8,750.00

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and attachments completed in a substantial workmanlike manner for the sum of: **\$8,750.00**. Payments to be made as follows: A 50% deposit upon signing, final payment upon completion. 2% interest charged upon any past due balance.

Payments are due in full 15 days from invoice date.

Customer agrees to pay all reasonable attorney and other professional fees necessary to collect any unpaid balances. Late payments will void any guarantees or warranties.

Plant Warranty: All new plants will be guaranteed for one year from the date of installation and will only be replaced once, providing they are well watered and taken care of. Warranty does not cover acts of god, including but not limited to: heavy winds, snow, vandalism, damage caused by animals or improper watering.

Existing trees, shrubs and or perennials, which we transplant, are moved entirely at the owners' risk and, due to circumstances beyond our control, are not guaranteed by Piscataqua Landscaping & Tree Service.

Piscataqua Landscaping & Tree Service only guarantees seed germination, in all forms, one time provided the seed is adequately watered. Piscataqua Landscaping & Tree Service is not responsible for wash-out, weedy growth, temperature or other acts of god.

Piscataqua Landscaping & Tree Service will make every effort to cancel orders as soon as we are notified, but we cannot control restocking fees imposed by our vendors. Customer is aware of the following restocking fees which may be assessed.

A 20% Restocking fee will be applied to any cancelled plants or orders, assuming the nursery will restock them. Should the nursery refuse the order, customer will be responsible for the cost of the order.

A 20% restocking fee will be applied to stock landscaping products.

There will be no refund on special or custom ordered products. All special orders will be invoiced in full prior to order being placed.

Piscataqua Landscaping & Tree Service will not be held responsible for damage from acts of God/Nature.

Natural Stone Materials: Customer understands that stone quarried from the earth may change in color and appearance after installation. This is a naturally occurring process that we cannot control and as such cannot guarantee or warranty the product.

Permits: It is the customer's responsibility to provide copies of any, and all permits and approvals required by the state and local municipalities. Any fines levied against the Piscataqua Landscaping & Tree Service for lack of permits is the responsibility of the client. Piscataqua Landscaping & Tree Service may be available to assist in permitting at rate of \$85.00 per hour for services requested. Rates are subject to change.

Extra work dealing with underground obstacles may entail extra costs.

Any alteration or deviation from above specification involving extra costs will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Owners to carry fire, tornado, or other necessary insurance upon above work. Worker's Compensation and Public Liability Insurance on above work to be taken out by Piscataqua Landscaping & Tree Service. Note: we may withdraw This Proposal if not accepted within thirty days.

ACCEPTANCE OF PROPOSAL


If the terms above are agreeable to you, please sign and date below, retain one copy for your records, and return the other copy with your deposit. Thank you!

The above prices, specifications and conditions are satisfactory and are hereby accepted. Piscataqua Landscaping & Tree Service is hereby authorized to do the work as specified.

Customer Name (printed)

Authorized Owner/Property Manager (signature)

Date



Authorized PLTS Representative (signature)

7/9/2020

Date



July 15, 2020

Nick Mercier
Macy Industries, Inc.
5 Lehoux Drive
Hooksett, NH 03106

RE: 134 Whipple Road Kittery ME

Mr. Nick Mercier,

SFC Engineering Partnership, Inc. (SFC) presents this letter to describe the impacts of the proposed segmental block retaining wall at 134 Whipple Road. The wall is proposed as a method to stabilize the soils on your property.

Soil stabilization is critical to ensure the long-term preservation of your home. Your existing building foundation is less than ten feet from the top of a 2:1 slope. That slope extends down to the river edge. Potential erosion of that slope is a concern.

The home is located within the Shoreland Overlay Zone. While the Overlay Zone provides for the protection of your property, it also mandates that the impacts on the Piscataqua River be minimized when selecting options to protect the land and the house.

The impacts of the wall are evaluated in light of the purposes of the Shoreland Overlay Zone. The purposes of the Overlay Zone, as outlined by the Mandatory Shoreland Zoning Act, includes provisions for (1) the prevention and control of water pollution; (2) the protection of wildlife habitat; (3) the conservation of shore cover, and visual as well as actual points of access to inland and coastal waters; and (4) the conservation of natural beauty, and (5) the protection of buildings and lands from accelerated erosion; .

Construction of a segmental block retaining wall offers a viable solution to protecting your property in compliance with the purpose of the Shoreland Overlay Zone. The following outlines the evidence to support this opinion:

1. The retaining wall is a widely accepted method to address steep slopes.
2. Erosion is arrested because storm water will no longer flow down steep slopes. The flat grades on the top side receive storm water and encourage infiltration. Construction of the retaining wall includes free-draining soils behind the wall to receive the water. Stormwater will find its way to the river, but it does not cascade over the edge of the wall; it will filter through the free draining soils.
3. Any lawn treatment or incidental pollutants are detained on the flat upper grade. Pollutants which currently run unchecked along the steep slope are detained, infiltrated and filtered prior to discharge to the river
4. The retaining wall becomes a natural barrier to wildlife and human traffic. The buffer distance between the base of the wall and the edge of river provides a wildlife corridor.
5. Access to the river can be safely incorporated into the retaining wall design and construction.

6. The river will be protected during the construction process by perimeter controls for erosion and siltation. Machinery required for the construction can work from the top side, to minimize disturbance of the shore cover
7. Wall construction includes earth materials: gravel and sand. No hydrocarbon based, nor other environmentally un-friendly materials are necessary.
8. Concrete in the block construction is inert and stable. Concrete will have no negative impacts.
9. Textured concrete block are aesthetically pleasing.
10. The retaining wall will provide a flat stable grade adjacent to the existing foundation to protect the building from further cracking.

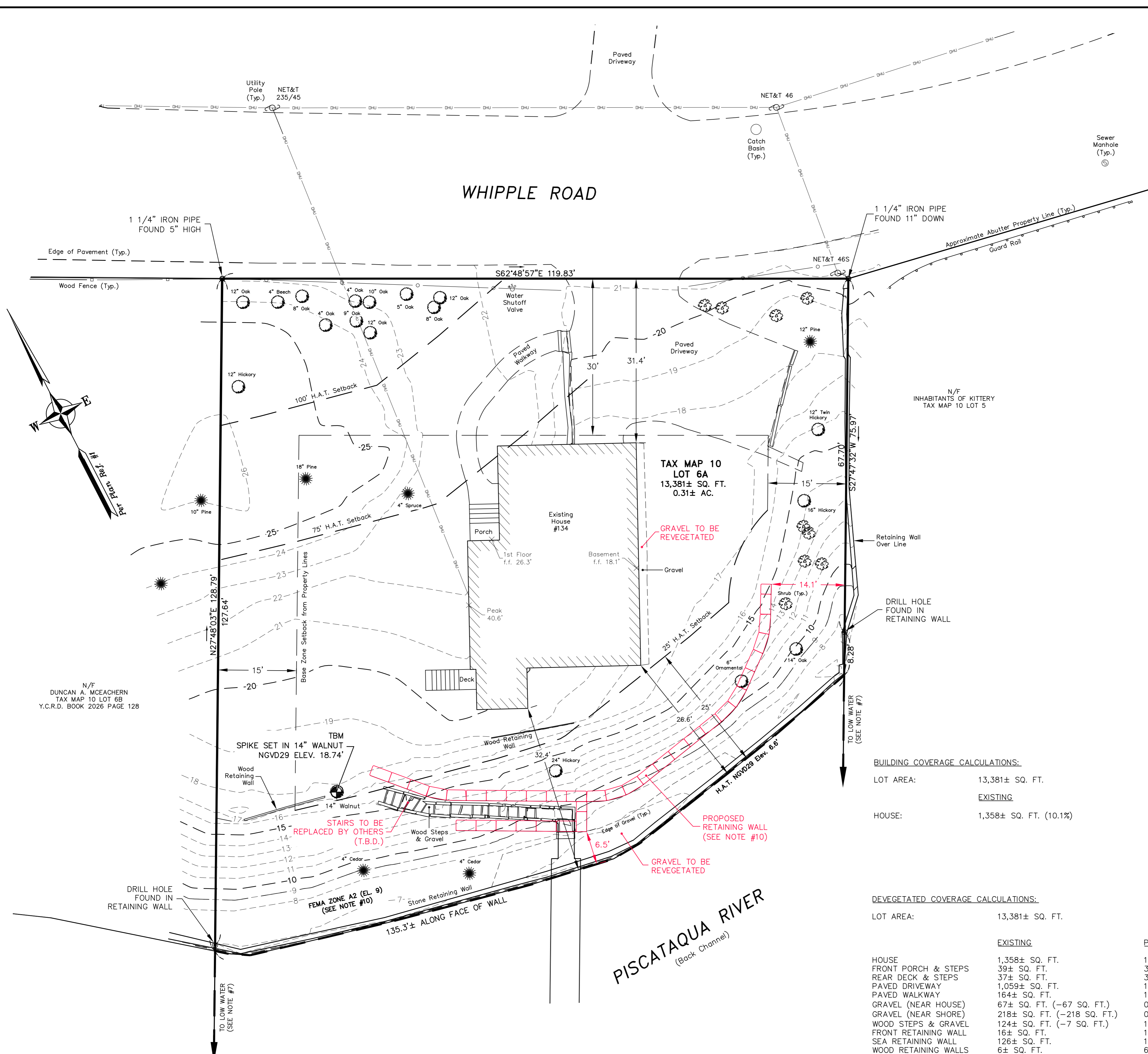
We affirm that a segmental block retaining wall provides a responsible solution to protect your home, while also maintaining the quality and beauty of the Piscataqua River, and the native wildlife community.

