

# SITE PLAN APPLICATION KITTERY CAR WASH ROUTE 236 KITTERY, MAINE

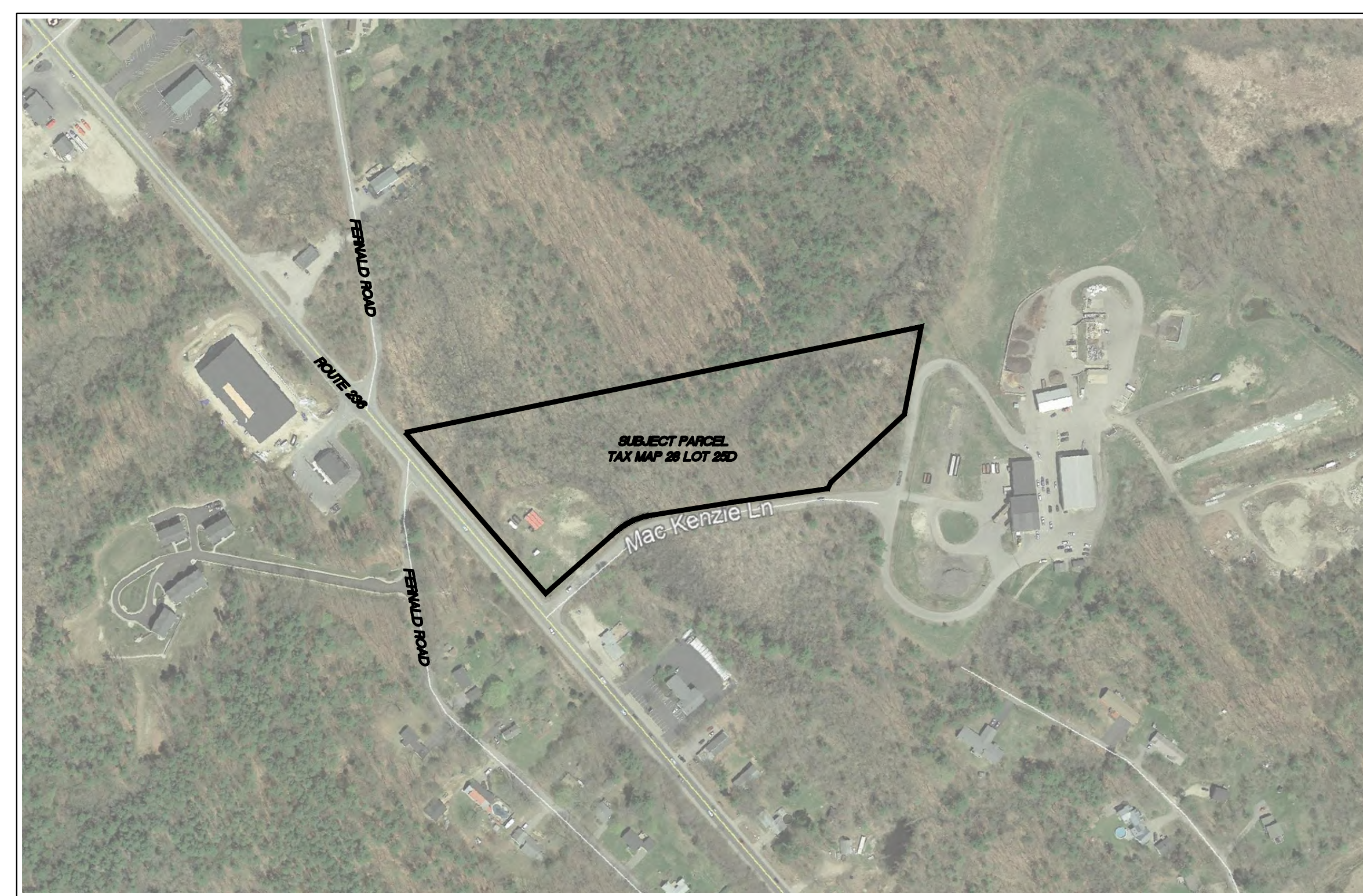
**PREPARED FOR:  
ROBERT T. BRENNAN, Jr.  
1911 SE 20TH STREET  
CAPE CORAL, FL 33990**

**ABBREVIATIONS**

BOTTOM OF CURB	BC
BITUMINOUS CONCRETE CURB	BCC
BEST MGMT PRACTICE	BMP
CATCH BASIN	CB
CAPE COD BERM	CCB
CORRUGATED METAL PIPE	CMP
CLEANOUT	CO
CHAIN LINK FENCE	CLF
CONCRETE SURFACE	CONC.
DOUBLE YELLOW LINE	DYL
DRILL HOLE FOUND/SET	DHF/DHS
DRAIN MANHOLE	DMH
IRON PIPE/PIN FOUND	IPF
IRON REBAR FOUND/SET	IRF/IRS
EMERGENCY SPILLWAY	ES
FLARED END SECTION	FES
HIGH DENSITY POLYETHYLENE	HDPE
INVERT ELEVATION	INV.=
LINAL FEET	LF
LIMIT OF WORK	LOW
MATCH EXISTING	ME
METAL PICKET FENCE	MPF
NOW OR FORMERLY	N/F
OUTLET CONTROL STRUCTURE	OCS
RAILROAD SPIKE FOUND/SET	RRSF/RRSS
RIM ELEVATION	RIM=
ROOF DRAIN	RD
SINGLE WHITE LINE	SWL
SINGLE YELLOW LINE	SYL
SLIPFORM CONC. CURB	SFC
SLOPED GRANITE CURB	SGC
SLOPED CONCRETE CURB	SCC
SPLIT RAIL FENCE	SRF
TEMPORARY BENCHMARK	TBM
TOP OF CURB	TC
TOP OF FOUNDATION	TF
UNDERDRAIN	UD
UTILITY POLE	UP
VERTICAL GRANITE CURB	VGC
VINYL PICKET FENCE	VPF
VINYL STOCKADE FENCE	VSF
WOOD PICKET FENCE	WPF
WOOD STOCKADE FENCE	WSF

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
98	98	MINOR CONTOUR
100	100	MAJOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	FENCE
---	---	GUIDERAIL
---	---	CONSTRUCTION FENCE
---	---	STONE WALL
---	---	TREE LINE
+	+	SIGN
*	*	LIGHT POLE
2'R	2'R	CURB/PAVEMENT RADIUS
♿	♿	ACCESSIBLE PAVEMENT MARKINGS
○	○	IRON PIPE/IRON PIN
●	●	BOLLARD
○	○	UTILITY POLE
○	○	GUY WIRE
⊕	⊕	WATER VALVE
⊖	⊖	WATER SHUTOFF
⊕	⊕	HYDRANT
⊠	⊠	CATCH BASIN
⊙	⊙	DRAIN MANHOLE
⊙	⊙	SEWER MANHOLE
⊠	⊠	SEWER SERVICE CONNECTION
D	PD	DRAIN PIPE
G	PG	GAS LINE
OHW	OHW	OVERHEAD WIRES
UGU	UGU	UNDERGROUND UTILITIES
S	PS	SEWER LINE
W	PW	WATER LINE
FM	FM	FORCE MAIN
RD	RD	ROOF DRAIN
▭	▭	FLARED END SECTION
▭	▭	PROPOSED BUILDING PAD FOOTPRINT
▭	▭	RIPRAP AREA
▭	▭	CONSTRUCTION ENTRANCE
+	+	TEST PIT LOCATION
TC 101.5	TC 101.5	TOP/BOTTOM CURB ELEVATION
BC 100.5	BC 100.5	
100.5x	100.5x	SPOT ELEVATION
▭	▭	WETLANDS
→	→	FLOW DIRECTION



SCALE: 1" = 250'

- SHEET INDEX:
- C1 COVER SHEET
  - C2 BOUNDARY AND EXISTING CONDITIONS PLAN
  - C3 PROPOSED SITE & UTILITY PLAN
  - C4 PROPOSED GRADING & STORMWATER PLAN
  - C5 EROSION AND SEDIMENT CONTROL PLAN
  - C6 CONSTRUCTION DETAILS
  - C7 PROPOSED LANDSCAPE PLAN



ISSUED FOR TOWN REVIEW  
NOT FOR CONSTRUCTION



NOT VALID UNLESS SIGNED AND STAMPED	
1	5/6/20
ISSUED FOR REVIEW BY TOWN OF KITTERY	NO.
SUBMISSION/REVISION DESCRIPTION	

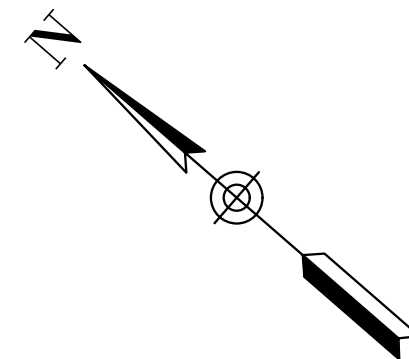
**TIDEWATER**  
ENGINEERING & SURVEYING, INC.  
89 Route 236 Suite 3, Kittery, ME 03904  
(207)459-2222 • www.tidewatercivil.com

CLIENT:	ROBERT T. BRENNAN, JR. 1911 SE 20TH STREET CAPE CORAL, FL 33990
PROJECT:	KITTERY CAR WASH ROUTE 236, KITTERY, MAINE 03904
SHEET:	COVER SHEET
JOB #:	19-134
DATE:	MARCH 2020
SCALE:	AS NOTED
DRAWING	

C1

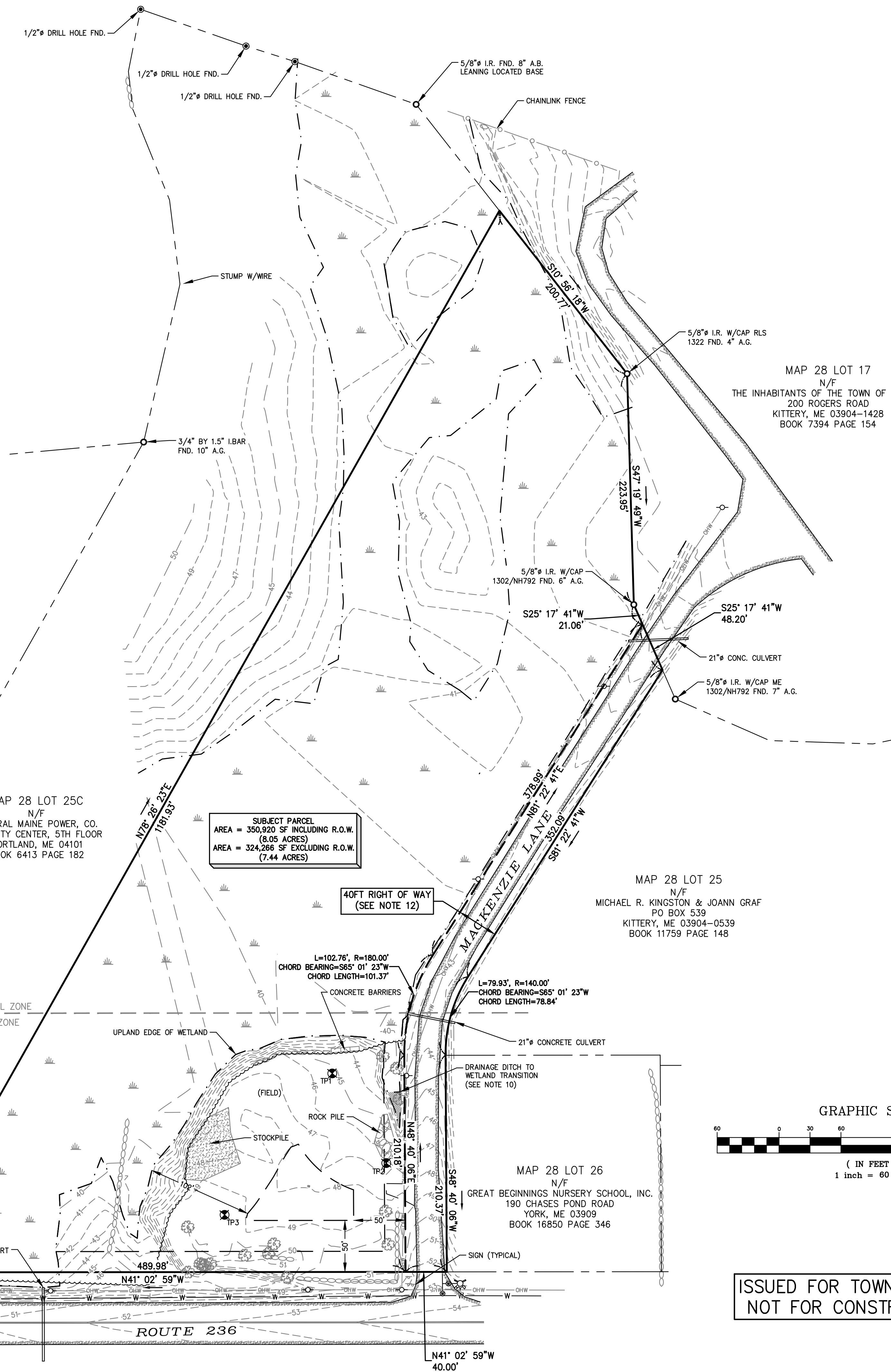


LOCUS MAP (NOT TO SCALE)



