

# SITE DEVELOPMENT PLANS

FOR A

# PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT

76 DENNETT ROAD  
KITTERY, ME 03904

APPLICANT

**AZTEC, LLC**  
ONE CITY CENTER, P.O. BOX 9546  
PORTLAND, ME 04112

LAST REVISED: JUNE 17, 2020

**TOWN OF KITTERY, PLANNING BOARD**

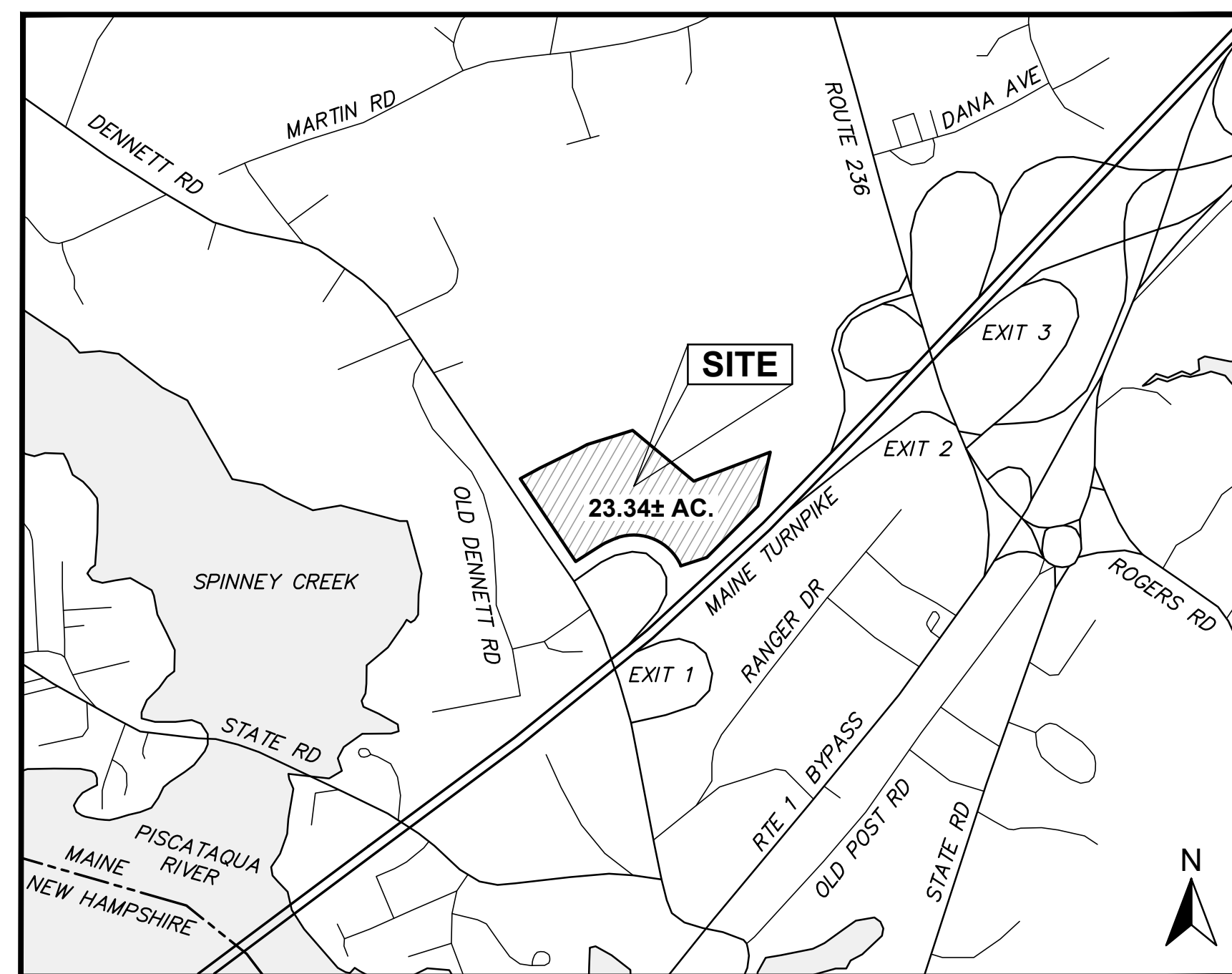
CHAIR \_\_\_\_\_ DATE \_\_\_\_\_

**PERMITS/APPROVALS**

	PERMIT NUMBER	DATE APPROVED
MAINE DEP SITE LOCATION OF DEVELOPMENT	#L-28385-26-A-N, KITTERY	PENDING
ARMY CORPS OF ENGINEERS	NAE-2019-02583	01/08/20
MAINEDOT TRAFFIC MOVEMENT PERMIT	REG. 01-000261-A-N	03/23/20
TOWN OF KITTERY SITE PLAN APPROVAL	TAX MAP LOTS 6-15B, 6-16A & 13-4	PENDING

**LIST OF DRAWINGS**

DWG #	SHEET#	DWG NAME
C1	1	TITLE SHEET
C2	2	NOTES, ABBREVIATIONS & LEGEND
C3	3	OVERALL EX. CONDITIONS PLAN/BOUNDARY SURVEY
C4	4	HIGH INTENSITY SOIL MAP
C5	5	OVERALL SITE PLAN
C6	6	FRONT EROSION CONTROL & HOUSEKEEPING PLAN
C7	7	REAR EROSION CONTROL & HOUSEKEEPING PLAN
C8	8	FRONT SITE PLAN
C9	9	REAR SITE PLAN
C10	10	FRONT GRADING & DRAINAGE PLAN
C11	11	REAR GRADING & DRAINAGE PLAN
C12	12	SITE ROADWAY PLAN & PROFILE
C13	13	DENNETT ROAD LAYOUT PLAN
C14	14	DENNETT ROAD GRADING & DRAINAGE PLAN
C15	15	FRONT UTILITY PLAN
C16	16	REAR UTILITY PLAN
C17	17	FRONT LIGHTING PLAN
C18	18	REAR LIGHTING PLAN
C19	19	FRONT LANDSCAPING PLAN
C20	20	REAR LANDSCAPING PLAN
C21	21	CONSTRUCTION DETAILS 1
C22	22	CONSTRUCTION DETAILS 2
C23	23	CONSTRUCTION DETAILS 3
C24	24	CONSTRUCTION DETAILS 4
C25	25	CONSTRUCTION DETAILS 5
C26	26	CONSTRUCTION DETAILS 6
C27	27	CONSTRUCTION DETAILS 7
C28	28	CONSTRUCTION DETAILS 8



**LOCUS MAP**

1" = 1000'

ISSUED FOR FINAL PLANNING BOARD APPROVAL

**OWNER:**

SAIL AWAY, LLC  
PISCATAQUA REALTY, LLC  
WILLIAM J. CULLEN  
12 ROSEBERRY LANE  
KITTERY, ME 03904

**PARCEL INFORMATION:**

TAX MAP LOT 6-15B	TAX MAP LOT 6-16A	TAX MAP LOT 13-4
13.29± ACRES 76 DENNETT ROAD SAIL AWAY, LLC 12 ROSEBERRY LANE KITTERY, ME 03904	4.99± ACRES 70 DENNETT ROAD PISCATAQUA REALTY, LLC WILLIAM J CULLEN 12 ROSEBERRY LANE KITTERY, ME 03904	5.06± ACRES DENNETT ROAD WILLIAM J. CULLEN 12 ROSEBERRY LANE KITTERY, ME 03904

**PROJECT TEAM:**

**CIVIL ENGINEER**

HOYLE, TANNER & ASSOCIATES  
100 INTERNATIONAL DRIVE, SUITE 360  
PORTSMOUTH, NH 03801  
ATTN: SHAWN TOBEY  
(603) 431-2520

**ARCHITECT**

CUBE3  
370 MERRIMACK STREET, SUITE 337  
LAWRENCE, MA 01843  
ATTN: NICK GRIFFIN  
(978) 989-9900

**GEOTECHNICAL ENGINEER**

S.W. COLE ENGINEERING, INC.  
10 CENTRE ROAD  
SOMERSWORTH, NH 03878  
ATTN: ANTHONY HERSH  
(603) 692-0088

**SURVEYOR**

FIELDSTONE LAND CONSULTANTS, PLLC  
206 ELM STREET  
MILFORD, NH 03055  
ATTN: MICHAEL PLOOF  
(603) 672-5456

**LIGHTING DESIGN**

VISUAL LIGHT, INC.  
24 STICKNEY TERRACE, SUITE 6  
HAMPTON, NH 03842  
ATTN: SCOTT DROUIN  
(603) 926-6049

**TRAFFIC**

HOYLE, TANNER & ASSOCIATES  
100 INTERNATIONAL DRIVE, SUITE 360  
PORTSMOUTH, NH 03801  
ATTN: TODD CLARK  
(603) 431-2520

**TRAFFIC COUNTS**

PRECISION DATA INDUSTRIES, LLC  
46 MORTON STREET  
FRAMINGHAM, MA 01702  
ATTN: SCOTT PETTY  
(508) 875-0100

**WATER HYDRAULIC MODEL**

WRIGHT-PIERCE  
11 BOWDOIN MILL ISLAND, SUITE 140  
TOPSHAM, ME 04068  
CONTACT: JACQUELINE COBB  
(207) 725-8721

**WETLAND PERMITTING**

ATLANTIC ENVIRONMENTAL, LLC  
135 RIVER ROAD  
WOOLWICH, ME 04579  
CONTACT: LISA VICKERS  
(207) 837-2199

**WETLANDS/SOIL MAPPING**

JOSEPH NOEL  
P.O. BOX 174  
SOUTH BERWICK, ME 03908  
CONTACT: JOSEPH NOEL  
(207) 384-5587

**UTILITY CONTACTS:**

**WATER SERVICE:**  
KITTERY WATER DISTRICT  
17 STATE ROAD  
KITTERY, ME 03904  
CONTACT: MICHAEL ROGERS  
(207) 439-1128

**FIRE DEPARTMENT:**  
KITTERY FIRE DEPARTMENT  
3 GORGES ROAD  
KITTERY, ME 03904  
CONTACT: DAVID O'BRIEN  
(207) 439-2262

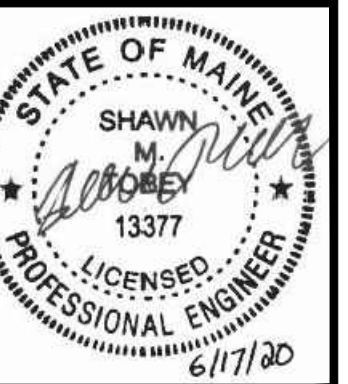
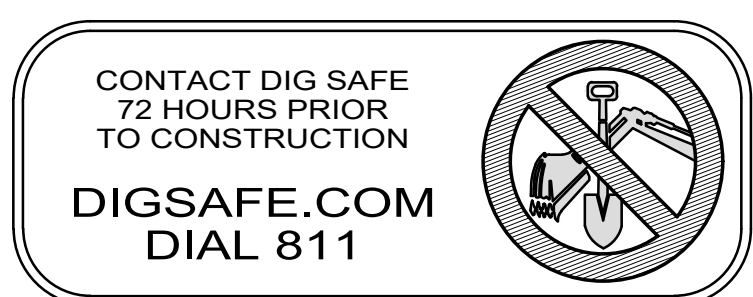
**SEWER SERVICE:**  
KITTERY SEWER DEPARTMENT  
18 DENNETT ROAD ROAD  
KITTERY, ME 03904  
CONTACT: TIM BABKIRK  
(207) 439-4646

**STORMWATER / ROW:**  
KITTERY PUBLIC WORKS  
200 ROGERS ROAD  
KITTERY, ME 03904  
CONTACT: JESSA KELLOGG  
(207) 475-1321

**ELECTRIC SERVICE:**  
CENTRAL MAINE POWER COMPANY  
83 EDISON DRIVE  
AUGUSTA, ME 04330  
CONTACT: VAN HOBGOOD  
(800) 750-4000

**TELECOMMUNICATIONS:**  
FAIRPOINT COMMUNICATIONS  
1575 GREENLAND ROAD  
GREENLAND, NH 03840  
CONTACT: JOE CONSIDINE  
(603) 427-5525

**GAS SERVICE:**  
UNITIL ME GAS OPERATIONS  
376 RIVERSIDE INDUSTRIAL PARKWAY  
PORTLAND, ME 04103  
CONTACT: SCOTT CARPENTER  
(207) 541-2543



REV.	DATE	REVISION DESCRIPTION
15	06/17/20	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL
14	05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
13	03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
12	02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINEDOT COMMENTS
11	01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
10	01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS
9	12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND HOYLE, TANNER & ASSOCIATES, INC. IS NOT PROVIDING ASSURANCE OR WARRANTIES, INCLUDING ELECTRONICALLY, FOR THIS PROJECT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC.

**Hoyle, Tanner & Associates, Inc.**  
100 International Dr., #360, Portsmouth, NH 03801  
Tel: (603) 431-2520 Fax: (603) 431-8067 Web: www.foyletanner.com  
© Copyright, 2020 Hoyle, Tanner & Associates, Inc.

APPLICANT: AZTEC, LLC  
ONE CITY CENTER, P.O. BOX 9546  
PORTLAND, ME 04112

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
TAX MAP LOTS 6-15B, 6-16A & 13-4  
76 DENNETT ROAD, KITTERY, ME 03904

TITLE SHEET  
**C1**  
PROJECT NO. 569200  
SHEET 1 OF 28



GENERAL NOTES:

- 1. THE BOUNDARY, SURFACE FEATURES AND TOPOGRAPHY ARE THE RESULT OF AN ON THE GROUND SURVEY CONDUCTED DURING THE MONTH OF APRIL 2019 BY FIELDSTONE LAND CONSULTANTS, PLLC. SEE DWG C3 FOR ADDITIONAL EXISTING CONDITIONS INFORMATION REGARDING THE WETLANDS, VERNAL POOL AND STREAM.
2. THIS PROJECT IS TO BE CONSTRUCTED TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE STANDARDS OF THE TOWN OF KITTEERY, MAINE DEP AND MAINE DOT.
3. THIS PROJECT SHALL CONFORM TO ALL REQUIREMENTS SET FORTH IN THE MAINE DEP SITE LOCATION OF DEVELOPMENT PERMIT.
4. ALL WORK WITHIN THE STATE RIGHT-OF-WAY SHALL CONFORM TO ALL REQUIREMENTS SET FORTH IN THE MAINE DOT TRAFFIC MOVEMENT PERMIT FOR THE PROJECT.
5. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE.
6. THE CONTRACTOR SHALL VERIFY AND DETERMINE THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR SHALL LOCATE THE UTILITIES SHOWN AND THE POSSIBLE EXISTENCE OF OTHER UNDERGROUND UTILITIES BY PROVIDING OBSERVATION TEST PITS. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (DIAL 811) AND THE TOWN OF KITTEERY AT LEAST 72 HOURS BEFORE DIGGING.
7. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
8. WHEN PREPARING THE EXISTING SITE FOR THE PROPOSED DEVELOPMENT, ALL MATERIALS REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL GOVERNING AGENCIES.
9. THE CONTRACTOR SHALL PERFORM ALL THE CLEARING AND GRUBBING NECESSARY WITHIN THE CONSTRUCTION AREA, LIMITING THE AMOUNT OF CLEARING AND GRUBBING TO THE GREATEST EXTENT POSSIBLE.
10. CONTRACTOR SHALL MAKE EVERY ATTEMPT POSSIBLE TO SAVE EXISTING TREES AND MINIMIZE DAMAGE TO TREES ADJACENT TO CONSTRUCTION LIMITS DURING CONSTRUCTION.
11. DURING CONSTRUCTION THERE SHALL BE NO DISTURBANCES TO THE EXISTING WETLANDS, VERNAL POOL, CRITICAL TERRESTRIAL HABITAT OR THE 25' STREAM BUFFER EXCEPT FOR APPROVED PERMITTING DISTURBANCES OR AREAS OF HABITAT RESTORATION.
12. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING BENCHMARKS AND BOUNDS. ALL BENCHMARKS AND BOUNDS DISTURBED BY THE CONTRACTOR SHALL BE RE-ESTABLISHED BY A MAINE REGISTERED LAND SURVEYOR AT NO EXPENSE TO THE OWNER.
13. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ANY EXCAVATION SAFEGUARDS, NECESSARY BARRICADES, POLICE DETAILS, ETC., FOR TRAFFIC CONTROL AND SITE SAFETY. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS.
14. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS OF THE SITE.
15. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL WORK IS DONE IN ACCORDANCE WITH OSHA REQUIREMENTS.
16. ALL DEWATERING MUST BE EXECUTED IN ACCORDANCE WITH MAINE DOT STANDARD SPECIFICATIONS. REGULATIONS PROHIBIT DISCHARGING GROUNDWATER TO A SANITARY OR COMBINED SEWER WITHOUT PERMISSION.
17. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS (PIPE, CASTINGS, STRUCTURES, ETC.) TO THE INSPECTING ENGINEER FOR REVIEW AND APPROVAL AT LEAST TWO WEEKS PRIOR TO FABRICATION AND INSTALLATION.
18. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, TEMPORARY UTILITIES AND COORDINATION WITH ALL AGENCIES IN OBTAINING ACCESS TO THE SITE AND PERFORMING ALL WORK REQUIRED FOR THIS PROJECT.
19. THE BUILDING FOOTPRINTS SHOWN ON THESE PLANS ARE BASED ON PRELIMINARY ARCHITECTURAL DRAWINGS. COORDINATE ALL BUILDING LAYOUTS AND DIMENSIONS WITH THE FINAL ARCHITECTURAL DRAWINGS.
20. SQUARE FOOTAGE CALCULATIONS PROVIDED FOR THE PROPOSED DWELLING UNITS ARE BASED ON THE TOTAL HABITABLE FLOOR SPACE PER THE KITTEERY LAND USE & DEVELOPMENT CODE (LUDC) AND INCLUDE ALL INTERIOR CONDITIONED ROOMS.
21. THIS PROJECT REQUIRES COMPLIANCE WITH THE MPDES MAINE CONSTRUCTION GENERAL PERMIT (MCGP). PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL FILE A NOTICE OF INTENT WITH THE MAINE DEP.
22. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PRIOR TO AND DURING CONSTRUCTION.
23. COORDINATE ALL WORK ADJACENT TO THE PROPOSED BUILDINGS WITH THE ARCHITECTURAL, STRUCTURAL AND MEP DRAWINGS.
24. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE LATEST EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AMERICANS WITH DISABILITIES (ADA) ACT, AND STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS.
25. ALL CURB SHALL BE VERTICAL GRANITE UNLESS OTHERWISE NOTED.
26. THE PROPOSED DRIVEWAY AND ACCESS ROAD TO THE REAR OF THE SITE WILL BE A PRIVATE ROAD AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
27. THERE SHALL BE NO ONSITE SALT STORAGE.
28. THE PROPOSED NATURE LOOP TRAIL SHALL BE OPEN TO THE PUBLIC.
29. ALL PROPOSED SITE FEATURES SHALL BE LAID OUT IN THE FIELD USING SURVEY EQUIPMENT. AN AUTOCAD FILE OF THE EXISTING AND PROPOSED FEATURES WITH CONTROL POINTS WILL BE PROVIDED TO THE CONTRACTOR FOR CONSTRUCTION LAYOUT. THE LIMIT OF WORK SHALL BE CLEARLY MARKED IN THE FIELD BEFORE ANY WORK IS TO BEGIN ONSITE.
30. SYMBOLS AND LINETYPES MAY BE EXAGGERATED FOR CLARITY ON THESE DRAWINGS DUE TO THE SCALE. THE CONTRACTOR SHALL ADJUST ACCORDINGLY DURING CONSTRUCTION LAYOUT.
31. A PROFESSIONAL ENGINEER OR QUALIFIED DESIGN PROFESSIONAL SHALL BE RETAINED TO PERFORM PERIODIC SITE INSPECTION TO ENSURE CONSTRUCTION IS IN COMPLIANCE WITH THE APPROVED DRAWINGS.

DRAINAGE NOTES:

- 1. THE STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. ALL PIPE MATERIALS SHALL BE AS SPECIFIED ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO MAINE DOT STANDARD SPECIFICATIONS. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604.
2. ALL CATCH BASIN FRAMES AND GRATES SHALL NEENAH R-3472 OR APPROVED EQUAL.
3. POSITIVE RIM ELEVATIONS OF DRAINAGE MANHOLES AND CATCH BASINS ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
4. THE CONTRACTOR SHALL CONFIRM THE EXISTING GRADES AT THE OUTLET ELEVATIONS FOR ALL THREE WET PONDS PRIOR TO ANY DRAINAGE AND POND CONSTRUCTION.
5. THE CONTRACTOR SHALL CONFIRM THE ELEVATIONS FOR ALL DRAIN PIPE RUNS PRIOR TO ANY INSTALLATION.
6. THE CONTRACTOR SHALL PROVIDE FOR THE HANDLING OF EXISTING FLOWS FROM SERVICE CONNECTIONS AND MAINLINE PIPES. THE EXISTING DRAINS MAY HAVE ACTIVE FLOW AND THE CONTRACTOR SHALL MAINTAIN CONTINUOUS FLOW WITHOUT RESTRICTIONS.
7. THE CONTRACTOR SHALL STABILIZE ANY AND ALL DITCHES, SWALES AND PONDS PRIOR TO DIRECTING STORMWATER RUN-OFF TO THEM.
8. WHEN CONNECTING NEW PIPES TO EXISTING STRUCTURES SUCH AS MANHOLES AND CATCH BASINS, THE STRUCTURE SHALL BE COMPLETELY CLEANED OUT. THE HOLE MADE IN THE STRUCTURE SHALL BE AS SMALL AS NECESSARY. THE STRUCTURE SHALL BE REPAIRED TO MATCH ITS ORIGINAL TYPE OF CONSTRUCTION. THE JOINT BETWEEN THE STRUCTURE AND THE PIPE SHALL BE MADE WATERTIGHT BY FILLING THE JOINT WITH MORTAR.
9. THE CONTRACTOR SHALL CLEAN THE ENTIRE STORMWATER SYSTEM OF ALL SEDIMENT AND DEBRIS, WITHIN THE LIMIT OF WORK UPON COMPLETION OF CONSTRUCTION.
10. ALL DRAIN PIPES SHALL HAVE A MINIMUM GROUND COVER OF 3'. IF THE REQUIRED COVER CANNOT BE OBTAINED, THE PROPOSED PIPE SHALL BE ADS N-12 DOUBLE WALLED HOPE OR APPROVED EQUAL. INSTALL 4" OF RIGID INSULATION ABOVE THE DRAIN LINE IF 3' COVER CANNOT BE OBTAINED.
11. ALL PROPOSED CATCH BASINS SHALL BE DEEP SUMP CATCH BASINS WITH 4' SUMPS.
12. HEADWALLS 1-3, 6 AND 7 SHALL BE MORTAR RUBBLE OR STONE PATTERN STAMPED CONCRETE HEADWALLS. PROVIDE STAMPED PATTERN FOR REVIEW AND APPROVAL FROM OWNER.
13. THE PROPOSED STORMWATER SYSTEM AND WET PONDS SHALL BE MAINTAINED ACCORDING TO THE STORMWATER INSPECTION AND MAINTENANCE MANUAL PREPARED UNDER THE MAINE DEP SITE LOCATION OF DEVELOPMENT PERMIT. THE SYSTEM SHALL BE INSPECTED AT A MINIMUM IN THE SPRING AND FALL.
14. PROPOSED BUILDINGS 1-4 ARE DESIGNED WITH FLAT ROOFS AND INTERNAL ROOF DRAINS THAT CONNECT TO THE CLOSED DRAINAGE SYSTEM. BUILDINGS 5-9 HAVE SLOPED ROOFS THAT PITCH TO THE REAR OF THE STRUCTURES. ROOF RUNOFF IS COLLECTED THROUGH AN INFILTRATION CRUSHED STONE UNDERDRAIN THAT IS CONNECTED TO THE CLOSED DRAINAGE SYSTEM.
15. THE CONTRACTOR SHALL INSTALL PERIMETER FOOTING DRAINS AROUND ALL PROPOSED BUILDINGS. THE FOOTING DRAINS SHALL DRAIN TO DAYLIGHT OUTSIDE THE LIMITS OF PAVEMENT. SEE STRUCTURAL PLANS AND GEOTECHNICAL REPORT FOR PIPE SIZE AND INSTALLATION LOCATIONS.

EARTHWORK & GRADING NOTES:

- 1. GRADE AWAY FROM BUILDING WALLS AT 2% MINIMUM (TYPICAL).
2. PROVIDE UNIFORM SLOPE BETWEEN CONTOURS AND/OR SPOT ELEVATIONS.
3. SPOT GRADES SHOWN ARE PAVEMENT ELEVATIONS AT THE CURBLINE UNLESS OTHERWISE NOTED.
4. ALL GRASSED AND LANDSCAPED AREAS INSIDE THE SIDEWALKS SHALL BE GRADED TO DRAIN TO THE PROPOSED CATCH BASINS.
5. EARTH SLOPES SHALL BE NO STEEPER THAN 2:1 (HORIZONTAL:VERTICAL) AND SHALL BE FLATTER WHERE SHOWN.
6. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ROOTS AND STUMPS FOR TREES THAT ARE REMOVED.
7. GENERAL FILL BEYOND PAVED AREAS SHALL BE FREE OF BRUSH RUBBISH, STUMPS, AND STONES LARGER THAN 8". FILL SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 8" IN THICKNESS. THE DRY DENSITY AFTER COMPACTION SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR TEST AND DONE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D698.
8. AFTER THE AREAS TO BE TOPSOILED HAVE BEEN BROUGHT TO GRADE, THE SUBGRADE SHALL BE LOOSENEED BY SCARIFYING TO A DEPTH OF AT LEAST 2" TO ENSURE BONDING OF THE TOPSOIL AND SUBSOIL.
9. FILL OR TOPSOIL SHALL NEITHER BE PLACED NOR COMPACTED WHILE IN A FROZEN OR MUDDY CONDITION OR WHILE SUBGRADE IS FROZEN.
10. FINISH PAVEMENT SURFACES AND LAWN AREAS SHALL BE FREE OF LOW SPOTS AND PONDING AREAS.
11. ALL FINISHED PAVEMENT SURFACES SHALL HAVE A MINIMUM SLOPE OF 0.5% TOWARDS A DRAINAGE STRUCTURE.
12. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS THAT DO NOT HAVE A SURFACE TREATMENT SPECIFICALLY SPECIFIED SHALL BE RESTORED TO A MINIMUM OF 4" OF SEEDED TOPSOIL, FERTILIZER, AND MULCH.
13. THE CONTRACTOR SHALL COORDINATE ALL BLASTING REQUIRED FOR LEDGE REMOVAL WITH THE REQUIREMENTS SET FORTH IN THE MAINE DEP SITE LOCATION OF DEVELOPMENT PERMIT AND IN ACCORDANCE WITH THE TOWN OF KITTEERY BLASTING ORDINANCE.
14. THE CONTRACTOR SHALL SUBMIT STAMPED RETAINING WALL DESIGN PLANS FROM THE WALL MANUFACTURER TO THE INSPECTING ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

UTILITY NOTES:

- 1. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE UTILITY COMPANIES FOR RELOCATING AND/OR SUPPORTING THEIR UTILITIES IN ACCORDANCE WITH THE SPECIFICATIONS.
2. THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO EXISTING FACILITIES AT ALL TIMES. IF ANY DISRUPTION MUST OCCUR, CONTRACTOR SHALL NOTIFY AND COORDINATE WITH FACILITY AT LEAST 72 HOURS IN ADVANCE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF EXISTING UTILITIES AND STRUCTURES DAMAGED OR REMOVED BY THE CONTRACTOR DURING THEIR OPERATIONS.
4. THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
5. FINAL ELEVATIONS OF UTILITY STRUCTURES ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES, AND OTHER UTILITIES TO FINISHED GRADE WITHIN LIMITS OF WORK.
6. DURING EXCAVATION, IT IS ANTICIPATED THAT EXISTING UTILITIES AND SEWERS WILL BE EXPOSED. THE CONTRACTOR SHALL PROVIDE PROTECTION AND SUPPORT OF THESE FACILITIES AND REPAIR ANY DAMAGE CAUSED BY THE WORK IN A MANNER SATISFACTORY TO THE OWNER.
7. THE SEWER SYSTEM SHALL HAVE A MINIMUM GROUND COVER OF 4' WHEN CROSS COUNTRY AND A MINIMUM GROUND COVER OF 6' WHEN BENEATH PAVEMENT. IF THE REQUIRED MINIMUM AMOUNT OF COVER CANNOT BE OBTAINED, INSTALL 4" OF CLOSED CELL RIGID INSULATION WITH A MINIMUM R VALUE OF 10 ABOVE THE SEWER LINE.
8. THE PROPOSED SEWER LINE FROM THE EXISTING SMH TO BUILDING 1 WAS SIZED AND DESIGNED FOR A POSSIBLE FUTURE CONNECTION WITH MAP LOT 12-03-1. IF A FUTURE CONNECTION IS NOT ANTICIPATED, THE OWNER MAY REDUCE THE SIZE OF THE PIPE AND RAISE THE PROPOSED SEWER RUN WITH APPROVAL OF THE DESIGN ENGINEER.
9. THE CONTRACTOR SHALL CONFIRM THE EXISTING SEWER MANHOLE TIE-IN INVERT AND THE ELEVATIONS FOR ALL SEWER PIPE RUNS PRIOR TO ANY INSTALLATION.
10. REFER TO PLANS TITLED "WATER MAIN DESIGN" BY KLEINFELDER DATED APRIL 2016, FOR WATER LINE INSTALLATION FROM RANGER DRIVE UP DENNETT ROAD TO THE ENTRANCE OF THE PROJECT SITE.
11. THE PROPOSED WATER LINE CONFIGURATION SHOWN ON THESE PLANS IS BASED ON DUCTILE IRON PIPE WITH 22.5" AND 45" BENDS. THE CONTRACTOR MAY SUBSTITUTE DUCTILE IRON PIPE FOR HDPE.
12. ALL ELECTRIC MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AS WELL AS STATE AND LOCAL CODES.
13. INSTALL NYLON PULL ROPES IN UNDERGROUND CONDUITS TO FACILITATE PULLING CABLES.
14. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL HANDHOLES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
15. THE EXACT LOCATION, NUMBER, TYPE, AND SIZE OF NEW UTILITY SERVICES AND CONDUITS SHALL BE DETERMINED BY THE UTILITY COMPANY.
16. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.
20. CONTRACTOR TO COORDINATE UNDERGROUND ELECTRIC, INCLUDING BUT NOT LIMITED TO SIZE, LOCATION, MATERIAL, CONDUIT, AND HAND HOLES.
21. ALL ON-SITE UTILITIES SHALL BE UNDERGROUND.
22. BACKFLOW PREVENTORS SHALL BE PROVIDED FOR BOTH FIRE AND DOMESTIC WATER LINES.
23. ALL FIRE PROTECTION FOR THE BUILDINGS SHALL BE COORDINATED WITH THE TOWN OF KITTEERY FIRE DEPARTMENT AND STATE FIRE MARSHALL. REFER TO UTILITY PLANS FOR ADDITIONAL NOTES.

CONSTRUCTION SEQUENCE:

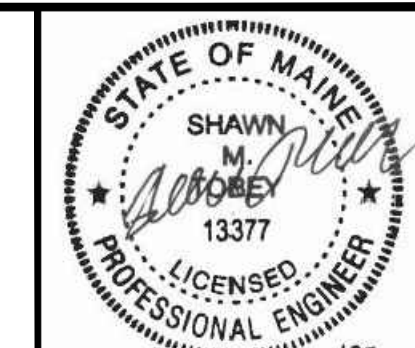
- 1. INSTALL SILT SOCK, MULCH BERMS AND CONSTRUCTION ENTRANCE AS SHOWN, PRIOR TO THE START OF ANY CONSTRUCTION.
2. REMOVE AND DISPOSE OF EXISTING VEGETATION AS SHOWN.
3. STRIP THE TOPSOIL AND STOCKPILE ONSITE. CONSTRUCT A SILT SOCK PERIMETER AROUND ALL STOCKPILES.
4. BLAST AND REMOVE LEDGE AS REQUIRED FOR BUILDING AND UTILITIES.
5. CONSTRUCT THE BUILDING FOOTINGS, FOUNDATION WALLS AND PLACE BACKFILL.
6. CONSTRUCT AND STABILIZE CUT AND FILL SLOPES. APPLY TEMPORARY (OR PERMANENT) SEED AND MULCH WITHIN 72 HOURS OF THEIR CONSTRUCTION. CONSTRUCT AND STABILIZED WET PONDS.
7. INSTALL ALL DRAINAGE, WATER, SEWER, ELECTRIC, TELECOM AND GAS UTILITIES.
8. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES. MINIMIZE EXTENT AND DURATION OF EXPOSURE OF DISTURBED AREAS.
9. CONSTRUCT THE BUILDINGS.
10. PLACE ROADWAY SELECTS AND INSTALL BINDER PAVING COURSE.
11. INSTALL VERTICAL GRANITE CURBING AND POUR CONCRETE SIDEWALKS.
12. INSTALL LANDSCAPE PLANTINGS.
13. INSTALL SCREENED LOAM (4" MIN.) ON ALL DISTURBED SURFACES AND APPLY PERMANENT SEEDING.
14. INSTALL FINISH PAVEMENT, PAVEMENT MARKINGS AND SIGNAGE.
15. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES. CLEAN THE ENTIRE STORMWATER SYSTEM OF ALL SEDIMENT AND DEBRIS, WITHIN THE LIMIT OF WORK.