Please contact us with any questions or comments.

SFC ENGINEERING PARTNERSHIP, INC.



Jeffrey M. Benway, P.E.
Project Manager

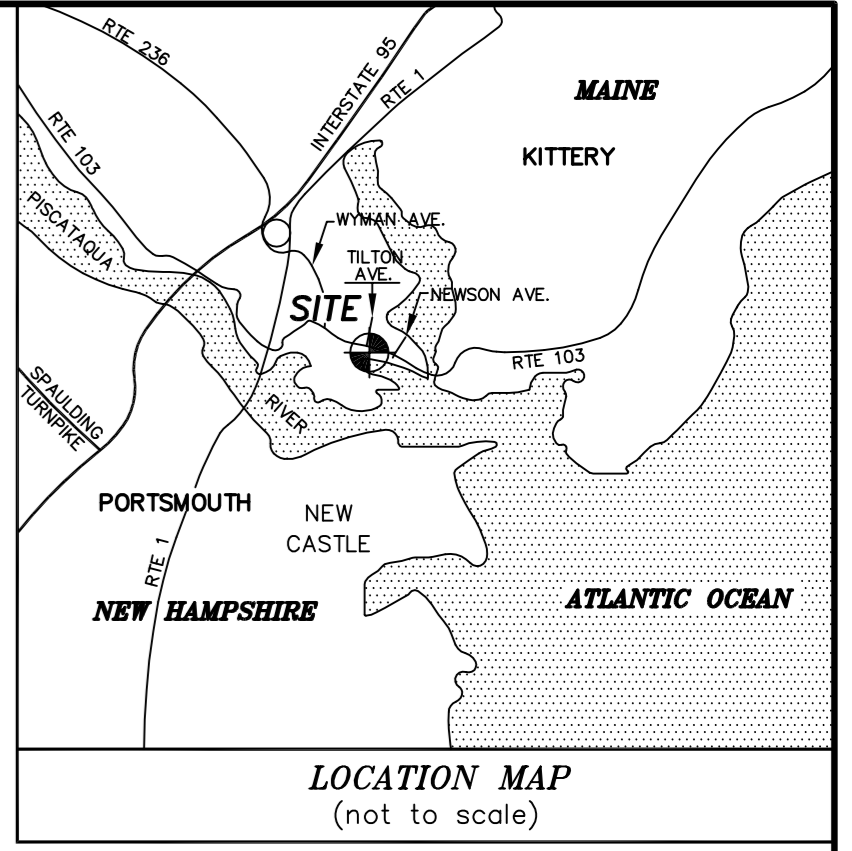


ZONING DATA PER KITTERY ZONING ORDINANCE (LAST AMENDED 05/29/2019):

BASE ZONE: Residential-Urban (R-U)
 OVERLAY ZONE: Shoreland (OZ-SL-250')

- REQUIREMENTS:
- MINIMUM LAND AREA: 20,000 Sq Ft
 - PER DWELLING UNIT: 20,000 Sq Ft
 - MINIMUM LOT SIZE: 100 FT
 - MINIMUM STREET FRONTAGE: 30 FT
 - MINIMUM FRONT YARD: 15 FT*
 - MINIMUM REAR AND SIDE YARDS: 20%
 - MAXIMUM BUILDING COVERAGE: 35 FT*
 - MINIMUM SHORE FRONTAGE: 50 FT
 - MAXIMUM DEVEGETATED AREA: 20%

Per Town of Kittery Code Title 16 (Sec. 16.3.2.4)
 (See Sec 16.3.2.4, D.2)



PLAN REFERENCES:

- "STANDARD BOUNDARY SURVEY FOR PROPERTY AT 134 WHIPPLE ROAD, KITTERY, YORK COUNTY, MAINE, OWNED BY ESTATE OF CARRIE B. VARNEY", PREPARED BY NORTH EASTERLY SURVEYING, INC., DATED AUGUST 10, 2017.
- "PROPOSED SIDEWALK EASEMENT, FOR A PORTION OF WHIPPLE ROAD, KITTERY, YORK COUNTY, MAINE, CLIENT, KITTERY PUBLIC WORKS DEPARTMENT, SHEETS 2&3 OF 6" PREPARED BY NORTH EASTERLY SURVEYING, INC., DATED AUGUST 20, 2007.
- "EXISTING CONDITIONS PLAN FOR PROPERTY AT 134 WHIPPLE ROAD, KITTERY, YORK COUNTY, MAINE, OWNED BY NICHOLAS E. MERCIER, AMY L. MERCIER", PREPARED BY NORTH EASTERLY SURVEYING, INC., PROJECT No. 20612, DATED 2/27/2020.

NOTES:

- OWNERS OF RECORD:
 TAX MAP 10 LOT 6A
 NICHOLAS E. MERCIER
 AMY L. MERCIER
 Y.C.R.D. BOOK 17571 PAGE 502
 DATED SEPTEMBER 29, 2017
- TOTAL EXISTING PARCEL AREA:
 TAX MAP 10 LOT 6A
 0.31± AC.
- BASIS OF BEARING IS PER PLAN REFERENCE #1.
- APPROXIMATE ABUTTER'S LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE RELIED UPON AS BOUNDARY INFORMATION.
- EASEMENTS OR OTHER UNWRITTEN RIGHTS MAY EXIST THAT ENCUMBER OR BENEFIT THE PROPERTY NOT SHOWN HEREON.
- ZONING INFORMATION AND SETBACKS SHOWN HEREON ARE FOR REFERENCE PURPOSES. CONFIRM CURRENT ZONING REQUIREMENTS WITH THE TOWN OF KITTERY PRIOR TO DESIGN OR CONSTRUCTION.
- THE BOUNDARY SHOWN HEREON IS DETERMINED FROM WRITTEN RECORDS AND FIELD EVIDENCE RECOVERED AT THE TIME OF SURVEY AND MAY BE SUBJECT TO CHANGE IF OTHER EVIDENCE BECOMES AVAILABLE.
- SUBJECT PARCEL IS CONVEYED TOGETHER WITH ALL THE TIDE LAND LYING BETWEEN HIGH AND LOW WATER MARK ON THE BACK CHANNEL OF THE PISCATAQUA RIVER ADJOINING THE SOUTHWESTERLY SIDE OF SAID LOT. RIPARIAN BOUNDARIES HAVE NOT BEEN DETERMINED BETWEEN HIGH AND LOW WATER.
- THE ENTIRETY OF THE SUBJECT PARCEL IS WITHIN THE OZ-SL-250 SHORELAND ZONE.
- A PORTION OF THE SUBJECT PARCEL IS WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA). REFERENCE IS MADE TO FEMA FIRM 230171 0005 D, LAST REVISED JULY 3, 1986.
- HORIZONTAL WALL POSITION IS PER ENGINEERED DESIGN PLANS DATED JUNE 23, 2020. REFER TO DESIGN DRAWINGS PREPARED BY SFC ENGINEERING FOR RETAINING WALL DETAILS, ELEVATIONS AND SPECIFICATIONS.
- REFER TO BOARD OF ADJUSTMENT NOTICE OF DECISION DATED _____

BUILDING COVERAGE CALCULATIONS:

LOT AREA:	13,381± SQ. FT.
EXISTING	
HOUSE:	1,358± SQ. FT. (10.1%)

DEVEGETATED COVERAGE CALCULATIONS:

LOT AREA:	13,381± SQ. FT.
EXISTING	
HOUSE	1,358± SQ. FT.
FRONT PORCH & STEPS	39± SQ. FT.
REAR DECK & STEPS	37± SQ. FT.
PAVED DRIVEWAY	1,059± SQ. FT.
PAVED WALKWAY	164± SQ. FT.
GRAVEL (NEAR HOUSE)	67± SQ. FT. (-67 SQ. FT.)
GRAVEL (NEAR SHORE)	218± SQ. FT. (-218 SQ. FT.)
WOOD STEPS & GRAVEL	124± SQ. FT. (-7 SQ. FT.)
FRONT RETAINING WALL	16± SQ. FT.
SEA RETAINING WALL	126± SQ. FT.
WOOD RETAINING WALLS	6± SQ. FT.
RETAINING WALL (AT NE)	19± SQ. FT.
RR TIES	9± SQ. FT.
PROPOSED RETAINING WALL	0± SQ. FT.
TOTAL:	3,242± SQ. FT. (24.2%)

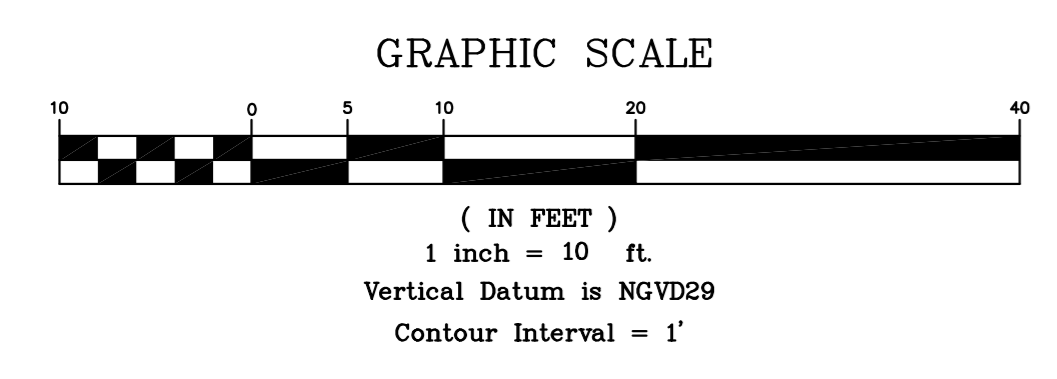
PROPOSED

HOUSE	1,358± SQ. FT.
FRONT PORCH & STEPS	39± SQ. FT.
REAR DECK & STEPS	37± SQ. FT.
PAVED DRIVEWAY	1,059± SQ. FT.
PAVED WALKWAY	164± SQ. FT.
GRAVEL (NEAR HOUSE)	0± SQ. FT.
GRAVEL (NEAR SHORE)	0± SQ. FT.
WOOD STEPS & GRAVEL	117± SQ. FT.
FRONT RETAINING WALL	16± SQ. FT.
SEA RETAINING WALL	126± SQ. FT.
WOOD RETAINING WALLS	6± SQ. FT.
RETAINING WALL (AT NE)	19± SQ. FT.
RR TIES	9± SQ. FT.
PROPOSED RETAINING WALL	259± SQ. FT.
TOTAL:	3,209± SQ. FT. (24.0%)

FOR PLANNING BOARD REVIEW

PURPOSE OF PLAN:

THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS FOR DESIGN PURPOSES. THIS PLAN IS NOT A STANDARD BOUNDARY SURVEY AND IS NOT INTENDED TO BE RECORDED, USED FOR CONVEYANCE, OR ANY OTHER TITLE PURPOSE.



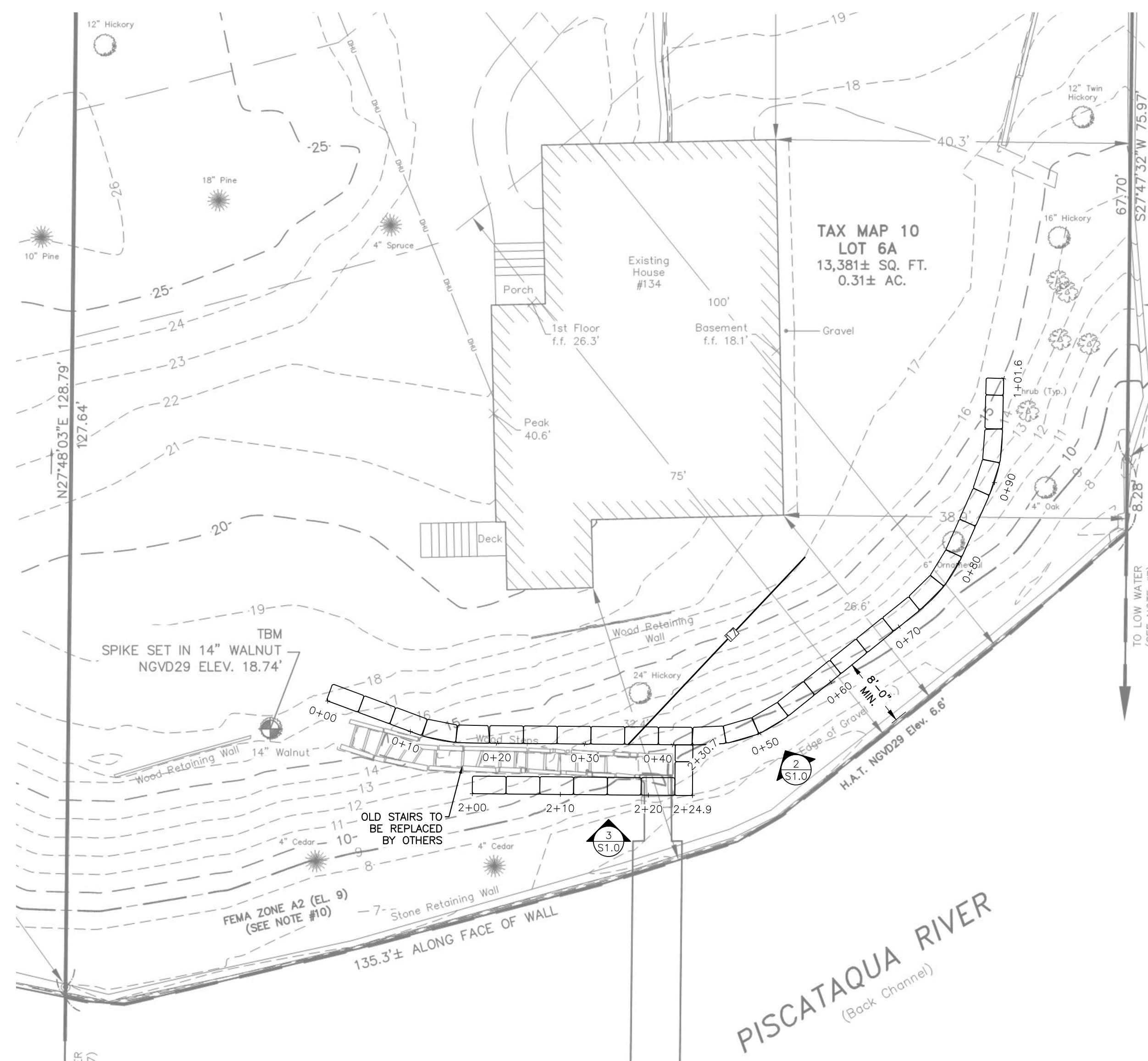
YORK,ss REGISTRY OF DEEDS
 Received _____
 at _____ h _____ m _____ M., and
 Filed in Plan Book _____ Page _____
 ATTEST: _____
 Register

Kittery, Maine - Planning Board Approval
 Date of Approval _____
 Chair _____ Date _____