**LEGEND**

- SUBJECT PARCEL PROPERTY LINE
- APPROXIMATE ABUTTER'S LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- EDGE OF WETLAND
- EXISTING STONE WALL
- WETLAND SYMBOL
- IRON PIPE, ROD, OR DISK FOUND
- DRILL HOLE FOUND
- UTILITY POLE
- SIGN
- WATER VALVE
- HYDRANT
- TREE

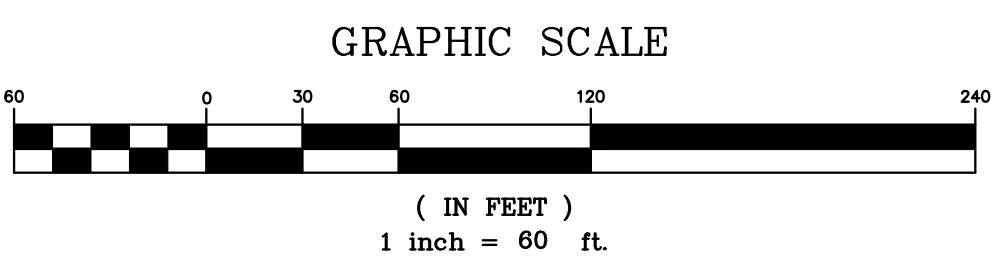


SUBJECT PARCEL  
 AREA = 350,920 SF INCLUDING R.O.W.  
 (8.05 ACRES)  
 AREA = 324,266 SF EXCLUDING R.O.W.  
 (7.44 ACRES)

MAP 28 LOT 25C  
 N/F  
 CENTRAL MAINE POWER, CO.  
 ONE CITY CENTER, 5TH FLOOR  
 PORTLAND, ME 04101  
 BOOK 6413 PAGE 182

MAP 28 LOT 25  
 N/F  
 MICHAEL R. KINGSTON & JOANN GRAF  
 PO BOX 539  
 KITTERY, ME 03904-0539  
 BOOK 11759 PAGE 148

MAP 28 LOT 26  
 N/F  
 GREAT BEGINNINGS NURSERY SCHOOL, INC.  
 190 CHASES POND ROAD  
 YORK, ME 03909  
 BOOK 16850 PAGE 346



ISSUED FOR TOWN REVIEW  
 NOT FOR CONSTRUCTION

GENERAL NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT A BOUNDARY RETRACEMENT AND EXISTING CONDITIONS SURVEY OF TAX MAP 28 LOT 25D IN THE TOWN OF KITTERY, MAINE.
- OWNER OF RECORD:  
 ROBERT T. BRENNAN, JR.  
 1911 SE 20TH STREET CAPE CORAL, FL 33990  
 Y.C.R.D. BOOK 18014 PAGE 294
- THE PROPERTY IS LOCATED WITHIN THE COMMERCIAL C-2 & RURAL R-RL ZONING DISTRICTS. THE FOLLOWING DIMENSIONAL REGULATIONS ARE IN EFFECT AT THE TIME OF THIS SURVEY AND ARE SUBJECT TO THE REVIEW BY THE TOWN OF KITTERY.
 

COMMERCIAL C-2:	
MINIMUM LAND AREA:	40,000 SF
MINIMUM STREET FRONTAGE:	150 FEET
MINIMUM FRONT YARD SETBACK:	50 FEET
MINIMUM SIDE/REAR YARD SETBACK:	30 FEET
MAXIMUM COVERAGE:	40%
MAXIMUM BUILDING HEIGHT:	40 FEET
RURAL R-RL:	
MINIMUM LAND AREA:	40,000 SF
MINIMUM STREET FRONTAGE:	150 FEET
MINIMUM FRONT YARD SETBACK:	40 FEET
MINIMUM SIDE/REAR YARD SETBACK:	20 FEET
MAXIMUM COVERAGE:	15%
MAXIMUM BUILDING HEIGHT:	35 FEET
- ZONING REGULATIONS ARE SUBJECT TO CHANGE. OWNER SHALL CONFIRM ALL ZONING REGULATIONS WITH THE TOWN OF KITTERY PRIOR TO ANY DEVELOPMENT.
- BASIS OF BEARING IS MAINE STATE PLANE (NAD83) WEST ZONE, US FOOT. ELEVATIONS AND TOPOGRAPHY SHOWN HEREON CORRESPOND TO NAVD88.
- THE BOUNDARY SHOWN HEREON IS DETERMINED FROM WRITTEN RECORDS AND FIELD EVIDENCE RECOVERED AT THE TIME OF THIS SURVEY BY TIDEWATER ENGINEERING & SURVEYING, INC AND MAY BE SUBJECT TO CHANGE IF OTHER EVIDENCE BECOMES AVAILABLE.
- ABUTTER LINES SHOWN HEREON SHALL BE CONSIDERED APPROXIMATE AND ARE FOR REFERENCE PURPOSES ONLY. ABUTTER LINES SHALL NOT BE RELIED UPON AS BOUNDARY INFORMATION.
- EASEMENTS OR UNWRITTEN RIGHTS MAY EXIST THAT ENCUMBER OR BENEFIT THE PROPERTY NOT SHOWN HEREON.
- THE WETLANDS SHOWN HEREON WERE DELINEATED BY JOSEPH W. NOEL, STATE OF MAINE SOIL SCIENTIST #209, ON NOVEMBER 4, 2019. THE TEST PITS SHOWN HEREON WERE CONDUCTED BY JOSEPH W. NOEL ON FEBRUARY 28, 2020. REFERENCE IS MADE TO A REPORT BY JOSEPH W. NOEL DATED MARCH 2, 2020.
- A PORTION OF THE WETLAND DELINEATED BY JOSEPH W. NOEL MEETS THE DEFINITION OF A DRAINAGE DITCH PER THE TOWN OF KITTERY LAND USE AND DEVELOPMENT CODE. SEE LETTER FROM JOSEPH W. NOEL DATED MARCH 2, 2020 FOR FURTHER DETAIL.
- UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND MAY NOT BE ENTIRELY ACCURATE OR COMPLETE.
- MACKENZIE LANE IS A 40 FOOT WIDE RIGHT OF WAY GRANTED TO THE TOWN OF KITTERY OVER THE LAND OF THE RECORD OWNER AS ESTABLISHED PER AN AGREEMENT BETWEEN HECTOR W. MACKENZIE JR., JUDITH M. MACKENZIE AND THE TOWN OF KITTERY RECORDED AT THE Y.C.R.D. IN BOOK 2278 PAGE 17. THE AGREEMENT MAKES REFERENCE TO A SURVEY PLAN TO BE RECORDED AT THE Y.C.R.D. THAT DEPICTS THE EASEMENT LOCATION, HOWEVER NO SUCH PLAN WAS RECOVERED BY THIS OFFICE. EASEMENT LOCATION SHOWN HEREON IS BASED UPON A COMBINATION OF THE AS-BUILT LOCATION OF THE ROAD AND THE NORTHWESTERLY SIDELINE OF TAX MAP 28 LOT 26.

REFERENCE PLANS:

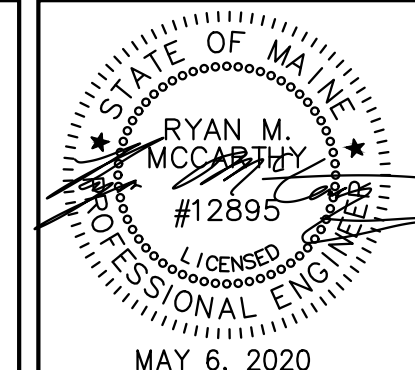
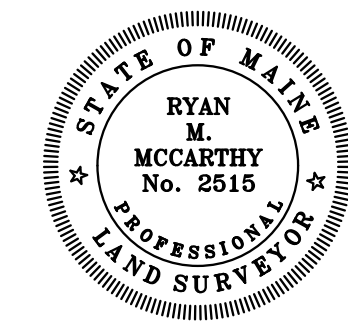
- "PLAN OF 'FARMINGDALE ESTATES' FERNALD ROAD KITTERY MAINE" PREPARED BY ANDERSON ASSOCIATES DATED OCTOBER 1983 AND RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS (Y.C.R.D.) IN PLAN BOOK 127 PAGE 39.
- "STANDARD BOUNDARY SURVEY OF LAND OF THE TOWN OF KITTERY" PREPARED BY CIVIL CONSULTANTS DATED APRIL 23, 1993 AND RECORDED AT THE Y.C.R.D. IN PLAN BOOK 222 PAGE 28.
- "STANDARD BOUNDARY SURVEY OF LAND OF THE TOWN OF KITTERY" PREPARED BY CIVIL CONSULTANTS DATED APRIL 23, 1993 AND RECORDED AT THE Y.C.R.D. IN PLAN BOOK 223 PAGE 37.
- "MAINE STATE HIGHWAY COMMISSION RIGHT OF WAY MAP STATE HIGHWAY '100' KITTERY-ELIOT YORK COUNTY FEDERAL AID SECONDARY PROJECT S-0100(5) S.H.C. FILE NO. 16-112 SHEETS 3-4 DATED JANUARY 1956 AND RECORDED AT THE Y.C.R.D. IN PLAN BOOK 29 PAGE 30.
- "SUBDIVISION OF LAND OF PETER J. PAUL TRUSTEE OF THE PAOLUCCI REALTY TRUST" PREPARED BY CIVIL CONSULTANTS DATED APRIL 18, 2013 AND RECORDED AT THE Y.C.R.D. IN PLAN BOOK 366 PAGE 28.
- CENTRAL MAINE POWER CO. SECTION 141 115 KV BOLT HILL-YORK MILE 2 799-T141-2, FOUND AT THE KITTERY TOWN HALL.

REFERENCE DEEDS:

- YORK COUNTY REGISTRY OF DEEDS (Y.C.R.D.) BOOK 18014 PAGE 294: LAGASSE REMOVAL, LLC TO ROBERT T. BRENNAN, JR.
- Y.C.R.D. BOOK 1408 PAGE 546, FRANK JEWETT & FRANCES JEWETT TO JOHN F. PERRY & THERESA H. PERRY.
- Y.C.R.D. BOOK 6413 PAGE 182, HECTOR W. MACKENZIE, JR. TO CENTRAL MAINE POWER COMPANY.

APPROVAL OF THE PLANNING BOARD  
 OF KITTERY, MAINE  
 CHAIR \_\_\_\_\_ DATE \_\_\_\_\_

CERTIFICATION:  
 I HEREBY CERTIFY THAT THIS SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION AND THAT THE RESULTS DEPICTED HEREON ARE IN COMPLIANCE WITH CHAPTER 90: STANDARDS OF PRACTICE, PARTS I AND II AS ADOPTED BY THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS, WITH THE EXCEPTION THAT A WRITTEN REPORT HAS NOT BEEN PRODUCED AT THIS TIME.  
 RYAN M. MCCARTHY, P.E.S. 2515 MARCH 5, 2020  
 DATE



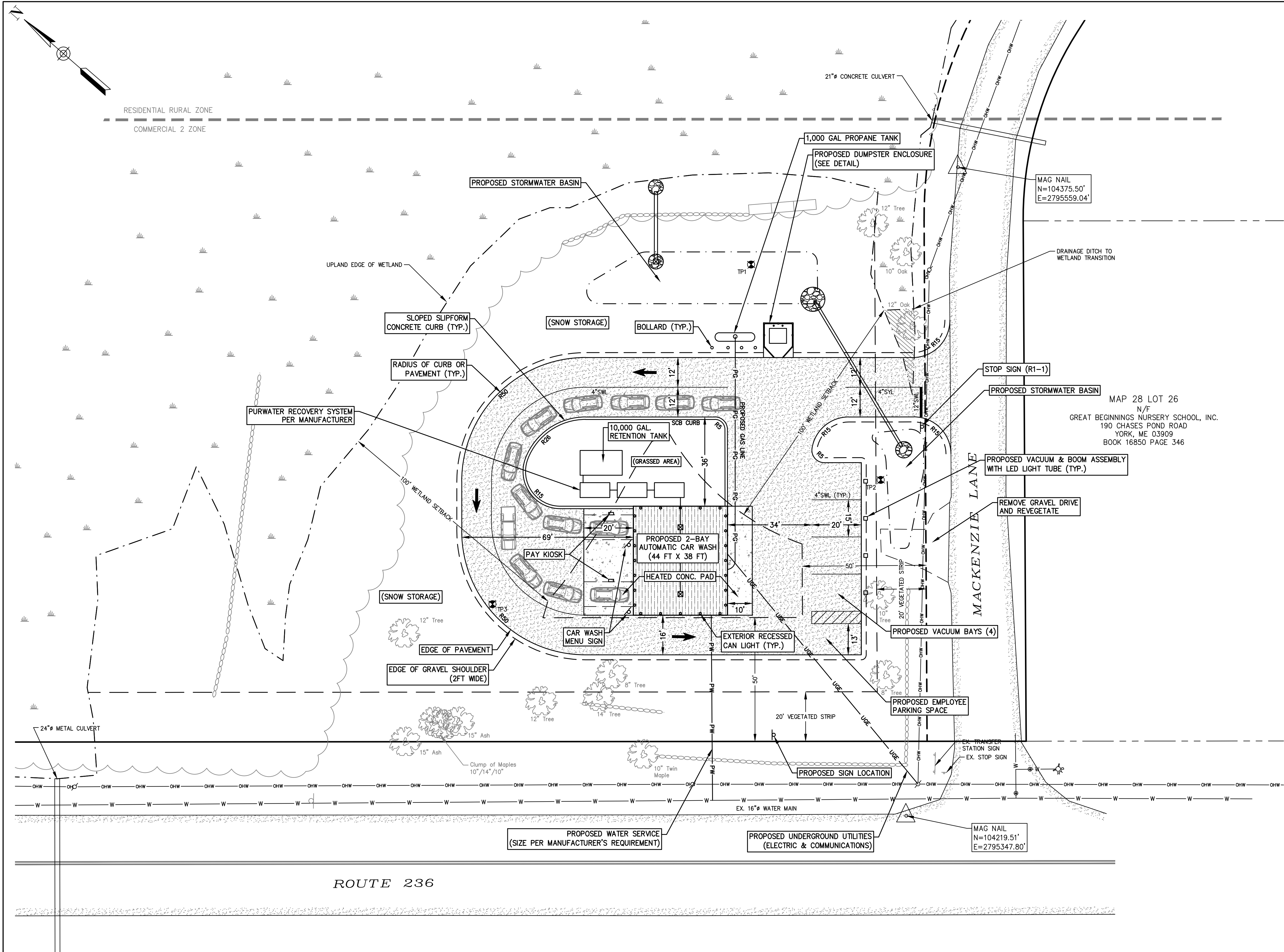
MAY 6, 2020	
NOT VALID UNLESS SIGNED AND STAMPED	
ISSUED FOR REVIEW BY TOWN OF KITTERY	SUBMISSION/REVISION DESCRIPTION
5/6/20	DATE:
1	NO.