ABBREVIATIONS:

Table with 2 columns: Abbreviation and Description. Includes terms like ABAN (ABANDONED), AC (ASEBESTOS CONCRETE), ADJ (ADJUST), APPROX (APPROXIMATE), B= (BOTTOM OF CURB), BERM (BITUMINOUS CONCRETE BERM), BIT CONC (BITUMINOUS CONCRETE BUILDING), BS (BOTTOM OF SLOPE), BWLL (BROKEN WHITE LANE LINE), BW (BOTTOM OF WALL), CB (CATCH BASIN), CBRND (CATCH BASIN ROUND), CBSQ (CATCH BASIN SQAURE), CI (CAST IRON), CIEL (CAST IRON CEMENT LINED CAST IN PLACE), C (CENTER LINE), CLF (CHAIN LINK FENCE), CMP (CORRUGATED METAL PIPE), CO (CLEAN OUT), COL (COLUMN), CONC (CONCRETE), CONST. (CONSTRUCT), CP (CONCRETE PIPE), CR (CONDENSATE RETURN), DHW (DESIGN HIGH WATER), DI (DUCTILE IRON), DI/CL (DUCTILE IRON CEMENT LINED DIAMETER), DMH (DRAIN MANHOLE), DWG (DRAWING), DYCL (DOUBLE YELLOW CENTER LINE), EL, ELEV (ELEVATION), ELEC (ELECTRIC), EMH (ELECTRIC MANHOLE), EXIST (EXISTING), FES (FLARED END SECTION), FFE (FINISH FLOOR ELEVATION), FM (FORCE MAIN), GC (GRANITE CURB), GG (GAS GATE), GM (GAS METER), GR (GUARDRAIL), GW (GUY WIRE), HDPE (HIGH DENSITY POLYETHYLENE), HH (HAND HOLE), HORIZ (HORIZONTAL), HR (HANDRAIL), HVAC (HEAT VENT AIR CONDITIONING), HYD (HYDRANT), INV (INVERT), IP (IRON PIPE), LP (LIGHT POLE), LS (LANDSCAPED), LT (LEFT), MC (METAL COVER), MAX (MAXIMUM), MEP (MECHANICAL/ELECTRICAL/PLUMBING), MHW (MEAN HIGH WATER), MIN (MINIMUM), NO, # (NUMBER), NTS (NOT TO SCALE), OCS (OUTLET CONTROL STRUCTURE), OH (OVERHANG), PB (PULL BOX), PERFL (PERFORATED), PL (PLASTIC), PROP (PROPOSED), PSI (POUNDS PER SQUARE INCH), PVC (POLYVINYL CHLORIDE), PVI (POST VALVE INDICATOR), R= (RIM), RCP (REINFORCED CONCRETE PIPE), RD (ROOF DRAIN), (rec) (RECORD), RET (RETAINING), RT (RIGHT), SGC (SLOPED GRANITE CURB), SMH (SEWER MANHOLE), SHWT (SEASONAL HIGH WATER TABLE), ST (SANITARY SEWER), ST (STEAM), STA (STATION), STMH (STEAM MANHOLE), SW (SIDEWALK), SWEL (SOLID WHITE EDGE LINE), SWLL (SOLID WHITE LANE LINE), TC (TOP OF CURB), TCB (TRAFFIC CONTROL BOX), TEL (TELEPHONE), TL (TRAFFIC LIGHT), TMH (TELEPHONE MANHOLE), TP (TEST PIT), TRANS (TRANSFORMER), TS (TOP OF SLOPE), TW (TOP OF WALL), TYP (TYPICAL), UP (UTILITY POLE), VC (VITRIFIED CLAY), VERT (VERTICAL), VGC (VERTICAL GRANITE CURB), W (WATER), WC (WYE CONNECTION), WF (WETLAND FLAG), WV (WATER VALVE), WIP (WROUGHT IRON PIPE), WM (WATER METER).

LEGEND

Legend table with 3 columns: EXISTING, PROPOSED, DESCRIPTION. Includes symbols for PROPERTY LINE, RIGHT OF WAY, BUILDING SETBACK, PARKING SETBACK, SURVEY MONUMENT, EDGE OF PAVEMENT, EDGE OF CONCRETE, CONCRETE CURB, SLOPED GRANITE CURB, VERTICAL GRANITE CURB, VERNAL POOL/STREAM, WETLANDS, VERNAL POOL/STREAM BUFFER, SAWCUT, BUILDING, BUILDING ENTRANCE, BOLLARD, SIGN, TREE, FENCE, SILT SOCK, DRAINAGE FLOW, SWALE, MINOR CONTOUR, MAJOR CONTOUR, PARKING COUNT, SINGLE WHITE LINE, DOUBLE YELLOW LINE, STOP LINE, CROSSWALK, ACCESSIBLE CURB RAMP, DETECTABLE WARNING PANEL, ACCESSIBLE PARKING, VAN-ACCESSIBLE PARKING, SPOT ELEVATION, KSAT TEST LOCATION, TEST PIT LOCATION, MONITORING WELL, DRAIN, INVERT, IRON PIPE, LIGHT POLE, LANDSCAPED, WATER, FIRE PROTECTION, GAS, UNDERGROUND ELECTRIC, STEAM, TELEPHONE, CATCH BASIN, DOUBLE CATCH BASIN, DRAIN MANHOLE, PLUG OR CAP, CLEANOUT, HEADWALL, SEWER MANHOLE, WATER SHUT-OFF, WATER VALVE & BOX, TAPPING SLEEVE, VALVE & BOX, FIRE HYDRANT, THRUST BLOCK, POST INDICATOR VALVE, GAS GATE, ELECTRIC MANHOLE, LIGHT POLE, TRANSFORMER PAD, UTILITY POLE, GUY POLE, GUY WIRE & ANCHOR, TELEPHONE MANHOLE, INLET PROTECTION, STONE CHECK DAM, TREE TO BE REMOVED, STABILIZED CONSTRUCTION ENTRANCE, STRUCTURE TO BE REMOVED, PAVEMENT TO BE REMOVED, BITUMINOUS CONCRETE PAVING, CONCRETE, PAVERS, VERNAL POOL, BUFFER RESTORATION.



Project information and stamps. Includes: APPLICANT: AZTEC, LLC, ONE CITY CENTER, P.O. BOX 9546, PORTLAND, ME 04112. PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT, TAX MAP LOTS 6-15B, 6-16A & 13-4, 76 DENNETT ROAD, KITTEERY, ME 03904. DESIGNER: Hoyle, Tanner & Associates, Inc., 100 International Dr., #360, Portsmouth, NH 03801, Tel (603) 431-2520, Fax (603) 431-8067, Web: www.hoyletanner.com. ORIGINAL DATE: JUNE 20, 2019. SCALE: AS SHOWN. DESIGNED BY: SMT. DRAWN BY: SMT. CHECKED BY: WRD. REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL (06/17/20), ISSUED FOR PLANNING BOARD APPROVAL (05/21/20), ISSUED FOR MAINE TURNPIKE AUTHORITY COMMENTS (03/09/20), REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS (02/20/20), ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS (02/20/20), ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING (01/23/20), ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING (01/08/20), ISSUED FOR PLANNING BOARD REVIEW PER ACEE COMMENTS (12/19/19), DATE: 12/19/19. REVISION DESCRIPTION: 15, 14, 13, 12, 11, 10, 9, 8, 7, 6, 5, 4, 3, 2, 1.

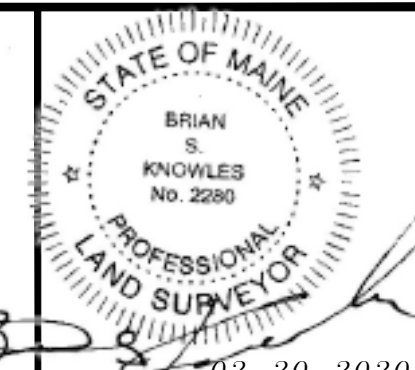


**REFERENCE PLAN:**

- "WETLANDS PLAN - FOR - WILLIAM CULLEN - NEW DENNETT ROAD - KITTERY, MAINE", SCALE:1"=60', DATED JANUARY, 2010 & REVISED THROUGH JULY 14, 2015 BY ANDERSON LIVINGSTON ENGINEERS, INC.
- "BOUNDARY SURVEY OF - PROFESSIONAL AND BUSINESS PARK - FOR - WILLIAM CULLEN - 70 DENNETT ROAD - KITTERY, MAINE", SCALE:1"=50', DATED NOVEMBER 28, 2001 & REVISED THROUGH MARCH 22, 2002 BY ANDERSON LIVINGSTON ENGINEERS, INC.
- "PLAN, RELOC. DENNETT ROAD, STA. 82+00 TO STA. 93+00, AS-BUILT, STATE OF MAINE, STATE HIGHWAY COMMISSION, MAINE FEDERAL AID INTERSTATE PROJECT NO. I-95-1 (3)", DATED NOVEMBER 12, 1970, BY HOWARD, NEEDLES, TAMMEN & BERGENDOFF CONSULTING ENGINEERS.
- "TOPOGRAPHIC WORKSHEET OF THE DENNETT ROAD AREA, KITTERY, ME FOR DOUCET SURVEY, INC. NEWMARKET, NH" SCALE:1"=40', DATED MAY 16, 2017 BY EASTERN TOPOGRAPHICS.

**EXISTING CONDITIONS NOTES:**

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS ON TAX MAP LOTS 6-16A, 6-15B, & 13-4 IN KITTERY, MAINE TOTALING APPROXIMATELY 23.34± ACRES.
- THE OWNER OF RECORD FOR TAX MAP LOT 6-15B IS SAIL AWAY LLC - 12 ROSEBERRY LANE, KITTERY, ME 03904. THE DEED REFERENCE FOR THE PARCEL IS BK.16065 PG.521 DATED DECEMBER 29, 2010 IN THE Y.C.R.D.
- THE OWNERS OF RECORD FOR TAX MAP LOT 6-16A ARE PISCATAQUA REALTY LLC & WILLIAM J. CULLEN - 12 ROSEBERRY LANE, KITTERY, ME 03904. THE DEED REFERENCE FOR THE PARCEL IS BK.11537 PG.105 IN THE Y.C.R.D.
- THE OWNER OF RECORD FOR TAX MAP PARCEL 13-4 IS WILLIAM J. CULLEN - 12 ROSEBERRY LANE, KITTERY, ME 03904. THE DEED REFERENCE FOR THE PARCEL IS BK.15675 PG.652 IN THE Y.C.R.D.
- ZONING FOR THE PARCELS IS MIXED USE - NEIGHBORHOOD MU-N  
ZONING REQUIREMENTS:  
LOT AREA - 20,000 SQ.FT.  
FRONTAGE - 75 FT.  
FRONT SETBACK - 50 FT. (FROM DENNETT ROAD)  
SIDE & REAR SETBACK - 20 FT.
- THE SURFACE FEATURES AND TOPOGRAPHY SHOWN ARE THE RESULT OF AN ON THE GROUND SURVEY CONDUCTED DURING THE MONTH OF APRIL 2019 BY FIELDSTONE LAND CONSULTANTS, PLLC.
- HORIZONTAL ORIENTATION IS ME STATE PLANE PER OPUS OBSERVATIONS AND VERTICAL DATUM IS NAVD88. THE REFERENCE BENCHMARK IS A SPIKE IN UTILITY POLE #176/46A. ELEVATION = 43.61' AS SHOWN ON REFERENCE PLAN #1.
- THE SUBJECT PARCELS ARE NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE KITTERY GIS AND THE FLOOD INSURANCE RATE (FIRM) MAPS FOR YORK COUNTY, CITY OF KITTERY, MAINE, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, (MAP NUMBERS 2301710007C & 2301710004C, DATED JULY 5, 1984).
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
- TEST PITS WERE PERFORMED BY JOSEPH NOEL MAY 16, 2019 AND MAY 27, 2019 AND WERE FIELD LOCATED BY HOYLE, TANNER & ASSOCIATES, INC. ON MAY 29, 2019. REFER TO DRAINAGE NARRATIVE PREPARED BY HOYLE, TANNER & ASSOCIATES, INC. FOR TEST PIT LOGS.
- EXISTING CONTOURS ON THE WEST SIDE OF DENNETT ROAD ARE BASED ON REFERENCE PLAN #4.



DATE	REVISION DESCRIPTION
02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINEDOT COMMENTS
01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACCE COMMENTS
12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS
12/09/19	ISSUED FOR MAINEDOT TRAFFIC MOVEMENT PERMIT (TMP)
11/25/19	COLOR CODED POND DRAINAGE AREA PLAN
09/19/19	REVISED ENTRANCE & MISCELLANEOUS REVISIONS PER PLANNING BOARD
	DATE

DATE	REVISION DESCRIPTION
12	THIS DOCUMENT IS PREPARED AS PART OF THE SERVICE AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC.
11	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINEDOT COMMENTS
10	REVISED OUTLET PROTECTION DETAIL PER ACCE COMMENTS
9	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS
8	ISSUED FOR MAINEDOT TRAFFIC MOVEMENT PERMIT (TMP)
7	COLOR CODED POND DRAINAGE AREA PLAN
6	REVISED ENTRANCE & MISCELLANEOUS REVISIONS PER PLANNING BOARD
	DATE

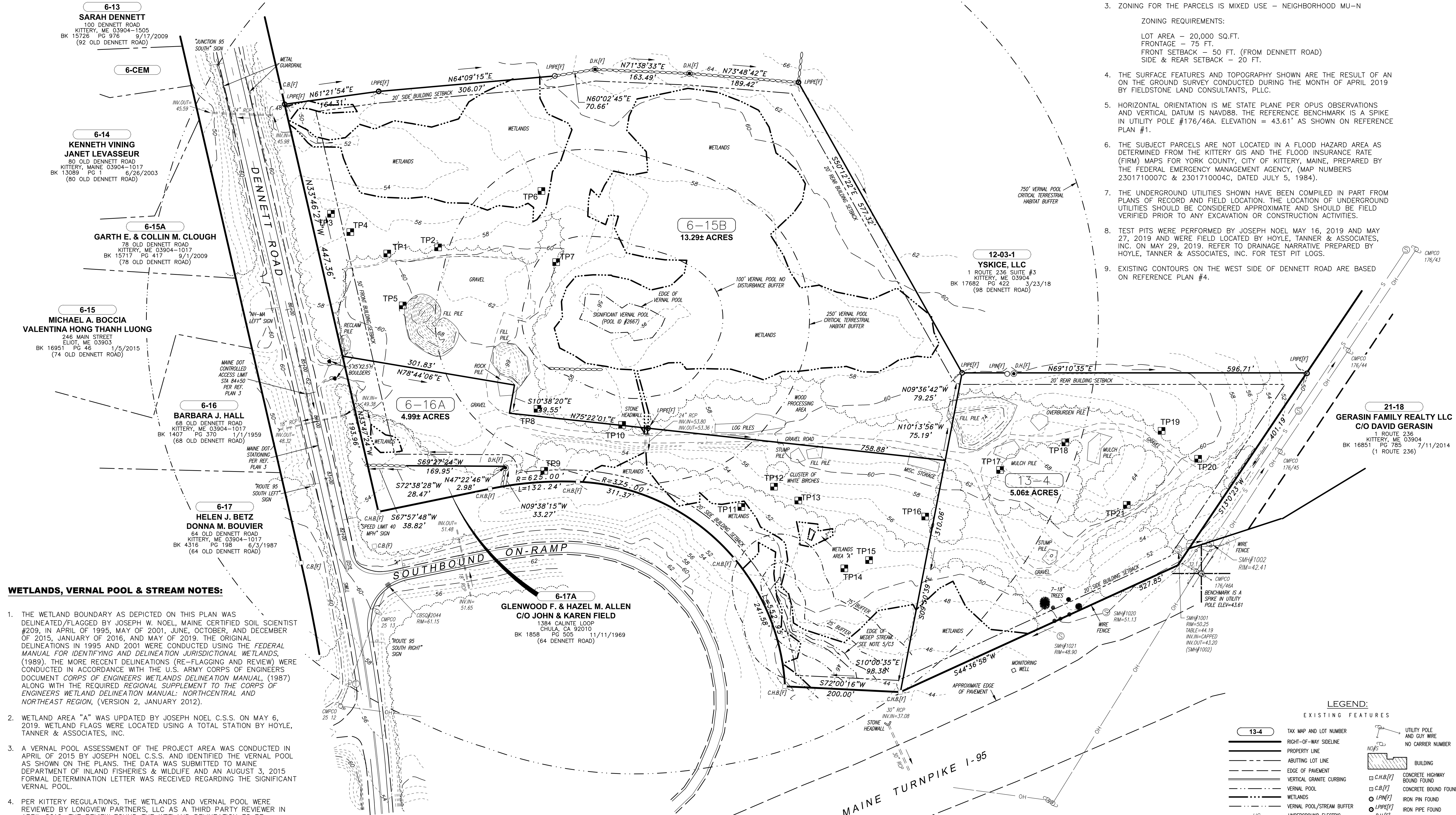
**Hoyle, Tanner & Associates, Inc.**  
 100 International Dr., #360, Portsmouth, NH 03801  
 Tel (603) 431-6520 Fax (603) 431-8067 Web: www.hoyletanner.com  
 © Copyright 2020 Hoyle, Tanner & Associates, Inc.

APPLICANT: AZTEC, LLC  
 ONE CITY CENTER, P.O. BOX 9546  
 PORTLAND, ME 04112

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
 TAX MAP LOTS 6-15B, 6-16A & 13-4  
 76 DENNETT ROAD, KITTERY, ME 03904

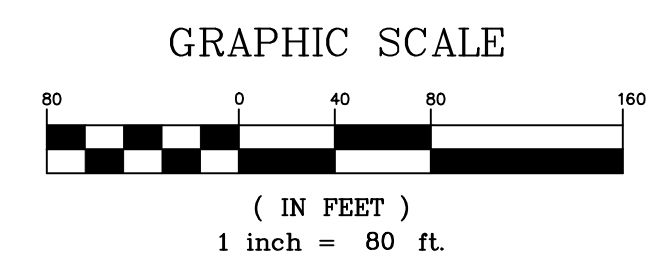
DESIGNED BY: SMT  
 DRAWN BY: SMT  
 CHECKED BY: WRD  
 ORIGINAL DATE: JUNE 20, 2019  
 SCALE: AS SHOWN

OVERALL EXISTING CONDITIONS PLAN/BOUNDARY SURVEY  
**C3**  
 PROJECT NO. 569200  
 SHEET 3 OF 28



**WETLANDS, VERNAL POOL & STREAM NOTES:**

- THE WETLAND BOUNDARY AS DEPICTED ON THIS PLAN WAS DELINEATED/FLAGGED BY JOSEPH W. NOEL, MAINE CERTIFIED SOIL SCIENTIST #209, IN APRIL OF 1995, MAY OF 2001, JUNE, OCTOBER, AND DECEMBER OF 2015, JANUARY OF 2016, AND MAY OF 2019. THE ORIGINAL DELINEATIONS IN 1995 AND 2001 WERE CONDUCTED USING THE FEDERAL MANUAL FOR IDENTIFYING AND DELINEATION JURISDICTIONAL WETLANDS, (1989). THE MORE RECENT DELINEATIONS (RE-FLAGGING AND REVIEW) WERE CONDUCTED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS DOCUMENT CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, (1987) ALONG WITH THE REQUIRED REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2, JANUARY 2012).
- WETLAND AREA "A" WAS UPDATED BY JOSEPH NOEL C.S.S. ON MAY 6, 2019. WETLAND FLAGS WERE LOCATED USING A TOTAL STATION BY HOYLE, TANNER & ASSOCIATES, INC.
- A VERNAL POOL ASSESSMENT OF THE PROJECT AREA WAS CONDUCTED IN APRIL OF 2015 BY JOSEPH NOEL C.S.S. AND IDENTIFIED THE VERNAL POOL AS SHOWN ON THE PLANS. THE DATA WAS SUBMITTED TO MAINE DEPARTMENT OF INLAND FISHERIES & WILDLIFE AND AN AUGUST 3, 2015 FORMAL DETERMINATION LETTER WAS RECEIVED REGARDING THE SIGNIFICANT VERNAL POOL.
- PER KITTERY REGULATIONS, THE WETLANDS AND VERNAL POOL WERE REVIEWED BY LONGVIEW PARTNERS, LLC AS A THIRD PARTY REVIEWER IN APRIL 2019. THE REVIEW FOUND THE WETLAND DELINEATION TO BE ACCURATE AND WITHIN THE NORMAL RANGE OF BEST PROFESSIONAL JUDGMENT AND CONSISTENT WITH WETLAND DELINEATION STANDARDS.
- DELINEATION OF THE MEDEP STREAM WAS BASED ON A FIELD OBSERVATION WITH LUCIEN LANGLOIS, ENVIRONMENTAL SPECIALIST II OF THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION OF MAY 10, 2019. THE EDGE OF THE JURISDICTIONAL STREAM WAS LOCATED USING A TOTAL STATION BY HOYLE, TANNER & ASSOCIATES, INC. ON MAY 10, 2019.



**LEGEND:**

EXISTING FEATURES	SYMBOL
TAX MAP AND LOT NUMBER	13-4
RIGHT-OF-WAY SIDELINE	---
PROPERTY LINE	---
ABUTTING LOT LINE	---
EDGE OF PAVEMENT	---
VERTICAL GRANITE CURBING	---
VERNAL POOL	---
VERNAL POOL/STREAM BUFFER	---
UNDERGROUND ELECTRIC	UG
OVERHEAD UTILITIES	OH
SEWER LINE	S
DRAIN LINE	---
10' CONTOUR INTERVAL	---
2' CONTOUR INTERVAL	---
TREE LINE	---
UTILITY POLE AND GUY WIRE	---
NO CARRIER NUMBER	---
BUILDING	---
CONCRETE HIGHWAY BOUND FOUND	---
CONCRETE BOUND FOUND	---
IRON PIN FOUND	---
IRON PIPE FOUND	---
DRILL HOLE FOUND	---
SEWER MANHOLE	---
DRAIN MANHOLE	---
TELEPHONE MANHOLE	---
MONITORING WELL	---
CATCH BASIN	---
LIGHT	---
WATER HYDRANT	---
WATER VALVE	---



**CLASS A HIGH INTENSITY SOIL SURVEY**

I HEREBY CERTIFY THAT THIS CLASS A HIGH INTENSITY SOIL SURVEY WAS CONDUCTED IN CONFORMANCE WITH THE STANDARDS ADOPTED BY THE MAINE ASSOCIATION OF PROFESSIONAL SOIL SCIENTISTS.

NAME Joseph W. Noel #209 DATE 2/20/20  
M.C.S.S.



- 6-13**  
SARAH DENNETT  
100 DENNETT ROAD  
KITTERY, ME 03904-1505  
BK 15726 PG 976 9/17/2009  
(92 OLD DENNETT ROAD)
- 6-CEM**
- 6-14**  
KENNETH VINING  
JANET LEVASSEUR  
80 OLD DENNETT ROAD  
KITTERY, MAINE 03904-1017  
BK 13089 PG 111 6/26/2003  
(80 OLD DENNETT ROAD)
- 6-15A**  
GARTH E. & COLLIN M. CLOUGH  
78 OLD DENNETT ROAD  
KITTERY, ME 03904-1017  
BK 15717 PG 417 9/1/2009  
(78 OLD DENNETT ROAD)
- 6-15**  
MICHAEL A. BOCCIA  
VALENTINA HONG THANH LUONG  
246 MAIN STREET  
ELIOT, ME 03903  
BK 16951 PG 46 1/5/2015  
(74 OLD DENNETT ROAD)
- 6-16**  
BARBARA J. HALL  
68 OLD DENNETT ROAD  
KITTERY, ME 03904-1017  
BK 1407 PG 370 1/1/1959  
(68 OLD DENNETT ROAD)
- 6-17**  
HELEN J. BETZ  
DONNA M. BOUVIER  
64 OLD DENNETT ROAD  
KITTERY, ME 03904-1017  
BK 4316 PG 198 6/3/1987  
(64 OLD DENNETT ROAD)
- 6-17A**  
GLENWOOD F. & HAZEL M. ALLEN  
C/O JOHN & KAREN FIELD  
1384 GALANTE LOOP  
CHULA, CA 92010  
BK 1858 PG 505 11/11/1969  
(64 DENNETT ROAD)
- 12-03-1**  
YSKICE, LLC  
1 ROUTE 236 SUITE #3  
KITTERY, ME 03904  
BK 17687 PG 422 3/23/18  
(98 DENNETT ROAD)
- 21-18**  
GERASIN FAMILY REALTY LLC  
C/O DAVID GERASIN  
1 ROUTE 236  
KITTERY, ME 03904  
BK 16851 PG 785 7/11/2014  
(1 ROUTE 236)



**SOIL LEGEND**

SYMBOL	SOIL TYPE	DRAINAGE CLASS	HSG
Co	COLONEL	SOMEWHAT POORLY DRAINED	D
EI	ELDRIDGE	SOMEWHAT POORLY DRAINED MODERATELY WELL DRAINED	D
Pe	PERU	MODERATELY WELL DRAINED	D
Sw	SWANTON	POORLY DRAINED	D
Tp	TUNBRIDGE-PERU-LYMAN COMPLEX	WELL DRAINED MODERATELY WELL DRAINED SOMEWHAT EXCESSIVELY DRAINED	C
Ur	UDORTMENTS	MODERATELY WELL DRAINED*	D*

ALPHA SLOPE SYMBOL	RANGE
A	0-3%
B	3-8%
C	8-15%
D	15-25%
E	>25%

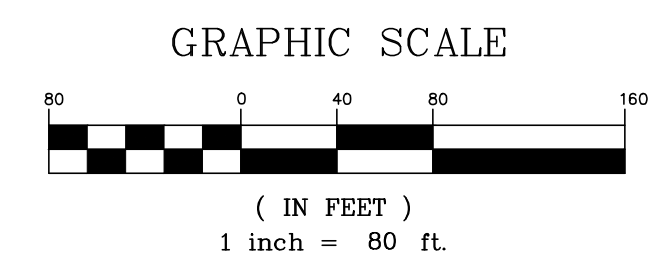
- SOIL MAP NOTES:**
- Sw IS A HYDRIC SOIL.
  - \* = ESTIMATED
  - THE HYDROLOGIC SOIL GROUPS FOR THE SOIL MAP ARE TAKEN FROM THE NRCS WEB SOIL SURVEY.
  - THE CLASS A HIGH INTENSITY SOIL SURVEY AND TEST PITS WERE PERFORMED BY JOSEPH NOEL ON MAY 16, 2019 AND MAY 27, 2019.
  - TOPOGRAPHIC DATA BASED ON "EXISTING CONDITIONS PLAN" PREPARED BY FIELDSTONE LAND CONSULTANTS, PLLC DATED JUNE 2019.
  - TEST PITS WERE FIELD LOCATED BY HOYLE, TANNER & ASSOCIATES, INC. ON MAY 29, 2019.
  - REFER TO DRAINAGE NARRATIVE PREPARED BY HOYLE, TANNER & ASSOCIATES, INC. FOR TEST PIT LOGS.

**WETLANDS, VERNAL POOL & STREAM NOTES:**

- THE WETLAND BOUNDARY AS DEPICTED ON THIS PLAN WAS DELINEATED/FLAGGED BY JOSEPH W. NOEL, MAINE CERTIFIED SOIL SCIENTIST #209, IN APRIL OF 1995, MAY OF 2001, JUNE, OCTOBER, AND DECEMBER OF 2015, JANUARY OF 2016, AND MAY OF 2019. THE ORIGINAL DELINEATIONS IN 1995 AND 2001 WERE CONDUCTED USING THE FEDERAL MANUAL FOR IDENTIFYING AND DELINEATION JURISDICTIONAL WETLANDS, (1989). THE MORE RECENT DELINEATIONS (RE-FLAGGING AND REVIEW) WERE CONDUCTED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS DOCUMENT CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, (1987) ALONG WITH THE REQUIRED REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2, JANUARY 2012).
- WETLAND AREA "A" WAS UPDATED BY JOSEPH NOEL C.S.S. ON MAY 6, 2019. WETLAND FLAGS WERE LOCATED USING A TOTAL STATION BY HOYLE, TANNER & ASSOCIATES, INC.
- A VERNAL POOL ASSESSMENT OF THE PROJECT AREA WAS CONDUCTED IN APRIL OF 2015 BY JOSEPH NOEL C.S.S. AND IDENTIFIED THE VERNAL POOL AS SHOWN ON THE PLANS. THE DATA WAS SUBMITTED TO MAINE DEPARTMENT OF INLAND FISHERIES & WILDLIFE AND AN AUGUST 3, 2015 FORMAL DETERMINATION LETTER WAS RECEIVED REGARDING THE SIGNIFICANT VERNAL POOL.
- PER KITTERY REGULATIONS, THE WETLANDS AND VERNAL POOL WERE REVIEWED BY LONGVIEW PARTNERS, LLC AS A THIRD PARTY REVIEWER IN APRIL 2019. THE REVIEW FOUND THE WETLAND DELINEATION TO BE ACCURATE AND WITHIN THE NORMAL RANGE OF BEST PROFESSIONAL JUDGMENT AND CONSISTENT WITH WETLAND DELINEATION STANDARDS.
- DELINEATION OF THE MEDEP STREAM WAS BASED ON A FIELD OBSERVATION WITH LUCIEN LANGLOIS, ENVIRONMENTAL SPECIALIST II OF THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION OF MAY 10, 2019. THE EDGE OF THE JURISDICTIONAL STREAM WAS LOCATED USING A TOTAL STATION BY HOYLE, TANNER & ASSOCIATES, INC. ON MAY 10, 2019.

**LEGEND**

SOIL TYPE	UrE
TEST PIT	TP5
SOIL BOUNDARY	.....



ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS	02/20/20	01/23/20	01/08/20	12/19/19	12/09/19	11/25/19	09/19/19	DATE
ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING								
REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS								
ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS								
ISSUED FOR MAINE DOT TRAFFIC MOVEMENT PERMIT (TMP)								
COLOR CODED POND DRAINAGE AREA PLAN								
REVISED ENTRANCE & MISCELLANEOUS REVISIONS PER PLANNING BOARD								
REVISION DESCRIPTION								

THIS DOCUMENT IS PREPARED AS PART OF THE SERVICE AND SHALL BE THE PROPERTY OF HOYLE, TANNER & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING ELECTRONICALLY, FOR PROJECTS OTHER THAN THE PROJECT PERMITTED BY THE WRITER'S PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC.	12	11	10	9	8	7	6	REV.
DESIGNED BY	SMT	SMT	SMT	SMT	SMT	SMT	SMT	
CHECKED BY	WRD	WRD	WRD	WRD	WRD	WRD	WRD	
DRAWN BY	SMT	SMT	SMT	SMT	SMT	SMT	SMT	
ORIGINAL DATE:	JUNE 20, 2019	JUNE 20, 2019	JUNE 20, 2019	JUNE 20, 2019	JUNE 20, 2019	JUNE 20, 2019	JUNE 20, 2019	
SCALE:	AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN	

APPLICANT	AZTEC, LLC ONE CITY CENTER, P.O. BOX 9546 PORTLAND, ME 04112
PROJECT	PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT TAX MAP LOTS 6-15B, 6-16A & 13-4 76 DENNETT ROAD, KITTERY, ME 03904
PROJECT NO.	569200
SHEET	4 OF 28



**SITE NOTES:**

- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
- REFER TO DWGS C8-C9 FOR DETAILED SITE PLANS.
- REFER TO DWG C13 & C14 FOR DETAILED DENNETT ROAD IMPROVEMENTS PLANS.
- REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
- TAX MAP LOTS 6-15B, 6-16A & 13-4 ARE TO BE MERGED INTO 1 PARCEL.
- THE LOCATION OF PROPOSED BUILDING ENTRANCES ARE APPROXIMATE AND SHALL BE COORDINATED WITH THE FINAL ARCHITECTURAL PLANS.