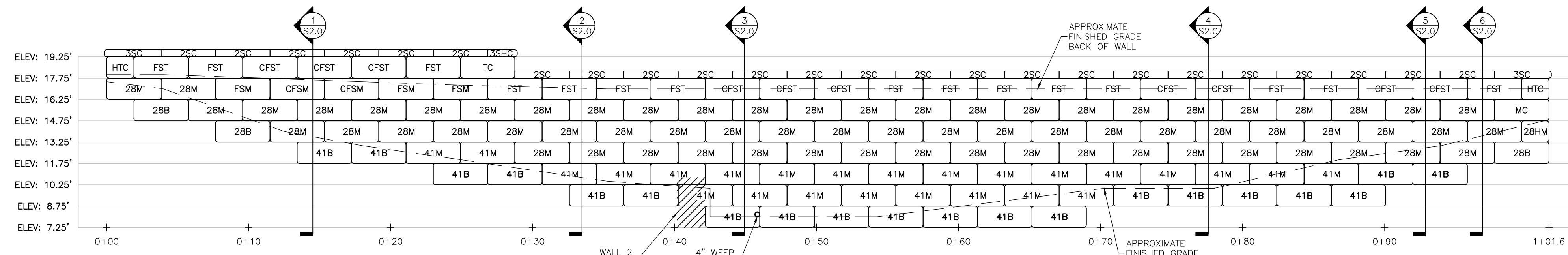
SHORELAND DEVELOPMENT PLAN
 FOR PROPERTY AT
134 Whipple Road
 Kittery, York County, Maine
 OWNED BY
Nicholas E. Mercier
Amy L. Mercier
 35 Goffstown Road, Hookset, NH 03106

North
EASTERLY
SURVEYING, Inc.
 SURVEYORS IN N.H. & MAINE 191 STATE ROAD, SUITE #1
 (207) 439-6333 KITTERY, MAINE 03904

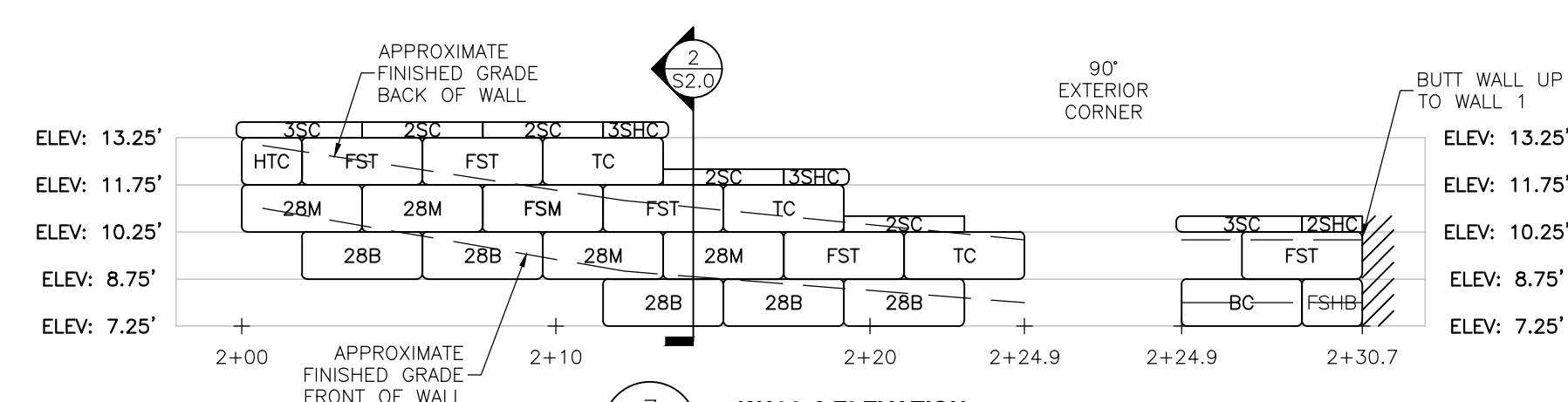
SCALE: 1" = 10' PROJECT NO. 20612 DATE: 9/2/2020 SHEET: 1 OF 1 DRAWN BY: A.H.P. CHECKED BY: A.M.P.
 DRAWING No: 20612 EXISTING CONDITIONS FIELD BOOK No: "Kittery #38" **Tax Map 10 Lot 6A**



1 WALL LAYOUT PLAN
1" = 10'



2 WALL 1 ELEVATION
3/16" = 1'

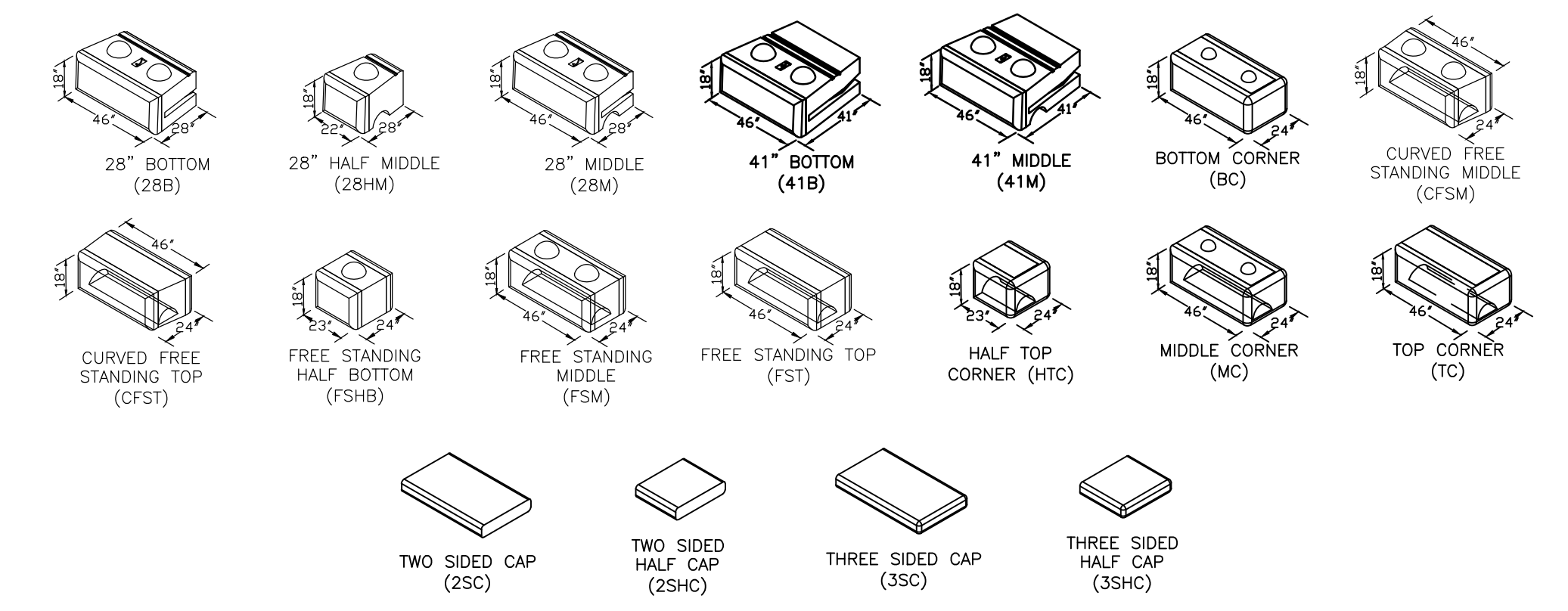


3 WALL 2 ELEVATION
3/16" = 1'

REDI-ROCK RETAINING WALL NOTES:

- CONCRETE USED FOR WALL UNITS SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4,000 P.S.I. WALL UNITS SHALL COMPLY WITH REDI-ROCK INTERNATIONAL'S SPECIFICATIONS, ASTM C-1776 AND ACI-301-99, HAVE 4 1/2% - 7 1/2% ENTRAINED AIR, 4" - 6" SLUMP, AND MUST BE PLACED AT A MINIMUM AMBIENT TEMPERATURE OF 50°F.
- UNDERDRAINS SHALL BE GEOTEXTILE WRAPPED PERFORATED, 4" DIAMETER HDPE PIPE, AND SHALL MEET THE REQUIREMENTS OF ASTM F405. UNDERDRAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DRAIN OUTLETS SHALL NOT BE MORE THAN 50' APART.
- LEVELING PAD SHALL BE 3/4" CRUSHED STONE WITH NO MORE THAN 5% PASSING A #200 SIEVE.
- DRAINAGE STONE SHALL BE 3/4" CRUSHED STONE PLACED DIRECTLY BEHIND WALL FOR THE DEPTHS SPECIFIED ON PLANS. MIRAFI 140N OR APPROVED EQUAL FILTER FABRIC SHALL BE PLACED BETWEEN ALL INTERFACES OF DRAINAGE STONE AND OTHER SOILS. EXPOSED DRAINAGE STONE SHALL BE PROTECTED FROM FINE SOIL MIGRATION THROUGHOUT CONSTRUCTION.
- BACKFILL SOIL BEYOND DRAINAGE MATERIAL SHALL BE WELL GRADED SAND/GRAVEL AND SHALL MEET THE FOLLOWING GRADATION:

SIEVE SIZE	PERCENT PASSING
3 IN.	100
1/2 IN.	70-100
NO. 4	40-90
NO. 40	10-50
NO. 200	0-10
- ALL BACKFILL SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR (ASTM D698). ONLY HAND-OPERATED COMPACTION EQUIPMENT SHALL BE ALLOWED WITHIN 3 FEET OF THE BACK OF THE WALL BLOCKS. BACKFILL AND COMPACT THE FILL MATERIAL BEHIND THE WALL AS THE WALL IS INSTALLED. SPREAD BACKFILL IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES.
- ENSURE THAT THE FIRST COURSE OF WALL UNITS IS IN FULL CONTACT WITH LEVELING PAD. INSTALL SUBSEQUENT COURSES OF UNITS SUCH THAT THE VERTICAL GAPS ARE STAGGERED BETWEEN ADJACENT COURSES. GAPS SHALL BE FILLED WITH DRAINAGE STONE PRIOR TO STARTING THE NEXT COURSE.
- CONTRACTOR AND/OR SITE ENGINEER SHALL CONFIRM ALL ELEVATIONS AND INVERTS IN THESE PLANS PRIOR TO ORDERING MATERIAL.
- BASE BLOCKS SHALL BE SET BACK 1-1/2" WHEN STEPPING UP AND SET FORWARD 1-1/2" WHEN STEPPING DOWN. WALL ANGLES SHALL BE SLIGHTLY ADJUSTED TO ACCOMMODATE PROPERTY LINES AND OBSTRUCTIONS.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EXCAVATIONS ARE STABLE AND MEET OSHA REQUIREMENTS.
- WALL DESIGN IS BASED ON SITE VISIT FROM 1/15/2020 BY SFC ENGINEERING AND EXISTING CONDITIONS PLAN TITLED 134 WHIPPLE ROAD KITTERY, YORK COUNTY, MAINE, PREPARED BY NORTH EASTERLY SURVEYING, INC. LAST REVISED 2/27/2020.
- SOILS INFORMATION FOR THE SITE WAS NOT PROVIDED TO SFC. WALL DESIGN IS BASED ON THE ASSUMPTION THAT RETAINED SOIL IS WELL GRADED SANDY/GRAVEL SOIL. GRADING FROM SITE PLAN IS ACCURATE, AND WALL LOCATION IS ACCURATE. THE DESIGN ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION IF CONDITIONS ARE DIFFERENT THAN ASSUMED.
- BLOCKS SHALL BE ASSEMBLED BASED ON MANUFACTURER'S RECOMMENDATIONS. ANY DIFFERENCES BETWEEN THIS PLAN AND THE MANUFACTURER'S RECOMMENDATIONS SHALL BE REVIEWED/APPROVED BY THE WALL DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- CROSS SECTIONS MAY SHOW TOP OF WALL FALL PROTECTION SCHEMATIC DESIGN. THIS IS INTENDED FOR ILLUSTRATION PURPOSES ONLY. ANY FENCE OR GUARDRAIL SYSTEM SHALL BE DESIGNED BY OTHERS. NOTIFY WALL DESIGNER ENGINEER IF FENCE OR GUARDRAIL IS TO BE INSTALLED.
- SFC ENGINEERING HAS NOT BEEN RETAINED TO OBSERVE THE CONSTRUCTION. PERIODIC SITE VISITS WILL BE NECESSARY IN ORDER FOR THE DESIGN ENGINEER TO PREPARE A CERTIFICATION AT THE END OF CONSTRUCTION. THE OWNER SHALL COORDINATE THE FEES AND SCHEDULE FOR THESE SITE VISITS WITH THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- FINISH GRADE AT TOP OF WALL IS APPROXIMATE ONLY. CONTRACTOR TO DRESS FINISH GRADE TO CREATE SMOOTH TRANSITION TO BLOCK.



Block Count	
Name	Count
28B	8
28HM	1
28M	71
41B	20
41M	25
BC	1
CFST	2
FST	10
FSHB	1
FSM	4
FST	20
HTC	3
MC	1
TC	1
Total	171
Wall Area	969 sf
Aerial Area	364 sf
25C	28
25H	1
35C	4
35H	3

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW RETAINING WALL DESIGN TO ACCOMMODATE LANDOWNERS INTENTION TO CREATE ADDITIONAL USABLE AREA BETWEEN HOME AND RIVER AND TO IMPROVE ACCESS TO DOCK.