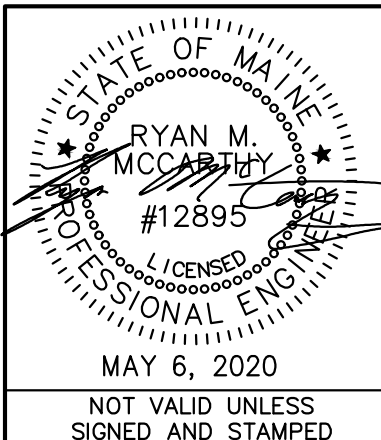
CLIENT: ROBERT T. BRENNAN, JR.  
 1911 SE 20TH STREET  
 CAPE CORAL, FL 33990  
 PROJECT: KITTERY CAR WASH  
 ROUTE 236, KITTERY, MAINE 03904  
 SHEET: BOUNDARY & EXISTING CONDITIONS PLAN

JOB #:	19-134
DATE:	MARCH 2020
SCALE:	1" = 60'
DRAWING	





- GENERAL NOTES:
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED COMMERCIAL DEVELOPMENT ON TAX MAP 28 LOT 250 IN THE TOWN OF KITTEERY, MAINE.
  - OWNER OF RECORD:  
ROBERT T. BRENNAN, JR.  
1911 SE 20TH STREET CAPE CORAL, FL 33990  
Y.C.R.D. BOOK 18014 PAGE 294
  - THE PROPOSED DEVELOPMENT IS LOCATED WITHIN THE COMMERCIAL C-2 ZONING DISTRICT. THE FOLLOWING DIMENSIONAL REGULATIONS ARE IN EFFECT AT THE TIME OF THIS SURVEY AND ARE SUBJECT TO THE REVIEW BY THE TOWN OF KITTEERY.  
  
COMMERCIAL C-2:  
MINIMUM LAND AREA: 40,000 SF  
MINIMUM STREET FRONTAGE: 150 FEET  
MINIMUM FRONT YARD SETBACK: 50 FEET  
MINIMUM SIDE/REAR YARD SETBACK: 30 FEET  
MAXIMUM COVERAGE: 40%  
MAXIMUM BUILDING HEIGHT: 40 FEET
  - ZONING REGULATIONS ARE SUBJECT TO CHANGE. OWNER SHALL CONFIRM ALL ZONING REGULATIONS WITH THE TOWN OF KITTEERY PRIOR TO ANY DEVELOPMENT.
  - THE BASIS OF BEARING IS MAINE STATE PLANE (NAD83) WEST ZONE, US FOOT. ELEVATIONS AND TOPOGRAPHY SHOWN HEREON CORRESPOND TO NAVD88.
  - THE BOUNDARY SHOWN HEREON IS PER SHEET C2. SEE SHEET C2 FOR FURTHER DETAIL.
  - UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND MAY NOT BE ENTIRELY ACCURATE OR COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES, BOTH OVERHEAD AND UNDERGROUND, THROUGHOUT THE COURSE OF THE WORK. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
  - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, AND REPORT ANY DISCREPANCIES TO TIDEWATER ENGINEERING & SURVEYING, INC. THE CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER ANY DISCREPANCIES HAVE BEEN RESOLVED BY TIDEWATER ENGINEERING & SURVEYING, INC.
  - THE CONTRACTOR SHALL, ON A DAILY BASIS, THOROUGHLY SECURE ALL EXCAVATIONS UPON COMPLETION OF OPERATIONS IN THE IMMEDIATE AREA OF EXCAVATION.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL, STATE AND FEDERAL PERMITS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT SHOWN WITHIN THIS PLAN SET. THE CONTRACTOR SHALL NOT PROCEED WITH SAID WORK UNTIL ALL CONDITIONS OF SAID PERMITS ARE MET.
  - ALL WATER UTILITY WORK AND MATERIALS SHALL COMPLY WITH THE KITTEERY WATER DISTRICT'S REQUIREMENTS, SPECIFICATION AND THIS PLAN SET. THE PROPOSED WATER SERVICE SHALL BE SIZED BY THE MANUFACTURER TO MEET THE USAGE DEMANDS OF THE CAR WASH EQUIPMENT TO BE INSTALLED.
  - THE CONTRACTOR IS RESPONSIBLE FOR SEQUENCING OF WORK, MEANS AND METHODS OF CONSTRUCTION AND FOR IMPLEMENTATION OF A SAFETY PLAN.  
  
THE PROPOSED DEVELOPMENT IS ANTICIPATED TO RESULT IN LESS THAN ONE ACRE OF DISTURBED AREA AND LESS THAN ONE ACRE OF IMPERVIOUS SURFACES, THEREFORE A MAINE DEP STORMWATER PERMIT IS NOT REQUIRED.  
  
ESTIMATED DISTURBANCE AREA = 32,100 SF  
ESTIMATED IMPERVIOUS AREA = 16,097 SF
  - SEE LIGHTING PHOTOMETRIC PLAN AND PRODUCT SHEET BY R.A.B. LIGHTING SUBMITTED TO THE TOWN OF KITTEERY AS PART OF THIS SITE PLAN APPLICATION FOR LIGHTING SPECIFICATIONS.

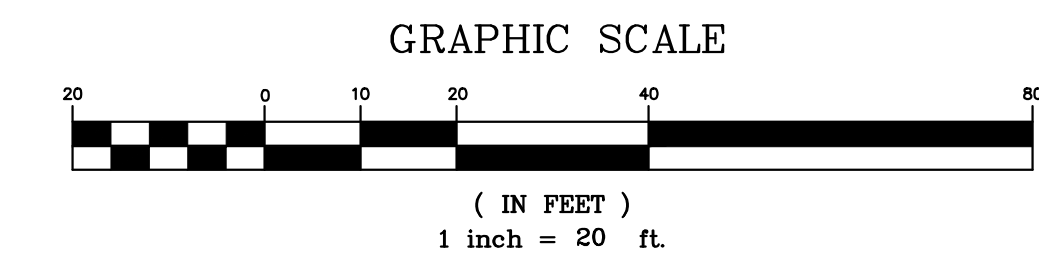


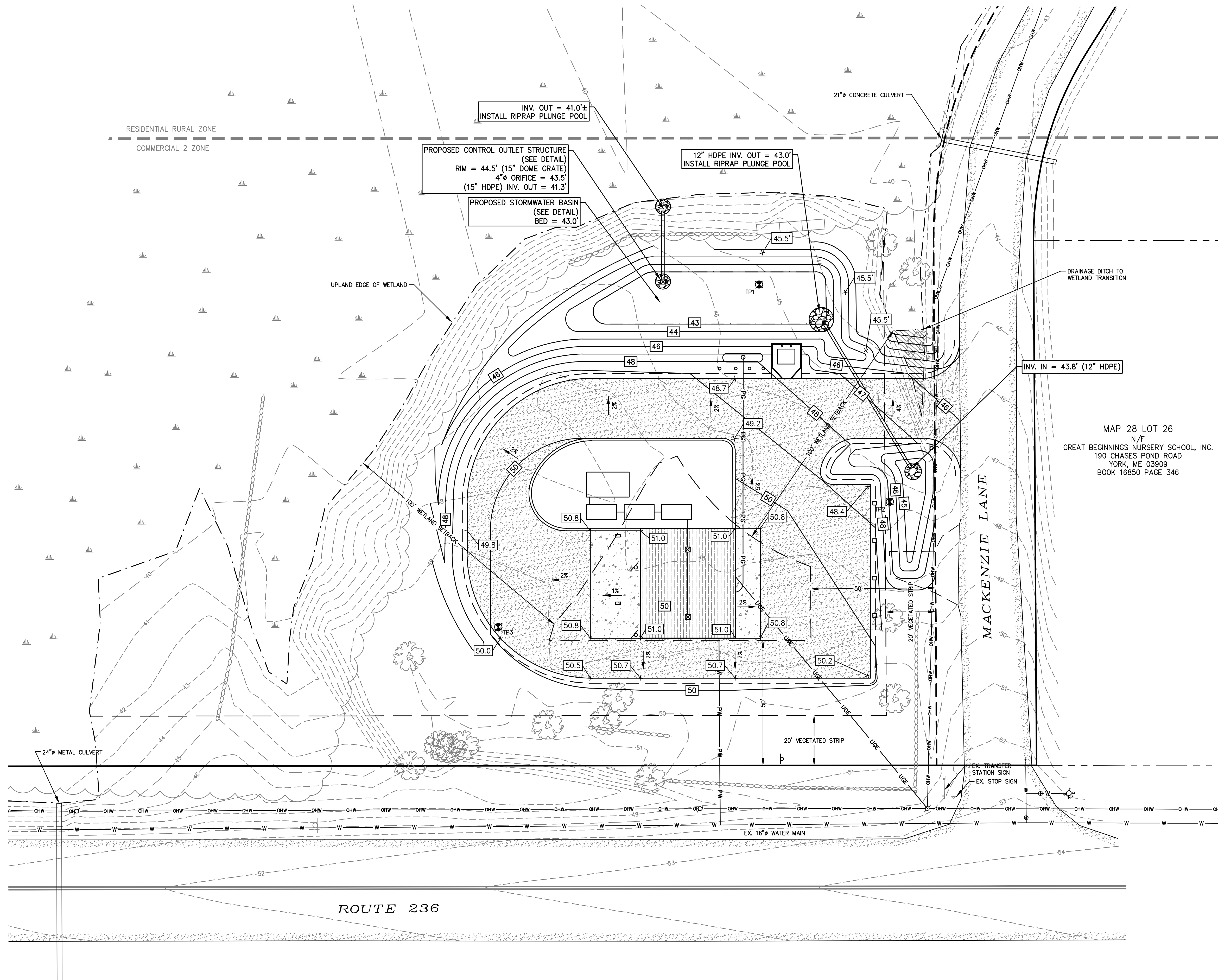
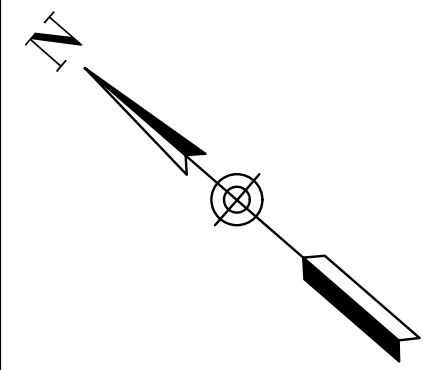
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ISSUED FOR REVIEW BY TOWN OF KITTEERY	SUBMISSION/REVISION DESCRIPTION
5/6/20	DATE:
1	NO.