**DIMENSIONAL REQUIREMENTS (MU-N)**

REGULATION	REQUIREMENT	PROVIDED
MIN. LOT AREA:	20,000 S.F.	23,34± AC.
MIN. LOT AREA FOR 303 UNITS:	797,500 S.F.	866,732 S.F.
MIN. STREET FRONTAGE:	75 FT	641.6 FT
MIN. FRONT SETBACK:	50 FT	148.5 FT
MIN. SIDE SETBACK:	20 FT	85.5 FT
MIN. REAR SETBACK:	20 FT	37.5 FT
MIN. SPACE BETWEEN BUILDINGS:	15 FT	50 FT
MAX. BUILDING HEIGHT:	50 FT	50 FT
MAX. IMPERVIOUS COVER:	70% (711,571 S.F.)	28.5% (289,580 S.F.)
MIN. OPEN SPACE:	25% (254,132 S.F.)	71.5% (726,950 S.F.)
PARKING:	356 SPACES	397 SPACES
ACCESSIBLE PARKING:	12 SPACES	18 SPACES
VAN ACCESSIBLE PARKING:	2 SPACES	8 SPACES
STALL DIMENSIONS:	9X19 FT	9X19 FT
ASLE WIDTH (90° PARKING):	24 FT	24 FT

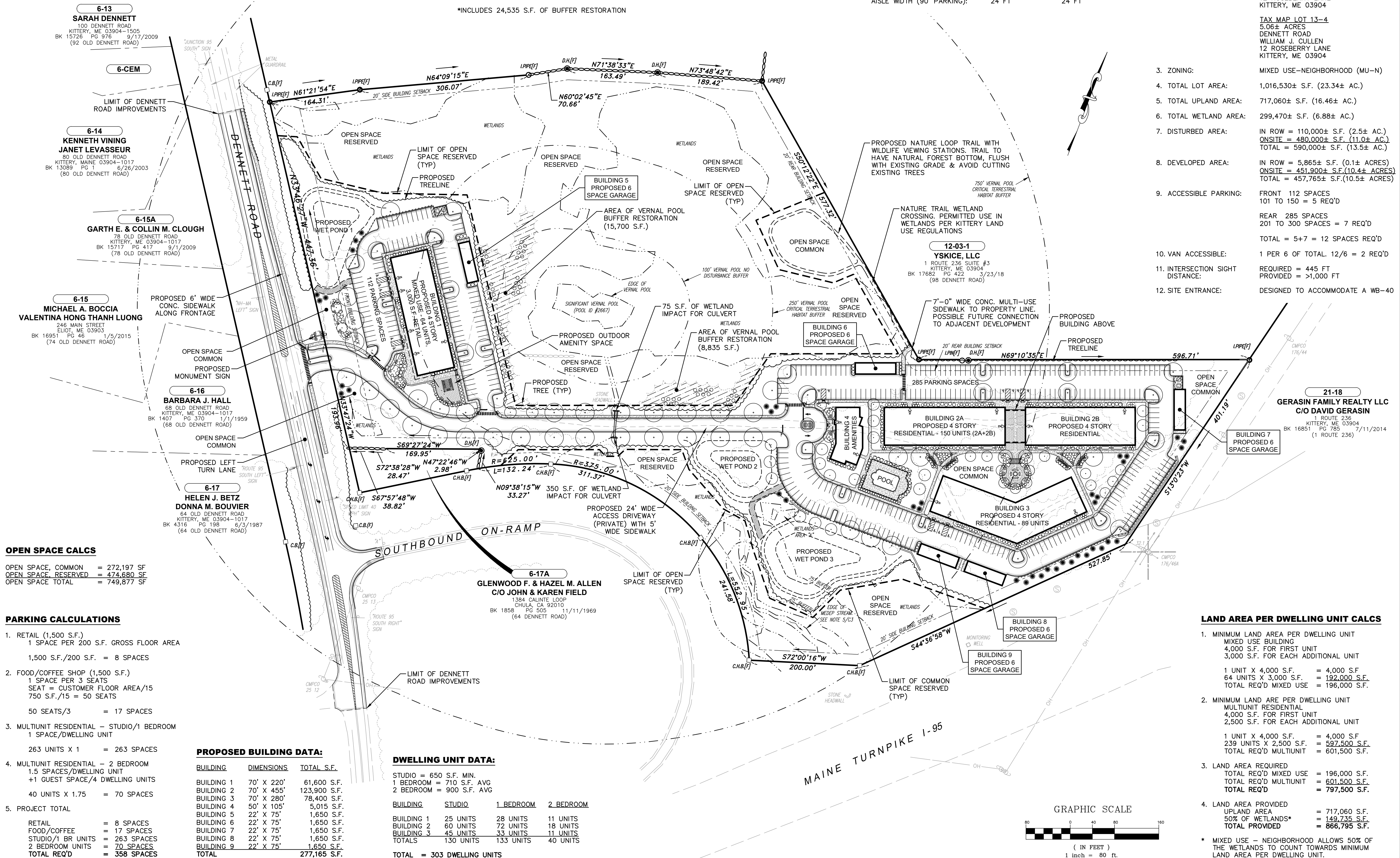
**SITE DATA**

- APPLICANT: AZTEC, LLC  
ONE CITY CENTER, P.O. BOX 9546  
PORTLAND, ME 04112
- LOT/OWNER INFORMATION: TAX MAP LOT 6-15B  
4.99± ACRES  
76 DENNETT ROAD  
SAIL AWAY, LLC  
12 ROSEBERRY LANE  
KITTERY, ME 03904  
  
TAX MAP LOT 6-16A  
4.99± ACRES  
70 DENNETT ROAD  
PISCATAQUA REALTY, LLC  
WILLIAM J. CULLEN  
12 ROSEBERRY LANE  
KITTERY, ME 03904  
  
TAX MAP LOT 13-4  
5.06± ACRES  
DENNETT ROAD  
WILLIAM J. CULLEN  
12 ROSEBERRY LANE  
KITTERY, ME 03904
- ZONING: MIXED USE-NEIGHBORHOOD (MU-N)
- TOTAL LOT AREA: 1,016,530± S.F. (23.34± AC.)
- TOTAL UPLAND AREA: 717,060± S.F. (16.46± AC.)
- TOTAL WETLAND AREA: 299,470± S.F. (6.88± AC.)
- DISTURBED AREA: IN ROW = 110,000± S.F. (2.5± AC.)  
ONSITE = 480,000± S.F. (11.0± AC.)  
TOTAL = 590,000± S.F. (13.5± AC.)
- DEVELOPED AREA: IN ROW = 5,865± S.F. (0.1± ACRES)  
ONSITE = 451,900± S.F. (10.4± ACRES)  
TOTAL = 457,765± S.F. (10.5± ACRES)
- ACCESSIBLE PARKING: FRONT 112 SPACES  
101 TO 150 = 5 REQ'D  
  
REAR 285 SPACES  
201 TO 300 SPACES = 7 REQ'D  
  
TOTAL = 5+7 = 12 SPACES REQ'D
- VAN ACCESSIBLE: 1 PER 6 OF TOTAL. 12/6 = 2 REQ'D
- INTERSECTION SIGHT DISTANCE: REQUIRED = 445 FT  
PROVIDED = >1,000 FT
- SITE ENTRANCE: DESIGNED TO ACCOMMODATE A WB-40

**VERNAL POOL BUFFER CALCULATIONS**

REGULATION	TOTAL AREA	EXISTING DEVELOPED	PROPOSED DEVELOPED
MEDEP 0'-100'	68,410 S.F.	7,550 S.F. (11.0%)	0* S.F. (0%)
MEDEP 0'-250'	288,195 S.F.	96,552 S.F. (33.5%)	72,017* S.F. (25.0%)
ACOE 0'-750'	2,041,606	1,016,368 S.F. (49.8%)	1,033,210* (50.6%)

\*INCLUDES 24,535 S.F. OF BUFFER RESTORATION



**OPEN SPACE CALCS**

OPEN SPACE, COMMON	= 272,197 SF
OPEN SPACE, RESERVED	= 474,680 SF
OPEN SPACE TOTAL	= 746,877 SF

**PARKING CALCULATIONS**

- RETAIL (1,500 S.F.)  
1 SPACE PER 200 S.F. GROSS FLOOR AREA  
1,500 S.F./200 S.F. = 8 SPACES
- FOOD/COFFEE SHOP (1,500 S.F.)  
1 SPACE PER 3 SEATS  
SEAT = CUSTOMER FLOOR AREA/15  
750 S.F./15 = 50 SEATS  
50 SEATS/3 = 17 SPACES
- MULTIUNIT RESIDENTIAL - STUDIO/1 BEDROOM  
1 SPACE/DWELLING UNIT  
263 UNITS X 1 = 263 SPACES
- MULTIUNIT RESIDENTIAL - 2 BEDROOM  
1.5 SPACES/DWELLING UNIT  
+1 GUEST SPACE/4 DWELLING UNITS  
40 UNITS X 1.75 = 70 SPACES
- PROJECT TOTAL  
RETAIL = 8 SPACES  
FOOD/COFFEE = 17 SPACES  
STUDIO/1 BR UNITS = 263 SPACES  
2 BEDROOM UNITS = 70 SPACES  
TOTAL REQ'D = 358 SPACES

**PROPOSED BUILDING DATA:**

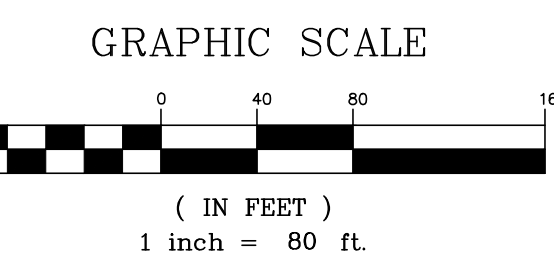
BUILDING	DIMENSIONS	TOTAL S.F.
BUILDING 1	70' X 220'	61,600 S.F.
BUILDING 2	70' X 455'	123,900 S.F.
BUILDING 3	70' X 280'	78,400 S.F.
BUILDING 4	50' X 105'	5,015 S.F.
BUILDING 5	22' X 75'	1,650 S.F.
BUILDING 6	22' X 75'	1,650 S.F.
BUILDING 7	22' X 75'	1,650 S.F.
BUILDING 8	22' X 75'	1,650 S.F.
BUILDING 9	22' X 75'	1,650 S.F.
TOTAL		277,165 S.F.

**DWELLING UNIT DATA:**

STUDIO = 650 S.F. MIN.			
1 BEDROOM = 710 S.F. AVG			
2 BEDROOM = 900 S.F. AVG			
BUILDING	STUDIO	1 BEDROOM	2 BEDROOM
BUILDING 1	25 UNITS	28 UNITS	11 UNITS
BUILDING 2	60 UNITS	72 UNITS	18 UNITS
BUILDING 3	45 UNITS	33 UNITS	11 UNITS
TOTALS	130 UNITS	133 UNITS	40 UNITS
TOTAL = 303 DWELLING UNITS			

**LAND AREA PER DWELLING UNIT CALCS**

- MINIMUM LAND AREA PER DWELLING UNIT  
MIXED USE BUILDING  
4,000 S.F. FOR FIRST UNIT  
3,000 S.F. FOR EACH ADDITIONAL UNIT  
1 UNIT X 4,000 S.F. = 4,000 S.F.  
64 UNITS X 3,000 S.F. = 192,000 S.F.  
TOTAL REQ'D MIXED USE = 196,000 S.F.
  - MINIMUM LAND ARE PER DWELLING UNIT  
MULTIUNIT RESIDENTIAL  
4,000 S.F. FOR FIRST UNIT  
2,500 S.F. FOR EACH ADDITIONAL UNIT  
1 UNIT X 4,000 S.F. = 4,000 S.F.  
239 UNITS X 2,500 S.F. = 597,500 S.F.  
TOTAL REQ'D MULTIUNIT = 601,500 S.F.
  - LAND AREA REQUIRED  
TOTAL REQ'D MIXED USE = 196,000 S.F.  
TOTAL REQ'D MULTIUNIT = 601,500 S.F.  
TOTAL REQ'D = 797,500 S.F.
  - LAND AREA PROVIDED  
UPLAND AREA = 717,060 S.F.  
50% OF WETLANDS\* = 149,735 S.F.  
TOTAL PROVIDED = 866,795 S.F.
- \* MIXED USE - NEIGHBORHOOD ALLOWS 50% OF THE WETLANDS TO COUNT TOWARDS MINIMUM LAND AREA PER DWELLING UNIT.



**SHAWN M. HOYLE**  
LICENSED PROFESSIONAL ENGINEER  
13377

REVISION	DATE	DESCRIPTION
06/17/20		ISSUED FOR PLANNING BOARD APPROVAL
05/21/20		ISSUED FOR PLANNING BOARD APPROVAL
03/09/20		REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
02/20/20		ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
01/23/20		ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
01/08/20		REVISED OUTLET PROTECTION DETAIL PER ACOE COMMENTS
12/19/19		ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS
		REVISION DESCRIPTION

THIS DOCUMENT IS PREPARED AS A SERVICE TO THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC.

Pease International  
Hoyle, Tanner & Associates, Inc.  
100 International Dr., #360, Portsmouth, NH 03801  
Tel: (603) 431-2520 Fax: (603) 431-8067 Web: www.hoyletanner.com  
© Copyright, 2020 Hoyle, Tanner & Associates, Inc.

APPLICANT: AZTEC, LLC  
ONE CITY CENTER, P.O. BOX 9546  
PORTLAND, ME 04112

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
TAX MAP LOTS 6-15B, 6-16A & 13-4  
76 DENNETT ROAD, KITTERY, ME 03904

DESIGNED BY: SMT  
DRAWN BY: SMT  
CHECKED BY: WRD  
ORIGINAL DATE: JUNE 20, 2019

SCALE: AS SHOWN

OVERALL SITE PLAN

**C5**

PROJECT NO. 569200  
SHEET 5 OF 28

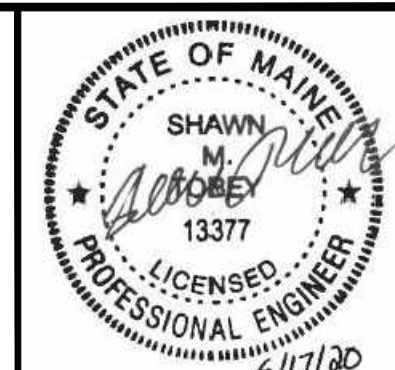
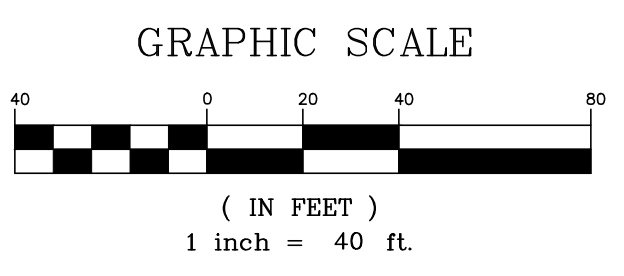
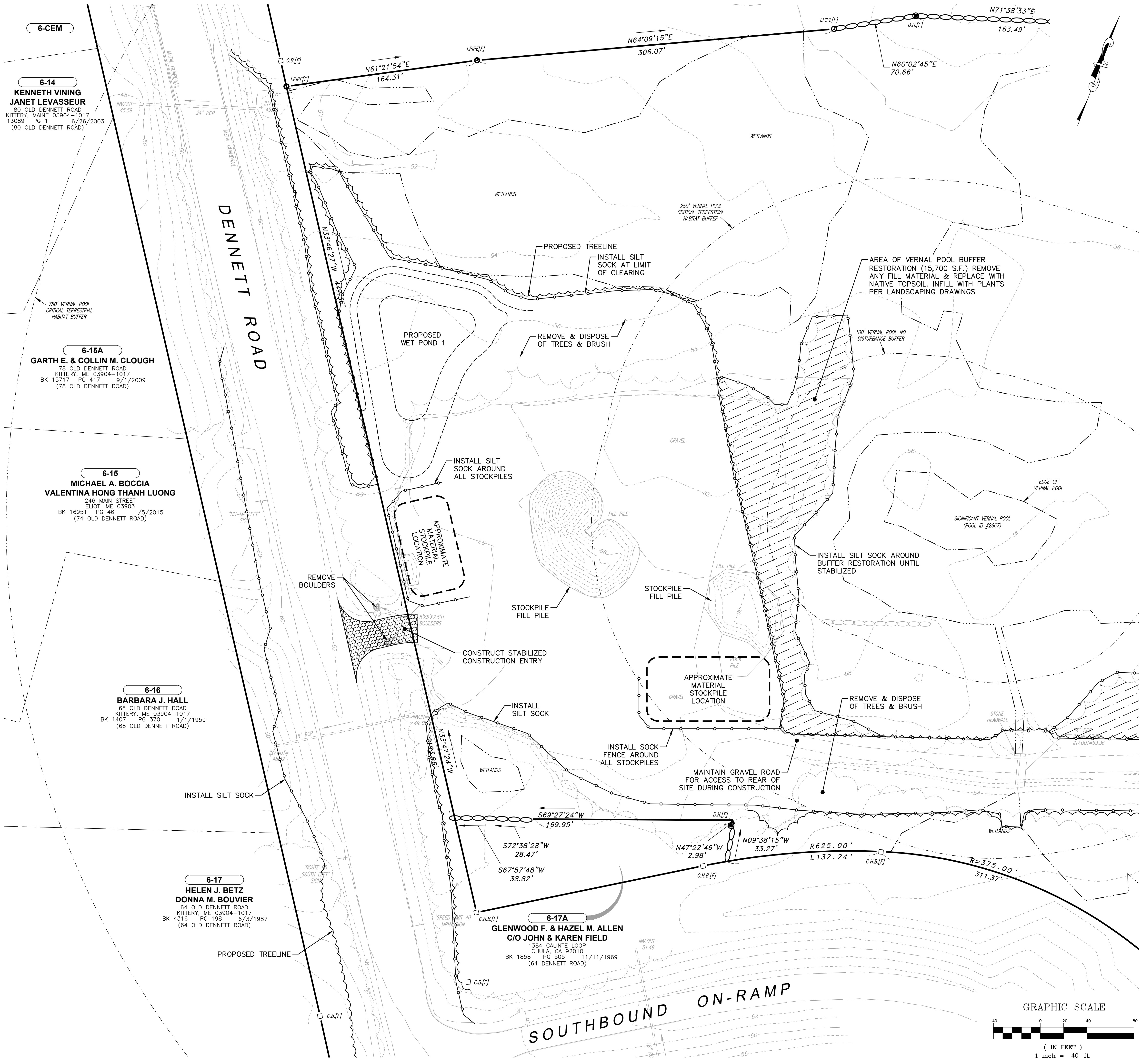


**EROSION CONTROL NOTES:**

1. REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
2. REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
3. INSTALL ALL EROSION CONTROL MEASURES ON THIS SHEET PRIOR TO STARTING CONSTRUCTION.
4. CONSTRUCTION SHALL MEET ALL CONDITIONS OF THE MAINE DEP SITE LOCATION OF DEVELOPMENT PERMIT.

**HOUSEKEEPING NOTES:**

1. **SPILL PREVENTION.** CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM CONSTRUCTION AND WASTE MATERIALS STORED ON SITE TO ENTER STORMWATER, WHICH INCLUDES STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORMWATER. THE SITE CONTRACTOR OR OPERATOR MUST DEVELOP, AND IMPLEMENT AS NECESSARY, APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING MEASURES. ANY SPILL OR RELEASE OF TOXIC OR HAZARDOUS SUBSTANCES MUST BE REPORTED TO THE DEPARTMENT. FOR OIL SPILLS, CALL 1-800-482-0777 WHICH IS AVAILABLE 24 HOURS A DAY. FOR SPILLS OF TOXIC OR HAZARDOUS MATERIAL, CALL 1-800-452-4668 WHICH IS AVAILABLE 24 HOURS A DAY. FOR MORE INFORMATION, VISIT THE DEPARTMENT'S WEBSITE AT : [HTTP://WWW.MAINE.GOV/DEP/SPILLS/EMERGSPILLRESP/](http://www.maine.gov/dep/spills/emergspillresp/)
2. **GROUNDWATER PROTECTION.** DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN "INFILTRATION AREA" IS ANY AREA OF THE DESIGN OR AS A RESULT OF SOIL TOPOGRAPHY AND OTHER RELEVANT FACTORS ACCUMULATES RUNOFF THAT INFILTRATES INTO THE SOIL. DIKES, BERMS, SUMPS, AND OTHER FORMS OF SECONDARY CONTAINMENT THAT PREVENT DISCHARGE TO GROUNDWATER MAY BE USED TO ISOLATE PORTIONS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE MATERIALS. ANY PROJECT PROPOSING INFILTRATION OF STORMWATER MUST PROVIDE ADEQUATE PRE-TREATMENT OF STORMWATER PRIOR TO DISCHARGE OF STORMWATER TO THE INFILTRATION AREA, OR PROVIDE FOR TREATMENT WITHIN THE INFILTRATION AREA, IN ORDER TO PREVENT THE ACCUMULATION OF FINES, REDUCTION IN INFILTRATION RATE, AND CONSEQUENT FLOODING AND DESTABILIZATION.
3. **FUGITIVE SEDIMENT AND DUST.** ACTIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. OIL MAY NOT BE USED FOR DUST CONTROL, BUT OTHER WATER ADDITIVES MAY BE CONSIDERED AS NEEDED. A STABILIZED CONSTRUCTION ENTRANCE (SCE) SHOULD BE INCLUDED TO MINIMIZE TRACKING OF MUD AND SEDIMENT. IF OFF-SITE TRACKING OCCURS, PUBLIC ROADS SHOULD BE SWEEPED IMMEDIATELY, NO LESS THAN ONCE A WEEK AND PRIOR TO SIGNIFICANT STORM EVENTS. OPERATIONS DURING DRY MONTHS THAT EXPERIENCE FUGITIVE DUST PROBLEMS SHOULD WET DOWN UNPAVED ACCESS ROADS ONCE A WEEK OR MORE FREQUENTLY AS NEEDED WITH A WATER ADDITIVE TO SUPPRESS FUGITIVE SEDIMENT AND DUST.
4. **DEBRIS AND OTHER MATERIALS.** MINIMIZE THE EXPOSURE OF CONSTRUCTION DEBRIS, BUILDING AND LANDSCAPING MATERIALS, TRASH, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS TO PRECIPITATION AND STORMWATER RUNOFF. THESE MATERIALS MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
5. **EXCAVATION DE-WATERING.** EXCAVATION DE-WATERING IS THE REMOVAL OF WATER FROM TRENCHES, FOUNDATIONS, COFFER DAMS, PONDS, AND OTHER AREAS WITHIN THE CONSTRUCTION AREA THAT RETAIN WATER AFTER EXCAVATION. IN MOST CASES THE COLLECTED WATER IS HEAVILY SILTED AND HINDERS CORRECT AND SAFE CONSTRUCTION PRACTICES. THE COLLECTED WATER REMOVED FROM THE PONDED AREA, EITHER THROUGH GRAVITY OR PUMPING, MUST BE SPREAD THROUGH NATURAL WOODED BUFFERS OR REMOVED TO AREAS THAT ARE SPECIFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A COFFERDAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE. EQUIVALENT MEASURES MAY BE TAKEN IF APPROVED BY THE DEPARTMENT.
  - A. DISCHARGES FROM FIREFIGHTING ACTIVITY;
  - B. FIRE HYDRANT FLUSHINGS;
  - C. VEHICLE WASHWATER IF DETERGENTS ARE NOT USED AND WASHING IS LIMITED TO THE EXTERIOR OF VEHICLES (ENGINE, UNDERCARRIAGE AND TRANSMISSION WASHING IS PROHIBITED);
  - D. DUST CONTROL RUNOFF IN ACCORDANCE WITH PERMIT CONDITIONS AND APPENDIX (C)(3);
  - E. ROUTINE EXTERNAL BUILDING WASHDOWN, NOT INCLUDING SURFACE PAINT REMOVAL, THAT DOES NOT INVOLVE DETERGENTS;
  - F. PAVEMENT WASHWATER (WHERE SPILLS/LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED, UNLESS ALL SPILLED MATERIAL HAD BEEN REMOVED) IF DETERGENTS ARE NOT USED;
  - G. UNCONTAMINATED AIR CONDITIONING OR COMPRESSOR CONDENSATE;
  - H. UNCONTAMINATED GROUNDWATER OR SPRING WATER;
  - I. FOUNDATION OR FOOTER DRAIN-WATER WHERE FLOWS ARE NOT CONTAMINATED;
  - J. UNCONTAMINATED EXCAVATION DEWATERING (SEE REQUIREMENTS IN APPENDIX C(5));
  - K. POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS; AND
  - L. LANDSCAPE IRRIGATION.
7. **UNAUTHORIZED NON-STORMWATER DISCHARGES.** THE DEPARTMENT'S APPROVAL UNDER THIS CHAPTER DOES NOT AUTHORIZE A DISCHARGE THAT IS MIXED WITH A SOURCE OF NON-STORMWATER, OTHER THAN THOSE DISCHARGES IN COMPLIANCE WITH APPENDIX C (6). SPECIFICALLY, THE DEPARTMENT'S APPROVAL DOES NOT AUTHORIZE DISCHARGES OF THE FOLLOWING:
  - A. WASTEWATER FROM THE WASHOUT OR CLEANOUT OF CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS OR OTHER CONSTRUCTION MATERIALS;
  - B. FUELS, OILS OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE;
  - C. SOAPS, SOLVENTS, OR DETERGENTS USED IN VEHICLE AND EQUIPMENT WASHING; AND
  - D. TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE.
8. **ADDITIONAL REQUIREMENTS.** ADDITIONAL REQUIREMENTS MAY BE APPLIED ON A SITE-SPECIFIC BASIS.



REV.	DATE	DESCRIPTION
15	06/17/20	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL
14	05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
13	03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
12	02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
11	01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
10	01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS
9	12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF HOYLE, TANNER & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC. IS PROHIBITED.

DESIGNED BY: SMT  
 DRAWN BY: SMT  
 CHECKED BY: WRD  
 REV.:

SCALE: AS SHOWN  
 ORIGINAL DATE: JUNE 20, 2019

Peers International  
 Hoyle, Tanner & Associates, Inc.  
 100 International Dr., #360, Portsmouth, NH 03801  
 Tel (603) 431-6520 Fax (603) 431-8067 Web: www.hoyletanner.com  
 © Copyright 2020 Hoyle, Tanner & Associates, Inc.

APPLICANT: AZTEC, LLC  
 ONE CITY CENTER, P.O. BOX 9546  
 PORTLAND, ME 04112

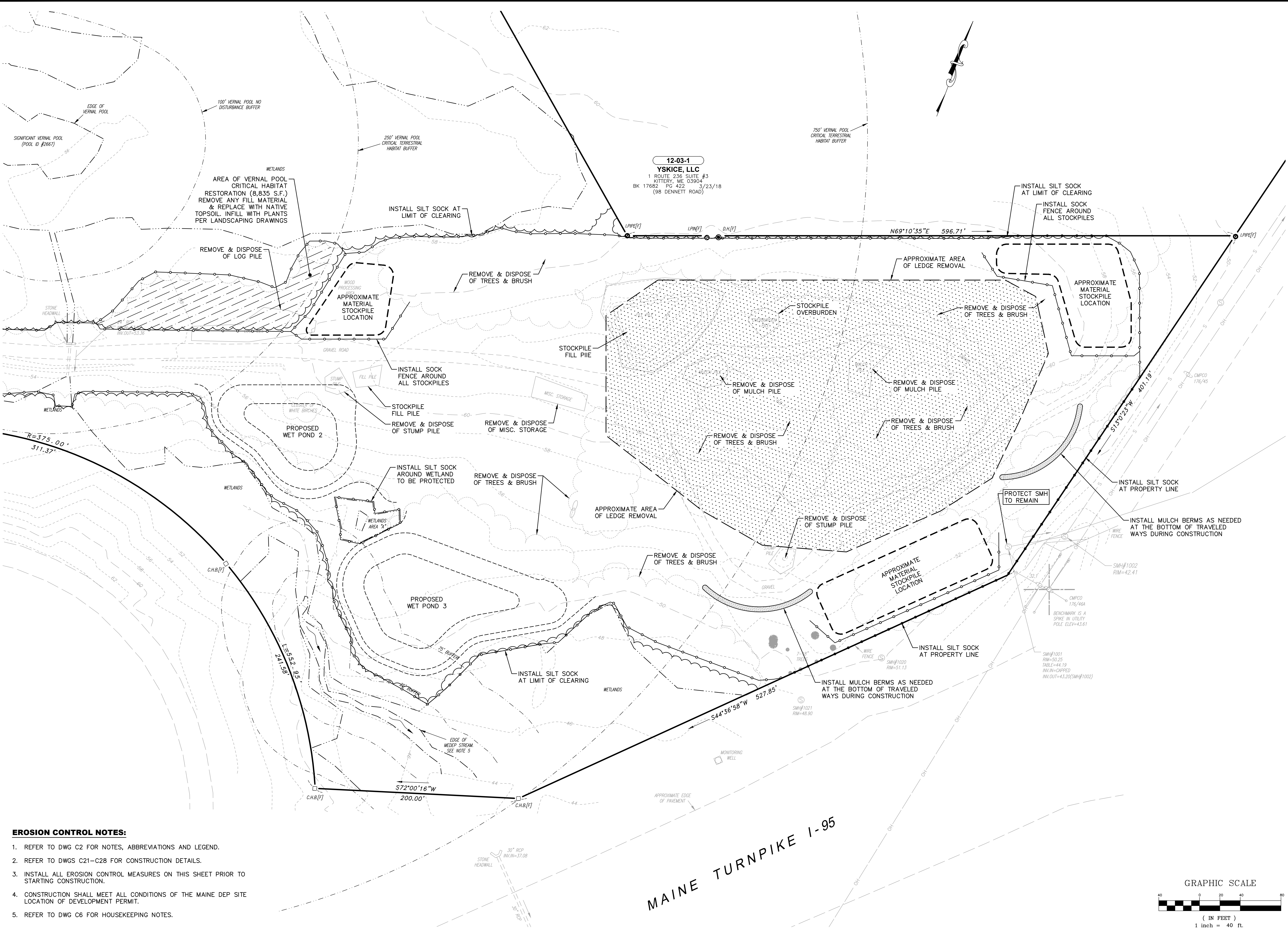
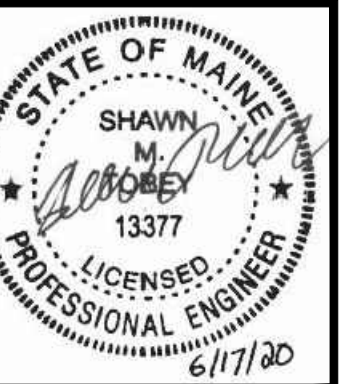
PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
 TAX MAP LOTS 6-15B, 6-16A & 13-4  
 76 DENNETT ROAD, KITTERY, ME 03904

EROSION CONTROL & HOUSEKEEPING PLAN - FRONT

**C6**

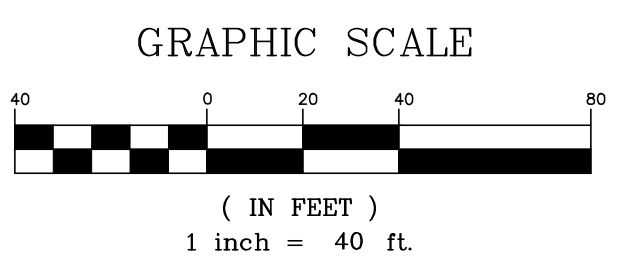
PROJECT NO. 569200  
 SHEET 6 OF 28





- EROSION CONTROL NOTES:**
1. REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
  2. REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
  3. INSTALL ALL EROSION CONTROL MEASURES ON THIS SHEET PRIOR TO STARTING CONSTRUCTION.
  4. CONSTRUCTION SHALL MEET ALL CONDITIONS OF THE MAINE DEP SITE LOCATION OF DEVELOPMENT PERMIT.
  5. REFER TO DWG C6 FOR HOUSEKEEPING NOTES.

MAINE TURNPIKE I-95



REV.	DATE	REVISION DESCRIPTION
15	06/17/20	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL
14	05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
13	03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
12	02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
11	01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
10	01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS
9	12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND HOYLE, TANNER, INC. MAY NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER, INC.

DESIGNED BY: SMT  
 DRAWN BY: SMT  
 CHECKED BY: WRD

**Hoyle, Tanner & Associates, Inc.**  
 100 International Dr., #360, Portsmouth, NH 03801  
 Tel: (603) 431-2520 Fax: (603) 431-8067 Web: www.hoyletanner.com  
 © Copyright 2020 Hoyle, Tanner & Associates, Inc.

SCALE: AS SHOWN  
 ORIGINAL DATE: JUNE 20, 2019

APPLICANT: AZTEC, LLC  
 ONE CITY CENTER, P.O. BOX 9546  
 PORTLAND, ME 04112

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
 TAX MAP LOTS 6-195, 6-16A & 13-4  
 76 DENNETT ROAD, KITTERY, ME 03904

EROSION CONTROL & HOUSEKEEPING PLAN - REAR  
**C7**  
 PROJECT NO. 569200  
 SHEET 7 OF 28



**SITE NOTES:**

- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
- REFER TO DWG C5 FOR OVERALL SITE PLAN, SITE CALCULATIONS AND DIMENSIONAL REQUIREMENTS.
- REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
- ALL OPEN SPACE BETWEEN THE LIMITS OF COMMON SPACE, RESERVED, AND THE PROPOSED PAVEMENT/BUILDINGS SHALL BE DESIGNATED AS OPEN SPACE, COMMON.
- THERE ARE NO SETBACKS FOR THE NON-SIGNIFICANT FORESTED WETLANDS.
- THE LOCATION OF PROPOSED BUILDING ENTRANCES ARE APPROXIMATE AND SHALL BE COORDINATED WITH THE FINAL ARCHITECTURAL PLANS.
- COORDINATE ALL WORK ADJACENT TO THE PROPOSED BUILDING WITH THE FINAL ARCHITECTURAL AND MEP DRAWINGS.
- ALL CURBING SHALL BE VERTICAL GRANITE, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL INSTALL DETECTABLE WARNING PANELS ON ALL TIP-DOWN RAMPS LOCATED WITHIN THE SUBJECT PARCEL.
- INSTALL SIGNS OR MARKERS AT THE VERNAL POOL BUFFER LOCATIONS AS SHOWN ON THE PLANS THAT READ "VERNAL POOL BUFFER, NO DISTURBANCE".