PREPARED FOR:
Nicholas E. Mercier
35 Goffstown Road
Hooksett, NH 03106

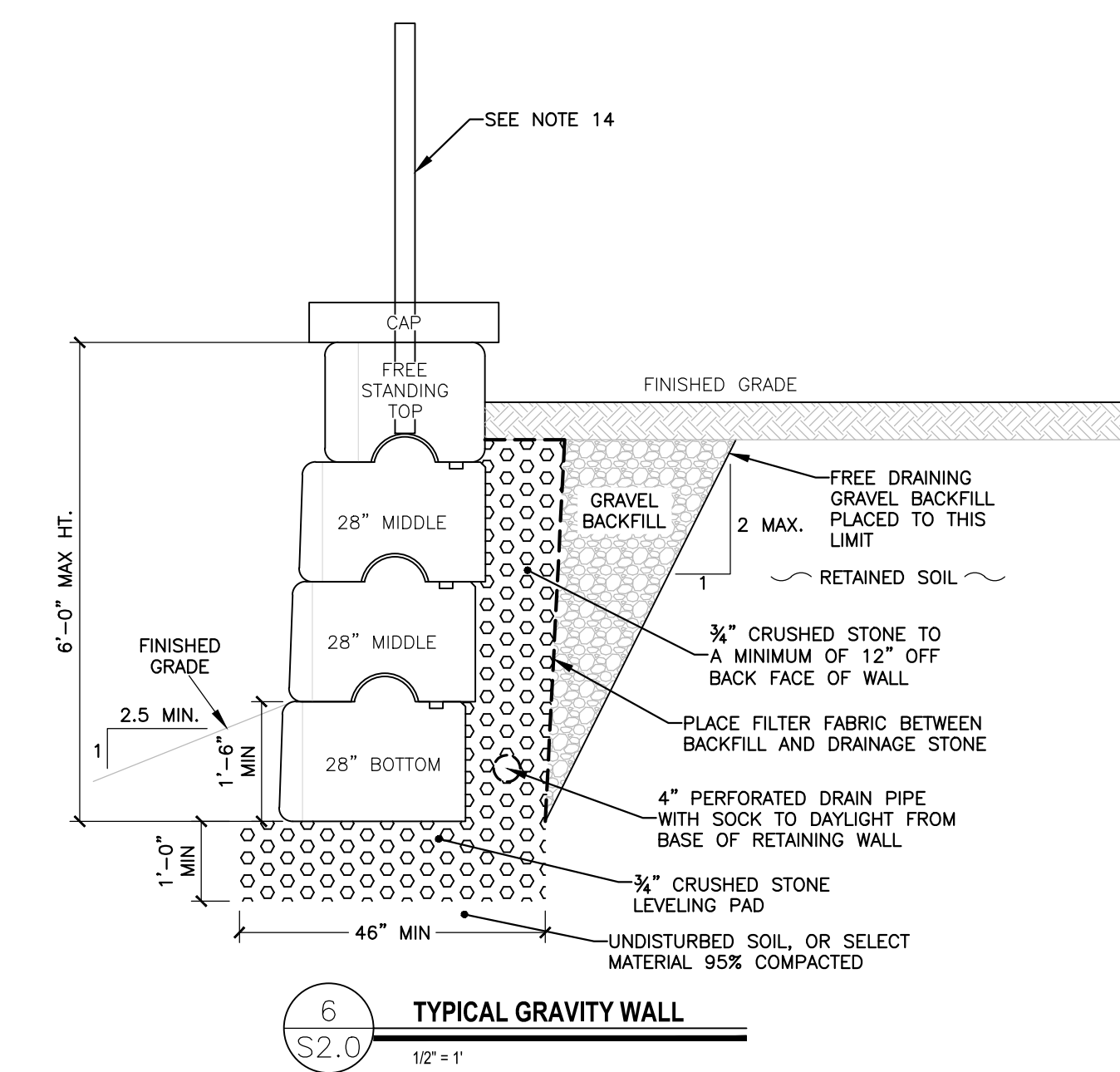
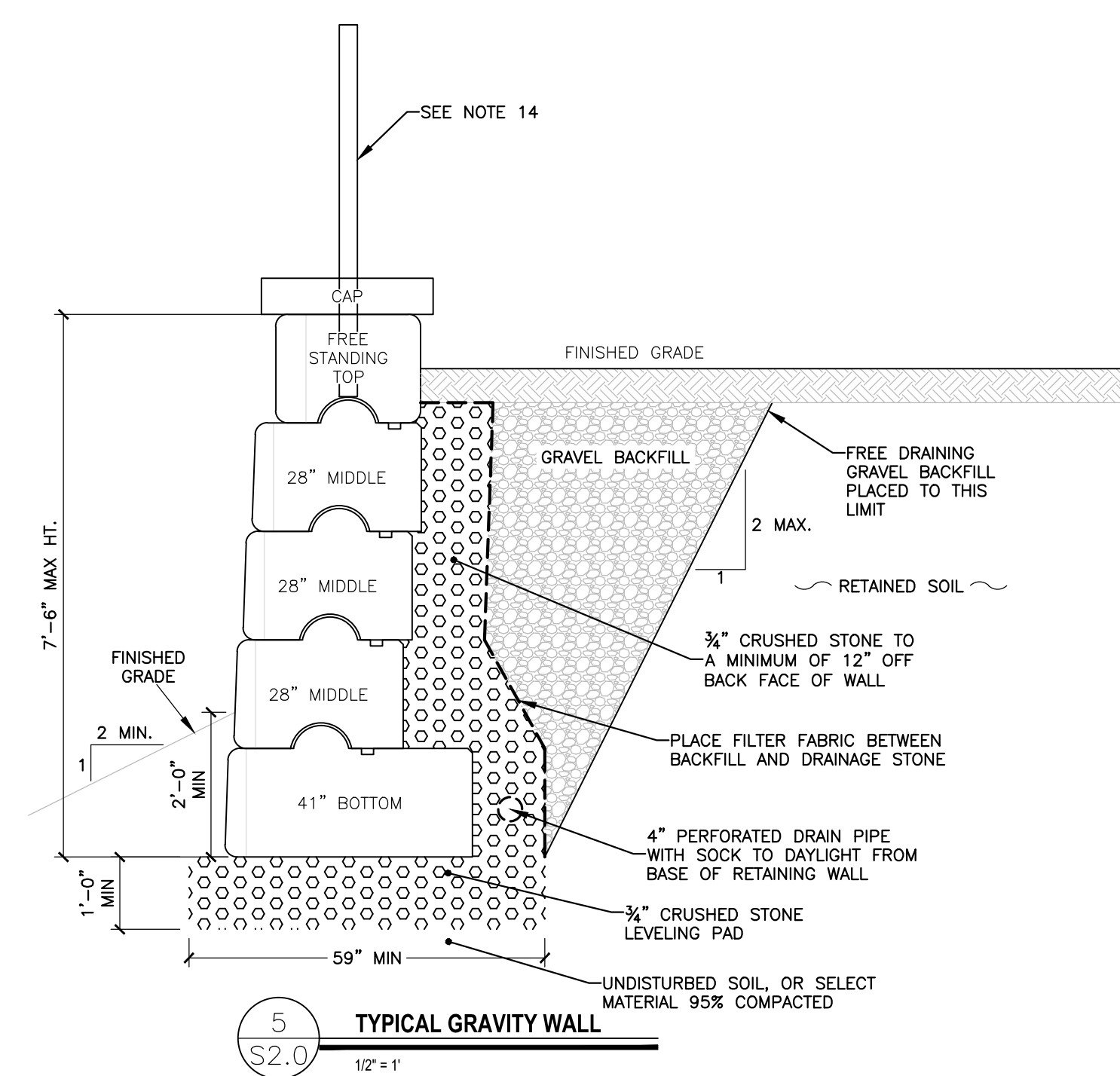
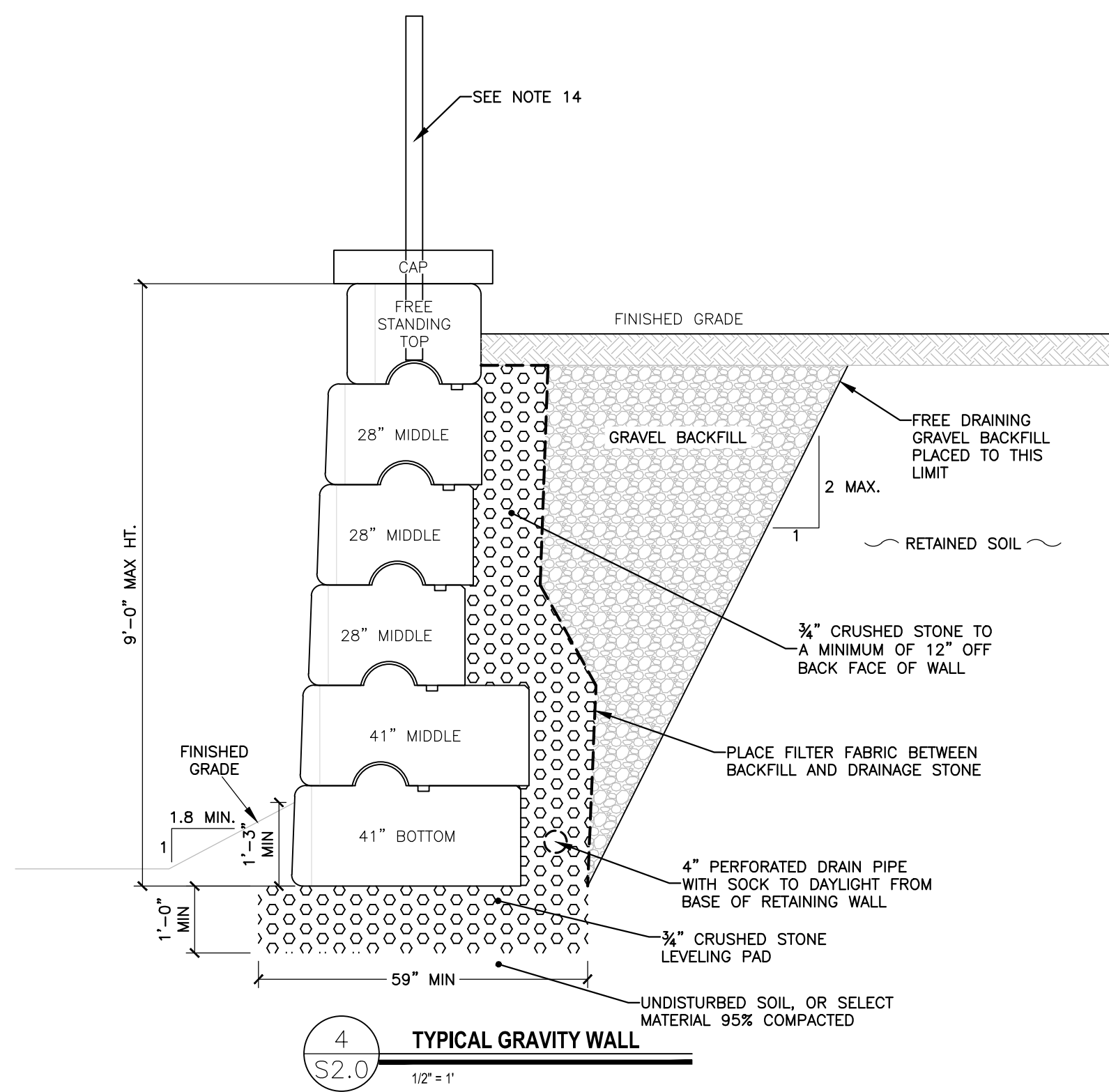