**TIDEWATER**  
ENGINEERING & SURVEYING, INC.  
89 Route 236 Suite 3, Kittery, ME 03904  
(207)939-2222 • www.tidewatercivil.com

CLIENT:	ROBERT T. BRENNAN, JR. 1911 SE 20TH STREET CAPE CORAL, FL 33990
PROJECT:	KITTERY CAR WASH ROUTE 236, KITTEERY, MAINE 03904
SHEET:	PROPOSED SITE & UTILITY PLAN
JOB #:	19-134
DATE:	MARCH 2020
SCALE:	1" = 20'
DRAWING	

ISSUED FOR TOWN REVIEW  
NOT FOR CONSTRUCTION





RESIDENTIAL RURAL ZONE  
COMMERCIAL 2 ZONE

UPLAND EDGE OF WETLAND

PROPOSED CONTROL OUTLET STRUCTURE  
(SEE DETAIL)  
RIM = 44.5' (15" DOME GRATE)  
4" Ø ORIFICE = 43.5'  
(15" HDPE) INV. OUT = 41.3'

INV. OUT = 41.0' ±  
INSTALL RIPRAP PLUNGE POOL

12" HDPE INV. OUT = 43.0'  
INSTALL RIPRAP PLUNGE POOL

PROPOSED STORMWATER BASIN  
(SEE DETAIL)  
BED = 43.0'

21" Ø CONCRETE CULVERT

DRAINAGE DITCH TO  
WETLAND TRANSITION

INV. IN = 43.8' (12" HDPE)

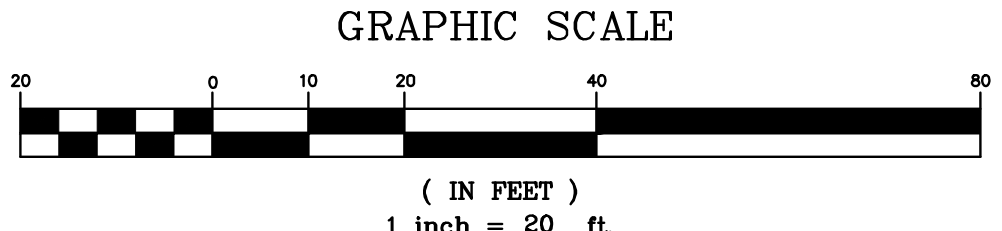
MAP 28 LOT 26  
N/F  
GREAT BEGINNINGS NURSERY SCHOOL, INC.  
190 CHASES POND ROAD  
YORK, ME 03909  
BOOK 16850 PAGE 346

MACKENZIE LANE

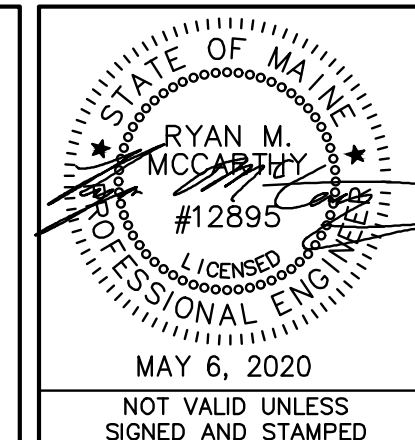
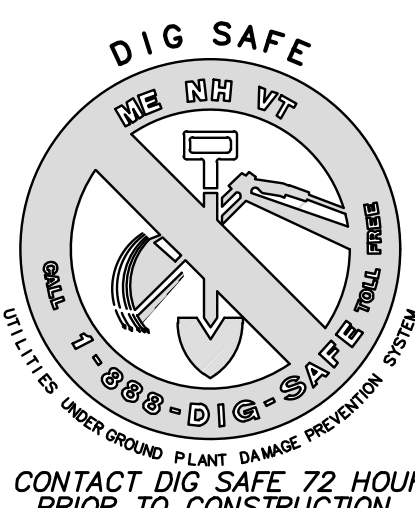
24" Ø METAL CULVERT

EX. 16" Ø WATER MAIN

ROUTE 236



ISSUED FOR TOWN REVIEW  
NOT FOR CONSTRUCTION



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ISSUED FOR REVIEW BY TOWN OF KITTERY	SUBMISSION/REVISION DESCRIPTION
1	5/6/20
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**TIDEWATER**  
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89 Route 236 Suite 3, Kittery, ME 03904  
(207) 939-2222 • www.tidewatercivil.com

CLIENT: ROBERT T. BRENNAN, JR.  
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CAPE CORAL, FL 33990

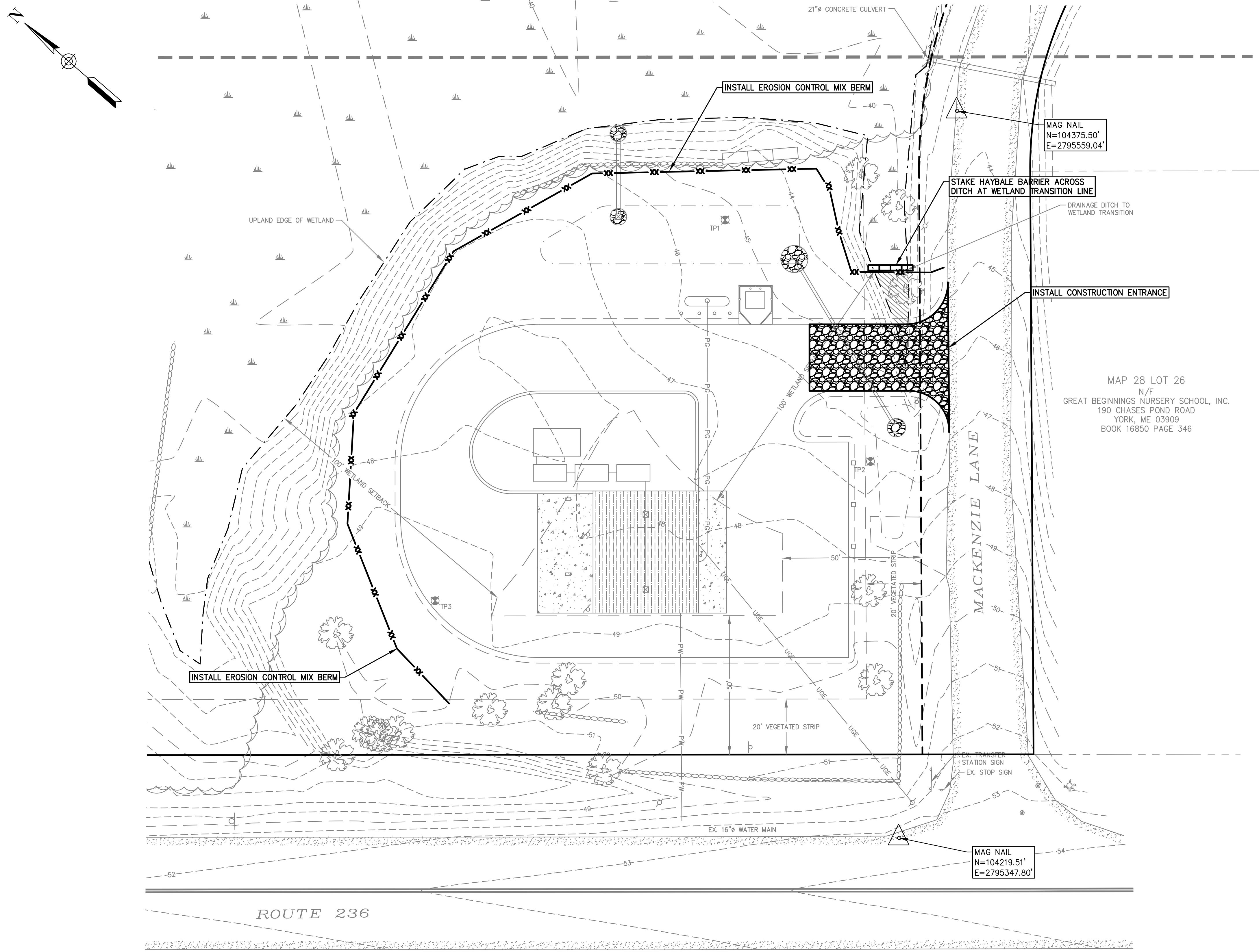
PROJECT: KITTERY CAR WASH  
ROUTE 236, KITTEY, MAINE 03904

SHEET: PROPOSED GRADING & STORMWATER PLAN

JOB #:	19-134
DATE:	MARCH 2020
SCALE:	1" = 20'

DRAWING

**C4**



MAP 28 LOT 26  
N/F  
GREAT BEGINNINGS NURSERY SCHOOL, INC.  
190 CHASES POND ROAD  
YORK, ME 03909  
BOOK 16850 PAGE 346

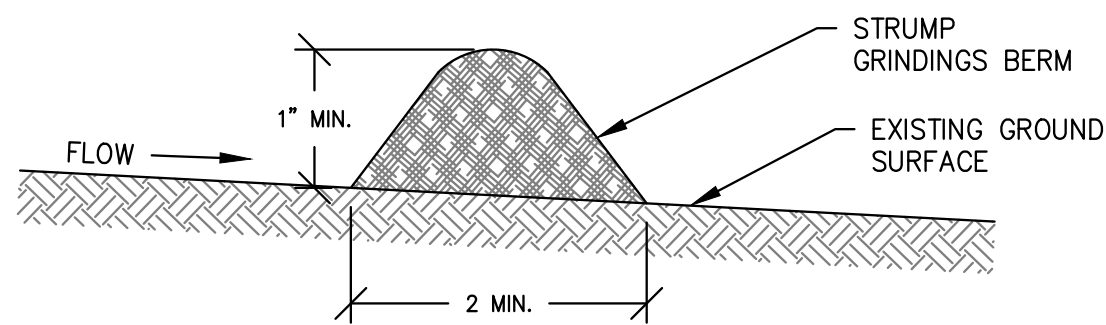
**STANDARD EROSION AND SEDIMENTATION CONTROL MEASURES:**

- ALL WORK SHALL COMPLY WITH THE CURRENT VERSION OF THE MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL PUBLISHED BY MAINE DEP. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH SAID MANUAL.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY SOIL DISTURBING ACTIVITIES.
- THE CONTRACTOR SHALL STRIP AND GRADE ONLY THOSE AREAS SUBJECT TO IMMEDIATE CONSTRUCTION. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING. ANY EXPOSED SOIL THAT WILL NOT BE WORKED FOR MORE THAN 7 DAYS SHALL BE STABILIZED WITH MULCH. STABILIZE AREAS WITHIN 75 FEET OF A WETLAND OR WATER BODY WITHIN 48 HOURS OF THE INITIAL DISTURBANCE OF THE SOIL OR PRIOR TO ANY STORM EVENT, WHICHEVER COMES FIRST.
- ALL TOPSOIL STRIPPED FROM THE AREA SHALL BE STOCKPILED, TEMPORARILY MULCHED WITH HAY AND SURROUNDED BY A HAY BALE BARRIER UNTIL IT IS SPREAD AND FINAL GRADING IS COMPLETE.
- PERMANENT STABILIZATION MUST BE IMPLEMENTED WITHIN 60 DAYS OF SOIL DISTURBANCE OR BY OCTOBER 1, WHICH EVER IS EARLIER.
- PERMANENT SEEDING WILL BE DONE AS EARLY AS POSSIBLE IN THE GROWING SEASON. PERMANENT SEEDING SHOULD BE MADE PRIOR TO AUGUST 15. IF SEEDING CANNOT BE DONE PRIOR TO OCTOBER 1, DORMANT SEEDING WILL BE DONE ACCORDING TO THE MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL WITH TEMPORARY MULCHING.
- TOPSOIL WILL BE UNIFORMLY SPREAD A MINIMUM OF 4 INCHES DEEP OVER ALL AREAS TO BE RE-VEGETATED. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
- LIME SHALL BE APPLIED AS FAR IN ADVANCE OF SEEDING AS POSSIBLE. WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES EITHER BEFORE OR DURING FINAL SEED BED PREPARATION.
- IF SEEDING DOES NOT TAKE AT LEAST 80% IN ANY AREA WITHIN 30 DAYS IT SHOULD BE RESEED IMMEDIATELY OR TEMPORARILY MULCHED AND RESEED WITHIN ONE PLANTING SEASON.
- SEDIMENT CONTROL BARRIERS CAN BE REMOVED UPON STABILIZATION OF THE FINISHED GRADES AND USED AS ADDITIONAL MULCHING MATERIAL (IF APPLICABLE).
- THE SEEDED AREAS SHALL BE INSPECTED EVERY 15 DAYS AND MAINTAINED BY WATERING, WEEDING, MOWING, TRIMMING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A LAWN FREE OF ERODED OR BARE AREAS.
- BIODEGRADABLE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL SLOPES TO BE VEGETATED THAT ARE GREATER THAN 3:1 SLOPE UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- MINIMUM APPLICATION RATES:
 

TEMPORARY HAY OR STRAW MULCH:	2 BALES PER 1,000 SF (DOUBLE IN WINTER)
EROSION CONTROL MIX:	< 3:1 SLOPE = 2 INCHES 3:1-2:1 SLOPE = 4 INCHES
TEMPORARY SEEDING:	
WINTER RYE	112 LB/ACRE (FALL)
OATS	80 LB/ACRE (SPRING)
ANNUAL RYEGRASS	40 LB/ACRE
SUDANGRASS	40 LB/ACRE (SUMMER)
PERENNIAL	40 LB/ACRE
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEED (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING.
- ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED. REMOVE ANY ACCUMULATED SEDIMENTS AND RESTABILIZE IF NECESSARY.