**DIMENSIONAL REQUIREMENTS (MU-N)**

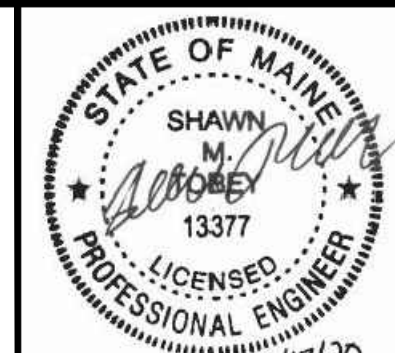
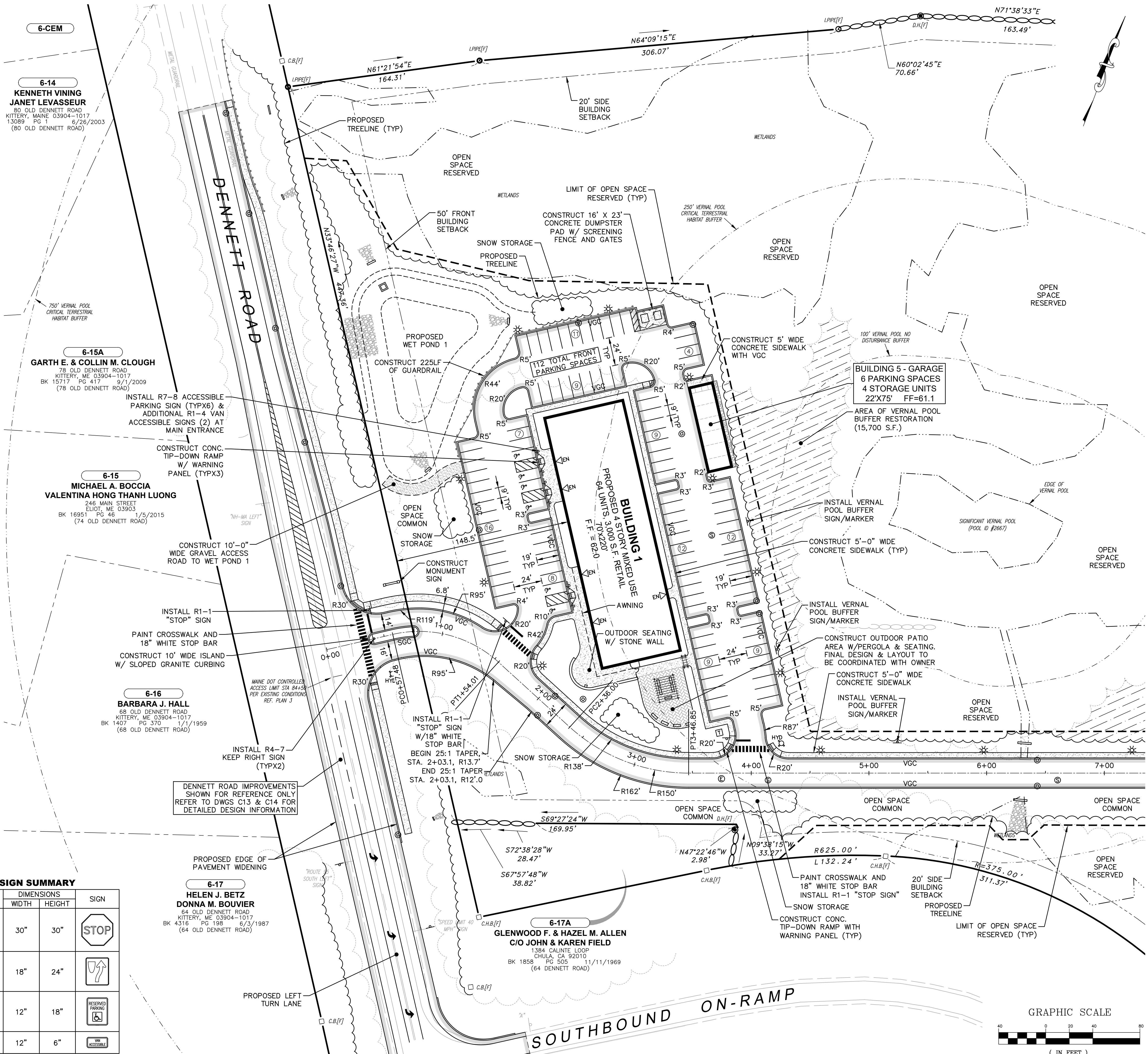
REGULATION	REQUIREMENT	PROVIDED
MIN. LOT AREA:	20,000 S.F.	23.34± AC.
MIN. LOT AREA FOR 303 UNITS:	797,500 S.F.	866,732 S.F.
MIN. STREET FRONTAGE:	75 FT	641.6 FT
MIN. FRONT SETBACK:	50 FT	148.5 FT
MIN. SIDE SETBACK:	20 FT	81.5 FT
MIN. REAR SETBACK:	20 FT	85.5 FT
MIN. SPACE BETWEEN BUILDINGS	15 FT	37.5 FT
MAX. BUILDING HEIGHT:	50 FT	50 FT
MAX. IMPERVIOUS COVER:	70% (711,571 S.F.)	28.5% (289,580 S.F.)
MIN. OPEN SPACE	25% (254,132 S.F.)	71.5% (726,950 S.F.)
PARKING:	356 SPACES	397 SPACES
ACCESSIBLE PARKING:	12 SPACES	16 SPACES
VAN ACCESSIBLE PARKING:	2 SPACES	8 SPACES
STALL DIMENSIONS:	9X19 FT	9X19 FT
aisle width (90° PARKING):	24 FT	24 FT

**SITE DATA**

- APPLICANT: AZTEC, LLC  
ONE CITY CENTER, P.O. BOX 9546  
PORTLAND, ME 04112
- LOT/OWNER INFORMATION:
  - TAX MAP LOT 6-15B  
13.29± ACRES  
76 DENNETT ROAD  
SAIL AWAY, LLC  
12 ROSEBERRY LANE  
KITTERY, ME 03904
  - TAX MAP LOT 6-16A  
4.99± ACRES  
70 DENNETT ROAD  
PISCATAQUA REALTY, LLC  
WILLIAM J CULLEN  
12 ROSEBERRY LANE  
KITTERY, ME 03904
  - TAX MAP LOT 13-4  
5.06± ACRES  
DENNETT ROAD  
WILLIAM J. CULLEN  
12 ROSEBERRY LANE  
KITTERY, ME 03904
- ZONING: MIXED USE-NEIGHBORHOOD (MU-N)
- TOTAL LOT AREA: 1,016,530± S.F. (23.34± AC.)
- TOTAL UPLAND AREA: 717,060± S.F. (16.46± AC.)
- TOTAL WETLAND AREA: 299,470± S.F. (6.88± AC.)
- DISTURBED AREA:
  - IN ROW = 110,000± S.F. (2.5± AC.)
  - ONSITE = 480,000± S.F. (11.0± AC.)
  - TOTAL = 590,000± S.F. (13.5± AC.)
- DEVELOPED AREA:
  - IN ROW = 5,865± S.F. (0.1± ACRES)
  - ONSITE = 451,900± S.F. (10.4± ACRES)
  - TOTAL = 457,765± S.F. (10.5± ACRES)
- ACCESSIBLE PARKING:
  - FRONT 112 SPACES  
101 TO 150 = 5 REQ'D
  - REAR 285 SPACES  
201 TO 300 SPACES = 7 REQ'D
  - TOTAL = 5+7 = 12 SPACES REQ'D
- VAN ACCESSIBLE: 1 PER 6 OF TOTAL. 12/6 = 2 REQ'D
- INTERSECTION SIGHT DISTANCE: REQUIRED = 445 FT  
PROVIDED = >1,000 FT
- SITE ENTRANCE: DESIGNED TO ACCOMMODATE A WB-40

**SIGN SUMMARY**

M.U.T.C.D. NUMBER	DIMENSIONS		SIGN
	WIDTH	HEIGHT	
R1-1	30"	30"	STOP
R4-7	18"	24"	↑
R7-8	12"	18"	RESERVED PARKING
R7-8A	12"	6"	WB ACCESSIBLE



REV.	DATE	DESCRIPTION
15	06/17/20	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL
14	05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
13	03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
12	02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
11	01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
10	01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACE COMMENTS
9	12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF HOYLE, TANNER & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC. IS PROHIBITED.

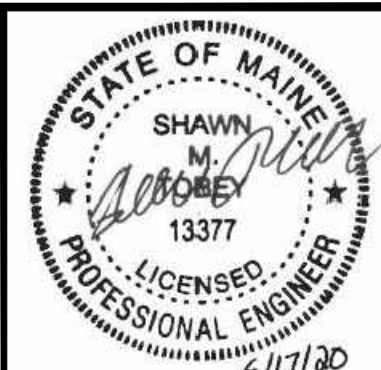
**Hoyle, Tanner & Associates, Inc.**  
100 International Dr., #360, Portsmouth, NH 03801  
Tel: (603) 431-8067 Fax: (603) 431-8067 Web: www.hoyletanner.com  
© Copyright 2020 Hoyle, Tanner & Associates, Inc.

APPLICANT: AZTEC, LLC  
ONE CITY CENTER, P.O. BOX 9546  
PORTLAND, ME 04112

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
TAX MAP LOTS 6-15B, 6-16A & 13-4  
76 DENNETT ROAD, KITTERY, ME 03904

FRONT SITE PLAN  
**C8**  
PROJECT NO. 569200  
SHEET 8 OF 28





DATE	REVISION DESCRIPTION
06/17/20	ISSUED FOR PLANNING BOARD APPROVAL
05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACE COMMENTS
12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS
12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

NO.	REVISION DESCRIPTION	DATE
15	THIS DOCUMENT IS PREPARED AS A SERVICE TO THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC.	
14	ISSUED FOR PLANNING BOARD APPROVAL	
13	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS	
12	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS	
11	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING	
10	REVISED OUTLET PROTECTION DETAIL PER ACE COMMENTS	
9	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS	
8	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS	

NO.	REVISION DESCRIPTION	DATE
15	THIS DOCUMENT IS PREPARED AS A SERVICE TO THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC.	
14	ISSUED FOR PLANNING BOARD APPROVAL	
13	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS	
12	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS	
11	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING	
10	REVISED OUTLET PROTECTION DETAIL PER ACE COMMENTS	
9	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS	
8	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS	

DESIGNED BY: SMT  
 CHECKED BY: WRD  
 DRAWN BY: SMT  
 ORIGINAL DATE: JUNE 20, 2019  
 SCALE: AS SHOWN

**Hoyle, Tanner & Associates, Inc.**  
 100 International Dr., #360, Portsmouth, NH 03801  
 Tel (603) 431-2520 Fax (603) 431-8067 Web: www.hoyletanner.com  
 © Copyright 2020 Hoyle, Tanner & Associates, Inc.

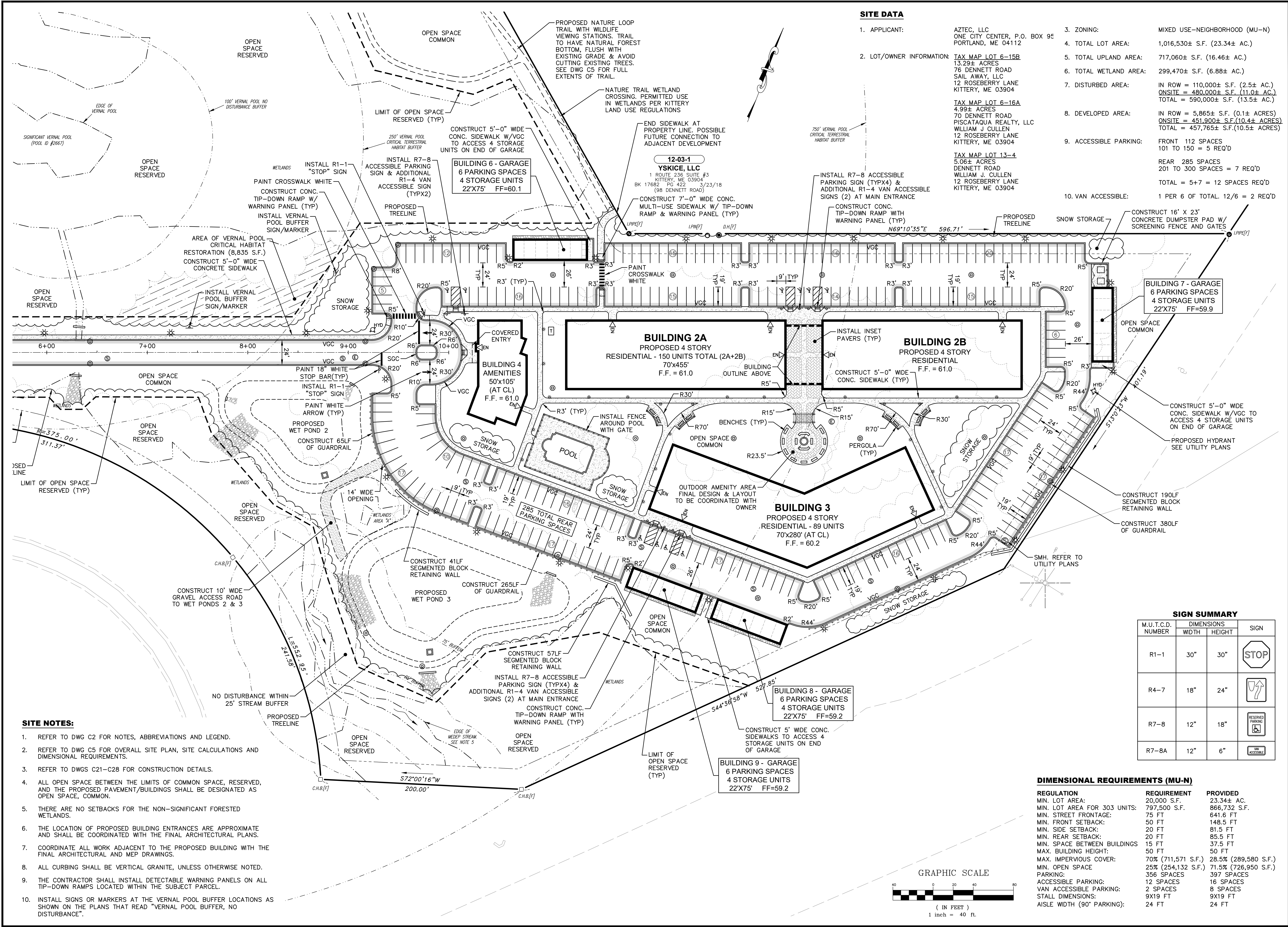
APPLICANT: AZTEC, LLC  
 ONE CITY CENTER, P.O. BOX 9546  
 PORTLAND, ME 04112

PROJECT: REAR MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
 TAX MAP LOTS 6-15B, 6-16A & 13-4  
 76 DENNETT ROAD, KITTERY, ME 03904

REAR SITE PLAN  
**C9**  
 PROJECT NO. 569200  
 SHEET 9 OF 28

**SITE DATA**

- APPLICANT: AZTEC, LLC  
ONE CITY CENTER, P.O. BOX 95  
PORTLAND, ME 04112
- LOT/OWNER INFORMATION: TAX MAP LOT 6-15B  
13.29± ACRES  
76 DENNETT ROAD  
SAIL AWAY, LLC  
12 ROSEBERRY LANE  
KITTERY, ME 03904  
  
TAX MAP LOT 6-16A  
4.99± ACRES  
70 DENNETT ROAD  
PISCATAQUA REALTY, LLC  
WILLIAM J. CULLEN  
12 ROSEBERRY LANE  
KITTERY, ME 03904  
  
TAX MAP LOT 13-4  
5.06± ACRES  
DENNETT ROAD  
WILLIAM J. CULLEN  
12 ROSEBERRY LANE  
KITTERY, ME 03904
- ZONING: MIXED USE-NEIGHBORHOOD (MU-N)
- TOTAL LOT AREA: 1,016,530± S.F. (23.34± AC.)
- TOTAL UPLAND AREA: 717,060± S.F. (16.46± AC.)
- TOTAL WETLAND AREA: 299,470± S.F. (6.88± AC.)
- DISTURBED AREA: IN ROW = 110,000± S.F. (2.5± AC.)  
ONSITE = 480,000± S.F. (11.0± AC.)  
TOTAL = 590,000± S.F. (13.5± AC.)
- DEVELOPED AREA: IN ROW = 5,865± S.F. (0.1± ACRES)  
ONSITE = 451,900± S.F. (10.4± ACRES)  
TOTAL = 457,765± S.F. (10.5± ACRES)
- ACCESSIBLE PARKING: FRONT 112 SPACES  
101 TO 150 = 5 REQ'D  
  
REAR 285 SPACES  
201 TO 300 SPACES = 7 REQ'D  
TOTAL = 5+7 = 12 SPACES REQ'D
- VAN ACCESSIBLE: 1 PER 6 OF TOTAL, 12/6 = 2 REQ'D



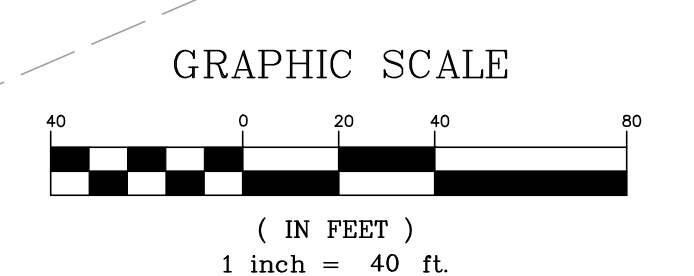
- SITE NOTES:**
- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
  - REFER TO DWG C5 FOR OVERALL SITE PLAN, SITE CALCULATIONS AND DIMENSIONAL REQUIREMENTS.
  - REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
  - ALL OPEN SPACE BETWEEN THE LIMITS OF COMMON SPACE, RESERVED, AND THE PROPOSED PAVEMENT/BUILDINGS SHALL BE DESIGNATED AS OPEN SPACE, COMMON.
  - THERE ARE NO SETBACKS FOR THE NON-SIGNIFICANT FORESTED WETLANDS.
  - THE LOCATION OF PROPOSED BUILDING ENTRANCES ARE APPROXIMATE AND SHALL BE COORDINATED WITH THE FINAL ARCHITECTURAL PLANS.
  - COORDINATE ALL WORK ADJACENT TO THE PROPOSED BUILDING WITH THE FINAL ARCHITECTURAL AND MEP DRAWINGS.
  - ALL CURBING SHALL BE VERTICAL GRANITE, UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL INSTALL DETECTABLE WARNING PANELS ON ALL TIP-DOWN RAMPS LOCATED WITHIN THE SUBJECT PARCEL.
  - INSTALL SIGNS OR MARKERS AT THE VERNAL POOL BUFFER LOCATIONS AS SHOWN ON THE PLANS THAT READ "VERNAL POOL BUFFER, NO DISTURBANCE".

**SIGN SUMMARY**

M.U.T.C.D. NUMBER	DIMENSIONS		SIGN
	WIDTH	HEIGHT	
R1-1	30"	30"	STOP
R4-7	18"	24"	TURN
R7-8	12"	18"	RESERVED PARKING
R7-8A	12"	6"	VAN ACCESSIBLE

**DIMENSIONAL REQUIREMENTS (MU-N)**

REGULATION	REQUIREMENT	PROVIDED
MIN. LOT AREA:	20,000 S.F.	23.34± AC.
MIN. LOT AREA FOR 303 UNITS:	797,500 S.F.	866,732 S.F.
MIN. STREET FRONTAGE:	75 FT	641.6 FT
MIN. FRONT SETBACK:	50 FT	148.5 FT
MIN. SIDE SETBACK:	20 FT	81.5 FT
MIN. REAR SETBACK:	20 FT	85.5 FT
MIN. SPACE BETWEEN BUILDINGS:	15 FT	37.5 FT
MAX. BUILDING HEIGHT:	50 FT	50 FT
MAX. IMPERVIOUS COVER:	70% (711,571 S.F.)	28.5% (289,580 S.F.)
MIN. OPEN SPACE:	25% (254,132 S.F.)	71.5% (726,950 S.F.)
PARKING:	356 SPACES	397 SPACES
ACCESSIBLE PARKING:	12 SPACES	16 SPACES
VAN ACCESSIBLE PARKING:	2 SPACES	8 SPACES
STALL DIMENSIONS:	9X19 FT	9X19 FT
aisle width (90° PARKING):	24 FT	24 FT





**GRADING & DRAINAGE NOTES:**

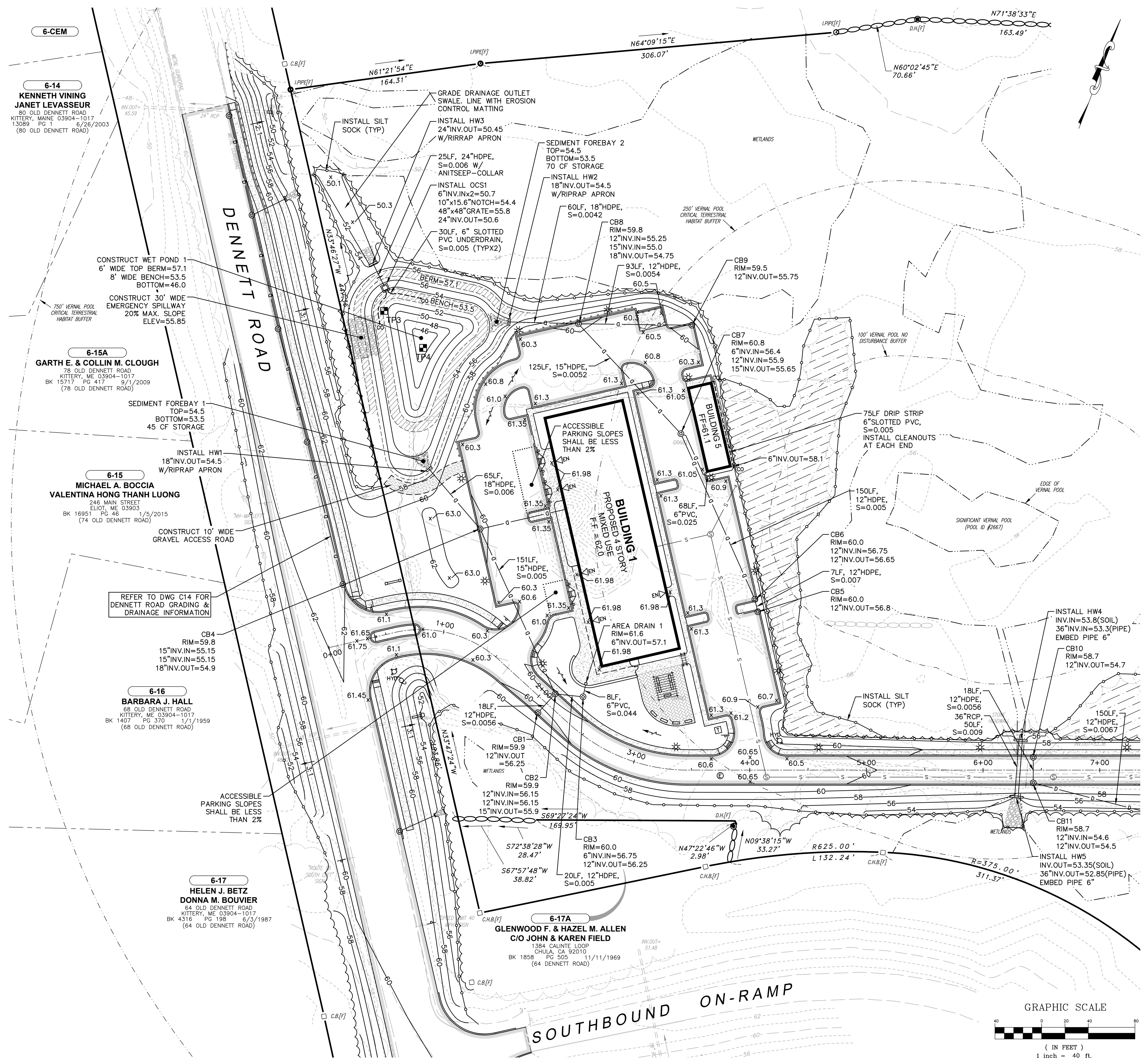
1. REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
2. REFER TO DWG C6-C7 FOR ADDITIONAL EROSION CONTROL MEASURES.
3. REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
4. CONSTRUCTION SHALL MEET ALL CONDITIONS OF THE MAINE DEP SITE LOCATION OF DEVELOPMENT PERMIT.
5. ALL DRAINAGE STRUCTURES HAVE AN INTERNAL DIAMETER OF 4'-0" UNLESS OTHERWISE SPECIFIED ON THE PLANS.
6. INSTALL INLET PROTECTION ON ALL PROPOSED CATCH BASINS AFTER INSTALLATION. REMOVE WHEN CONSTRUCTION IS COMPLETED.
7. THE LOCATION OF PROPOSED BUILDING ENTRANCES ARE APPROXIMATE AND SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
8. ACCESSIBLE PARKING STALLS HAVE SLOPES LESS THAN 2% IN ALL DIRECTIONS.
9. TEST PIT DATA IS BASED ON FIELD OBSERVATIONS FOR LEDGE AND APPROXIMATE SEASONAL HIGH WATER FROM PITS DUG ON MAY 16, 2019 AND MAY 27, 2019.
10. REFER TO DRAINAGE NARRATIVE FOR TEST PIT LOGS AND DETAILED WET POND CALCULATIONS.

**WET POND NOTE:**

1. THE APPLICANT SHALL RETAIN A PROFESSIONAL ENGINEER TO PROVIDE THE ENGINEERING OVERSIGHT SERVICES FOR THE WET POND CONSTRUCTION. THE ENGINEER SHALL INSPECT THE EMBANKMENT FOUNDATION PREPARATION, THE PLACEMENT OF THE EMBANKMENT FILL, THE CONSTRUCTION OF THE UNDERDRAINED GRAVEL TRENCH OUTLET, THE INSTALLATION OF THE OUTLET CONTROL STRUCTURE, AND THE CONSTRUCTION OF THE EMERGENCY SPILLWAY. ALL SOIL AND AGGREGATE USED FOR THE CONSTRUCTION OF THE WET POND'S IMPOUNDMENT EMBANKMENT AND THE UNDERDRAINED GRAVEL TRENCH OUTLET MUST BE CONFIRMED BY TESTING. THE CONTRACTOR SHALL ENSURE THAT THE SAMPLING AND TESTING OF THESE MATERIALS ARE COMPLETE AND APPROVED BY THE ENGINEER BEFORE THE FILL OR AGGREGATE IS PLACED. ONCE THE WET POND IS CONSTRUCTED AND STABILIZED, THE INSPECTING ENGINEER WILL NOTIFY THE DEPARTMENT IN WRITING WITHIN 30 DAYS, ACCOMPANYING THE ENGINEER'S NOTIFICATION MUST BE A COPY OF THE TEST RESULTS FOR ANY SOIL FILL OR AGGREGATE MATERIALS USED IN THE CONSTRUCTION OF THE WET POND AND A LOG OF THE ENGINEER'S INSPECTIONS GIVING THE DATE OF EACH INSPECTION, THE TIME OF EACH INSPECTION, AND THE ITEMS INSPECTED ON EACH VISIT.

**WET POND 1 DATA:**

REGULATION	REQUIREMENT	PROVIDED
PERMANENT POOL VOLUME:	13,379 CF	18,313 CF
PERM. POOL AVERAGE DEPTH:	3.0 FT	3.09 FT
CHANNEL PROTECTION VOLUME:	6,689 CF	7,997 CF
LENGTH TO WIDTH RATIO	2:1	2:1
SEDIMENT FOREBAY 1 CAPACITY:	16 CF	45 CF
SEDIMENT FOREBAY 2 CAPACITY:	38 CF	70 CF
UNDERDRAIN LENGTH:	23 FT	60 FT



**6-CEM**  
KENNETH VINING  
JANET LEVASSEUR  
80 OLD DENNETT ROAD  
KITTEERY, MAINE 03904-1017  
13089 PG 1 6/26/2003  
(80 OLD DENNETT ROAD)

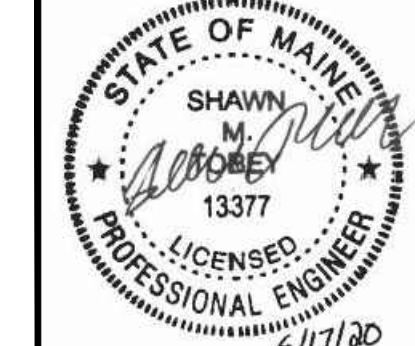
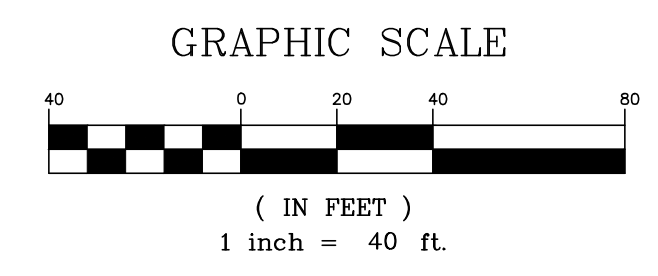
**6-15A**  
GARTH E. & COLLIN M. CLOUGH  
78 OLD DENNETT ROAD  
KITTEERY, ME 03904-1017  
BK 15717 PG 417 9/12/2009  
(78 OLD DENNETT ROAD)

**6-15**  
MICHAEL A. BOCCIA  
VALENTINA HONG THANH LUONG  
246 MAIN STREET  
ELIOT, ME 03903  
BK 16951 PG 46 1/5/2015  
(74 OLD DENNETT ROAD)

**6-16**  
BARBARA J. HALL  
68 OLD DENNETT ROAD  
KITTEERY, ME 03904-1017  
BK 1407 PG 370 1/1/1959  
(68 OLD DENNETT ROAD)

**6-17**  
HELEN J. BETZ  
DONNA M. BOUVIER  
64 OLD DENNETT ROAD  
KITTEERY, ME 03904-1017  
BK 4316 PG 198 6/3/1987  
(64 OLD DENNETT ROAD)

**6-17A**  
GLENWOOD F. & HAZEL M. ALLEN  
C/O JOHN & KAREN FIELD  
1384 CALINTE LOOP  
CHULA, CA 92010  
BK 1858 PG 505 11/11/1969  
(64 DENNETT ROAD)



REV.	DATE	DESCRIPTION
15	06/17/20	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL
14	05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
13	03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
12	02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
11	01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
10	01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS
9	12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

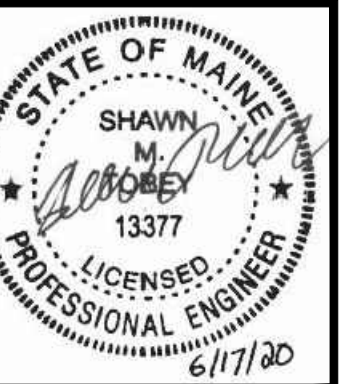
THIS DOCUMENT IS PREPARED AS A SERVICE AND THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION. HOYLE, TANNER & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

**Hoyle, Tanner & Associates, Inc.**  
100 International Dr., #360, Portsmouth, NH 03801  
Tel (603) 431-2520 Fax (603) 431-8067 Web: www.hoyletanner.com  
© Copyright 2020 Hoyle, Tanner & Associates, Inc.

APPLICANT: AZTEC, LLC  
ONE CITY CENTER, P.O. BOX 9546  
PORTLAND, ME 04112

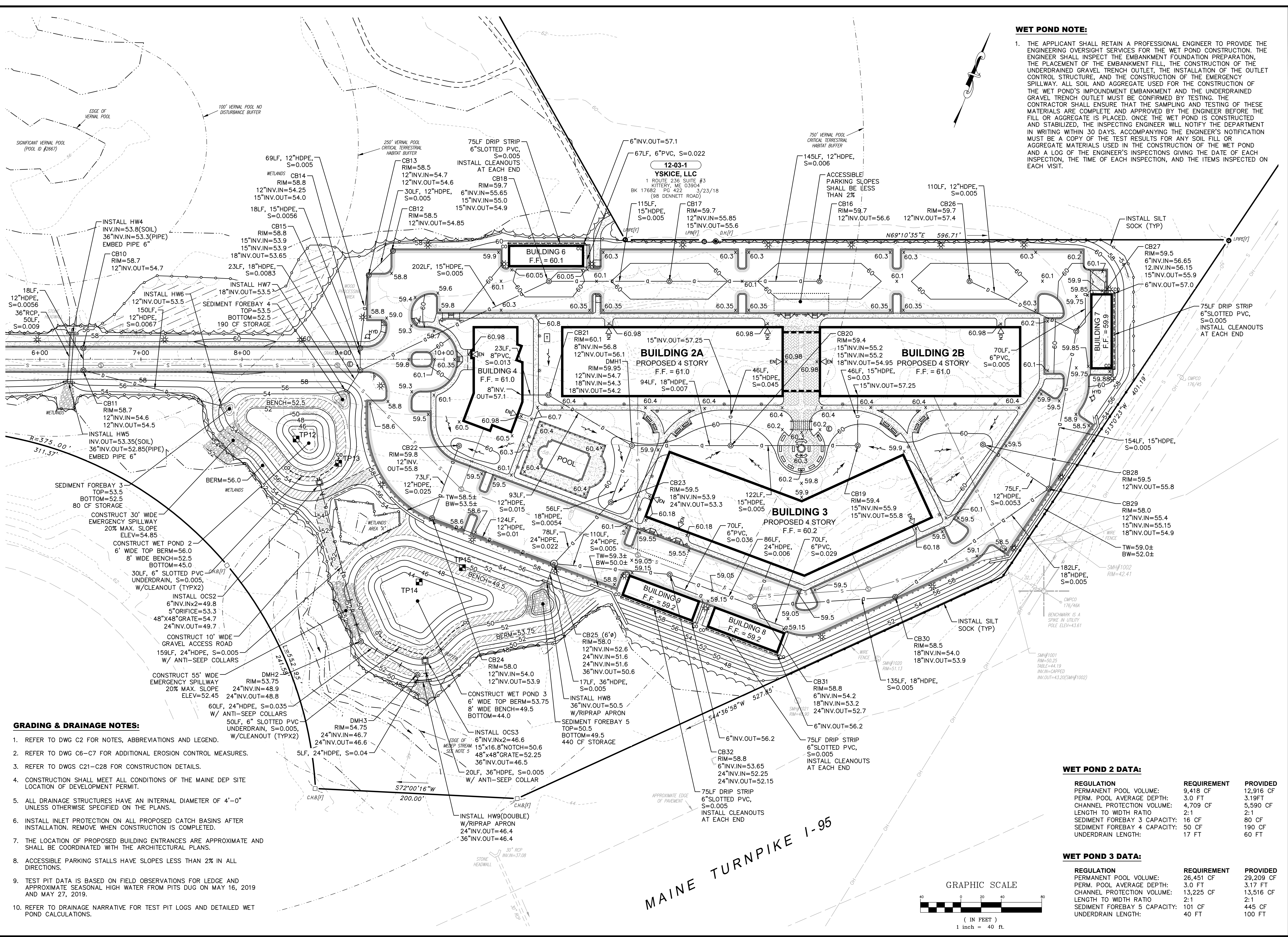
PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
TAX MAP LOTS 6-15B, 6-16A & 13-4  
76 DENNETT ROAD, KITTEERY, ME 03904





**WET POND NOTE:**

1. THE APPLICANT SHALL RETAIN A PROFESSIONAL ENGINEER TO PROVIDE THE ENGINEERING OVERSIGHT SERVICES FOR THE WET POND CONSTRUCTION. THE ENGINEER SHALL INSPECT THE EMBANKMENT FOUNDATION PREPARATION, THE PLACEMENT OF THE EMBANKMENT FILL, THE CONSTRUCTION OF THE UNDERDRAINED GRAVEL TRENCH OUTLET, THE INSTALLATION OF THE OUTLET CONTROL STRUCTURE, AND THE CONSTRUCTION OF THE EMERGENCY SPILLWAY. ALL SOIL AND AGGREGATE USED FOR THE CONSTRUCTION OF THE WET POND'S IMPOUNDMENT EMBANKMENT AND THE UNDERDRAINED GRAVEL TRENCH OUTLET MUST BE CONFIRMED BY TESTING. THE CONTRACTOR SHALL ENSURE THAT THE SAMPLING AND TESTING OF THESE MATERIALS ARE COMPLETE AND APPROVED BY THE ENGINEER BEFORE THE FILL OR AGGREGATE IS PLACED. ONCE THE WET POND IS CONSTRUCTED AND STABILIZED, THE INSPECTING ENGINEER WILL NOTIFY THE DEPARTMENT IN WRITING WITHIN 30 DAYS, ACCOMPANYING THE ENGINEER'S NOTIFICATION MUST BE A COPY OF THE TEST RESULTS FOR ANY SOIL FILL OR AGGREGATE MATERIALS USED IN THE CONSTRUCTION OF THE WET POND AND A LOG OF THE ENGINEER'S INSPECTIONS GIVING THE DATE OF EACH INSPECTION, THE TIME OF EACH INSPECTION, AND THE ITEMS INSPECTED ON EACH VISIT.