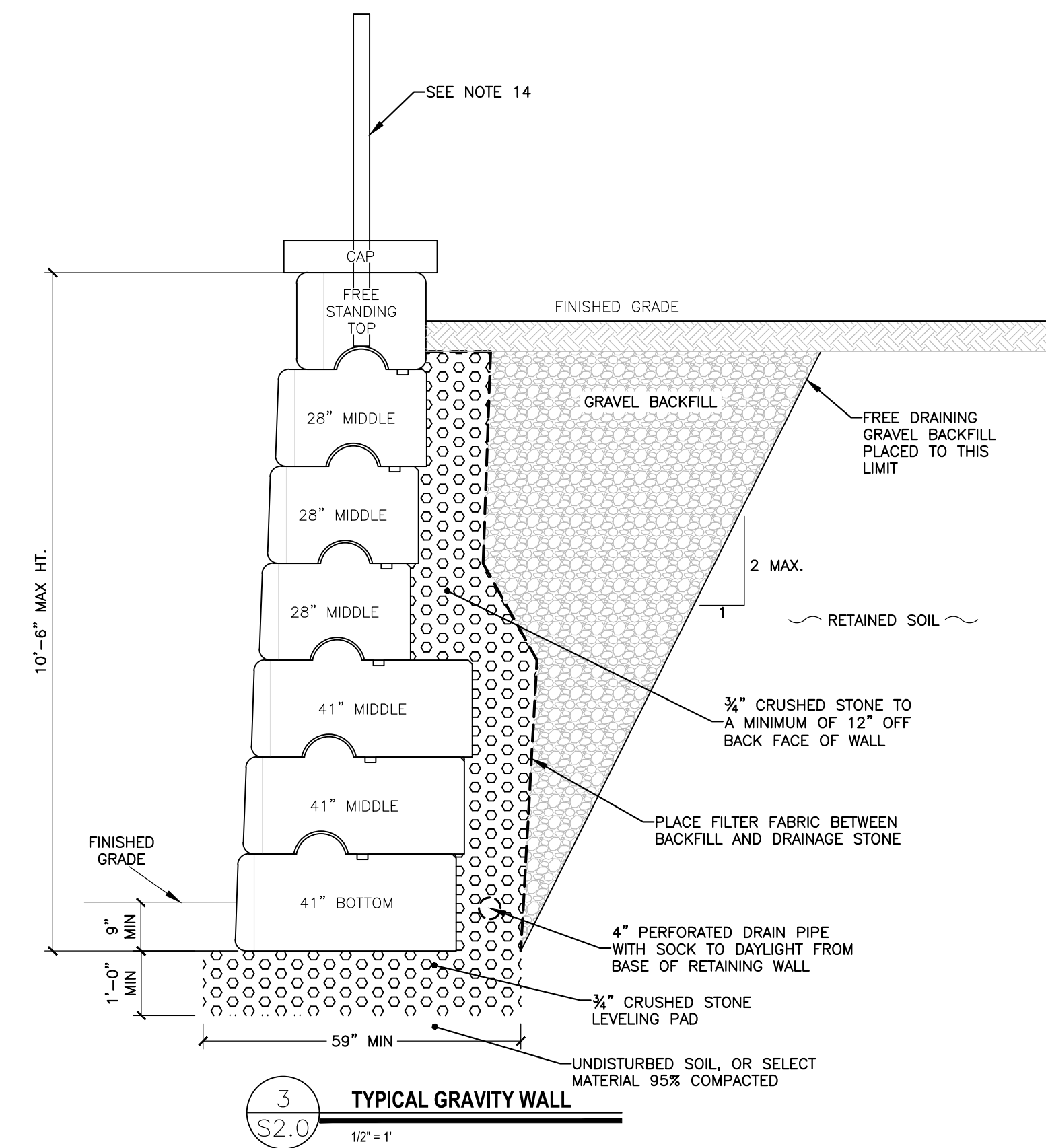
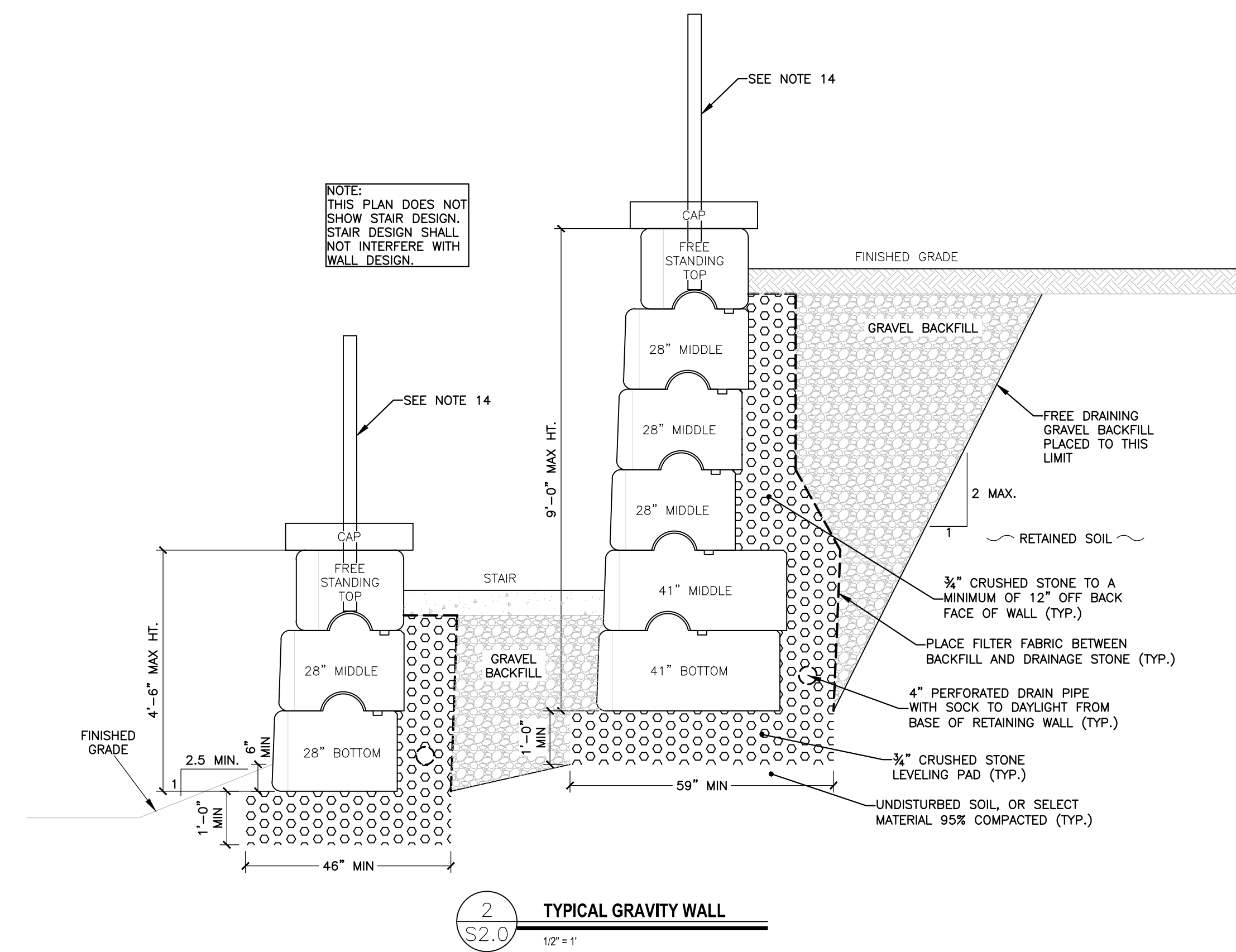
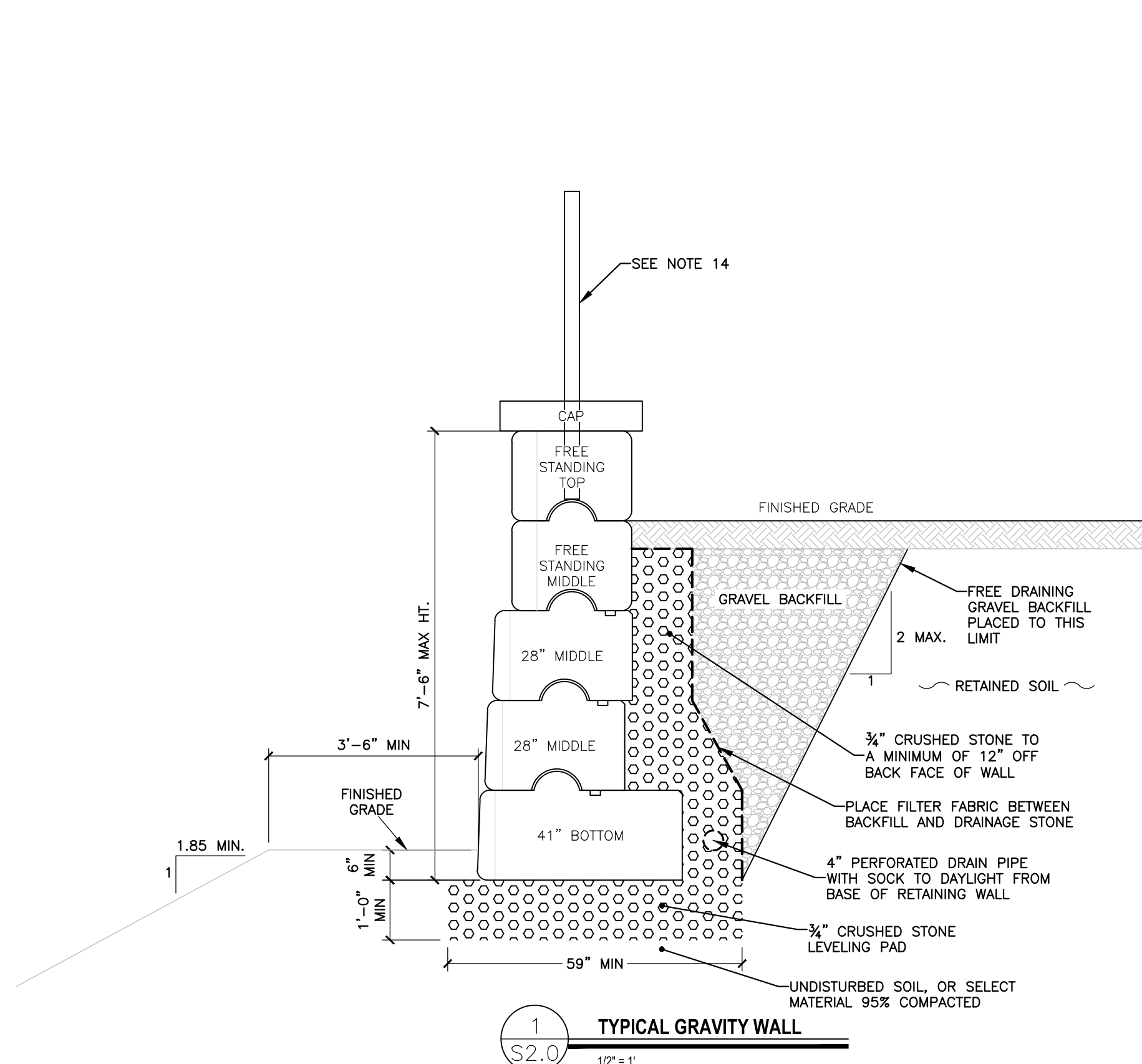
PROJECT NO. 659930
DATE: 3/23/2020
DESIGNED BY: JMB
DRAWN BY: NBP
CHECKED BY: JMB
SCALE: AS SHOWN