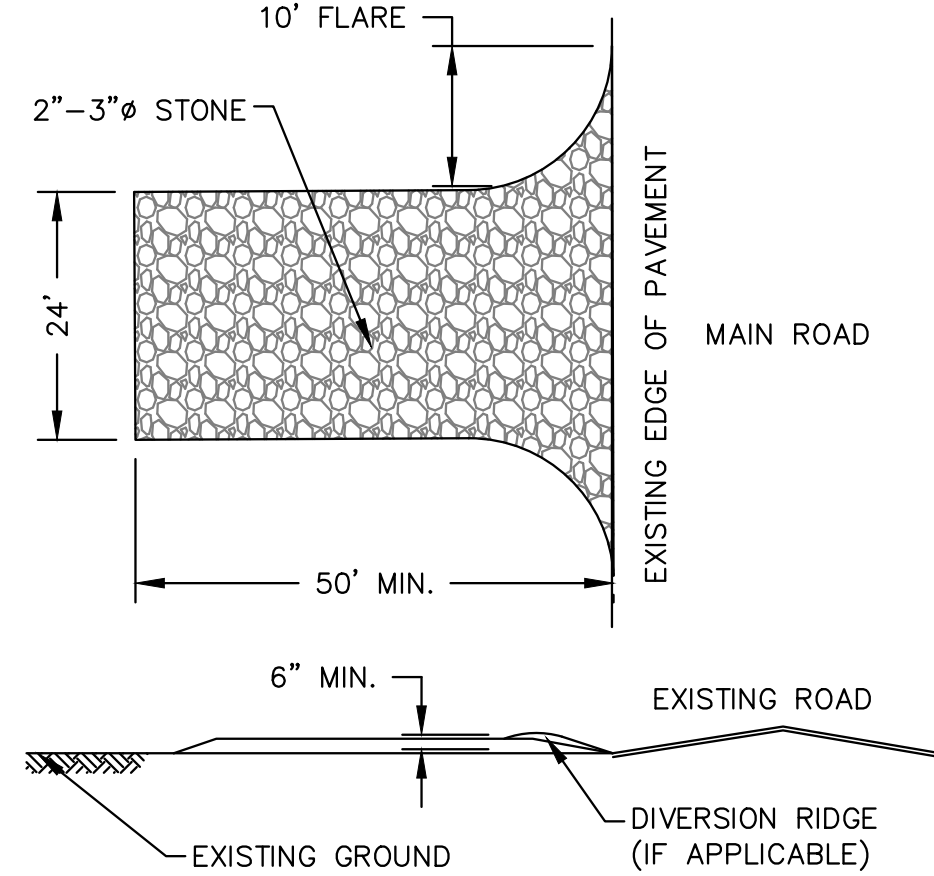
**MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES**

- A. GENERAL: THE FOLLOWING GENERAL INSPECTION AND MAINTENANCE PRACTICES SHALL BE USED THROUGHOUT THE PROJECT.
- ALL CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER.
  - ALL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT SHALL BE COMPLETED WITHIN 24 HOURS.
  - BUILT UP SEDIMENT SHALL BE REMOVED FROM SILT FENCE OR SEDIMENT BARRIERS WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE FENCE OR BALE, OR WHEN "BULGES" OCCURS.
  - ALL DIVERSION DIKES SHALL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
  - TEMPORARY SEEDING AND PLANTING SHALL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
  - A MAINTENANCE INSPECTION REPORT SHALL BE MADE AFTER EACH INSPECTION.
  - THE CONTRACTOR'S SITE SUPERINTENDENT SHALL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.
  - THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL INSPECT THE SITE ON A PERIODIC BASIS TO REVIEW COMPLIANCE WITH THE PLANS.
  - AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
    - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
    - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
    - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED OR
    - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED,
  - SODDING - SODDING IS DONE WHERE IT IS DESIRABLE TO RAPIDLY ESTABLISH COVER ON A DISTURBED AREA. SODDING AN AREA MAY BE SUBSTITUTED FOR PERMANENT SEEDING PROCEDURES ANYWHERE ON SITE. PREPARATION, FERTILIZING, AND PLACEMENT OF SOD SHALL BE PERFORMED ACCORDING TO SUPPLIER'S SPECIFICATIONS. SODDING IS RECOMMENDED FOR STEEP SLOPED AREAS. AREAS IMMEDIATELY ADJACENT TO SENSITIVE WATER COURSES, EASILY ERODIBLE SOILS (FINE SAND/SILT) ETC.



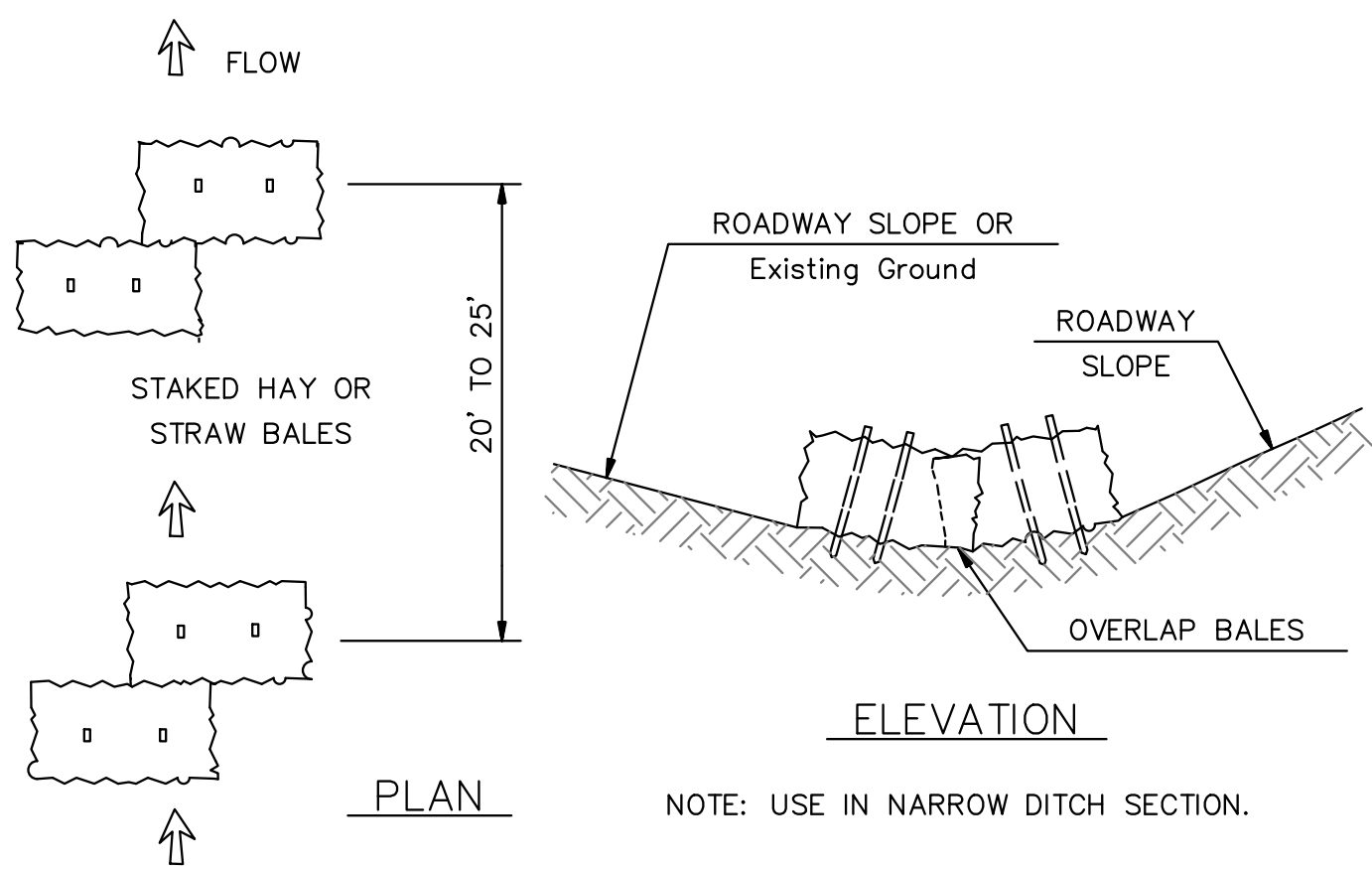
- NOTES:
- IT MAY BE NECESSARY TO CUT, PACK DOWN OR REMOVE TALL GRASSES, BRUSH OR WOODY VEGETATION TO AVOID VOIDS AND BRIDGES THAT ALLOW THE WASHING AWAY OF FINE SOIL PARTICLES.
  - THE ECM BERM SHOULD BE A MINIMUM OF 12" HIGH AND A MINIMUM OF 2' WIDE. ON LONGER OR STEEPER SLOPES, THE BERM WILL NEED TO BE WIDER AND HIGHER.
  - BERMS COMPOSED OF ECM CAN BE RESHAPED WHEN NECESSARY.

**EROSION CONTROL MIX (ECM) BERM DETAIL**  
NOT TO SCALE



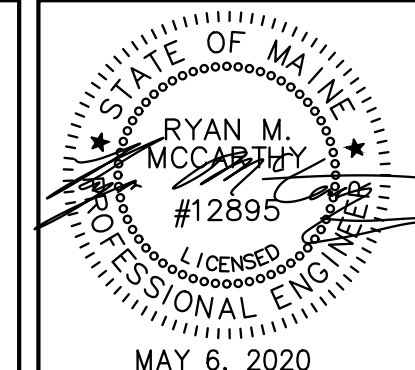
**TEMPORARY CONSTRUCTION ENTRANCE**  
NOT TO SCALE

- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP.
  - STONE SHALL BE 2"-3" COURSE AGGREGATE AND A MINIMUM OF 6" THICK.
  - DIVERSION BERM REQUIRED WHERE SLOPE OF DRIVEWAY EXCEEDS 2% TOWARDS MAIN ROAD.



**TEMPORARY HAY BALE BARRIER**  
NOT TO SCALE

**ISSUED FOR TOWN REVIEW**  
**NOT FOR CONSTRUCTION**



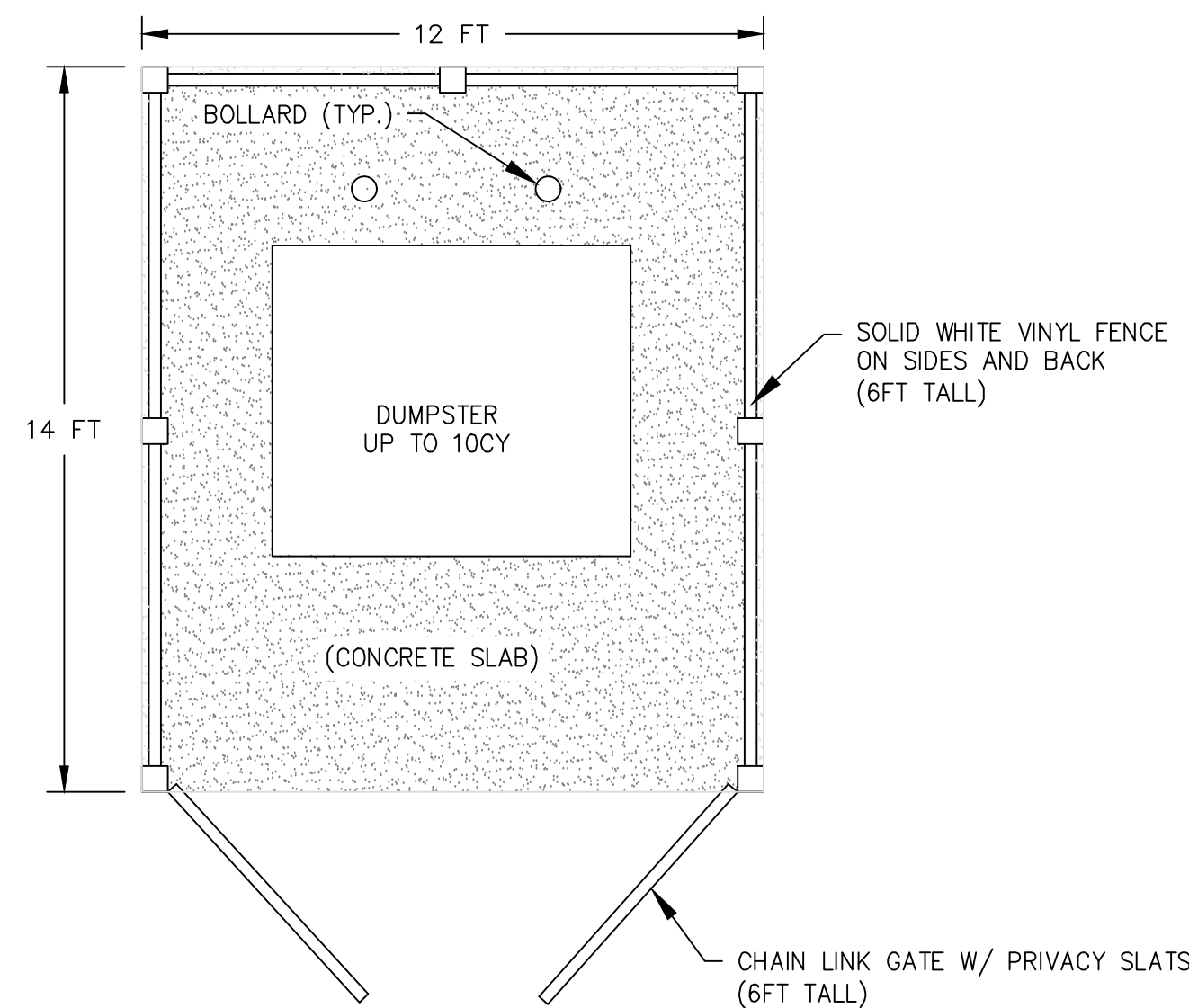
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ISSUED FOR REVIEW BY TOWN OF KITTERY	DATE:
1	5/6/20
NO.	