**GRADING & DRAINAGE NOTES:**

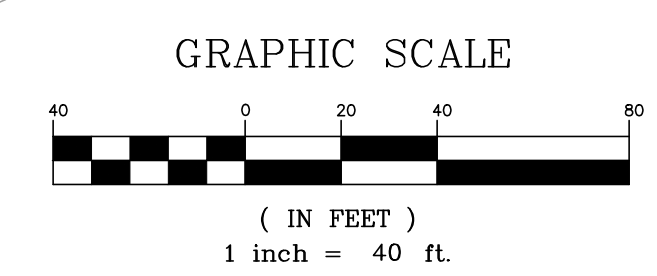
1. REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
2. REFER TO DWG C6-C7 FOR ADDITIONAL EROSION CONTROL MEASURES.
3. REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
4. CONSTRUCTION SHALL MEET ALL CONDITIONS OF THE MAINE DEP SITE LOCATION OF DEVELOPMENT PERMIT.
5. ALL DRAINAGE STRUCTURES HAVE AN INTERNAL DIAMETER OF 4'-0" UNLESS OTHERWISE SPECIFIED ON THE PLANS.
6. INSTALL INLET PROTECTION ON ALL PROPOSED CATCH BASINS AFTER INSTALLATION. REMOVE WHEN CONSTRUCTION IS COMPLETED.
7. THE LOCATION OF PROPOSED BUILDING ENTRANCES ARE APPROXIMATE AND SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
8. ACCESSIBLE PARKING STALLS HAVE SLOPES LESS THAN 2% IN ALL DIRECTIONS.
9. TEST PIT DATA IS BASED ON FIELD OBSERVATIONS FOR LEDGE AND APPROXIMATE SEASONAL HIGH WATER FROM PITS DUG ON MAY 16, 2019 AND MAY 27, 2019.
10. REFER TO DRAINAGE NARRATIVE FOR TEST PIT LOGS AND DETAILED WET POND CALCULATIONS.

**WET POND 2 DATA:**

REGULATION	REQUIREMENT	PROVIDED
PERMANENT POOL VOLUME:	9,418 CF	12,916 CF
PERM. POOL AVERAGE DEPTH:	3.0 FT	3.19FT
CHANNEL PROTECTION VOLUME:	4,709 CF	5,590 CF
LENGTH TO WIDTH RATIO	2:1	2:1
SEDIMENT FOREBAY 3 CAPACITY:	16 CF	80 CF
SEDIMENT FOREBAY 4 CAPACITY:	50 CF	190 CF
UNDERDRAIN LENGTH:	17 FT	60 FT

**WET POND 3 DATA:**

REGULATION	REQUIREMENT	PROVIDED
PERMANENT POOL VOLUME:	26,451 CF	29,209 CF
PERM. POOL AVERAGE DEPTH:	3.0 FT	3.17 FT
CHANNEL PROTECTION VOLUME:	13,225 CF	13,516 CF
LENGTH TO WIDTH RATIO	2:1	2:1
SEDIMENT FOREBAY 3 CAPACITY:	101 CF	445 CF
UNDERDRAIN LENGTH:	40 FT	100 FT



DATE	REVISION DESCRIPTION
06/17/20	ISSUED FOR PLANNING BOARD APPROVAL
05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
02/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACE COMMENTS
12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS
	REVISION DESCRIPTION

THIS DOCUMENT IS PREPARED AS PART OF THE SERVICE AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, REPRINTED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING ELECTRONICALLY, FOR PROJECTS OTHER THAN THE PROJECT SPECIFICALLY IDENTIFIED HEREIN WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC.

**Hoyle, Tanner & Associates, Inc.**  
 100 International Dr., #360, Portsmouth, NH 03801  
 Tel (603) 431-2520 Fax (603) 431-8067 Web: www.hoyletanner.com  
 © Copyright, 2020 Hoyle, Tanner & Associates, Inc.

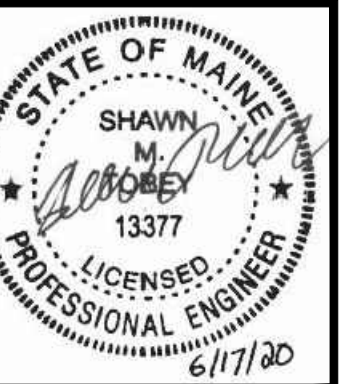
DESIGNED BY: SMT  
 CHECKED BY: WRD  
 DRAWN BY: SMT  
 ORIGINAL DATE: JUNE 20, 2019  
 SCALE: AS SHOWN

APPLICANT: AZTEC, LLC  
 ONE CITY CENTER, P.O. BOX 9546  
 PORTLAND, ME 04112

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
 TAX MAP LOTS 6-15B, 6-16A & 13-4  
 76 DENNETT ROAD, KITTERY, ME 03904

REAR GRADING & DRAINAGE PLAN  
**C11**  
 PROJECT NO. 569200  
 SHEET 11 OF 28





NO.	DATE	REVISION DESCRIPTION
15	06/17/20	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL
14	05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
13	03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
12	02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
11	01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
10	01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS
9	12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

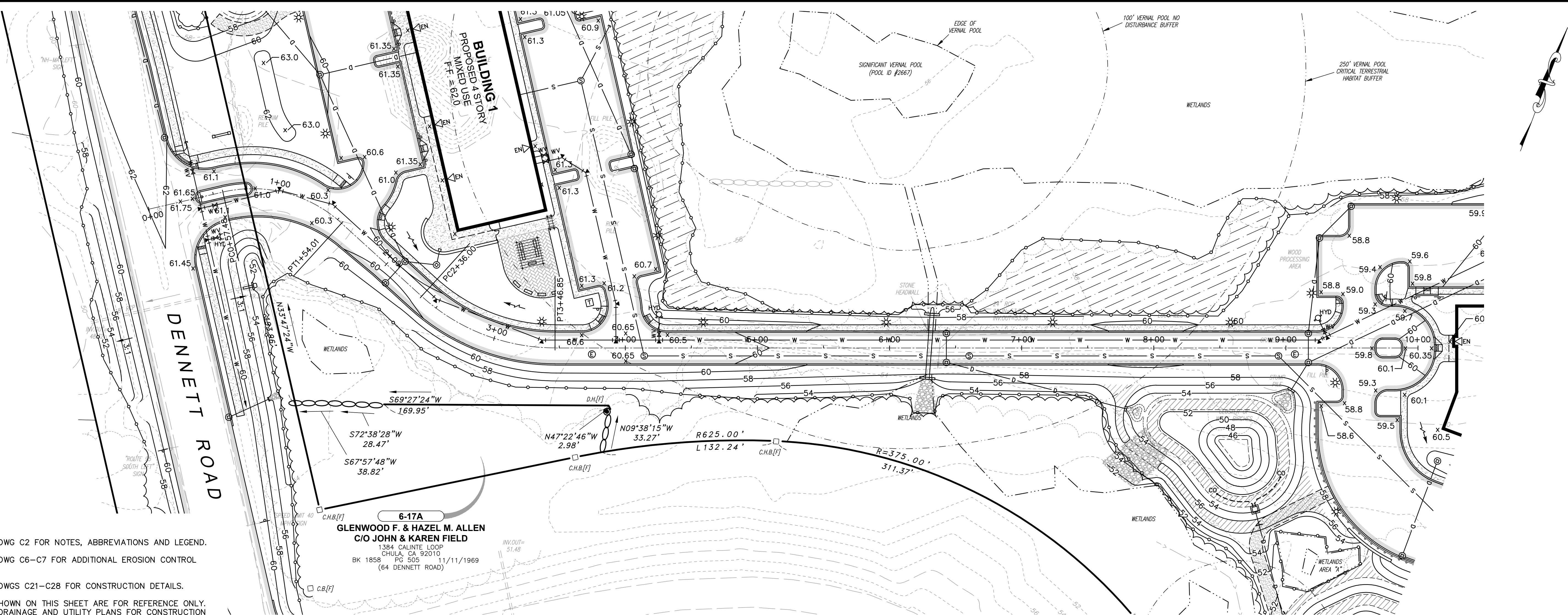
THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF HOYLE, TANNER, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER, INC.

DESIGNED BY: SMT  
 CHECKED BY: WRD  
 DRAWN BY: SMT  
 ORIGINAL DATE: JUNE 20, 2019  
 SCALE: AS SHOWN

APPLICANT: AZTEC, LLC  
 ONE CITY CENTER, P.O. BOX 9546  
 PORTLAND, ME 04112

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
 TAX MAP LOTS 6-15B, 6-16A & 13-4  
 76 DENNETT ROAD, KITTERY, ME 03904

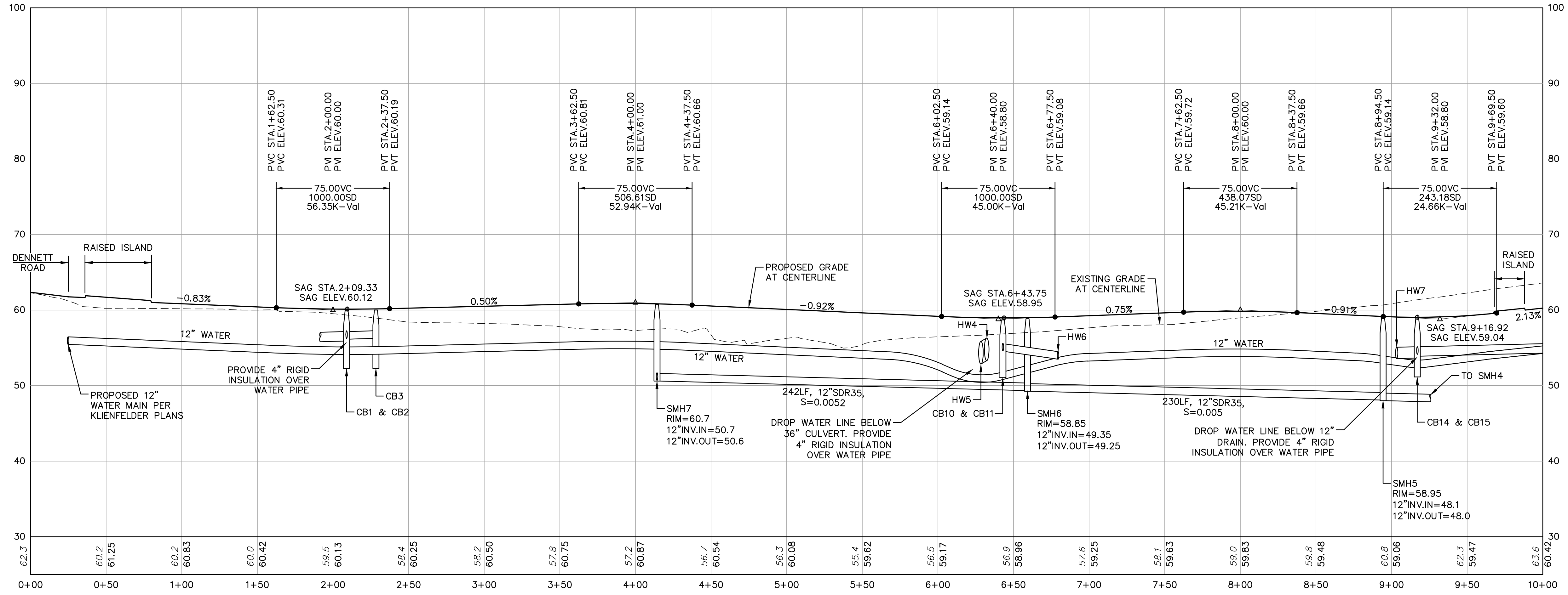
SITE ROADWAY PLAN & PROFILE  
**C12**  
 PROJECT NO. 569200  
 SHEET 12 OF 28



- NOTES:**
- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
  - REFER TO DWG C6-C7 FOR ADDITIONAL EROSION CONTROL MEASURES.
  - REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
  - UTILITIES SHOWN ON THIS SHEET ARE FOR REFERENCE ONLY. REFER TO DRAINAGE AND UTILITY PLANS FOR CONSTRUCTION INFORMATION.

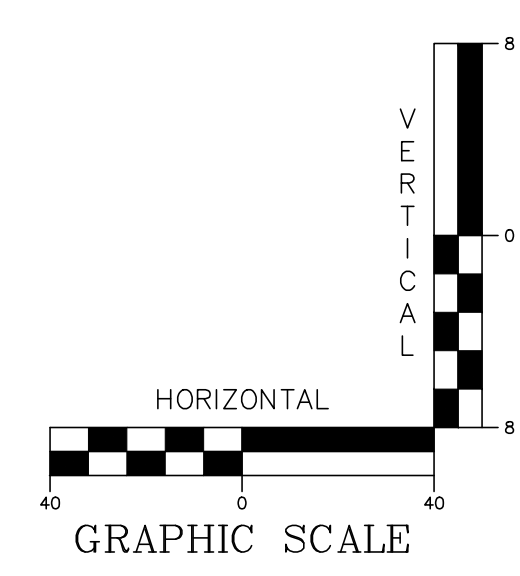
**SITE ROADWAY PLAN - STA 0+00 TO STA 10+00**

SCALE: 1" = 40'



**SITE ROADWAY PROFILE - STA 0+00 TO STA 10+00**

SCALE: HORIZONTAL 1" = 40' VERTICAL 1" = 8'





**DENNETT ROAD NOTES:**

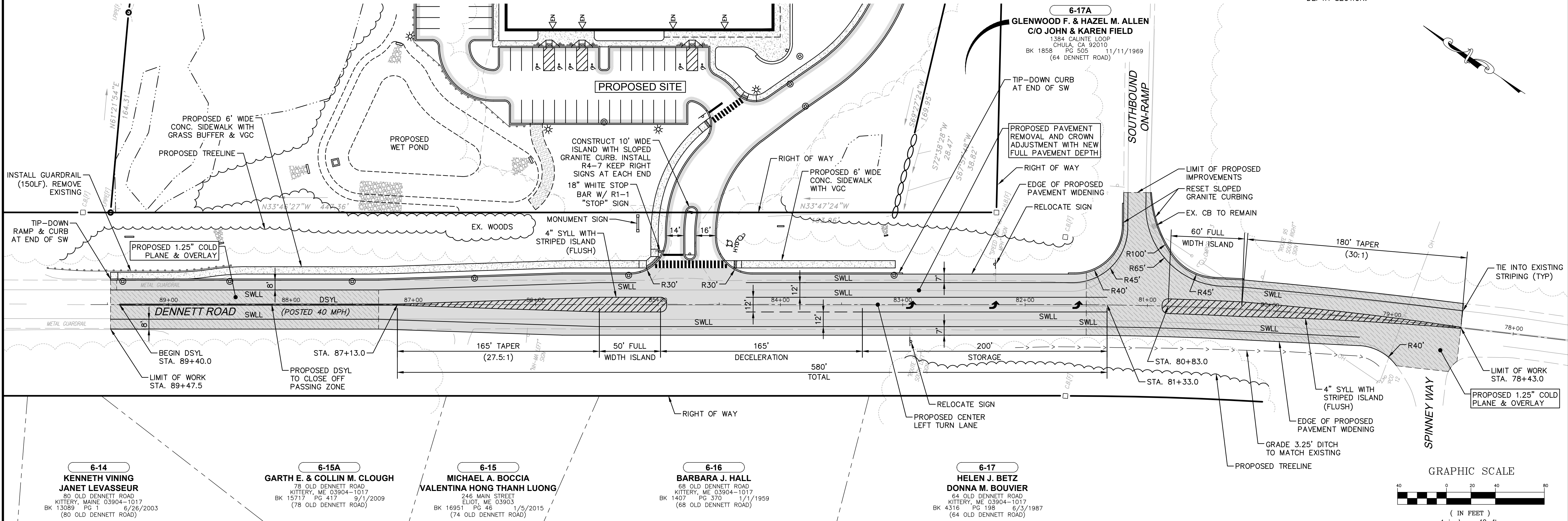
- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
- REFER TO DWG C10 FOR GRADING AND DRAINAGE INFORMATION FOR THE PROPOSED SITE DEVELOPMENT.
- REFER TO DWG C14 FOR DENNETT ROAD GRADING AND DRAINAGE INFORMATION.
- REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
- ALL WORK WITHIN THE STATE RIGHT-OF-WAY SHALL CONFORM TO ALL REQUIREMENTS SET FORTH IN THE MAINE DOT TRAFFIC MOVEMENT PERMIT (TMP) FOR THE PROJECT AND STANDARD MAINE DOT SPECIFICATIONS AND DETAILS.
- ROADWAY STATIONING IS BASED ON "PLAN, RELOC. DENNETT ROAD, STA. 82+00 TO STA. 93+00, AS-BUILT, STATE OF MAINE, STATE HIGHWAY COMMISSION, MAINE FEDERAL AID INTERSTATE PROJECT NO. I-95-1 (3)", DATED NOVEMBER 12, 1970, BY HOWARD, NEEDLES, TAMMEN & BERGENDOFF CONSULTING ENGINEERS.
- THE STATIONING SHALL BE CONSIDERED APPROXIMATE AND USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PREPARE TRAFFIC CONTROL PLANS FOR APPROVAL BY THE DESIGN ENGINEER AND TOWN OF KITTEERY DPW PRIOR TO THE START OF CONSTRUCTION. ALL TRAFFIC CONTROL DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.

**DENNETT ROAD CONSTRUCTION SEQUENCE:**

- COLD PLANE 1.25" OF PAVEMENT IN THE LOCATIONS SHOWN.
- REMOVE EXISTING PAVEMENT IN THE AREAS OF FULL DEPTH PAVEMENT CONSTRUCTION.
- WIDEN THE EDGE OF ROAD AS SHOWN TO ALLOW FOR THE ADDITION OF A CENTER SOUTHBOUND LEFT TURN LANE.
- INSTALL NEW CATCH BASINS, DRAIN LINES, HEADWALLS AND RIPRAP.
- REGRADE BASE COURSE MATERIALS TO SHIFT THE ROADWAY CROWN TO THE EAST SIDE OF THE CENTER TURN LANE. EXISTING BASE COURSES TO REMAIN. GRADE PAVED SHOULDERS TO DIRECT STORMWATER TO CATCH BASINS. PAVED SHOULDER SLOPES VARY, SEE PLANS. REFER TO TYPICAL SECTIONS FOR ADDITIONAL DETAILS. TRANSITION TYPICAL SECTIONS TO MATCH EXISTING ROADWAY GRADES AT TIE IN LOCATIONS.
- INSTALL BASE COURSE PAVEMENT IN FULL DEPTH PAVEMENT SECTIONS.
- INSTALL NEW VERTICAL GRANITE CURBING AND RESET SLOPED GRANITE CURBING.
- CONSTRUCT CONCRETE SIDEWALK, STABILIZED SIDE SLOPES AND PLACE LOAM AND SEED WITH EROSION CONTROL MATTING AS SPECIFIED.
- PAVE 1.25" OVERLAY AND FINAL WEARING COURSE FOR FULL DEPTH SECTION.

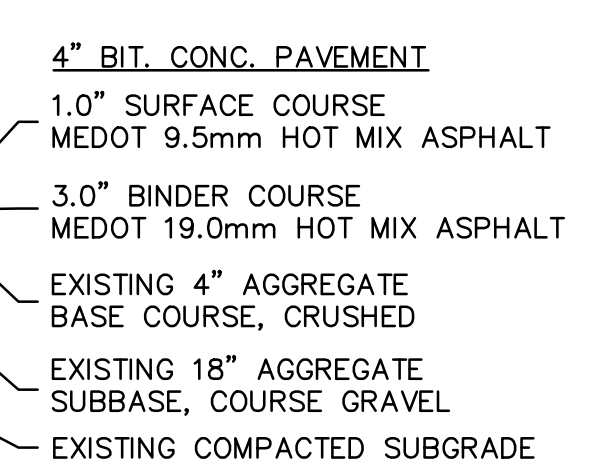
**LEGEND:**

- BWLL 4" BROKEN WHITE LANE LINE (2' STRIPE WITH 6' GAP)
- DSYL 4" DOUBLE SOLID YELLOW LINE
- SWLL 4" SOLID WHITE LANE LINE
- SYLL 4" SOLID YELLOW LANE LINE
- [Hatched Box] 4" FULL DEPTH PAVEMENT
- [Dotted Box] 1.25" COLD PLANE & OVERLAY



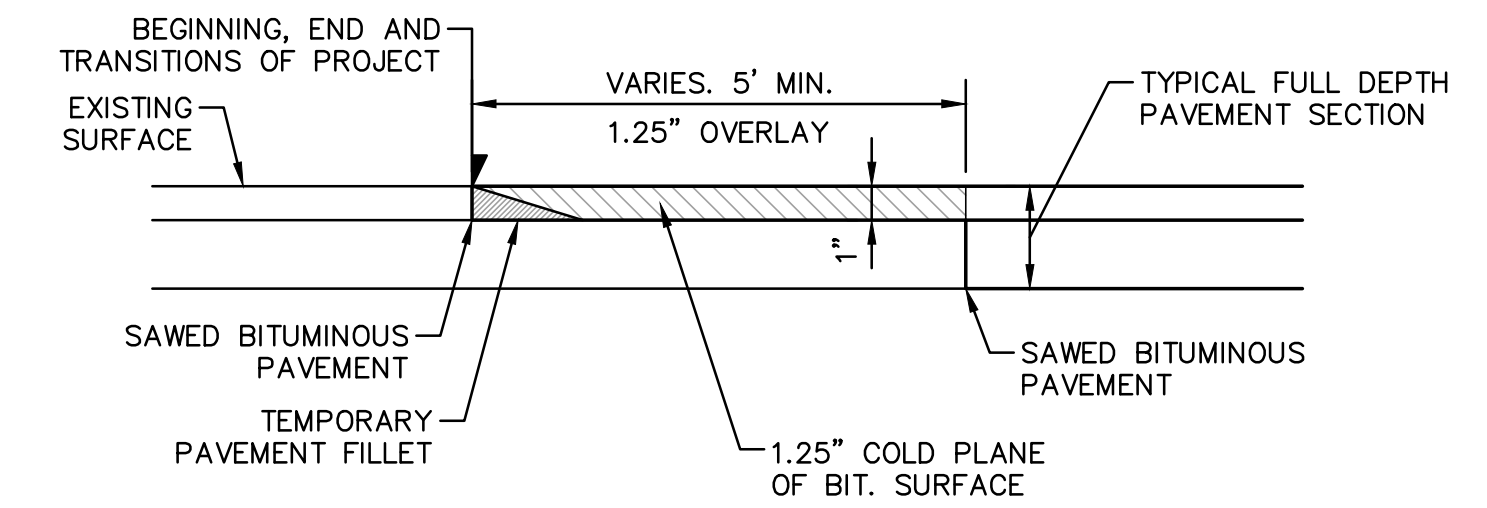
**DENNETT ROAD IMPROVEMENT PLAN**  
SCALE: 1" = 40'

- 6-14**  
KENNETH VINING  
JANET LEVASSEUR  
80 OLD DENNETT ROAD  
KITTEERY, MAINE 03904-1017  
BK 13089 PG 1 6/26/2003  
(80 OLD DENNETT ROAD)
- 6-15A**  
GARTH E. & COLLIN M. CLOUGH  
78 OLD DENNETT ROAD  
KITTEERY, ME 03904-1017  
BK 15717 PG 417 9/1/2009  
(78 OLD DENNETT ROAD)
- 6-15**  
MICHAEL A. BOCCIA  
VALENTINA HONG THANH LUONG  
246 MAIN STREET  
ELIOT, ME 03903  
BK 16951 PG 46 1/5/2015  
(74 OLD DENNETT ROAD)
- 6-16**  
BARBARA J. HALL  
68 OLD DENNETT ROAD  
KITTEERY, ME 03904-1017  
BK 1407 PG 370 1/1/1959  
(68 OLD DENNETT ROAD)
- 6-17**  
HELEN J. BETZ  
DONNA M. BOUVIER  
64 OLD DENNETT ROAD  
KITTEERY, ME 03904-1017  
BK 4316 PG 198 6/3/1987  
(64 OLD DENNETT ROAD)



**1**  
C13  
**TYPICAL FULL DEPTH PAVEMENT SECTION**  
SCALE: NONE

- PAVEMENT NOTES:**
- EXISTING BASE COURSE MATERIALS SHALL REMAIN IN PLACE AND BE REGRADED PER DESIGN PLANS. EXISTING BASE COURSE MATERIALS SHOWN IN THE DETAIL ARE FROM ORIGINAL DENNETT ROAD PLANS.
  - SHIM ANY LOW AREAS WITH EXCESS EXISTING CRUSHED BASE MATERIAL OR NEW MEDOT 703.06 AGGREGATE BASE TYPE A.
  - THE BASE AND SUBBASE MATERIALS SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THEIR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.
  - HOT MIX ASPHALT PAVEMENT SHOULD BE COMPACTED TO 92 TO 97 PERCENT OF ITS THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D-2042.
  - A TACK COAT SHOULD BE USED BETWEEN SUCCESSIVE LIFTS OF BITUMINOUS PAVEMENT



**2**  
C13  
**TYPICAL PAVEMENT TRANSITION DETAIL**  
SCALE: NONE



REV.	DATE	DESCRIPTION
15	06/17/20	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL
14	05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
13	03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
12	02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
11	01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
10	01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS
9	12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF HOYLE, TANNER & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC. IS PROHIBITED.

DESIGNED BY: SMT  
DRAWN BY: SMT  
CHECKED BY: WRD  
REVISED BY: REV.

SCALE: AS SHOWN  
ORIGINAL DATE: JUNE 20, 2019

Hoyle, Tanner & Associates, Inc.  
100 International Dr., #360, Portsmouth, NH 03801  
Tel: (603) 431-2520 Fax: (603) 431-8067 Web: www.foyletanner.com  
© Copyright 2020 Hoyle, Tanner & Associates, Inc.

APPLICANT: AZTEC, LLC  
ONE CITY CENTER, P.O. BOX 9546  
PORTLAND, ME 04112

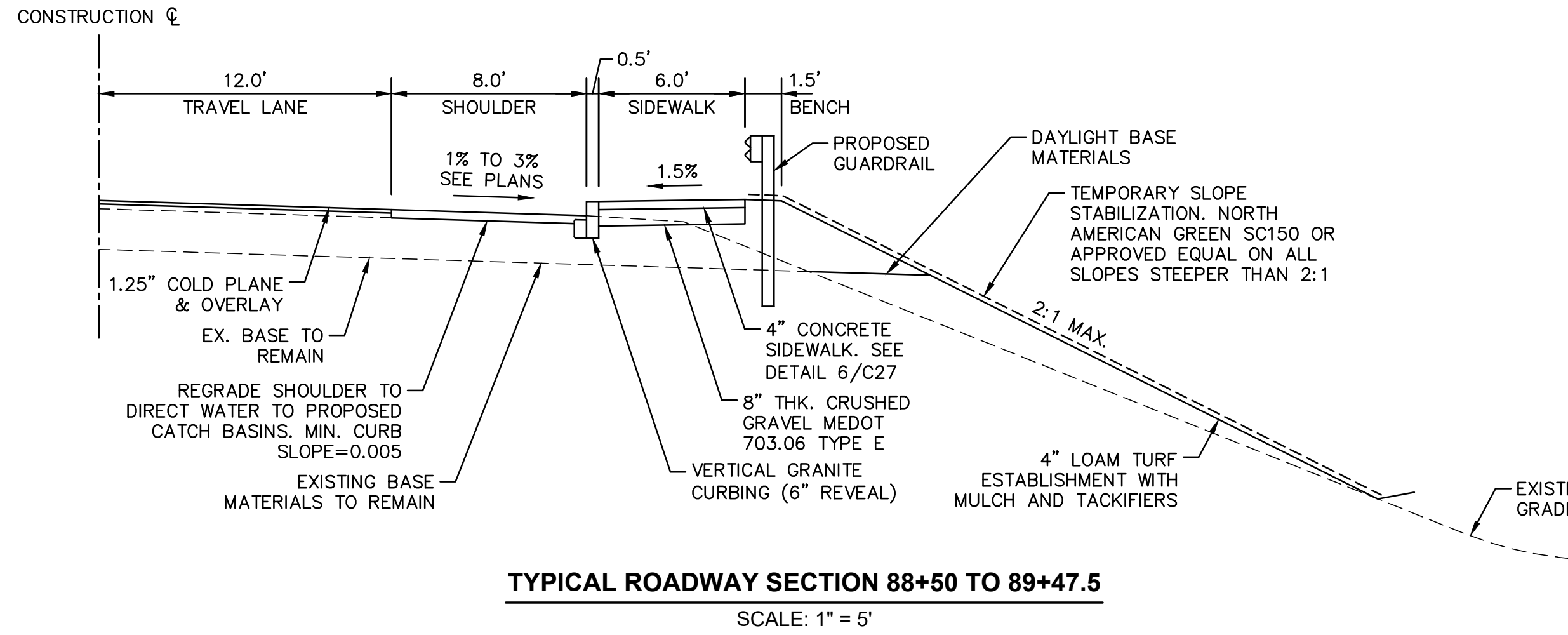
PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
TAX MAP LOTS 6-15B, 6-16A & 13-4  
76 DENNETT ROAD, KITTEERY, ME 03904

DENNETT ROAD LAYOUT PLAN  
**C13**  
PROJECT NO. 569200  
SHEET 13 OF 28



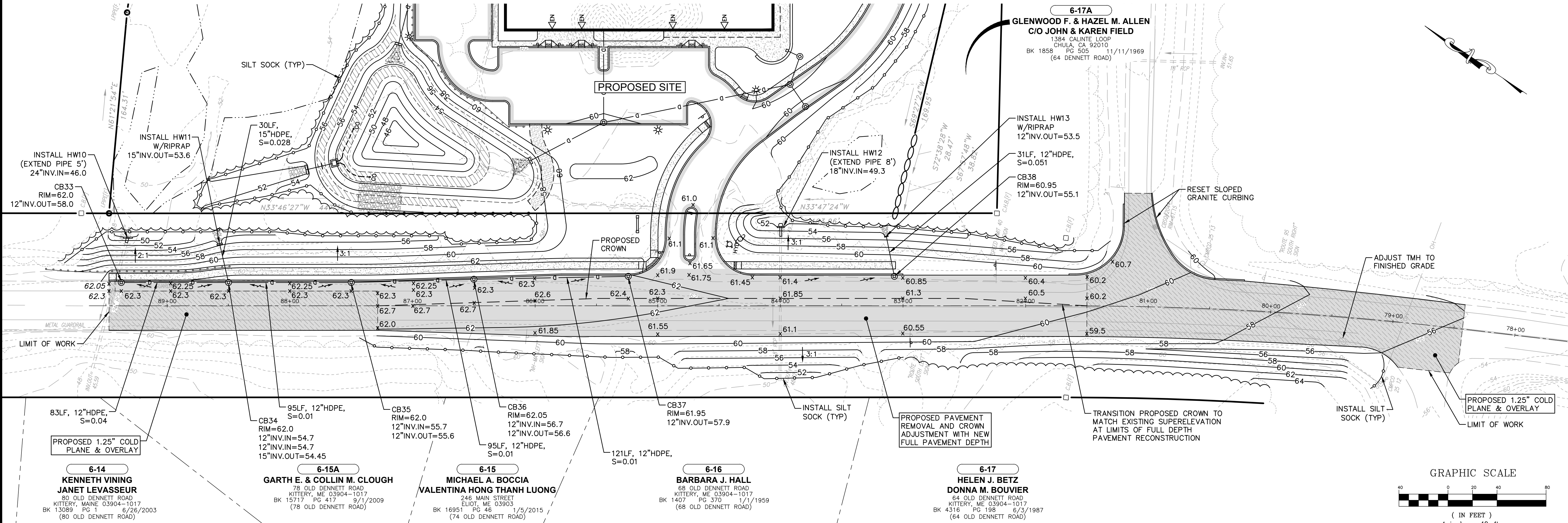
**DENNETT ROAD NOTES:**

- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
- REFER TO DWG C10 FOR GRADING AND DRAINAGE INFORMATION FOR THE PROPOSED SITE DEVELOPMENT.
- REFER TO DWG C14 FOR DENNETT ROAD LAYOUT AND PAVEMENT MARKING INFORMATION.
- REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
- ALL WORK WITHIN THE STATE RIGHT-OF-WAY SHALL CONFORM TO ALL REQUIREMENTS SET FORTH IN THE MAINE DOT TRAFFIC MOVEMENT PERMIT (TMP) FOR THE PROJECT AND STANDARD MAINE DOT SPECIFICATIONS AND DETAILS.
- ROADWAY STATIONING IS BASED ON "PLAN, RELOC. DENNETT ROAD, STA. 82+00 TO STA. 93+00, AS-BUILT, STATE OF MAINE, STATE HIGHWAY COMMISSION, MAINE FEDERAL AID INTERSTATE PROJECT NO. I-95-1 (3)", DATED NOVEMBER 12, 1970, BY HOWARD, NEEDLES, TAMMEN & BERGENDOFF CONSULTING ENGINEERS.
- THE STATIONING SHALL BE CONSIDERED APPROXIMATE AND USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PREPARE TRAFFIC CONTROL PLANS FOR APPROVAL BY THE ENGINEER PRIOR TO THE START OF CONSTRUCTION. ALL TRAFFIC CONTROL DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.