MERCIER RESIDENCE
134 WHIPPLE ROAD
KITTERY, ME
REDI-ROCK WALL DESIGN DRAWINGS

SFC ENGINEERING
183 ROCKINGHAM RD UNIT 3 EAST
WINDHAM, NH 03087
(603) 647-8700
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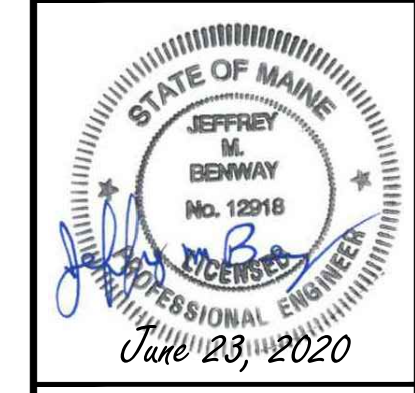
DWG NO.
S1.0

REVISIONS:
No. Date Revision
1 6/23/2020 Updated end of wall 1 & block count



NOTE:
THIS PLAN DOES NOT
SHOW STAIR DESIGN.
STAIR DESIGN SHALL
NOT INTERFERE WITH
WALL DESIGN.

No.	Date	Revision	By

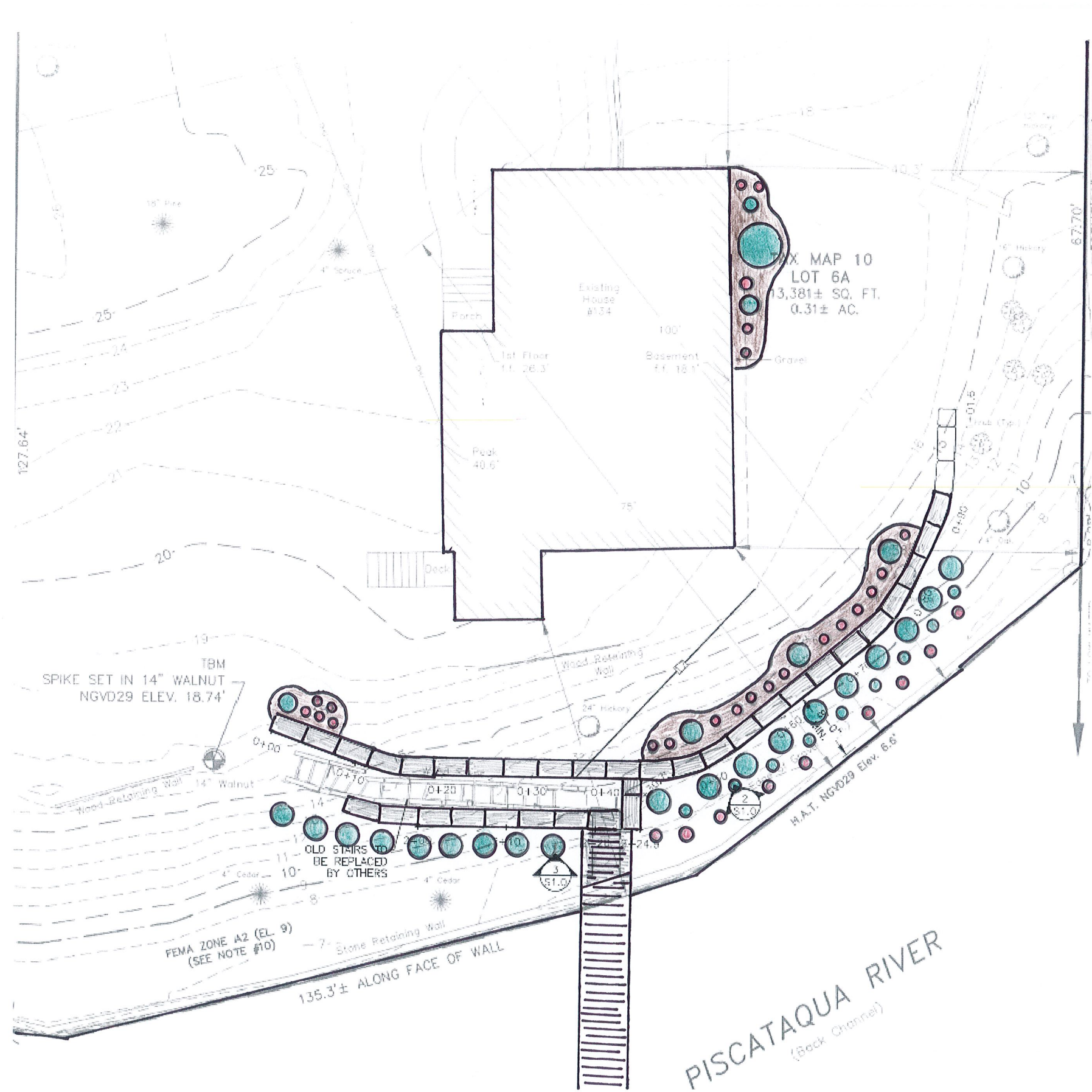


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Designed by: JMB
Drawn by: NBP
Checked by: JMB
Scale: AS SHOWN

PREPARED FOR:
Nicholas E. Mercier
35 Goffstown Road
Hooksett, NH 03106

DWG NO.
S2.0



PISCATAQUA RIVER
(Back Channel)

TBM SPIKE SET IN 14" WALNUT
NGVD29 ELEV. 18.74'

FEMA ZONE A2 (EL. 9)
(SEE NOTE #10)

135.3'± ALONG FACE OF WALL

M.H.W. NGVD29 Elev. 6.6'

(Back Channel)