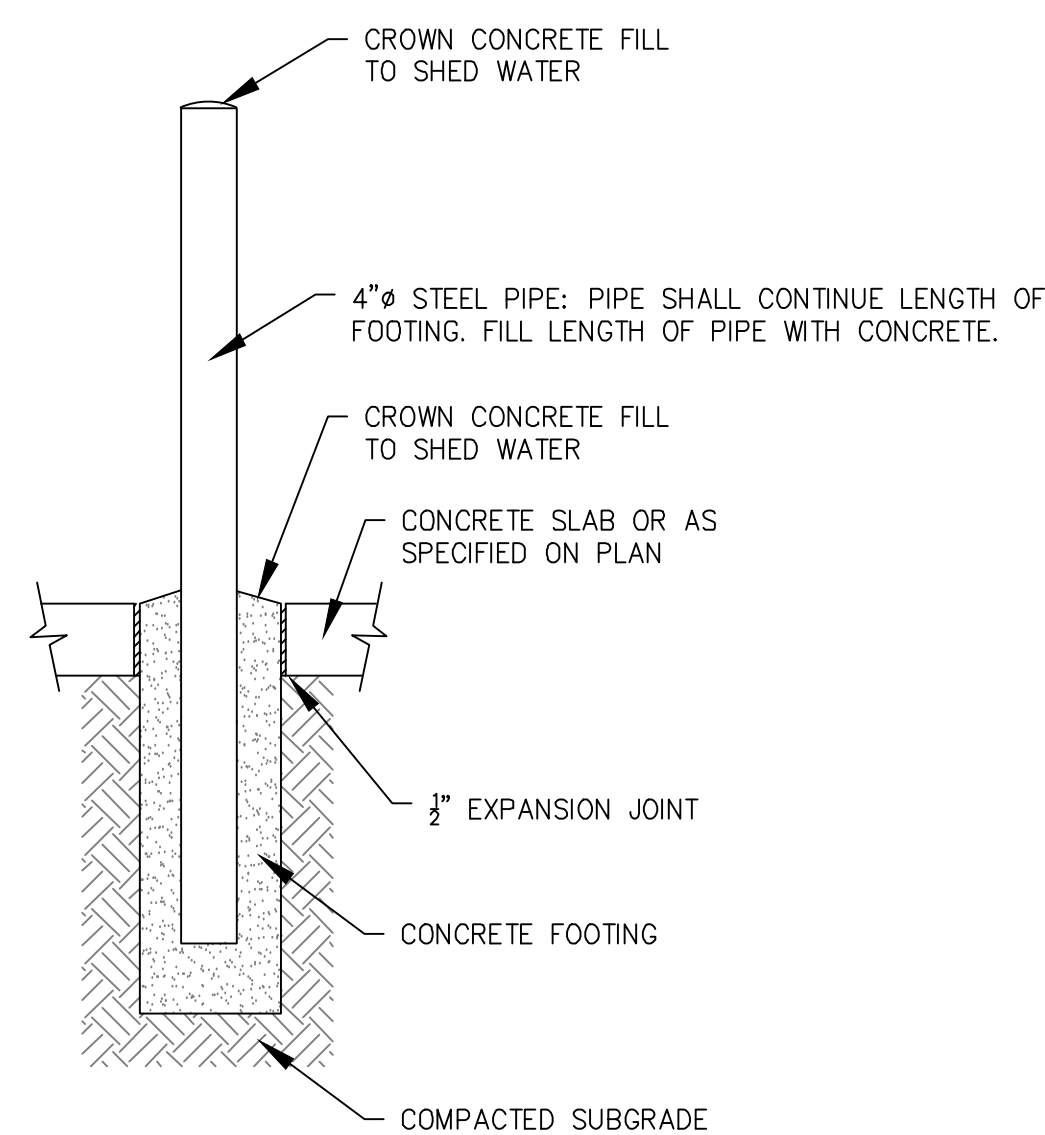
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CLIENT:	ROBERT T. BRENNAN, JR. 1911 SE 20TH STREET CAPE CORAL, FL 33990
PROJECT:	KITTERY CAR WASH ROUTE 236, KITTERY, MAINE 03904
SHEET:	EROSION AND SEDIMENT CONTROL PLAN
JOB #:	19-134
DATE:	MARCH 2020
SCALE:	1" = 20'

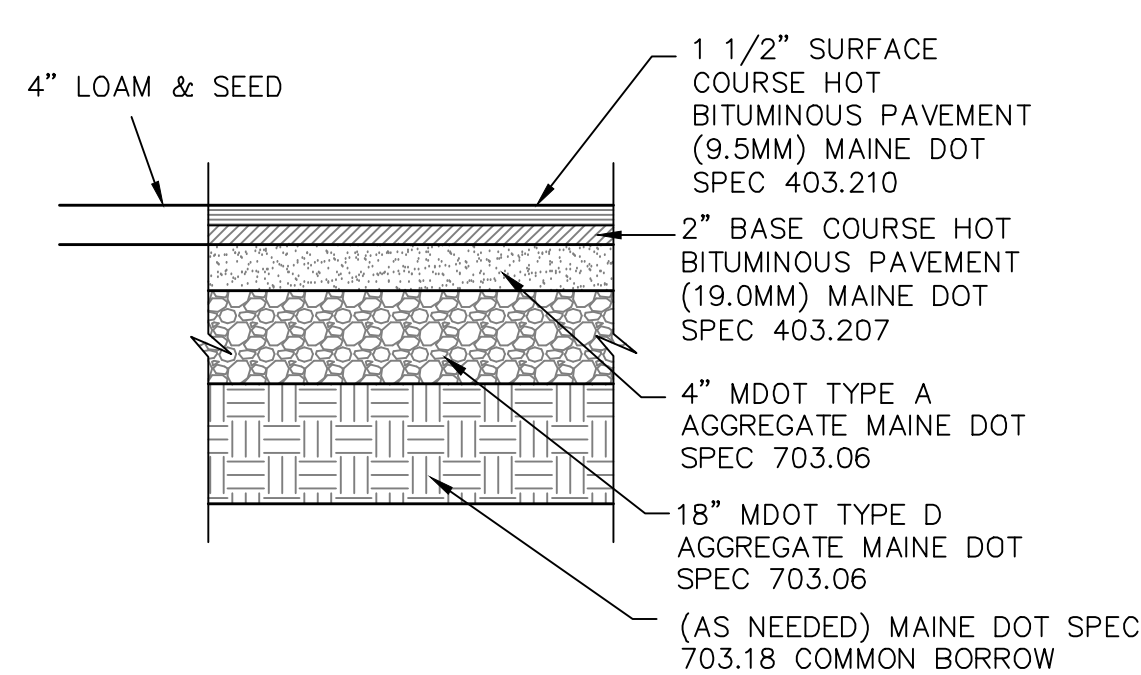
TAX MAP 28 LOT 25D



**DUMPSTER ENCLOSURE DETAIL**  
NOT TO SCALE



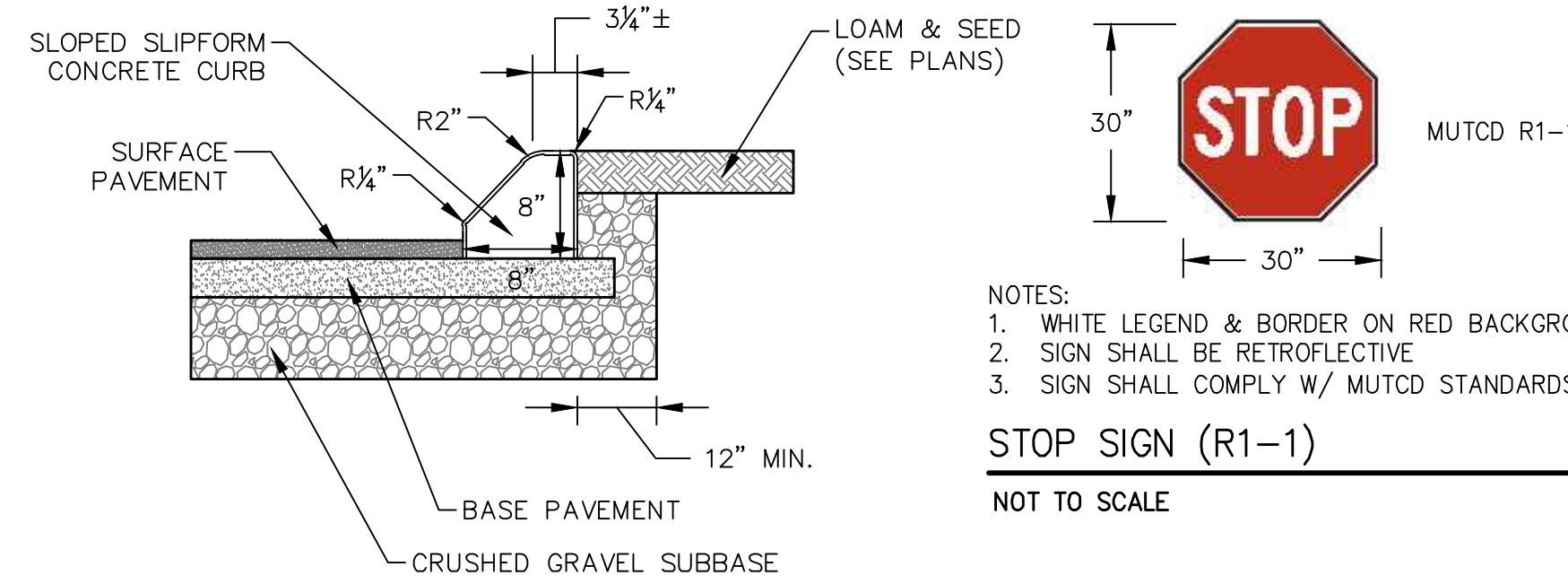
**BOLLARD DETAIL**  
NOT TO SCALE



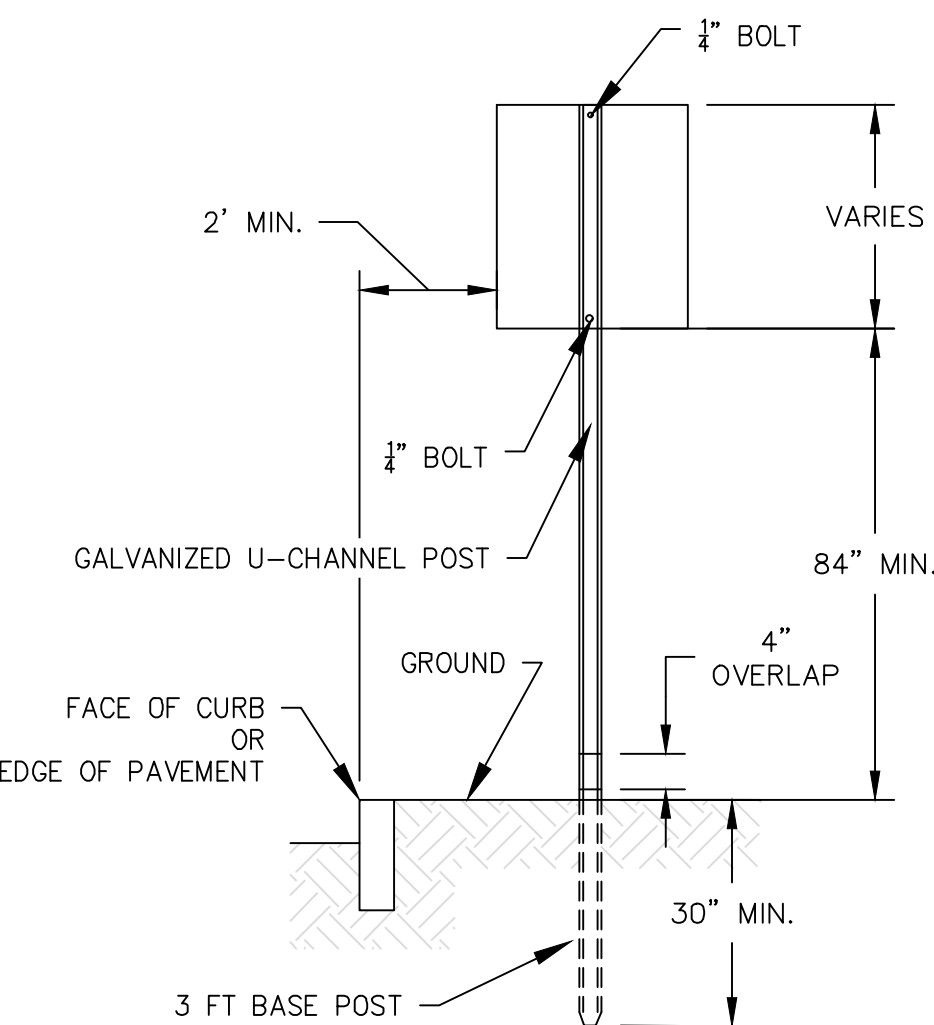
**GENERAL MATERIAL NOTES - APPLIED TO ALL DETAILS UNLESS OTHERWISE NOTED.**

1. MATERIAL AND CONSTRUCTION METHODS SHALL CONFORM TO THE STATE OF MAINE STANDARD SPECIFICATIONS REVISION OF NOV. 2014.
2. ALL ORGANIC MATERIALS, ROCKS, DEBRIS/RUBBISH AND BOULDERS WITHIN TWO FEET BELOW THE SUBGRADE OF THE ROAD MUST BE REMOVED AND REPLACED WITH SUITABLE COMPACTED FILL MEETING MAINE DOT SPEC 703.20 GRAVEL BORROW.
3. FILL UNDER PAVEMENT OR CONCRETE AREAS SHALL BE INSTALLED AND COMPACTED IN ACCORDANCE WITH THE STATE OF MAINE STANDARD SPECIFICATIONS.