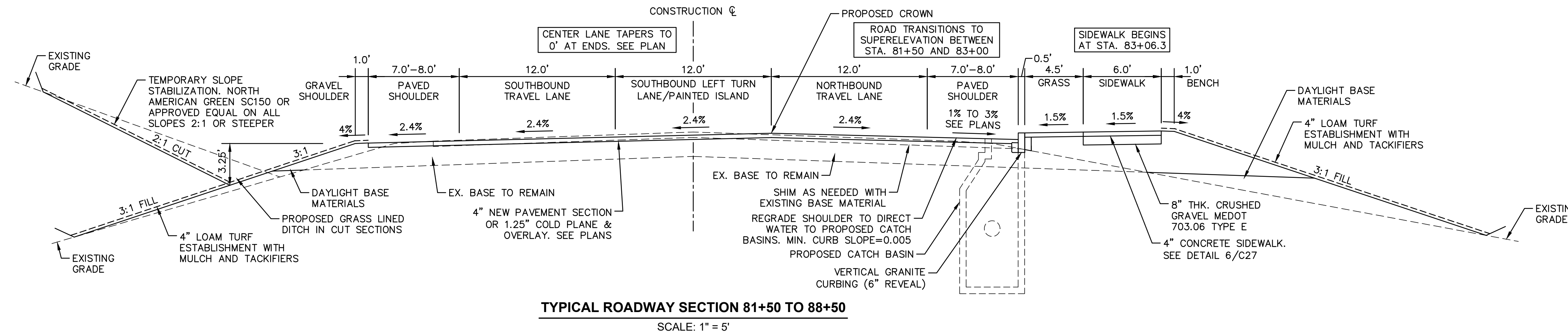
**LEGEND:**

- BWLL 4" BROKEN WHITE LANE LINE (2' STRIPE WITH 6" GAP)
- DSYL 4" DOUBLE SOLID YELLOW LINE
- SWLL 4" SOLID WHITE LANE LINE
- SYLL 4" SOLID YELLOW LANE LINE
- 4" FULL DEPTH PAVEMENT
- 1.25" COLD PLANE & OVERLAY



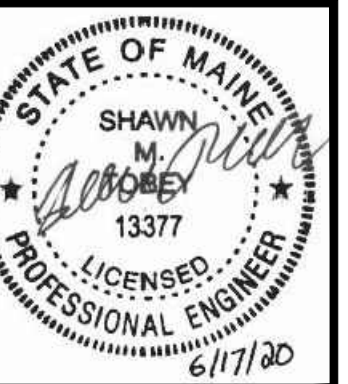
**DENNETT ROAD IMPROVEMENT PLAN**

SCALE: 1" = 40'



**TYPICAL ROADWAY SECTION 81+50 TO 88+50**

SCALE: 1" = 5'



REV.	DATE	DESCRIPTION
15	06/17/20	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL
14	05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
13	03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
12	02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
11	01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
10	01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS
9	12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

**Hoyle, Tanner & Associates, Inc.**  
 100 International Dr., #360, Portsmouth, NH 03801  
 Tel (603) 431-6520 Fax (603) 431-8067 Web: www.hoyletanner.com  
 © Copyright 2020 Hoyle, Tanner & Associates, Inc.

DESIGNED BY: SMT  
 DRAWN BY: SMT  
 CHECKED BY: WRD  
 ORIGINAL DATE: JUNE 20, 2019  
 SCALE: AS SHOWN

**APPLICANT:** AZTEC, LLC  
 ONE CITY CENTER, P.O. BOX 9546  
 PORTLAND, ME 04112

**PROJECT:** DENNETT ROAD GRADING & DRAINAGE PLAN  
**C14**  
 PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
 TAX MAP LOTS 6-15B, 6-16A & 13-4  
 76 DENNETT ROAD, KITTERY, ME 03904

PROJECT NO. 569200  
 SHEET 14 OF 28

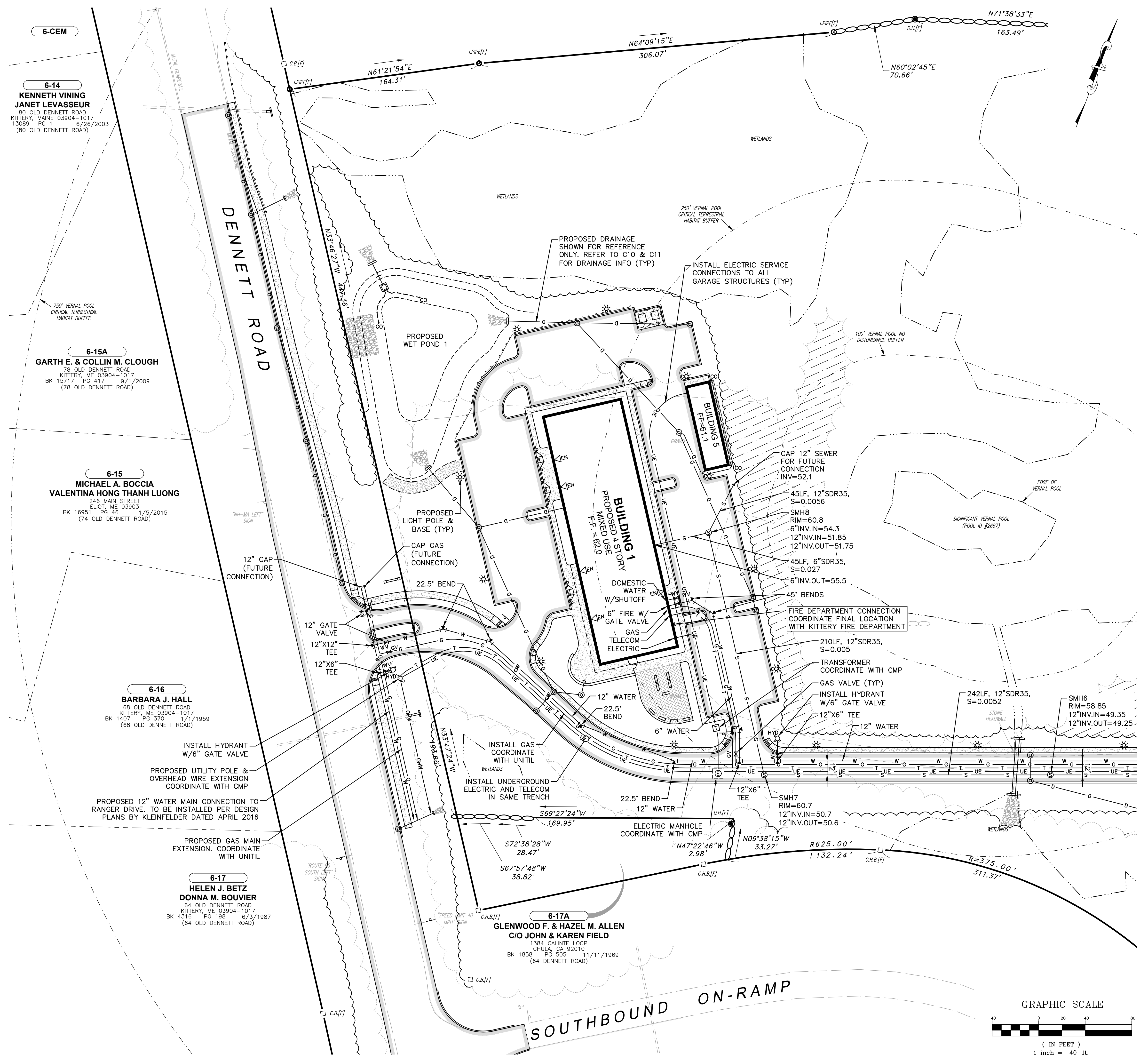


**UTILITY NOTES:**

1. REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
2. REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
3. THE INTENT OF THIS PLAN IS TO SHOW THE GENERAL LOCATION OF PROPOSED SITE UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH ALL PROPOSED UTILITY OWNERS ON INSTALLATION LOCATIONS AND UTILITY SIZES PRIOR TO THE START OF ANY CONSTRUCTION.
4. THE DOMESTIC WATER AND FIRE PROTECTION WATER LINE SIZES SHOWN ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL REFER TO THE MEP PLANS FOR ALL WATER CONNECTIONS PIPE SIZES.
5. BASED ON THE HYDRAULIC SYSTEM ANALYSIS PREPARED BY WRIGHT-PIERCE DATED NOVEMBER 25, 2019 AND COORDINATION WITH THE KITTERY WATER DISTRICT, EACH BUILDING SHALL HAVE INDIVIDUAL BOOSTER PUMPS FOR BOTH DOMESTIC AND FIRE SERVICES TO PROVIDE ADEQUATE WATER PRESSURE TO ALL FLOORS OF THE BUILDINGS. REFER TO FINAL MEP PLANS FOR ADDITIONAL DETAILS.
6. THE BUILDING SEWER SERVICE PIPE SIZES SHOWN ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL REFER TO THE MEP PLANS FOR ALL BUILDING SEWER SERVICE SIZES AND FOUNDATION PENETRATIONS.
7. THE UNDERGROUND ELECTRICAL LINES, MANHOLES AND TRANSFORMERS SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL COORDINATE THE ELECTRIC LAYOUT WITH CENTRAL MAINE POWER (CMP) PRIOR TO ANY INSTALLATION.
8. THE CONTRACTOR SHALL COORDINATE THE SIZE AND NUMBER OF PIPES FOR ALL ELECTRIC AND TELECOM DUCT BANKS WITH THE UTILITY OWNERS. THE DUCTBANKS SHALL BE ENCASED IN CONCRETE IF REQUIRED BY THE UTILITY OWNERS.
9. THE CONTRACTOR SHALL COORDINATE ALL GAS INSTALLATION WORK WITH UNITIL.
10. COORDINATE LIGHT POLE BASE LOCATIONS, CONDUIT ROUTING, CONDUIT SIZE AND POWER SUPPLY WITH ELECTRICAL ENGINEER.

**FIRE PROTECTION NOTES:**

1. BUILDINGS 1, 2A, 2B AND 3 SHALL HAVE FULL FIRE SUPPRESSION SYSTEMS INCLUDING; NFPA 13 SPRINKLER SYSTEM, ALL FLOOR STANDPIPES INCLUDING STANDPIPE SERVICE TO ROOF AREAS, MONITORED FIRE ALARM SYSTEMS AND KNOX BOX SYSTEMS ON EACH BUILDING.
2. BUILDING 4 SHALL HAVE A NFPA 13 SYSTEM. THE BUILDING SHALL ALSO HAVE A MONITORED ALARM SYSTEM AND KNOX BOX SYSTEM INSTALLED.
3. ALL ALARM SYSTEMS SHALL HAVE A MAIN PANEL WITH REMOTE ANNUNCIATORS LOCATED PER THE DIRECTION OF THE FIRE CHIEF.
4. THE FINAL LOCATION OF THE FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED PER THE DIRECTION OF THE FIRE CHIEF.
5. DUE TO THE SIZE OF THE BUILDINGS, THE FIRE CHIEF MAY DIRECT THAT MORE THAN ONE KNOX BOX PER BUILDING BE INSTALLED. THESE MAY BE LOCATED AT THE ENTRANCES WHERE REMOTE ANNUNCIATORS ARE INSTALLED. A MASTER KEY FOR ALL DOORS SHALL BE PLACED IN THE KNOX BOXES.
6. FINAL PLANS MUST BE SUBMITTED TO THE MAINE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL



**6-14**  
**KENNETH VINING**  
**JANET LEVASSEUR**  
 80 OLD DENNETT ROAD  
 KITTERY, MAINE 03904-1017  
 13089 PG 1 6/26/2003  
 (80 OLD DENNETT ROAD)

**6-15A**  
**GARTH E. & COLLIN M. CLOUGH**  
 78 OLD DENNETT ROAD  
 KITTERY, ME 03904-1017  
 BK 15717 PG 417 9/12/2009  
 (78 OLD DENNETT ROAD)

**6-15**  
**MICHAEL A. BOCCIA**  
**VALENTINA HONG THANH LUONG**  
 246 MAIN STREET  
 ELIOT, ME 03903  
 BK 16951 PG 46 1/5/2015  
 (74 OLD DENNETT ROAD)

**6-16**  
**BARBARA J. HALL**  
 68 OLD DENNETT ROAD  
 KITTERY, ME 03904-1017  
 BK 1407 PG 370 1/1/1959  
 (68 OLD DENNETT ROAD)

**6-17**  
**HELEN J. BETZ**  
**DONNA M. BOUVIER**  
 64 OLD DENNETT ROAD  
 KITTERY, ME 03904-1017  
 BK 4316 PG 198 6/3/1987  
 (64 OLD DENNETT ROAD)

**6-17A**  
**GLENWOOD F. & HAZEL M. ALLEN**  
**C/O JOHN & KAREN FIELD**  
 1384 CALINTE LOOP  
 CHULA, CA 92010  
 BK 1858 PG 505 11/11/1969  
 (64 DENNETT ROAD)



REV.	DATE	DESCRIPTION
15	06/17/20	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL
14	05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
13	03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
12	02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
11	01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
10	01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS
9	12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

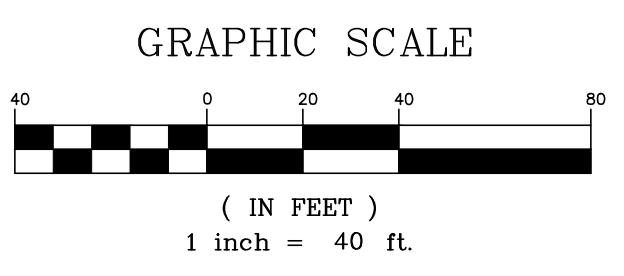
THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND HOYLE, TANNER, INC. MAY NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER, INC.

**Hoyle, Tanner & Associates, Inc.**  
 100 International Dr., #360, Portsmouth, NH 03801  
 Tel: (603) 431-2520 Fax: (603) 431-8067 Web: www.hoyletanner.com  
 © Copyright, 2020 Hoyle, Tanner & Associates, Inc.

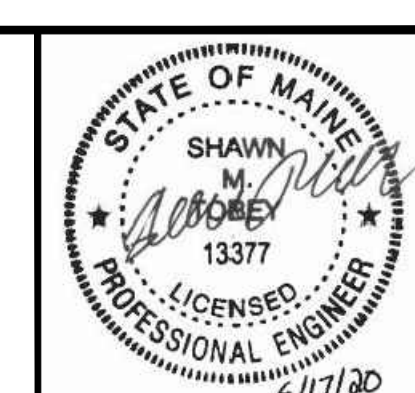
**APPLICANT:** AZTEC, LLC  
 ONE CITY CENTER, P.O. BOX 9546  
 PORTLAND, ME 04112

**PROJECT:** PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
 TAX MAP LOTS 6-15B, 6-16A & 13-4  
 76 DENNETT ROAD, KITTERY, ME 03904

**FRONT UTILITY PLAN**  
**C15**  
 PROJECT NO. 569200  
 SHEET 15 OF 28





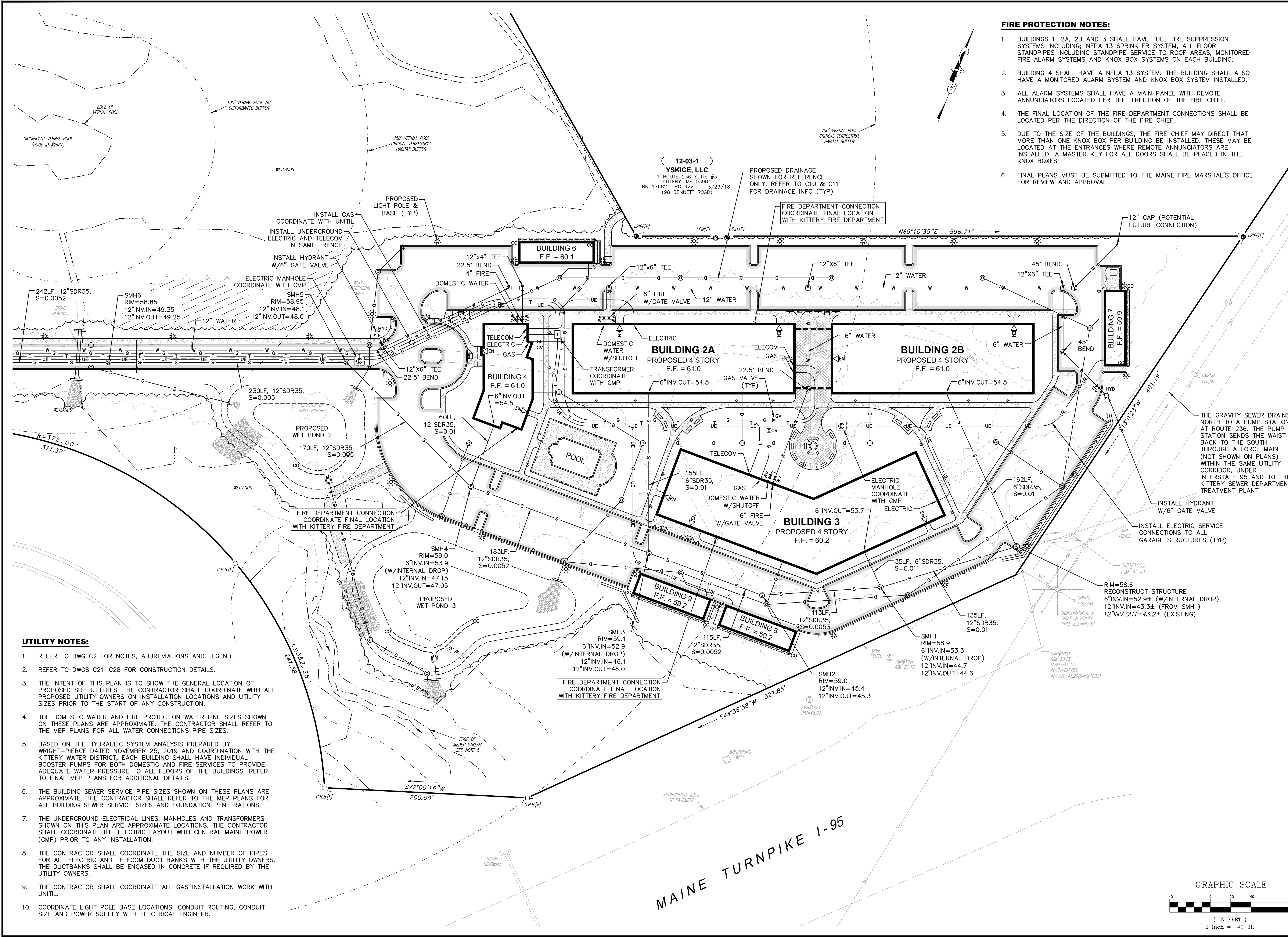
**FIRE PROTECTION NOTES:**

- BUILDINGS 1, 2A, 2B AND 3 SHALL HAVE FULL FIRE SUPPRESSION SYSTEMS INCLUDING; NFPA 13 SPRINKLER SYSTEM, ALL FLOOR STANDPIPES INCLUDING STANDPIPE SERVICE TO ROOF AREAS, MONITORED FIRE ALARM SYSTEMS AND KNOX BOX SYSTEMS ON EACH BUILDING.
- BUILDING 4 SHALL HAVE A NFPA 13 SYSTEM. THE BUILDING SHALL ALSO HAVE A MONITORED ALARM SYSTEM AND KNOX BOX SYSTEM INSTALLED.
- ALL ALARM SYSTEMS SHALL HAVE A MAIN PANEL WITH REMOTE ANNUNCIATORS LOCATED PER THE DIRECTION OF THE FIRE CHIEF.
- THE FINAL LOCATION OF THE FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED PER THE DIRECTION OF THE FIRE CHIEF.
- DUE TO THE SIZE OF THE BUILDINGS, THE FIRE CHIEF MAY DIRECT THAT MORE THAN ONE KNOX BOX PER BUILDING BE INSTALLED, THESE MAY BE LOCATED AT THE ENTRANCES WHERE REMOTE ANNUNCIATORS ARE INSTALLED. A MASTER KEY FOR ALL DOORS SHALL BE PLACED IN THE KNOX BOXES.
- FINAL PLANS MUST BE SUBMITTED TO THE MAINE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL

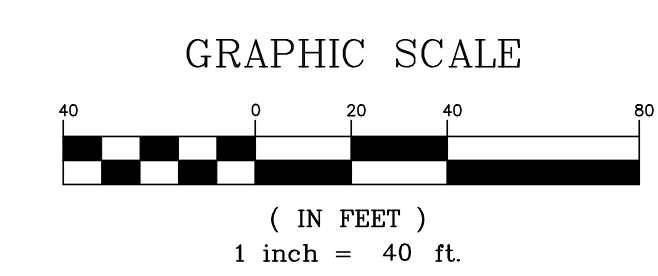
NO.	REVISION	DATE
15	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL	06/17/20
14	ISSUED FOR PLANNING BOARD APPROVAL	05/21/20
13	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS	03/09/20
12	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS	02/20/20
11	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING	01/23/20
10	REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS	01/08/20
9	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS	12/19/19
8	REVISED PER STAFF COMMENTS	11/17/19

NO.	REVISION	DATE
15	THIS DOCUMENT IS PREPARED AS A SERVICE TO THE CLIENT AND IS THE PROPERTY OF HOYLE, TANNER & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC. IS PROHIBITED.	
14	DESIGNED BY	SMT
13	DRAWN BY	SMT
12	CHECKED BY	WRD
11	DESIGNED BY	SMT
10	DESIGNED BY	SMT
9	DESIGNED BY	SMT
8	DESIGNED BY	SMT

APPLICANT	AZTEC, LLC ONE CITY CENTER, P.O. BOX 9546 PORTLAND, ME 04112
PROJECT	PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT TAX MAP LOTS 6-19B, 6-19A & 13-4 76 DENNETT ROAD, KITTERY, ME 03904
REAR UTILITY PLAN	<b>C16</b>
PROJECT NO.	569200
SHEET	16 OF 28

**UTILITY NOTES:**

- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
- REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
- THE INTENT OF THIS PLAN IS TO SHOW THE GENERAL LOCATION OF PROPOSED SITE UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH ALL PROPOSED UTILITY OWNERS ON INSTALLATION LOCATIONS AND UTILITY SIZES PRIOR TO THE START OF ANY CONSTRUCTION.
- THE DOMESTIC WATER AND FIRE PROTECTION WATER LINE SIZES SHOWN ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL REFER TO THE MEP PLANS FOR ALL WATER CONNECTIONS PIPE SIZES.
- BASED ON THE HYDRAULIC SYSTEM ANALYSIS PREPARED BY WRIGHT-PIERCE DATED NOVEMBER 25, 2019 AND COORDINATION WITH THE KITTERY WATER DISTRICT, EACH BUILDING SHALL HAVE INDIVIDUAL BOOSTER PUMPS FOR BOTH DOMESTIC AND FIRE SERVICES TO PROVIDE ADEQUATE WATER PRESSURE TO ALL FLOORS OF THE BUILDINGS. REFER TO FINAL MEP PLANS FOR ADDITIONAL DETAILS.
- THE BUILDING SEWER SERVICE PIPE SIZES SHOWN ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL REFER TO THE MEP PLANS FOR ALL BUILDING SEWER SERVICE SIZES AND FOUNDATION PENETRATIONS.
- THE UNDERGROUND ELECTRICAL LINES, MANHOLES AND TRANSFORMERS SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL COORDINATE THE ELECTRIC LAYOUT WITH CENTRAL MAINE POWER (CMP) PRIOR TO ANY INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE THE SIZE AND NUMBER OF PIPES FOR ALL ELECTRICAL AND TELECOM DUCT BANKS WITH THE UTILITY OWNERS. THE DUCTBANKS SHALL BE ENCASED IN CONCRETE IF REQUIRED BY THE UTILITY OWNERS.
- THE CONTRACTOR SHALL COORDINATE ALL GAS INSTALLATION WORK WITH UNTIL.
- COORDINATE LIGHT POLE BASE LOCATIONS, CONDUIT ROUTING, CONDUIT SIZE AND POWER SUPPLY WITH ELECTRICAL ENGINEER.



MAINE TURNPIKE 1-95





**D-Series LED Bollard**

**Specifications**  
 Diameter: 8" Round  
 Height: 42"  
 Weight (max): 27 lbs



**D-Series Size 0 LED Area Luminaire**

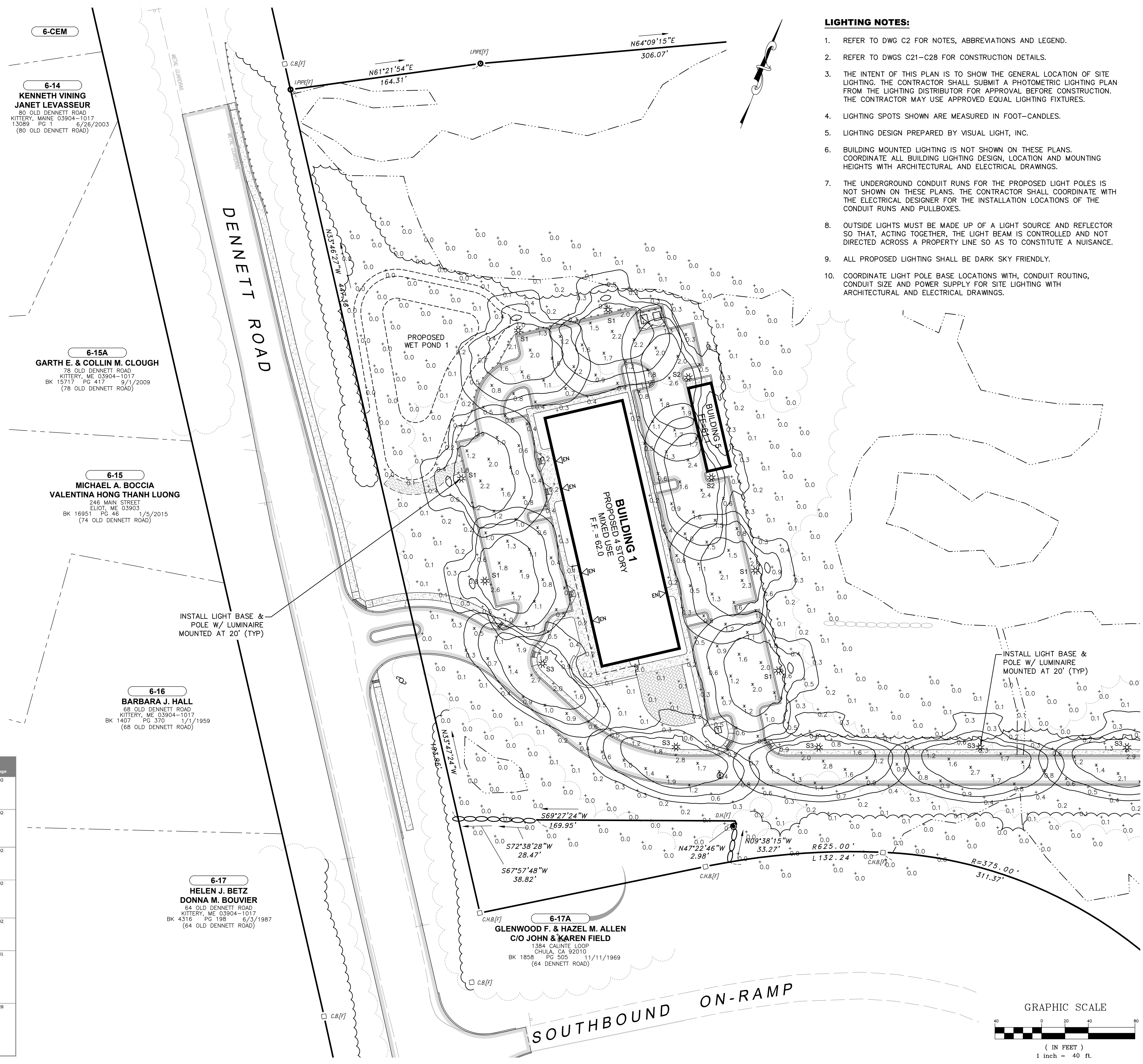
**Specifications**  
 EPA: 0.95 ft  
 Length: 25"  
 Width: 13"  
 Height: 7"  
 Weight (max): 16 lbs

**Statistics**

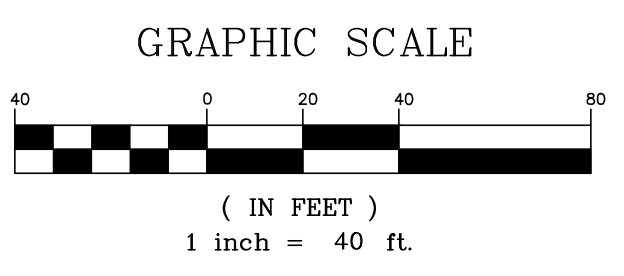
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Access Drive	X	1.2 fc	2.8 fc	0.3 fc	9.3:1	4.0:1
Overall Site Calcs	+	0.2 fc	16.8 fc	0.0 fc	N/A	N/A
Parking Areas	X	1.2 fc	3.0 fc	0.1 fc	30.0:1	12.0:1
Walkways	X	3.6 fc	16.8 fc	0.1 fc	168.0:1	36.0:1

**Schedule**

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
S1	S1	11	Lithonia Lighting	DSX0 LED P4 30K TTFM MVOLT pole mounted at 20' above grade	DSX0 LED P4 30K TTFM MVOLT	LED	1	DSX0_LED_P4_30K_TTFM_MVOLT.lvs	9800	0.9	92
S1-HS	S1-HS	12	Lithonia Lighting	DSX0 LED P4 30K TTFM MVOLT HS pole mounted at 20' above grade	DSX0 LED P4 30K TTFM MVOLT HS	LED	1	DSX0_LED_P4_30K_TTFM_MVOLT_HS.lvs	7652	0.9	92
S2	S2	4	Lithonia Lighting	DSX0 LED P4 30K T3M MVOLT pole mounted at 20' above grade	DSX0 LED P4 30K T3M MVOLT	LED	1	DSX0_LED_P4_30K_T3M_MVOLT.lvs	9520	0.9	92
S2-HS	S2-HS	2	Lithonia Lighting	DSX0 LED P4 30K T3M MVOLT HS pole mounted at 20' above grade	DSX0 LED P4 30K T3M MVOLT HS	LED	1	DSX0_LED_P4_30K_T3M_MVOLT_HS.lvs	7714	0.9	92
S3	S3	6	Lithonia Lighting	DSX0 LED P4 30K T3M MVOLT pole mounted at 20' above grade	DSX0 LED P4 30K T3M MVOLT	LED	1	DSX0_LED_P4_30K_T3M_MVOLT.lvs	9780	0.9	92
B1	B1	17	Lithonia Lighting	DSX8 LED 125-700-30K ASY	D-SERIES BOLLARD WITH 12 3000K LEDs OPERATED AT 700mA AND ASYMMETRIC DISTRIBUTION	LED	1	DSX8_LED_125-700-30K_ASY.lvs	2173	0.9	31
B2	B2	5	Lithonia Lighting	DSX8 LED 166-530-30K SYM	D-SERIES BOLLARD WITH 16 3000K LEDs OPERATED AT 530mA AND SYMMETRIC DISTRIBUTION	LED	1	DSX8_LED_166-530-30K_SYM.lvs	2232	0.9	28



- LIGHTING NOTES:**
- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
  - REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
  - THE INTENT OF THIS PLAN IS TO SHOW THE GENERAL LOCATION OF SITE LIGHTING. THE CONTRACTOR SHALL SUBMIT A PHOTOMETRIC LIGHTING PLAN FROM THE LIGHTING DISTRIBUTOR FOR APPROVAL BEFORE CONSTRUCTION. THE CONTRACTOR MAY USE APPROVED EQUAL LIGHTING FIXTURES.
  - LIGHTING SPOTS SHOWN ARE MEASURED IN FOOT-CANDLES.
  - LIGHTING DESIGN PREPARED BY VISUAL LIGHT, INC.
  - BUILDING MOUNTED LIGHTING IS NOT SHOWN ON THESE PLANS. COORDINATE ALL BUILDING LIGHTING DESIGN, LOCATION AND MOUNTING HEIGHTS WITH ARCHITECTURAL AND ELECTRICAL DRAWINGS.
  - THE UNDERGROUND CONDUIT RUNS FOR THE PROPOSED LIGHT POLES IS NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL DESIGNER FOR THE INSTALLATION LOCATIONS OF THE CONDUIT RUNS AND PULLBOXES.
  - OUTSIDE LIGHTS MUST BE MADE UP OF A LIGHT SOURCE AND REFLECTOR SO THAT, ACTING TOGETHER, THE LIGHT BEAM IS CONTROLLED AND NOT DIRECTED ACROSS A PROPERTY LINE SO AS TO CONSTITUTE A NUISANCE.
  - ALL PROPOSED LIGHTING SHALL BE DARK SKY FRIENDLY.
  - COORDINATE LIGHT POLE BASE LOCATIONS WITH, CONDUIT ROUTING, CONDUIT SIZE AND POWER SUPPLY FOR SITE LIGHTING WITH ARCHITECTURAL AND ELECTRICAL DRAWINGS.



REV.	DATE	REVISION DESCRIPTION
15	06/17/20	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL
14	05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
13	03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
12	02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
11	01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
10	01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACE COMMENTS
9	12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

DRAWN BY: SMT  
 CHECKED BY: WRD  
 DESIGNED BY: SMT  
 ORIGINAL DATE: JUNE 20, 2019  
 SCALE: AS SHOWN

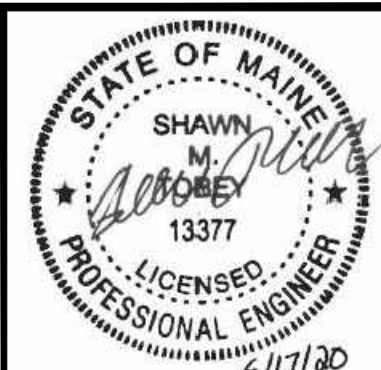
**Hoyle, Tanner & Associates, Inc.**  
 100 International Dr., #360, Portsmouth, NH 03801  
 Tel (603) 431-6520 Fax (603) 431-8067 Web: www.hoyletanner.com  
 © Copyright 2020 Hoyle, Tanner & Associates, Inc.

APPLICANT: AZTEC, LLC  
 ONE CITY CENTER, P.O. BOX 9546  
 PORTLAND, ME 04112

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
 TAX MAP LOTS 6-15B, 6-16A & 13-4  
 76 DENNETT ROAD, KITTERY, ME 03904

FRONT LIGHTING PLAN  
**C17**  
 PROJECT NO. 569200  
 SHEET 17 OF 28





DATE	REVISION DESCRIPTION
06/17/20	ISSUED FOR PLANNING BOARD APPROVAL
05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS
12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

REV.	DESCRIPTION	CHECKED BY	DRAWN BY
15	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL	WRD	SMT
14	ISSUED FOR PLANNING BOARD APPROVAL		SMT
13	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS		SMT
12	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS		SMT
11	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING		SMT
10	REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS		SMT

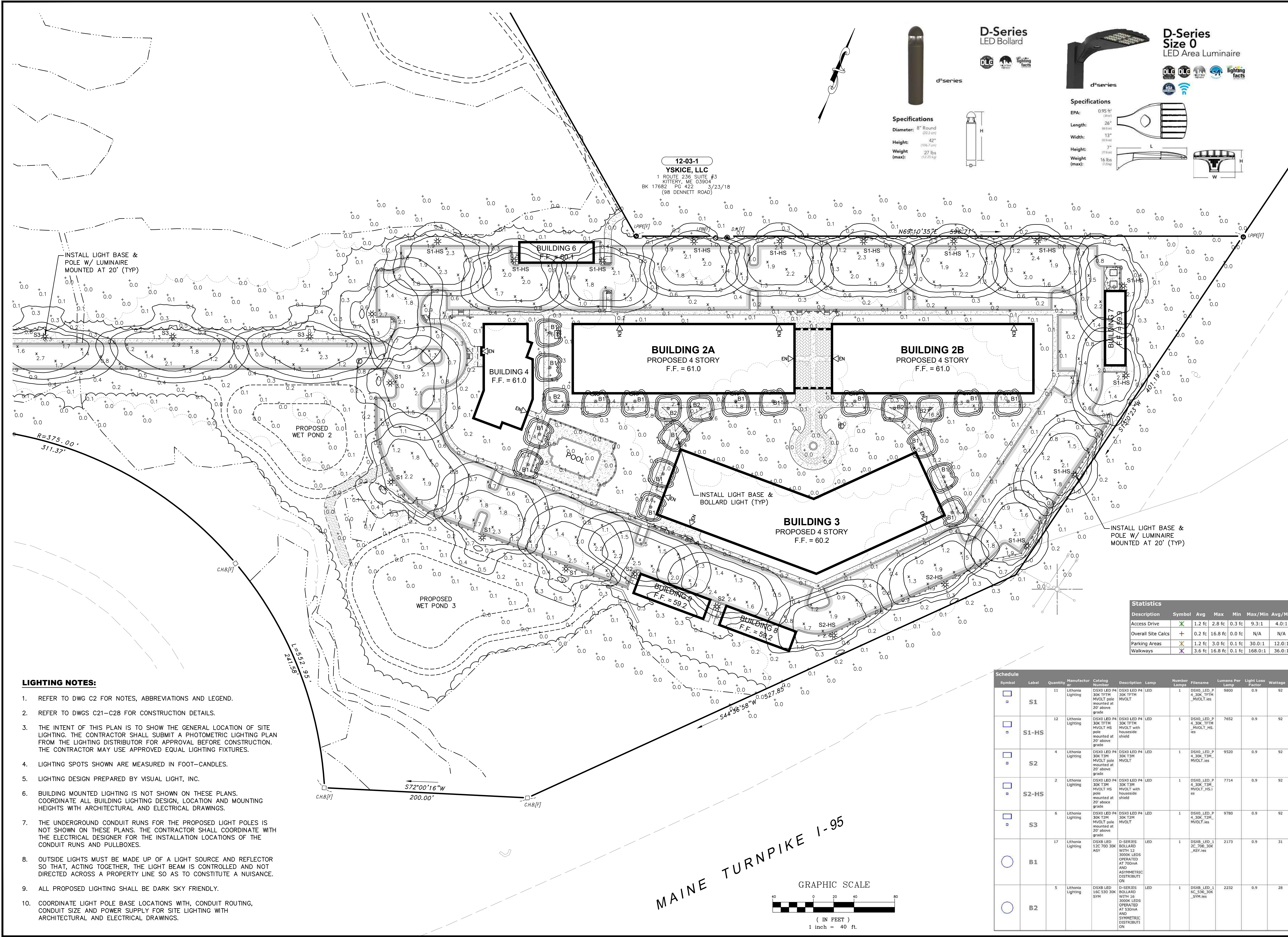
**Hoyle, Tanner & Associates, Inc.**  
 100 International Dr., #360, Portsmouth, NH 03801  
 Tel (603) 431-4520 Fax (603) 431-8067 Web: www.hoyletanner.com  
 © Copyright, 2020 Hoyle, Tanner & Associates, Inc.

SCALE: AS SHOWN  
 ORIGINAL DATE: JUNE 20, 2019  
 DESIGNED BY: SMT  
 DRAWN BY: SMT  
 CHECKED BY: WRD

APPLICANT: AZTEC, LLC  
 ONE CITY CENTER, P.O. BOX 9546  
 PORTLAND, ME 04112

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
 TAX MAP LOTS 6-15B, 6-16A & 13-4  
 76 DENNETT ROAD, KITTERY, ME 03904

REAR LIGHTING PLAN  
**C18**  
 PROJECT NO. 569200  
 SHEET 18 OF 28





**LANDSCAPE NOTES:**

- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
- REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL AREAS THAT DO NOT HAVE A SPECIFIED SURFACE TREATMENT SHALL BE GRASS.
- ALL TREES TO BE BALLED & BURLAPED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK; PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH. THE MULCH SHALL BE APPLIED TO A DEPTH OF 4".
- STREET TREES, ESPLANADES AND OPEN GREEN SPACES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE DEVELOPMENT.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR TWO (2) FULL YEARS FROM DATE OF ACCEPTANCE.
- THE CONTRACTOR SHALL LOCATE, VERIFY, AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED UNTIL FORMAL ACCEPTANCE OF ALL THE PLANTING.
- PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED. IT MAY BE NECESSARY TO PRE DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.
- IN THE VERNAL POOL BUFFER RESTORATION AREAS, THE CONTRACTOR SHALL REMOVE ANY FILL MATERIAL, REPLACE WITH 4" OF ONSITE NATIVE TOPSOIL, PLANT SPECIFIED SHRUBS AND SEED WITH THE SPECIFIED RESTORATION MIX. RESTORATION AREAS SHALL BE MONITORED FOR TWO (2) FULL YEARS TO ENSURE VEGETATION IS ESTABLISHED.
- DURING THE REQUIRED ANNUAL SITE INSPECTIONS, THE VERNAL POOL BUFFER SHALL BE INSPECTED FOR ANY AREAS OF DISTURBANCES AND OR DEFICIENCIES. CORRECTIVE ACTIONS SHALL BE TAKEN TO RESTORE THE AREAS TO THE APPROVED POST-CONSTRUCTION CONDITIONS.
- CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTING AND LAWN AREAS.
- SITE CONTRACTOR SHALL INSTALL 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS. CONTRACTOR SHALL COORDINATE WORK WITH GENERAL CONTRACTOR AND SUBCONTRACTORS.

**LANDSCAPE CALCULATIONS**

- FRONTAGE STREET TREES  
1 TREE PER 25 FT OF STREET FRONTAGE  
200 FT DISTURBANCE/25 FT = **8 TREES REQ'D**
- PLANTER STRIP PLANTINGS  
10 PLANTS/SHRUBS PER 40 FT OF STREET FRONTAGE  
200 FT DISTURBANCE/40 FT x 10 PLANTS = **50 PLANTS/SHRUBS REQ'D**
- TREES PER PARKING SPACE  
1 TREE PER 8 SPACES  
397 SPACES/8 SPACES = **50 TREES REQ'D**
- PARKING AREA LANDSCAPING  
10% OF SURFACE PARKING AREA MUST BE LANDSCAPED WITH TREES AND VEGETATED ISLANDS.  
FRONT PARKING AREA = 35,380 S.F.  
10% LANDSCAPED = **3,538 S.F. REQ'D**  
REAR PARKING AREA = 89,900 S.F.  
10% LANDSCAPED = **8,990 S.F. REQ'D**

**TOTAL TREES & PLANTS**

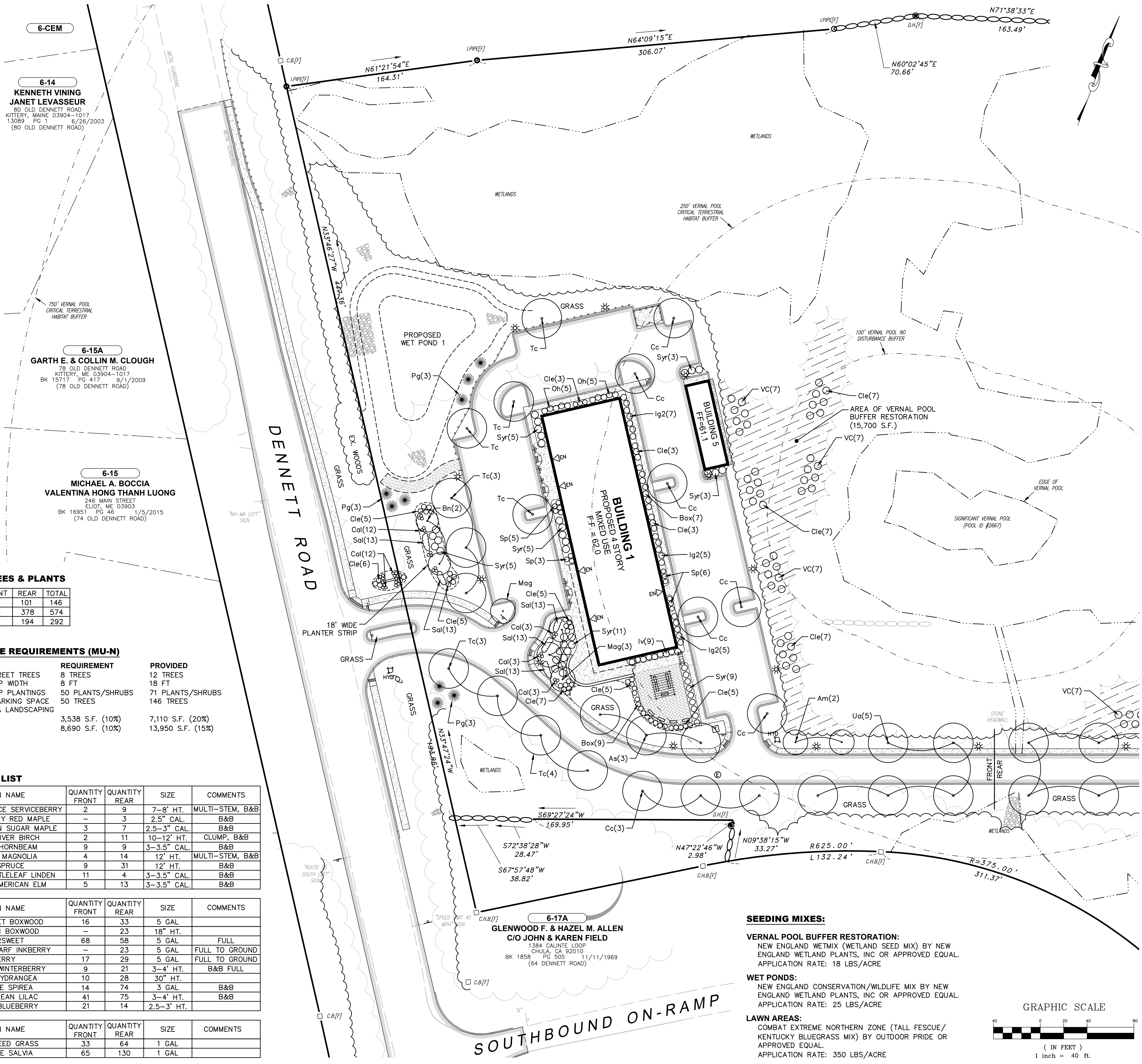
	FRONT	REAR	TOTAL
TREES	45	101	146
SHRUBS	196	378	574
PLANTS	98	194	292

**LANDSCAPE REQUIREMENTS (MU-N)**

REGULATION	REQUIREMENT	PROVIDED
FRONTAGE STREET TREES	8 TREES	12 TREES
PLANTER STRIP WIDTH	8 FT	18 FT
PLANTER STRIP PLANTINGS	50 PLANTS/SHRUBS	71 PLANTS/SHRUBS
TREES PER PARKING SPACE	50 TREES	146 TREES
PARKING AREA LANDSCAPING		
FRONT	3,538 S.F. (10%)	7,110 S.F. (20%)
REAR	8,690 S.F. (10%)	13,950 S.F. (15%)

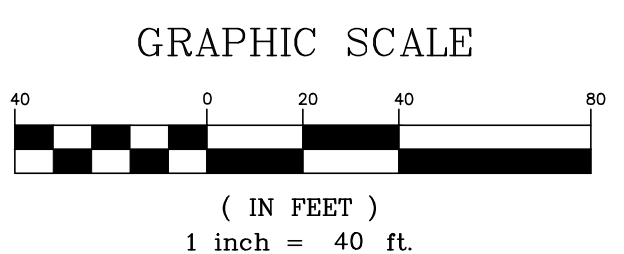
**PROPOSED PLANTING LIST**

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	QUANTITY	SIZE	COMMENTS
			FRONT	REAR		
Am	AMELANCHIER X GRANDIFLORA "AUTUMN BRILLIANCE"	AUTUMN BRILLIANCE SERVICEBERRY	2	9	7-8" HT.	MULTI-STEM, B&B
Ar	ACER RUBRUM "OCTOBER GLORY"	OCTOBER GLORY RED MAPLE	-	3	2.5" CAL.	B&B
As	ACER SACCHARUM "GREEN MOUNTAIN"	GREEN MOUNTAIN SUGAR MAPLE	3	7	2.5-3" CAL.	B&B
Bn	BETULA NIGRA "HERITAGE"	HERITAGE RIVER BIRCH	2	11	10-12" HT.	CLUMP, B&B
Cc	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	9	9	3-3.5" CAL.	B&B
Mag	MAGNOLIA "BUTTERFLY"	BUTTERFLY MAGNOLIA	4	14	12" HT.	MULTI-STEM, B&B
Pg	PICEA GLAUCA	WHITE SPRUCE	9	31	12" HT.	B&B
Tc	TILIA CORDATA "GREENSPIRE"	GREENSPIRE LITTLELEAF LINDEN	11	4	3-3.5" CAL.	B&B
Ua	ULMUS AMERICANA "PRINCETON"	PRINCETON AMERICAN ELM	5	13	3-3.5" CAL.	B&B
Box	BUXUS "GREEN VELVET"	GREEN VELVET BOXWOOD	16	33	5 GAL.	
Bx	BUXUS MICROPHYLLA "WINTER GEM"	WINTER GEM BOXWOOD	-	23	18" HT.	
Cle	CLETHRA AINFOLIA	SUMMERSWEET	68	58	5 GAL.	FULL
Ig	ILEX GLABRA "SHAMROCK DWARF INKBERRY"	SHAMROCK DWARF INKBERRY	-	23	5 GAL.	FULL TO GROUND
Ig2	ILEX GLABRA	INKBERRY	17	29	5 GAL.	FULL TO GROUND
Iv	ILEX VERTICILLATA "WINTER RED"	WINTER RED WINTERBERRY	9	21	3-4" HT.	B&B FULL
Oh	HYDRANGEA QUERCIFOLIA "ALLISON"	OAKLEAF HYDRANGEA	10	28	30" HT.	
Sp	SPIRAEA X BUMALDA "GOLDFLAME"	GOLDFLAME SPIREA	14	74	3 GAL.	B&B
Syr	SYRINGA MEYERI "PALIBIN"	DWARF KOREAN LILAC	41	75	3-4" HT.	B&B
VC	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	21	14	2.5-3" HT.	
Cal	CALAMAGROSTIS ACUTIFOLIA "KARL FOERSTER"	FEATHER REED GRASS	33	64	1 GAL.	
Sal	SALVIA NEMOROSA "BLUE HILL"	DARK BLUE SALVIA	65	130	1 GAL.	



**SEEDING MIXES:**

- VERNAL POOL BUFFER RESTORATION:**  
NEW ENGLAND WETMIX (WETLAND SEED MIX) BY NEW ENGLAND WETLAND PLANTS, INC OR APPROVED EQUAL.  
APPLICATION RATE: 18 LBS/ACRE
- WET PONDS:**  
NEW ENGLAND CONSERVATION/M/LD/LIFE MIX BY NEW ENGLAND WETLAND PLANTS, INC OR APPROVED EQUAL.  
APPLICATION RATE: 25 LBS/ACRE
- LAWN AREAS:**  
COMBAT EXTREME NORTHERN ZONE (TALL FESCUE/ KENTUCKY BLUEGRASS MIX) BY OUTDOOR PRIDE OR APPROVED EQUAL.  
APPLICATION RATE: 350 LBS/ACRE



SHAWN M. HOYLE  
LICENSED PROFESSIONAL ENGINEER  
13377

REV.	DATE	DESCRIPTION
15	06/17/20	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL
14	05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
13	03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
12	02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
11	01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
10	01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS
9	12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF HOYLE, TANNER & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING ELECTRONICALLY, FOR ANY PROJECT OTHER THAN THE PROJECT AND SITE IDENTIFIED HEREIN WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC.

HOYLE, TANNER & ASSOCIATES, INC.  
100 International Dr., #360, Portsmouth, NH 03801  
Tel: (603) 431-9520 Fax: (603) 431-8067 Web: www.foyletanner.com  
© Copyright, 2020 Hoyle, Tanner & Associates, Inc.

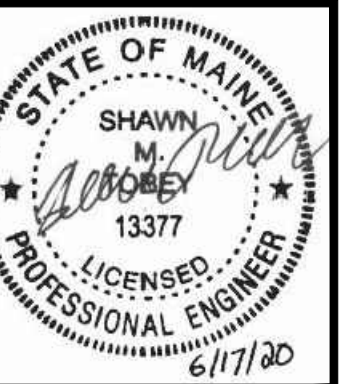
DESIGNED BY: SMT  
DRAWN BY: SMT  
CHECKED BY: WRD  
ORIGINAL DATE: JUNE 20, 2019  
SCALE: AS SHOWN

APPLICANT: AZTEC, LLC  
ONE CITY CENTER, P.O. BOX 9546  
PORTLAND, ME 04112

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
TAX MAP LOTS 6-15B, 6-16A & 13-4  
76 DENNETT ROAD, KITTERY, ME 03904

FRONT LANDSCAPING PLAN  
**C19**  
PROJECT NO. 569200  
SHEET 19 OF 28





DATE	REVISION DESCRIPTION
06/17/20	ISSUED FOR PLANNING BOARD APPROVAL
05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS
12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS THE USER'S RESPONSIBILITY TO OBTAIN NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

Peace International Tradeport  
**Hoyle, Tanner & Associates, Inc.**  
 100 International Dr., #360, Portsmouth, NH 03801  
 Tel (603) 431-6520 Fax (603) 431-8067 Web: www.hoyletanner.com  
 © Copyright 2020 Hoyle, Tanner & Associates, Inc.

APPLICANT: AZTEC, LLC  
 ONE CITY CENTER, P.O. BOX 9546  
 PORTLAND, ME 04112

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
 TAX MAP LOTS 6-19B, 6-19A & 13-4  
 76 DENNETT ROAD, KITTERY, ME 03904

REAR LANDSCAPING PLAN  
**C20**  
 PROJECT NO. 569200  
 SHEET 20 OF 28

### LANDSCAPE REQUIREMENTS (MU-N)

REGULATION	REQUIREMENT	PROVIDED
FRONTAGE STREET TREES	8 TREES	12 TREES
PLANTER STRIP WIDTH	8 FT	18 FT
PLANTER STRIP PLANTINGS	50 PLANTS/SHRUBS	71 PLANTS/SHRUBS
TREES PER PARKING SPACE	50 TREES	146 TREES
PARKING AREA LANDSCAPING		
FRONT	3,538 S.F. (10%)	7,110 S.F. (20%)
REAR	8,690 S.F. (10%)	13,950 S.F. (15%)

### LANDSCAPE CALCULATIONS

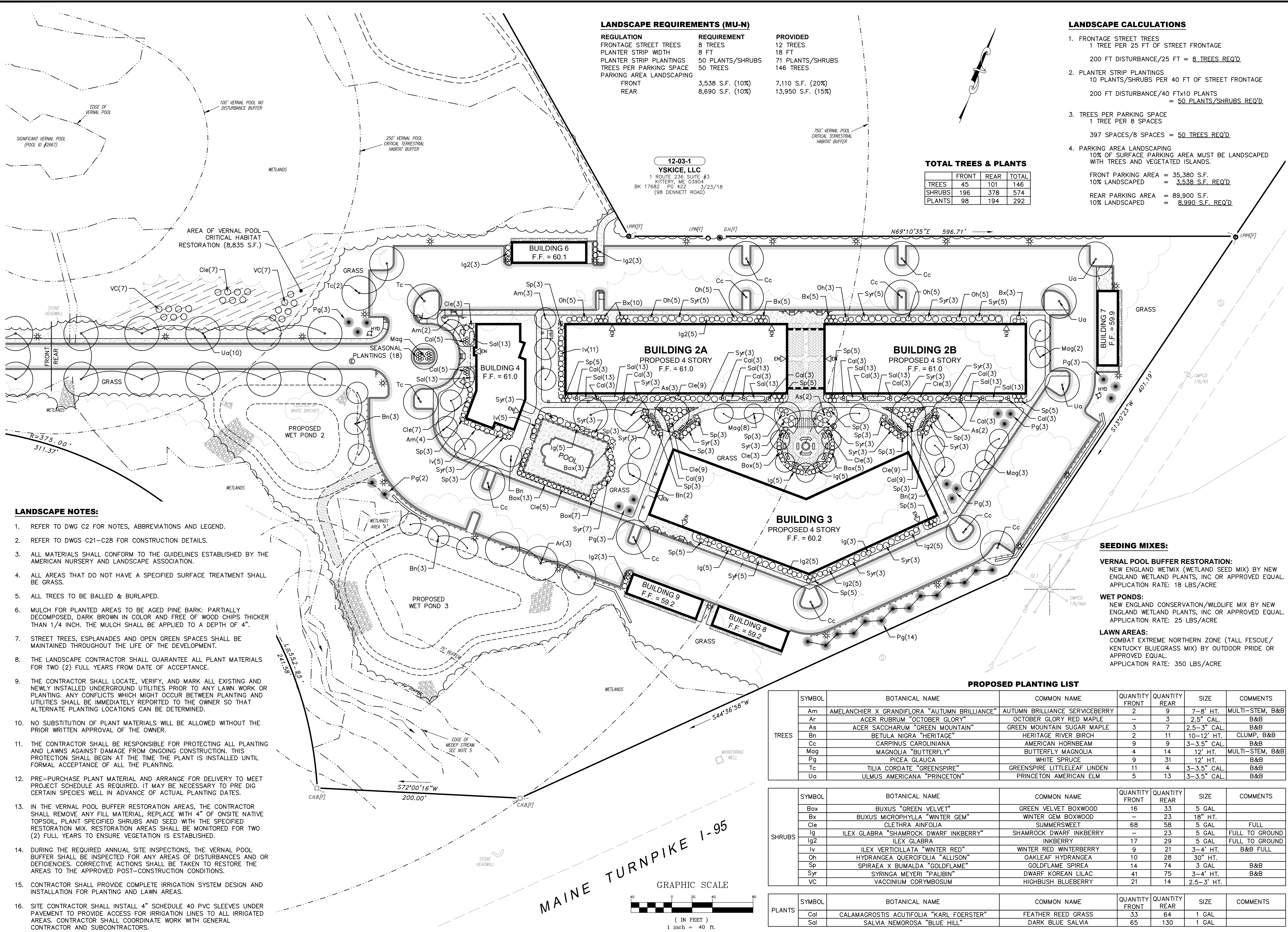
- FRONTAGE STREET TREES  
 1 TREE PER 25 FT OF STREET FRONTAGE  
 200 FT DISTURBANCE/25 FT = **8 TREES REQ'D**
- PLANTER STRIP PLANTINGS  
 10 PLANTS/SHRUBS PER 40 FT OF STREET FRONTAGE  
 200 FT DISTURBANCE/40 FTx10 PLANTS  
 = **50 PLANTS/SHRUBS REQ'D**
- TREES PER PARKING SPACE  
 1 TREE PER 8 SPACES  
 397 SPACES/8 SPACES = **50 TREES REQ'D**
- PARKING AREA LANDSCAPING  
 10% OF SURFACE PARKING AREA MUST BE LANDSCAPED WITH TREES AND VEGETATED ISLANDS.  
 FRONT PARKING AREA = 35,380 S.F.  
 10% LANDSCAPED = **3,538 S.F. REQ'D**  
 REAR PARKING AREA = 89,900 S.F.  
 10% LANDSCAPED = **8,990 S.F. REQ'D**

### TOTAL TREES & PLANTS

	FRONT	REAR	TOTAL
TREES	45	101	146
SHRUBS	196	378	574
PLANTS	98	194	292

12-03-1

**YSKICE, LLC**  
 1 ROUTE 236 SUITE #3  
 KITTERY, ME 03904  
 BK 17682 PG 422 3/23/18  
 (98 DENNETT ROAD)



### LANDSCAPE NOTES:

- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
- REFER TO DWGS C21-C28 FOR CONSTRUCTION DETAILS.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL AREAS THAT DO NOT HAVE A SPECIFIED SURFACE TREATMENT SHALL BE GRASS.
- ALL TREES TO BE BALLED & BURLAPED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK: PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH. THE MULCH SHALL BE APPLIED TO A DEPTH OF 4".
- STREET TREES, ESPLANADES AND OPEN GREEN SPACES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE DEVELOPMENT.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR TWO (2) FULL YEARS FROM DATE OF ACCEPTANCE.
- THE CONTRACTOR SHALL LOCATE, VERIFY, AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED UNTIL FORMAL ACCEPTANCE OF ALL THE PLANTING.
- PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED. IT MAY BE NECESSARY TO PRE DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.
- IN THE VERNAL POOL BUFFER RESTORATION AREAS, THE CONTRACTOR SHALL REMOVE ANY FILL MATERIAL, REPLACE WITH 4" OF ONSITE NATIVE TOPSOIL, PLANT SPECIFIED SHRUBS AND SEED WITH THE SPECIFIED RESTORATION MIX. RESTORATION AREAS SHALL BE MONITORED FOR TWO (2) FULL YEARS TO ENSURE VEGETATION IS ESTABLISHED.
- DURING THE REQUIRED ANNUAL SITE INSPECTIONS, THE VERNAL POOL BUFFER SHALL BE INSPECTED FOR ANY AREAS OF DISTURBANCES AND OR DEFICIENCIES. CORRECTIVE ACTIONS SHALL BE TAKEN TO RESTORE THE AREAS TO THE APPROVED POST-CONSTRUCTION CONDITIONS.
- CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTING AND LAWN AREAS.
- SITE CONTRACTOR SHALL INSTALL 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS. CONTRACTOR SHALL COORDINATE WORK WITH GENERAL CONTRACTOR AND SUBCONTRACTORS.

### SEEDING MIXES:

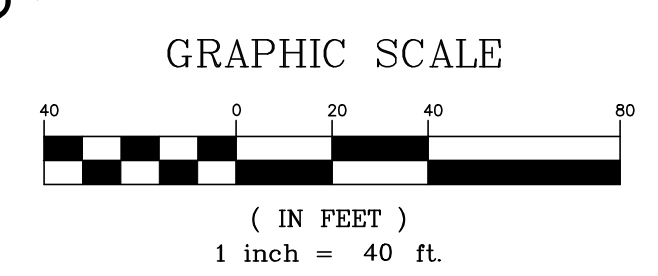
**VERNAL POOL BUFFER RESTORATION:**  
 NEW ENGLAND WETMIX (WETLAND SEED MIX) BY NEW ENGLAND WETLAND PLANTS, INC OR APPROVED EQUAL.  
 APPLICATION RATE: 18 LBS/ACRE

**WET PONDS:**  
 NEW ENGLAND CONSERVATION/WLDLIFE MIX BY NEW ENGLAND WETLAND PLANTS, INC OR APPROVED EQUAL.  
 APPLICATION RATE: 25 LBS/ACRE

**LAWN AREAS:**  
 COMBAT EXTREME NORTHERN ZONE (TALL FESCUE/ KENTUCKY BLUEGRASS MIX) BY OUTDOOR PRIDE OR APPROVED EQUAL.  
 APPLICATION RATE: 350 LBS/ACRE

### PROPOSED PLANTING LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	QUANTITY	SIZE	COMMENTS
			FRONT	REAR		
TREES	Am	AMELANCHIER X GRANDIFLORA "AUTUMN BRILLIANCE"	2	9	7-8" HT.	MULTI-STEM, B&B
	Ar	ACER RUBRUM "OCTOBER GLORY"	-	3	2.5" CAL.	B&B
	As	ACER SACCHARUM "GREEN MOUNTAIN"	3	7	2.5-3" CAL.	B&B
	Bn	BETULA NIGRA "HERITAGE"	2	11	10-12" HT.	CLUMP, B&B
	Cc	CARPINUS CAROLINIANA	9	9	3-3.5" CAL.	B&B
	Mag	MAGNOLIA "BUTTERFLY"	4	14	12" HT.	MULTI-STEM, B&B
	Pg	PICEA GLAUCA	9	31	12" HT.	B&B
	Tc	TILIA CORDATA "GREENSPIRE"	11	4	3-3.5" CAL.	B&B
	Ua	ULMUS AMERICANA "PRINCETON"	5	13	3-3.5" CAL.	B&B
	SHRUBS	Box	BUXUS "GREEN VELVET"	16	33	5 GAL
Bx		BUXUS MICROPHYLLA "WINTER GEM"	-	23	18" HT.	
Cle		CLETHRA AINFOLJA	68	58	5 GAL	FULL
Ig		ILEX GLABRA "SHAMROCK DWARF INKBERRY"	-	23	5 GAL	FULL TO GROUND
Ig2		ILEX GLABRA	17	29	5 GAL	FULL TO GROUND
Iv		ILEX VERTICILLATA "WINTER RED"	9	21	3-4" HT.	B&B FULL
Oh		HYDRANGEA QUERCIFOLIA "ALLISON"	10	28	30" HT.	
Sp		SPIRAEA X BUMALDA "GOLDFLAME"	14	74	3 GAL	B&B
Syr		SYRINGA MEYERI "PALIBIN"	41	75	3-4" HT.	B&B
VC		VACCINIUM CORYMBOSUM	21	14	2.5-3" HT.	
PLANTS	Cal	CALAMAGROSTIS ACUTIFOLIA "KARL FOERSTER"	33	64	1 GAL	
	Sal	SALVIA NEMOROSA "BLUE HILL"	65	130	1 GAL	

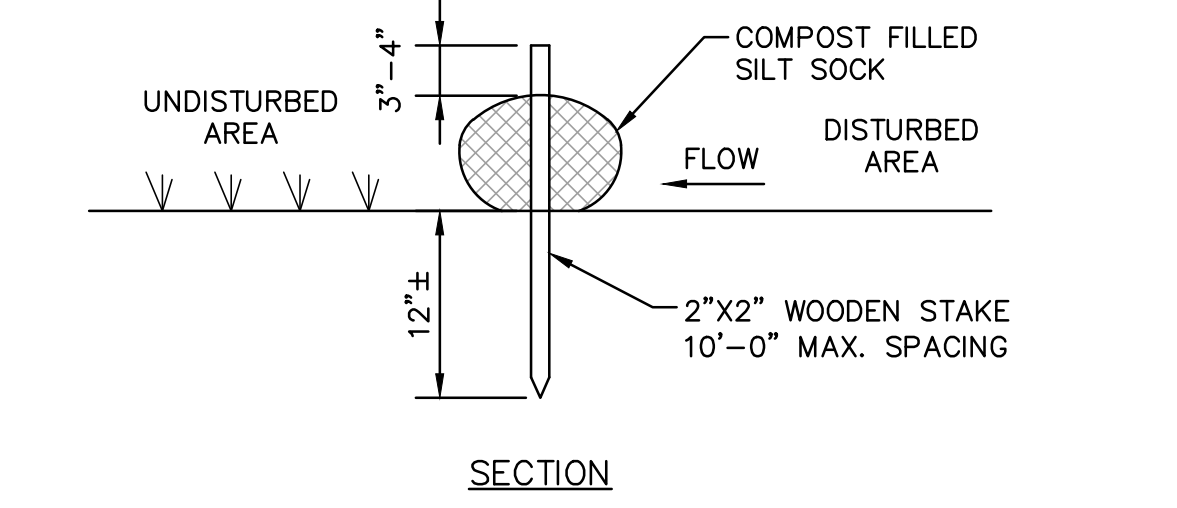
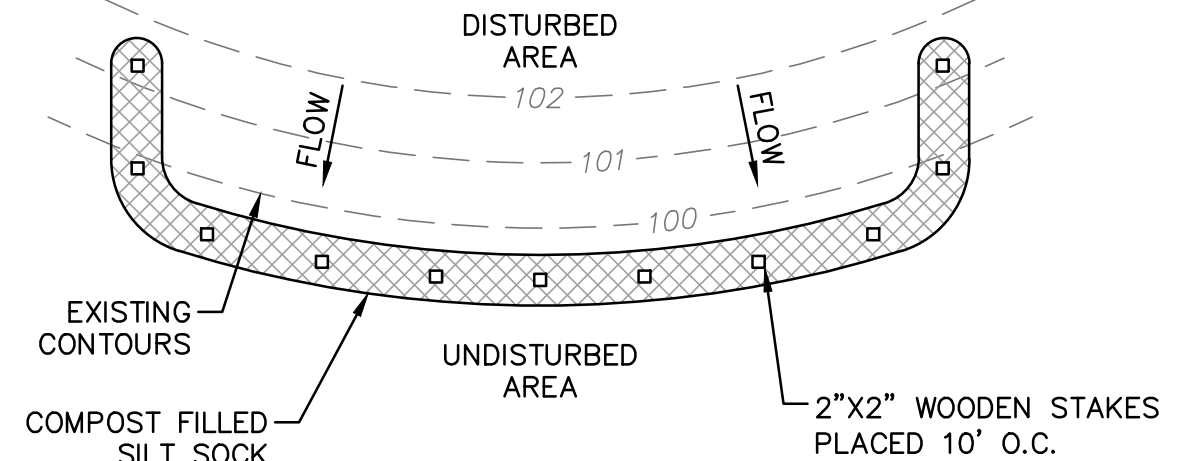