**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE



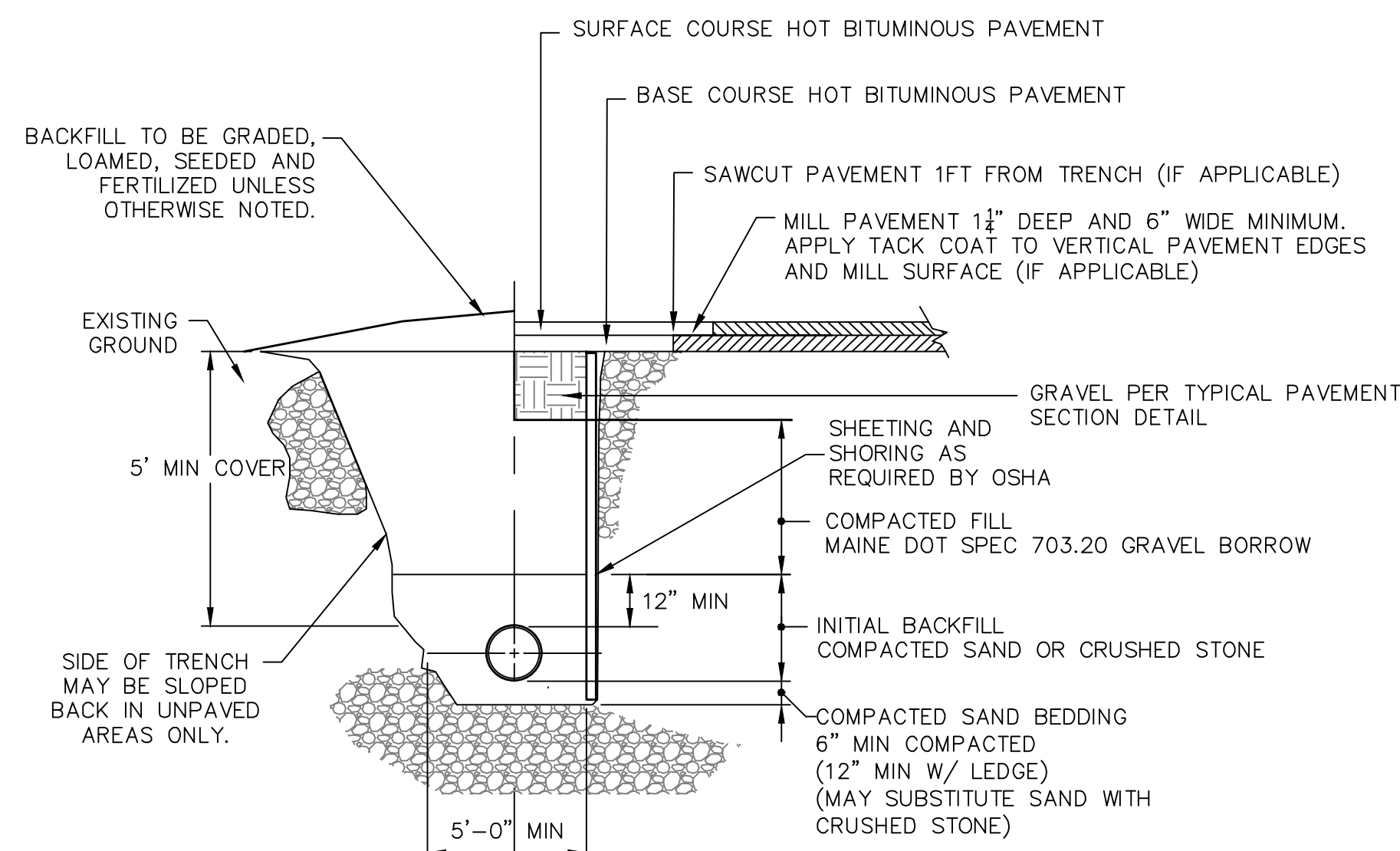
**SLOPED SLIPFORM CONCRETE CURB DETAIL**  
NOT TO SCALE



**BREAK AWAY SIGN POST**  
NOT TO SCALE

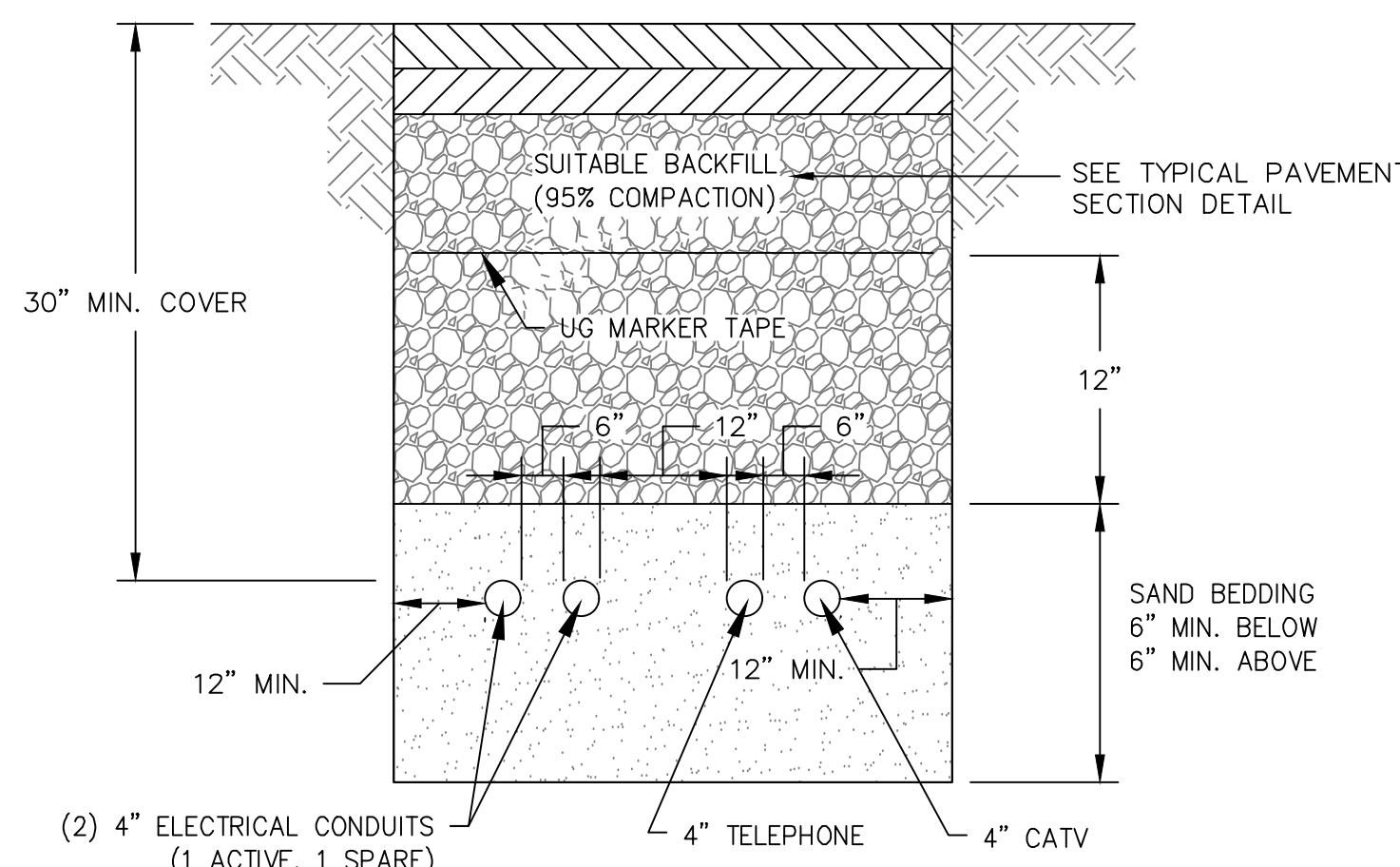
**NOTES:**

1. POSTS SHALL BE PLUMB; ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED.
2. POSTS MAY BE SET OR DRIVEN.
3. WHEN POSTS ARE SET, HOLES SHALL BE DUG TO PROPER DEPTH. AFTER INSERTING POSTS, THE HOLES SHALL BE BACKFILLED WITH SUITABLE MATERIAL IN 6" LIFTS AND THOROUGHLY COMPACTED.
4. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED. POSTS SHALL NOT BE DRIVEN WHILE SIGN IS ATTACHED.
5. SIGNS SHALL MEET THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND INSTALLED IN ACCORDANCE WITH THE MANUAL.
6. THE POST SHALL NOT EXTEND ABOVE THE TOP OF THE SIGN.
7. POST SHALL BE GALVANIZED GRADE 60 STEEL (ASTM A-499) OR GRADE 1070-1080 (ASTM A-576).
8. ALL POST SHALL UTILIZE BREAKAWAY DEVICES AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS.



**NOTES:** 1. ALL EXCAVATION MUST MEET OSHA STANDARDS.

**PIPE TRENCH DETAIL**  
NOT TO SCALE



**NOTES:**

1. INSTALL CONDUIT PER THE REQUIREMENTS AND SPECIFICATION OF RESPECTIVE UTILITY COMPANY.
2. CONDUIT SHALL BE SCH. 80 PIPE UNLESS OTHERWISE SPECIFIED BY UTILITY COMPANY.
3. ADDITIONAL SPARE CONDUITS MAY BE INSTALLED PROVIDED A MINIMUM OF 6" OF CLEARANCE IS PROVIDED BETWEEN CONDUIT.
4. BACKFILL MATERIAL SHALL CONFORM TO TYPICAL PAVEMENT SECTION DETAIL IF LOCATED UNDER THE ROAD.
5. ALL UTILITIES AND CONDUIT SHALL BE REVIEWED AND APPROVED PRIOR TO INSTALLATION AND INSPECTED PRIOR TO BACKFILLING.
6. CONCRETE ENCASUREMENT MAY BE REQUIRED IN REPLACE OF THE SAND BEDDING PER THE UTILITY COMPANY.

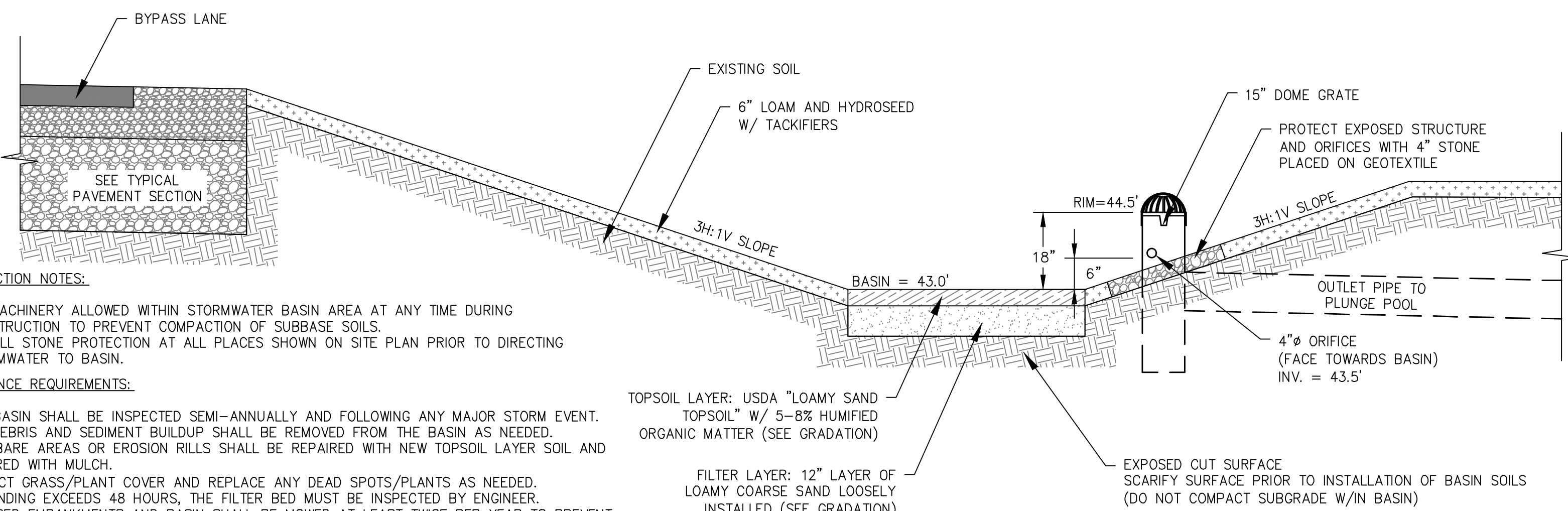
**UNDERGROUND UTILITY TRENCH**  
NOT TO SCALE

PLUNGE POOL SIZING (MINIMUM)				
SIZE	RIPRAP SIZING D50	WIDTH OF PLUNGE POOL OR APRON	LENGTH FOR SLOW FLOWS (NO PRESSURE HEAD)	LENGTH FOR HIGH FLOWS (WITH PRESSURE HEAD)
12"	5"	3'-4"	4'-6"	8'-10'
18"	8"	4'-6"	6'-8"	12'-18'
24"	10"	6'-8"	8'-10"	18'-22'
30"	12"	8'-10"	12'-14'	22'-28'
36"	14"	10'-12"	14'-16'	28'-32'

THE DIAMETER OF THE LARGEST STONE SIZE IN THE MIX SHOULD BE ABOUT 1.5 TIMES THE D50 AND THE SMALLEST ONE ABOUT ONE HALF THE SIZE. THE THICKNESS OF RIPRAP SHOULD NEVER BE LESS THAN 2 TIMES THE ROCK D50.

**CONSTRUCTION SPECIFICATIONS**

- IF THE PIPE DISCHARGES ONTO A FLAT AREA THE APRON SHOULD HAVE A WIDTH THAT IS THREE TIMES THE OUTLET PIPE'S DIAMETER. IF THE PIPE FLOWS HAVE THE POTENTIAL OF CAUSING A GULLY, A LEVEL SPREADER SHOULD BE PROVIDED.
- THE CHANNEL SIDE SLOPES SHOULD BE NO STEEPER THAN 2:1. RIPRAP ON THE SIDES OF THE PLUNGE POOL SHOULD EXTEND TO THE TOP OF THE CHANNEL.
- THE PLUNGE POOL SIZING AND THE MEDIAN SIZED RIPRAP CAN BE DETERMINED FROM THE FOLLOWING TABLE. THE THICKNESS OF RIPRAP SHOULD NOT BE LESS THAN 2 TIMES THE ROCK D50
- A GEOTEXTILE OR APPROPRIATE GRAVEL FILTER SHOULD BE USED TO PROTECT AGAINST PIPING OF SOIL FINES FROM BENEATH THE ROCK.
- IN A CHANNEL THAT CAN BE REVEGETATED, SEED AND MULCH SHOULD BE APPLIED WITHIN 7 DAYS FROM FINAL CONSTRUCTION.



**CONSTRUCTION NOTES:**

1. NO MACHINERY ALLOWED WITHIN STORMWATER BASIN AREA AT ANY TIME DURING CONSTRUCTION TO PREVENT COMPACTION OF SUBBASE SOILS.
2. INSTALL STONE PROTECTION AT ALL PLACES SHOWN ON SITE PLAN PRIOR TO DIRECTING STORMWATER TO BASIN.

**MAINTENANCE REQUIREMENTS:**

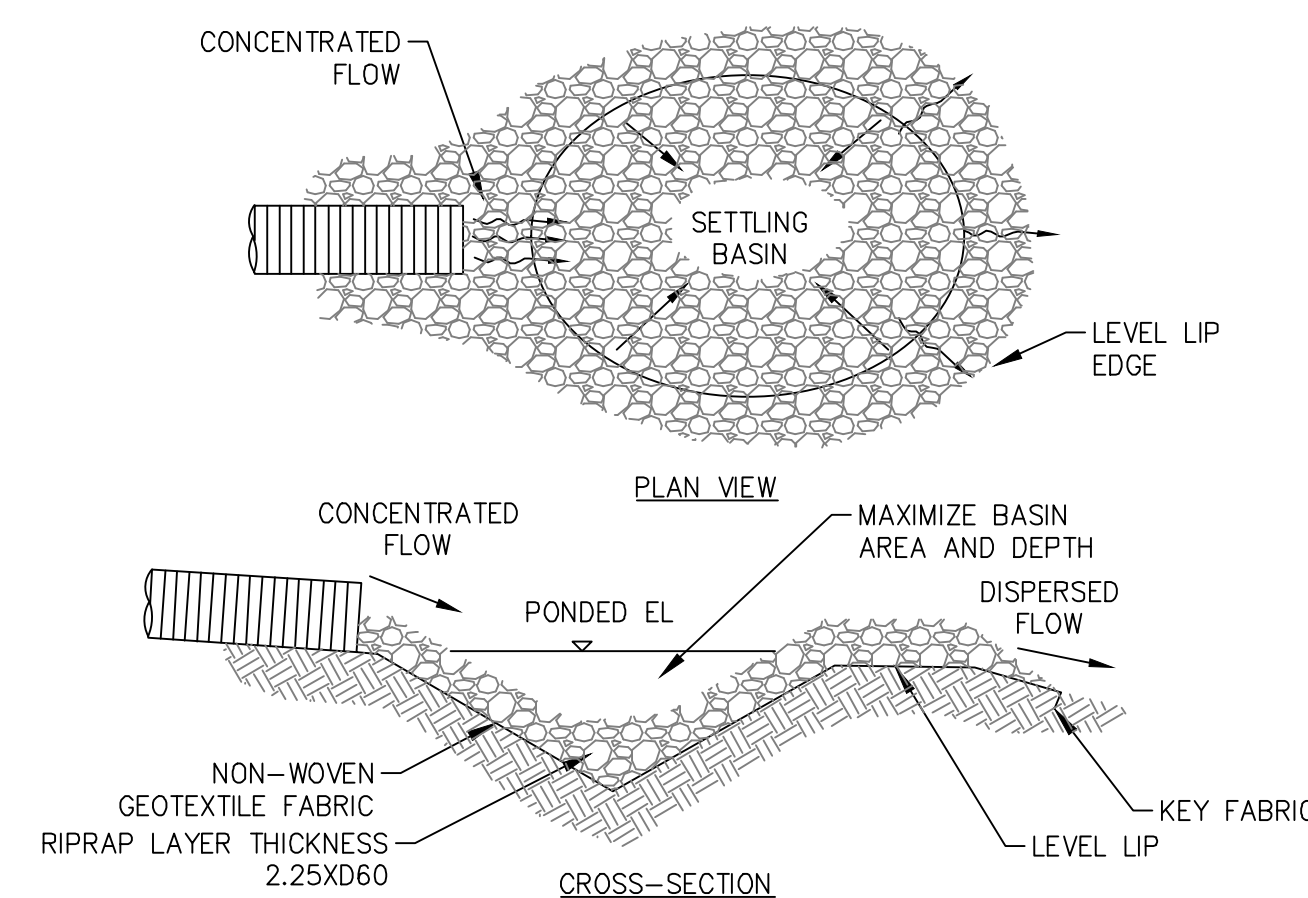
1. THE BASIN SHALL BE INSPECTED SEMI-ANNUALLY AND FOLLOWING ANY MAJOR STORM EVENT.
2. ALL DEBRIS AND SEDIMENT BUILDUP SHALL BE REMOVED FROM THE BASIN AS NEEDED.
3. ANY BARE AREAS OR EROSION RILLS SHALL BE REPAIRED WITH NEW TOPSOIL LAYER SOIL AND COVERED WITH MULCH.
4. INSPECT GRASS/PLANT COVER AND REPLACE ANY DEAD SPOTS/PLANTS AS NEEDED.
5. IF PONDING EXCEEDS 48 HOURS, THE FILTER BED MUST BE INSPECTED BY ENGINEER.
6. GRASSSED EMBANKMENTS AND BASIN SHALL BE MOWED AT LEAST TWICE PER YEAR TO PREVENT SAPLINGS AND WOODED VEGETATION FROM GROWING.
7. WEEDING TO CONTROL UNWANTED OR INVASIVE PLANTS SHALL BE DONE AS NECESSARY.

**STORMWATER BASIN CROSS SECTION**  
NOT TO SCALE

TOPSOIL LAYER GRADATION	
SIEVE #	% PASSING BY WEIGHT
4	75-95
10	60-90
40	35-85
200	25-70
200 (CLAY)	< 5.0

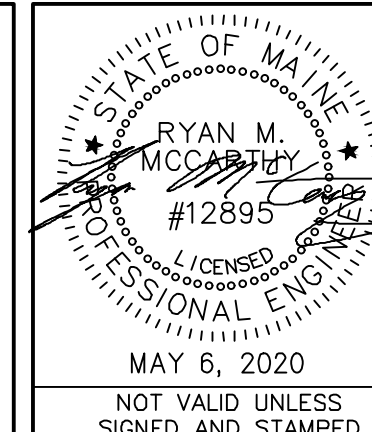
  

FILTER LAYER GRADATION	
SIEVE #	% PASSING BY WEIGHT
10	85-100
20	70-100
60	15-40
200	8-15
200 (CLAY)	< 5.0



**PLUNGE POOL DETAIL**  
NOT TO SCALE

**ISSUED FOR TOWN REVIEW**  
**NOT FOR CONSTRUCTION**



ISSUED FOR REVIEW BY TOWN OF KITTERY	NO.	DATE:
	1	5/6/20
SUBMISSION/REVISION DESCRIPTION		



**CLIENT:** ROBERT T. BRENNAN, JR., 1911 SE 20TH STREET, CAPE CORAL, FL 33990  
**PROJECT:** KITTERY CAR WASH, ROUTE 236, KITTERY, MAINE 03904  
**SHEET:** CONSTRUCTION DETAILS

JOB #:	19-134
DATE:	MARCH 2020
SCALE:	1" = 20'

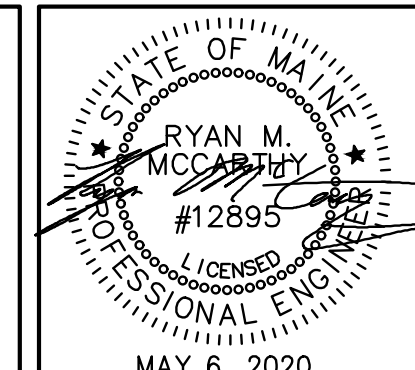




- LANDSCAPING NOTES:
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING WOODED AREAS, EXISTING TREES AND PROPOSED ADDITIONAL LANDSCAPING ASSOCIATED WITH THE PROPOSED KITTERY CAR WASH DEVELOPMENT.
  2. ALL EXISTING TREES WITHIN THE CONSTRUCTION AREA SHALL BE PROTECTED FROM DAMAGE BY INSTALLING SNOW FENCE OR SIMILAR MATERIAL AROUND EACH TREE. SAID SNOW FENCE SHALL BE LOCATED ALONG THE DRIP EDGE OF THE TREE'S CANOPY. CONTRACTOR TO AVOID SOIL COMPACTION OVER THE TREE'S ROOT SYSTEM.
  3. THE STUMPS OF ALL TREES SHOWN ON THIS PLAN TO BE REMOVED SHALL BE GROUND TO AT LEAST 6 INCHES BELOW GRADE OR REMOVED BY EXCAVATION.
  4. ALL PROPOSED TREES AND PLANTS THAT DO NOT SURVIVE FOR A PERIOD OF TWO YEARS FOLLOWING THE DATE OF INSTALLATION SHALL BE REPLACED BY THE OWNER.
  5. ALL AREAS TO BE MAINTAINED AS GRASS SHALL BE COVERED WITH SIX INCHES OF LOAM AND HYDROSEEDED. HYDROSEED SHALL INCLUDE TACKIFIERS. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING HYDROSEEDED AREAS ON A DAILY BASIS OR AS RECOMMENDED BY INSTALLER.
  6. REFERENCE IS MADE TO SHEET C5 FOR EROSION AND SEDIMENT CONTROL REQUIREMENTS.
  7. PROPOSED PLANTS SELECTED FROM THE APPROVED PLANT MATERIALS LIST FOUND WITHIN SECTION III OF THE KITTERY DESIGN HANDBOOK.
  8. LANDSCAPE REQUIREMENTS PER §16.3.2.11.D(4) C-2 ZONE STANDARDS:
    - (a) PARKING: THE PROPOSED VACUUM BAY PARKING STALLS TO BE SCREENED AS SHOWN ON THE PLAN.
    - (c) LANDSCAPING SITE IMPROVEMENTS:
      - [1] LANDSCAPE PLANTER STRIP: A 20 FOOT DEEP VEGETATED LANDSCAPE PLANTER STRIP IS PROVIDED ALONG BOTH ROUTE 236 AND MACKENZIE LANE. THIS LANDSCAPE STRIP INCLUDES A COMBINATION OF MOWED GRASS SURFACES, TREES AND PLANTS. ALL VEGETATION SHALL BE MAINTAINED IN GOOD CONDITION.
      - [1]b] STREET-SIDE TREES: A MINIMUM OF ONE STREET TREE PER 50 FEET OF STREET FRONTAGE REQUIRED.

ROUTE 236:  
 240 LF OF OPEN FRONTAGE / 50 = 5 TREES REQUIRED  
 NUMBER OF EXISTING TREES = 11 TREES  
 NUMBER OF TREES TO BE REMOVED = 4 TREES  
 NUMBER OF TREES TO BE PLANTED = 1 TREE  
 TOTAL NUMBER OF TREES PROVIDED = 8 TREES

MACKENZIE LANE:  
 220 LF OF OPEN FRONTAGE / 50 = 5 TREES REQUIRED  
 NUMBER OF EXISTING TREES = 6 TREES  
 NUMBER OF TREES TO BE REMOVED = 1 TREE  
 NUMBER OF TREES TO BE PLANTED = 1 TREE  
 TOTAL NUMBER OF TREES PROVIDED = 6 TREES



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ISSUED FOR REVIEW BY TOWN OF KITTERY	DATE: 5/6/20
SUBMISSION/REVISION DESCRIPTION	NO. 1

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 ENGINEERING & SURVEYING, INC.  
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CLIENT:	ROBERT T. BRENNAN, JR. 1911 SE 20TH STREET CAPE CORAL, FL 33990
PROJECT:	KITTERY CAR WASH ROUTE 236, KITTERY, MAINE 03904
SHEET:	PROPOSED LANDSCAPING PLAN
JOB #:	19-134
DATE:	MARCH 2020
SCALE:	1" = 20'
DRAWING	

ISSUED FOR TOWN REVIEW  
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TREE AND PLANT SCHEDULE:

BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
ULMUS AMERICANA	PRINCETON AMERICAN ELM	2	2-2½" CALIPER
CALAMOGROSTIS ACUTIFLORA	REED GRASS	15	1 GALLON
HEMEROCALLIS	BIG TIME HAPPY DAYLILY	50	1 GALLON