MAINE TURNPIKE 1-95



**EROSION CONTROL NOTES:**

- POLLUTION PREVENTION.** MINIMIZE DISTURBED AREAS AND PROTECT NATURAL DOWNGRADIENT BUFFER AREAS TO THE EXTENT PRACTICABLE. CONTROL STORMWATER VOLUME AND VELOCITY WITHIN THE SITE TO MINIMIZE SOIL EROSION. MINIMIZE THE DISTURBANCE OF STEEP SLOPES. CONTROL STORMWATER DISCHARGES, INCLUDING BOTH PEAK FLOW RATES AND VOLUME, TO MINIMIZE EROSION AT OUTLETS. THE DISCHARGE MAY NOT RESULT IN EROSION OF ANY OPEN DRAINAGE CHANNELS, SWALES, STREAM CHANNELS OR STREAM BANKS, UPLAND, OR COASTAL OR FRESHWATER WETLANDS OFF THE PROJECT SITE. WHENEVER PRACTICABLE, NO DISTURBANCE ACTIVITIES SHOULD TAKE PLACE WITHIN 50 FEET OF ANY PROTECTED NATURAL RESOURCE. IF DISTURBANCE ACTIVITIES TAKE PLACE BETWEEN 30 FEET AND 50 FEET OF ANY PROTECTED NATURAL RESOURCE, AND STORMWATER DISCHARGES THROUGH THE DISTURBED AREAS TOWARD THE PROTECTED NATURAL RESOURCE, PERIMETER EROSION CONTROLS MUST BE DOUBLED. IF DISTURBANCE ACTIVITIES TAKE PLACE LESS THAN 30 FEET FROM ANY PROTECTED NATURAL RESOURCE, AND STORMWATER DISCHARGES THROUGH THE DISTURBED AREAS TOWARD THE PROTECTED NATURAL RESOURCE, PERIMETER EROSION CONTROLS MUST BE DOUBLED AND DISTURBED AREAS MUST BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 7 DAYS.
- SEDIMENT BARRIERS.** PRIOR TO CONSTRUCTION, PROPERLY INSTALL SEDIMENT BARRIERS AT THE DOWNGRADIENT EDGE OF ANY AREA TO BE DISTURBED AND ADJACENT TO ANY DRAINAGE CHANNELS WITHIN THE DISTURBED AREA. SEDIMENT BARRIERS SHOULD BE INSTALLED DOWNGRADIENT OF SOIL OR SEDIMENT STOCKPILES AND STORMWATER PREVENTED FROM RUNNING ONTO THE STOCKPILE. MAINTAIN THE SEDIMENT BARRIERS BY REMOVING ACCUMULATED SEDIMENT, OR REMOVING AND REPLACING THE BARRIER, UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED. WHERE A DISCHARGE TO A STORM DRAIN INLET OCCURS, IF THE STORM DRAIN CARRIES WATER DIRECTLY TO A SURFACE WATER AND YOU HAVE AUTHORITY TO ACCESS THE STORM DRAIN INLET, YOU MUST INSTALL AND MAINTAIN PROTECTION MEASURES THAT REMOVE SEDIMENT FROM THE DISCHARGE.
- STABILIZED CONSTRUCTION ENTRANCE.** PRIOR TO CONSTRUCTION, PROPERLY INSTALL A STABILIZED CONSTRUCTION ENTRANCE (SCE) AT ALL POINTS OF EGRESS FROM THE SITE. THE SCE IS A STABILIZED PAD OF AGGREGATE, UNDERLAIN BY A GEOTEXTILE FILTER FABRIC, USED TO PREVENT TRAFFIC FROM TRACKING MATERIAL AWAY FROM THE SITE ONTO PUBLIC ROWS. MAINTAIN THE SCE UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- TEMPORARY STABILIZATION.** WITHIN 7 DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES IN AN AREA THAT WILL NOT BE WORKED FOR MORE THAN 7 DAYS, STABILIZE ANY EXPOSED SOIL WITH MULCH, OR OTHER NON-ERODIBLE COVER. STABILIZE AREAS WITHIN 75 FEET OF A WETLAND OR WATERBODY WITHIN 48 HOURS OF THE INITIAL DISTURBANCE OF THE SOIL OR PRIOR TO ANY STORM EVENT, WHICHEVER COMES FIRST.
- REMOVAL OF TEMPORARY MEASURES.** REMOVE ANY TEMPORARY CONTROL MEASURES, SUCH AS SILT FENCE, WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED. REMOVE ANY ACCUMULATED SEDIMENTS AND STABILIZE.
- PERMANENT STABILIZATION.** IF THE AREA WILL NOT BE WORKED FOR MORE THAN ONE YEAR OR HAS BEEN BROUGHT TO FINAL GRADE, THEN PERMANENTLY STABILIZE THE AREA WITHIN 7 DAYS BY PLANTING VEGETATION, SEEDING, SOD, OR THROUGH THE USE OF PERMANENT MULCH, OR RIP-RAP, OR ROAD SUB-BASE. IF USING VEGETATION FOR STABILIZATION, SELECT THE PROPER VEGETATION FOR THE LIGHT, MOISTURE, AND SOIL CONDITIONS; AMEND AREAS OF DISTURBED SUBSOILS WITH TOPSOIL, COMPOST, OR FERTILIZERS; PROTECT SEEDED AREAS WITH MULCH OR, IF NECESSARY, EROSION CONTROL BLANKETS; AND SCHEDULE SODDING, PLANTING, AND SEEDING SO TO AVOID DIE-OFF FROM SUMMER DROUGHT AND FALL FROSTS. NEWLY SEED OR SODDED AREAS MUST BE PROTECTED FROM VEHICLE TRAFFIC, EXCESSIVE PEDESTRIAN TRAFFIC, AND CONCENTRATED RUNOFF UNTIL THE VEGETATION IS WELL-ESTABLISHED WITH 90% COVER BY HEALTHY VEGETATION. IF NECESSARY, AREAS MUST BE REWORKED AND RESTABILIZED IF GERMINATION IS SPARSE, PLANT COVERAGE IS SPOTTY, OR TOPSOIL EROSION IS EVIDENT. ONE OR MORE OF THE FOLLOWING MAY APPLY TO A PARTICULAR SITE.
  - SODDED AREAS.** FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.
  - PERMANENT MULCH.** FOR MULCHED AREAS, PERMANENT MULCHING MEANS TOTAL COVERAGE OF THE EXPOSED AREA WITH AN APPROVED MULCH MATERIAL. EROSION CONTROL MIX MAY BE USED AS MULCH FOR PERMANENT STABILIZATION ACCORDING TO THE APPROVED APPLICATION RATES AND LIMITATIONS.
  - RIP-RAP.** FOR AREAS STABILIZED WITH RIP-RAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIP-RAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRAVEL OR APPROVED GEOTEXTILE TO PREVENT SOIL MOVEMENT FROM BEHIND THE RIP-RAP. STONE MUST BE SIZED APPROPRIATELY. IT IS RECOMMENDED THAT ANGULAR STONE BE USED.
  - AGRICULTURAL USE.** FOR CONSTRUCTION PROJECTS ON LAND USED FOR AGRICULTURAL PURPOSES (E.G., PIPELINES ACROSS CROP LAND), PERMANENT STABILIZATION MAY BE ACCOMPLISHED BY RETURNING THE DISTURBED LAND TO AGRICULTURAL USE.
  - PAVED AREAS.** FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SUB-BASE IS COMPLETED, PROVIDED IT IS FREE OF FINE MATERIALS THAT MAY RUNOFF WITH A RAIN EVENT.
  - DITCHES, CHANNELS, AND SWALES.** FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS THE CHANNEL IS STABILIZED WITH A 90% COVER OF HEALTHY VEGETATION, WITH A WELL-GRADED RIP-RAP LINING, TURF REINFORCEMENT MAT, OR WITH ANOTHER NON-EROSIVE LINING SUCH AS CONCRETE OR ASPHALT PAVEMENT. THERE MUST BE NO EVIDENCE OF SLUMPING OF THE CHANNEL LINING, UNDERCUTTING OF THE CHANNEL BANKS, OR DOWN-CUTTING OF THE CHANNEL.
- WINTER CONSTRUCTION.** "WINTER CONSTRUCTION" IS CONSTRUCTION ACTIVITY PERFORMED DURING THE PERIOD FROM NOVEMBER 1 THROUGH APRIL 15. IF DISTURBED AREAS ARE NOT STABILIZED WITH PERMANENT MEASURES BY NOVEMBER 1 OR NEW SOIL DISTURBANCE OCCURS AFTER NOVEMBER 1, BUT BEFORE APRIL 15, THEN THESE AREAS MUST BE PROTECTED AND RUNOFF FROM THEM MUST BE CONTROLLED BY ADDITIONAL MEASURES AND RESTRICTIONS.
  - SITE STABILIZATION.** FOR WINTER STABILIZATION, HAY MULCH IS APPLIED AT TWICE THE STANDARD TEMPORARY STABILIZATION RATE. AT THE END OF EACH CONSTRUCTION DAY, AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE STABILIZED. MULCH MAY NOT BE SPREAD ON TOP OF SNOW.
  - SEDIMENT BARRIERS.** ALL AREAS WITHIN 75 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIERS.
  - DITCH.** ALL VEGETATED DITCH LINES THAT HAVE NOT BEEN STABILIZED BY NOVEMBER 1, OR WILL BE WORKED DURING THE WINTER CONSTRUCTION PERIOD, MUST BE STABILIZED WITH AN APPROPRIATE STONE LINING BACKED BY AN APPROPRIATE GRAVEL BED OR GEOTEXTILE UNLESS SPECIFICALLY RELEASED FROM THIS STANDARD BY THE DEPARTMENT.
  - SLOPES.** MULCH NETTING MUST BE USED TO ANCHOR MULCH ON ALL SLOPES GREATER THAN 8% UNLESS EROSION CONTROL BLANKETS OR EROSION CONTROL MIX IS BEING USED ON THESE SLOPES.
- STORMWATER CHANNELS.** DITCHES, SWALES, AND OTHER OPEN STORMWATER CHANNELS MUST BE DESIGNED, CONSTRUCTED, AND STABILIZED USING MEASURES THAT ACHIEVE LONG-TERM EROSION CONTROL. DITCHES, SWALES AND OTHER OPEN STORMWATER CHANNELS MUST BE SIZED TO HANDLE, AT A MINIMUM, THE EXPECTED VOLUME RUN-OFF. EACH CHANNEL SHOULD BE CONSTRUCTED IN SECTIONS SO THAT THE SECTION'S GRADING, SHAPING, AND INSTALLATION OF THE PERMANENT LINING CAN BE COMPLETED THE SAME DAY. IF A CHANNEL'S FINAL GRADING OR LINING INSTALLATION MUST BE DELAYED, THEN DIVERSION BERMS MUST BE USED TO DIVERT STORMWATER AWAY FROM THE CHANNEL. PROPERLY SPACED CHECK DAMS MUST BE INSTALLED IN THE CHANNEL TO SLOW THE WATER VELOCITY, AND A TEMPORARY LINING INSTALLED ALONG THE CHANNEL TO PREVENT SCOURING. PERMANENT STABILIZATION FOR CHANNELS IS ADDRESSED UNDER APPENDIX A(5)(G) ABOVE.
  - THE CHANNEL SHOULD RECEIVE ADEQUATE ROUTINE MAINTENANCE TO MAINTAIN CAPACITY AND PREVENT OR CORRECT ANY EROSION OF THE CHANNEL'S BOTTOM OR SIDE SLOPES.**
  - WHEN THE WATERSHED DRAINING TO A DITCH OR SWALE IS LESS THAN 1 ACRE OF TOTAL DRAINAGE AND LESS THAN 1/4 ACRE OF IMPERVIOUS AREA, DIVERSION OF RUNOFF TO ADJACENT WOODED OR OTHERWISE VEGETATED BUFFER AREAS IS ENCOURAGED WHERE THE OPPORTUNITY EXISTS.**
- SEDIMENT BASINS.** SEDIMENT BASINS MUST BE DESIGNED TO PROVIDE STORAGE FOR EITHER THE CALCULATED RUNOFF FROM A 2-YEAR, 24-HOUR STORM OR PROVIDE FOR 3,600 CUBIC FEET OF CAPACITY PER ACRE DRAINING TO THE BASIN. OUTLET STRUCTURES MUST DISCHARGE WATER FROM THE SURFACE OF THE BASIN WHENEVER POSSIBLE. EROSION CONTROLS AND VELOCITY DISSIPATION DEVICES MUST BE USED IF THE DISCHARGING WATERS ARE LIKELY TO CREATE EROSION. ACCUMULATED SEDIMENT MUST BE REMOVED AS NEEDED FROM THE BASIN TO MAINTAIN AT LEAST 1/2 OF THE DESIGN CAPACITY OF THE BASIN. THE USE OF CATIONIC TREATMENT CHEMICALS, SUCH AS POLYMERS, FLOCCULANTS, OR OTHER CHEMICALS THAT CONTAIN AN OVERALL POSITIVE CHARGE DESIGNED TO REDUCE TURBIDITY IN STORMWATER MUST RECEIVE PRIOR APPROVAL FROM THE DEPARTMENT. WHEN REQUESTING APPROVAL TO USE CATIONIC TREATMENT CHEMICALS, YOU MUST DESCRIBE APPROPRIATE CONTROLS AND IMPLEMENTATION PROCEDURES TO ENSURE THE USE WILL NOT LEAD TO A VIOLATION OF WATER QUALITY STANDARDS. IN ADDITION, YOU MUST SPECIFY THE TYPE(S) OF SOIL LIKELY TO BE TREATED ON THE SITE, CHEMICALS TO BE USED AND HOW THEY ARE TO BE APPLIED AND IN WHAT QUANTITY, ANY MANUFACTURER'S RECOMMENDATIONS, AND ANY TRAINING HAD BY PERSONNEL WHO WILL HANDLE AND APPLY THE CHEMICALS.
- ROADS.** GRAVEL AND PAVED ROADS MUST BE DESIGNED AND CONSTRUCTED WITH CROWNS OR OTHER MEASURES, SUCH AS WATER BARS, TO ENSURE THAT STORMWATER IS DELIVERED IMMEDIATELY TO ADJACENT STABLE DITCHES, VEGETATED BUFFER AREAS, CATCH BASIN INLETS, OR STREET GUTTERS.
- CULVERTS.** CULVERTS MUST BE SIZED TO AVOID UNINTENDED FLOODING OF UPSTREAM AREAS OR FREQUENT OVERTOPPING OF ROADWAYS. CULVERT INLETS MUST BE PROTECTED WITH APPROPRIATE MATERIALS FOR THE EXPECTED ENTRANCE VELOCITY, AND PROTECTION MUST EXTEND AT LEAST AS HIGH AS THE EXPECTED MAXIMUM ELEVATION OF STORAGE BEHIND THE CULVERT. CULVERT OUTLET DESIGN MUST INCORPORATE MEASURES, SUCH AS APRONS, TO PREVENT SCOUR OF THE STREAM CHANNEL. OUTLET PROTECTION MEASURES MUST BE DESIGNED TO STAY WITHIN THE CHANNEL LIMITS. THE DESIGN MUST TAKE ACCOUNT OF TAILWATER DEPTH.
- PARKING AREAS.** PARKING AREAS MUST BE CONSTRUCTED TO ENSURE RUNOFF IS DELIVERED TO ADJACENT SWALES, CATCH BASINS, CURB GUTTERS, OR BUFFER AREAS WITHOUT ERODING AREAS DOWNSLOPE. THE PARKING AREA'S SUB-BASE COMPACTION AND GRADING MUST BE DONE TO ENSURE RUNOFF IS EVENLY DISTRIBUTED TO ADJACENT BUFFERS OR SIDE SLOPES. CATCH BASINS MUST BE LOCATED AND SET TO PROVIDE ENOUGH STORAGE DEPTH AT THE INLET TO ALLOW INFLOW OF PEAK RUNOFF RATES WITHOUT BY-PASS OF RUNOFF TO OTHER AREAS.
- ADDITIONAL REQUIREMENTS.** ADDITIONAL REQUIREMENTS MAY BE APPLIED ON A SITE-SPECIFIC BASIS.

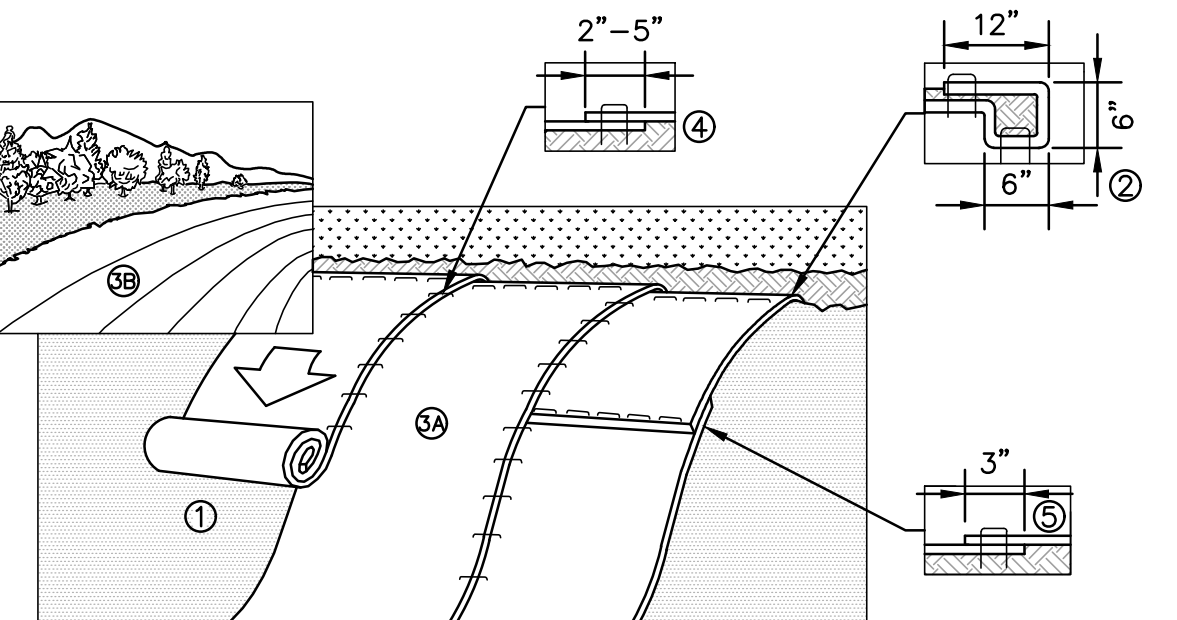


**SILT SOCK NOTES:**

- SILT SOCK SHALL BE INSTALLED BEFORE ANY EARTH REMOVAL OR EXCAVATION TAKES PLACE.
- INSTALL SILT SOCK AROUND ALL MATERIAL STOCKPILES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED, AND THE MATERIAL REMOVED WHEN "BULGES" DEVELOP. DO NOT DEPOSIT THE MATERIAL NEAR WETLANDS OR WATERCOURSES.

**1 SILT SOCK EROSION CONTROL DETAIL**

SCALE: NONE

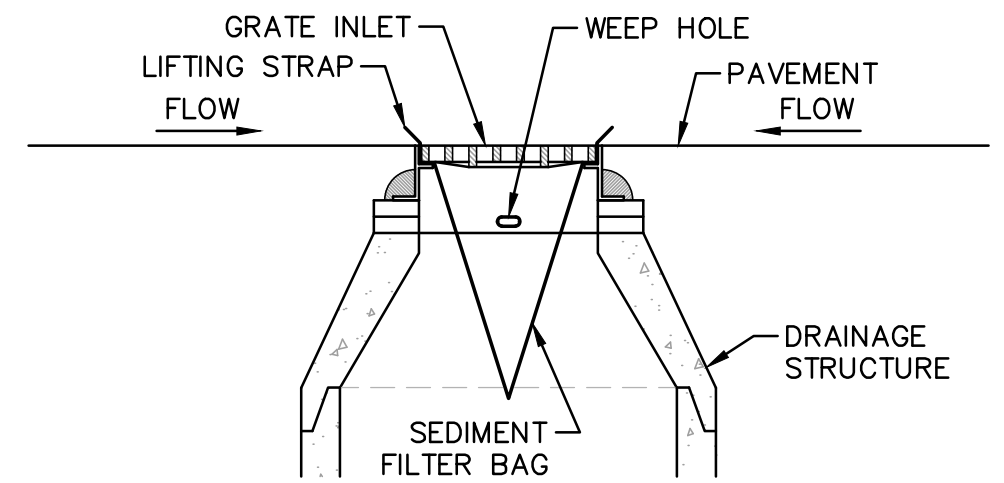


**SLOPE PROTECTION INSTALLATION NOTES:**

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
- INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

**2 SLOPE PROTECTION EROSION CONTROL MATTING DETAIL**

SCALE: NONE

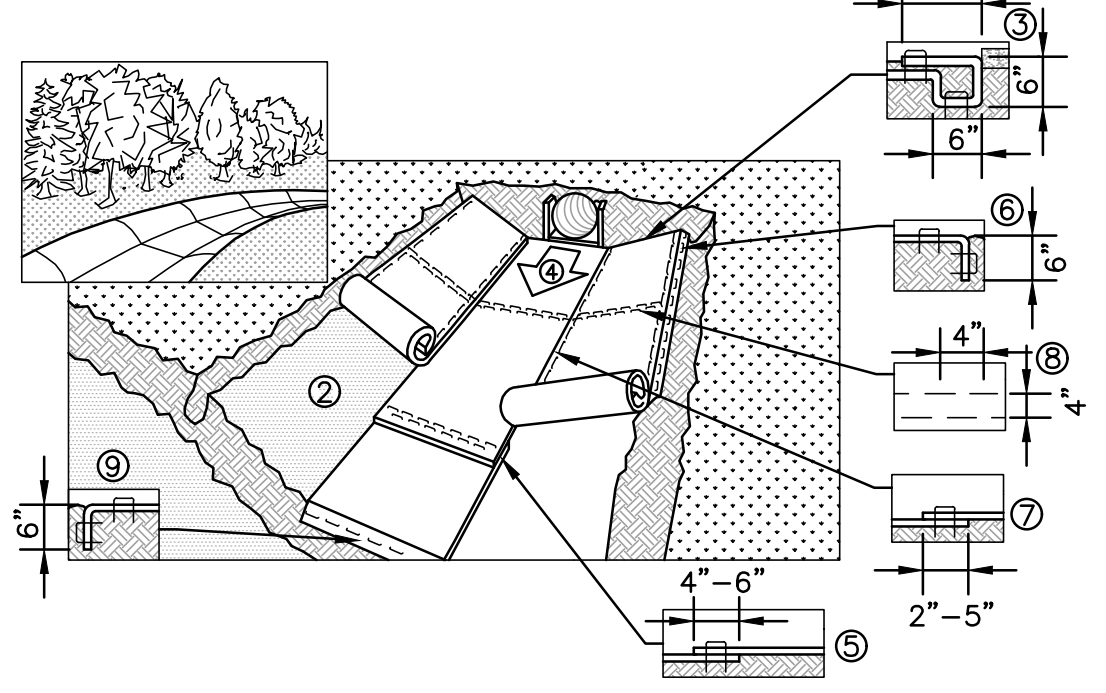


**INLET PROTECTION NOTES:**

- THE SEDIMENT FILTER BAG SHALL BE DESIGNED FOR CATCH BASIN INLET PROTECTION. FILTER FABRIC IS NOT AN ACCEPTABLE SEDIMENT FILTER BAG.
- REMOVE DRAINAGE INLET GRATE AND PLACE SEDIMENT FILTER BAG AROUND THE FRAME, REPLACE GRATE AND SEDIMENT FILTER BAG IN POSITION OR FOLLOW MANUFACTURER'S RECOMMENDATIONS. LIFTING STRAPS SHALL BE EXPOSED AND READY FOR MAINTENANCE PROCEDURES.
- INSPECT SEDIMENT FILTER BAG WEEKLY AND AFTER EVERY RAINFALL EVENT.
- REPLACE, CLEAN OR REMOVE SEDIMENT FILTER BAG AS DIRECTED.

**3 INLET PROTECTION DETAIL**

SCALE: NONE



**NOTES:**

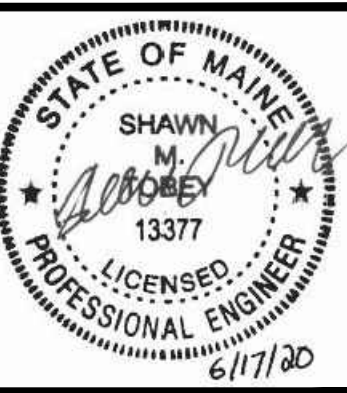
- CRITICAL POINTS**
- OVERLAPS AND SEAMS
  - PROJECTED WATER LINE
  - CHANNEL BOTTOM/SIDE SLOPE VERTICES
- \*\* HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
- \*\* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS

**CHANNEL INSTALLATION NOTES:**

- INSTALL PROTECTION IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH THE PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4"(10") ON CENTER TO SECURE BLANKETS.
- FULL-LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" (DEPENDING ON BLANKET TYPE) AND STAPLED TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.
- IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30' TO 40' INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF CHANNEL.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

**4 CHANNEL EROSION CONTROL MATTING DETAIL**

SCALE: NONE



REVISION	DATE	DESCRIPTION
06/17/20		ISSUED FOR PLANNING BOARD APPROVAL
05/21/20		ISSUED FOR PLANNING BOARD APPROVAL
03/09/20		REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
02/20/20		ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
01/23/20		ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
01/08/20		REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS
12/19/19		ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF HOYLE, TANNER & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING ELECTRONICALLY, FOR ANY PROJECT OTHER THAN THE PROJECT FOR WHICH IT WAS PREPARED WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC.

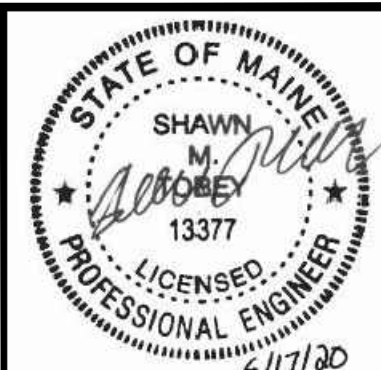
**Hoyle, Tanner & Associates, Inc.**  
 100 International Dr., #360, Portsmouth, NH 03801  
 Tel (603) 431-6520 Fax (603) 431-8067 Web: www.hoyletanner.com  
 © Copyright 2020 Hoyle, Tanner & Associates, Inc.

DESIGNED BY: SMT  
 DRAWN BY: SMT  
 CHECKED BY: WRD  
 ORIGINAL DATE: JUNE 20, 2019  
 SCALE: AS SHOWN

APPLICANT: AZTEC, LLC  
 ONE CITY CENTER, P.O. BOX 9546  
 PORTLAND, ME 04112

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
 TAX MAP LOTS 6-15B, 6-16A & 73-4  
 76 DENNETT ROAD, KITTERY, ME 03904





DATE	REVISION DESCRIPTION
06/17/20	ISSUED FOR PLANNING BOARD APPROVAL
05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACE COMMENTS
12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

NO.	REVISION DESCRIPTION	DATE	BY	CHECKED BY
15	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL			
14	ISSUED FOR PLANNING BOARD APPROVAL			
13	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS			
12	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS			
11	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING			
10	REVISED OUTLET PROTECTION DETAIL PER ACE COMMENTS			
9	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS			

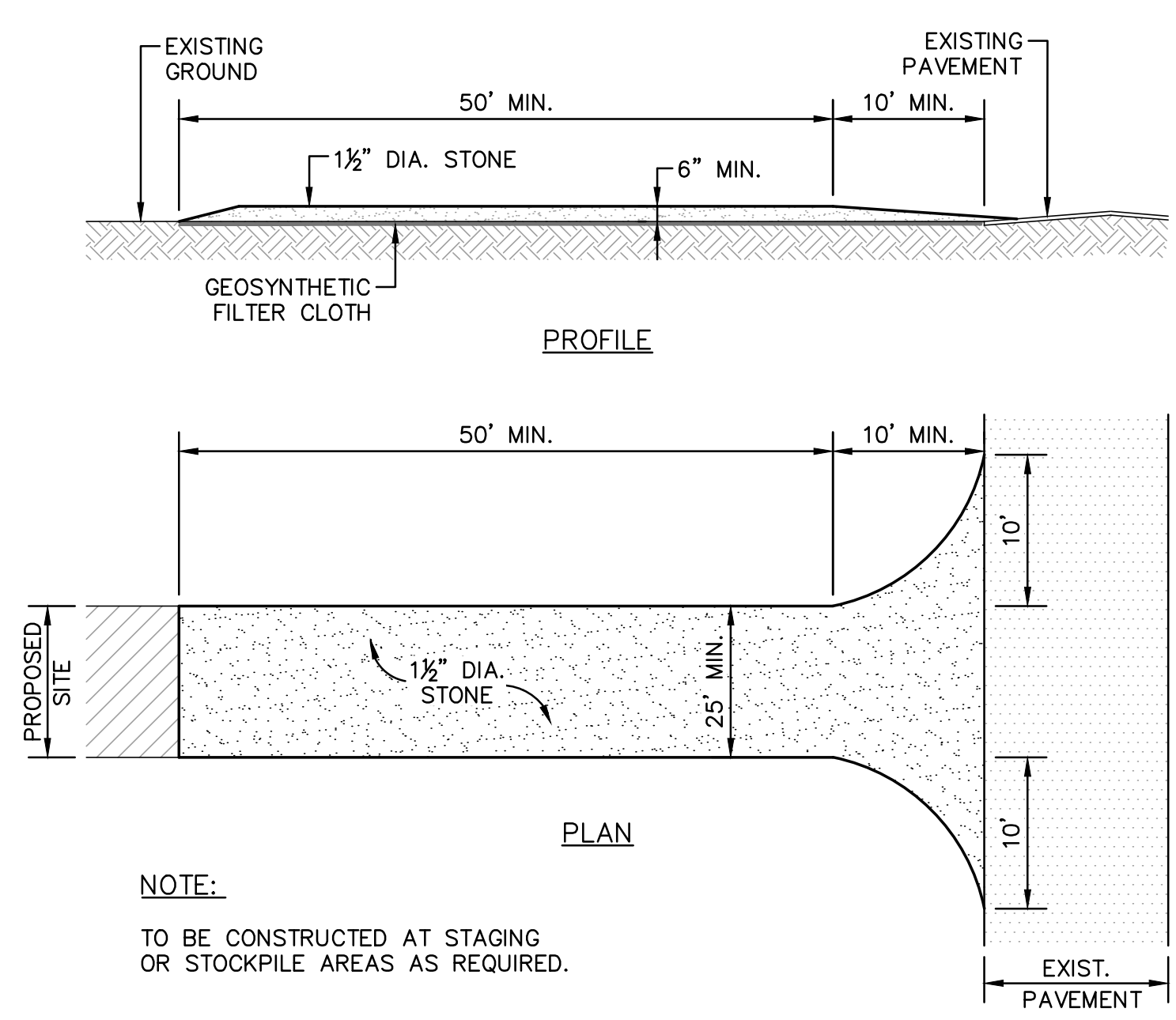
**Hoyle, Tanner & Associates, Inc.**  
 100 International Dr., #360, Portsmouth, NH 03801  
 Tel (603) 431-2520 Fax (603) 431-8067 Web: www.hoyletanner.com  
 © Copyright, 2020 Hoyle, Tanner & Associates, Inc.

APPLICANT: AZTEC, LLC  
 ONE CITY CENTER, P.O. BOX 9546  
 PORTLAND, ME 04112

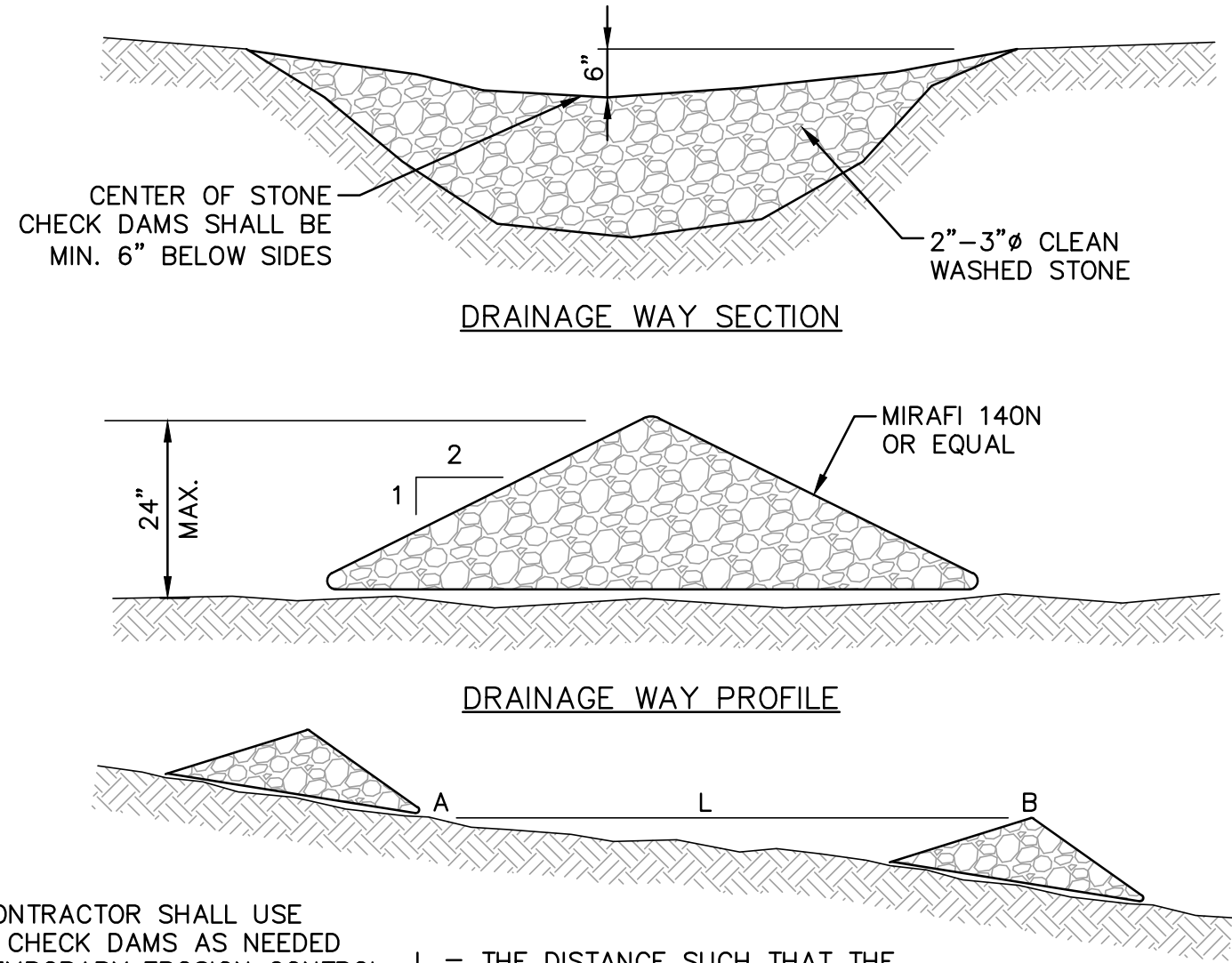
PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
 TAX MAP LOTS 6-15B, 6-16A & 13-4  
 76 DENNETT ROAD, KITTERY, ME 03904

SCALE: AS SHOWN  
 ORIGINAL DATE: JUNE 20, 2019  
 DESIGNED BY: SMT  
 DRAWN BY: SMT  
 CHECKED BY: WRD

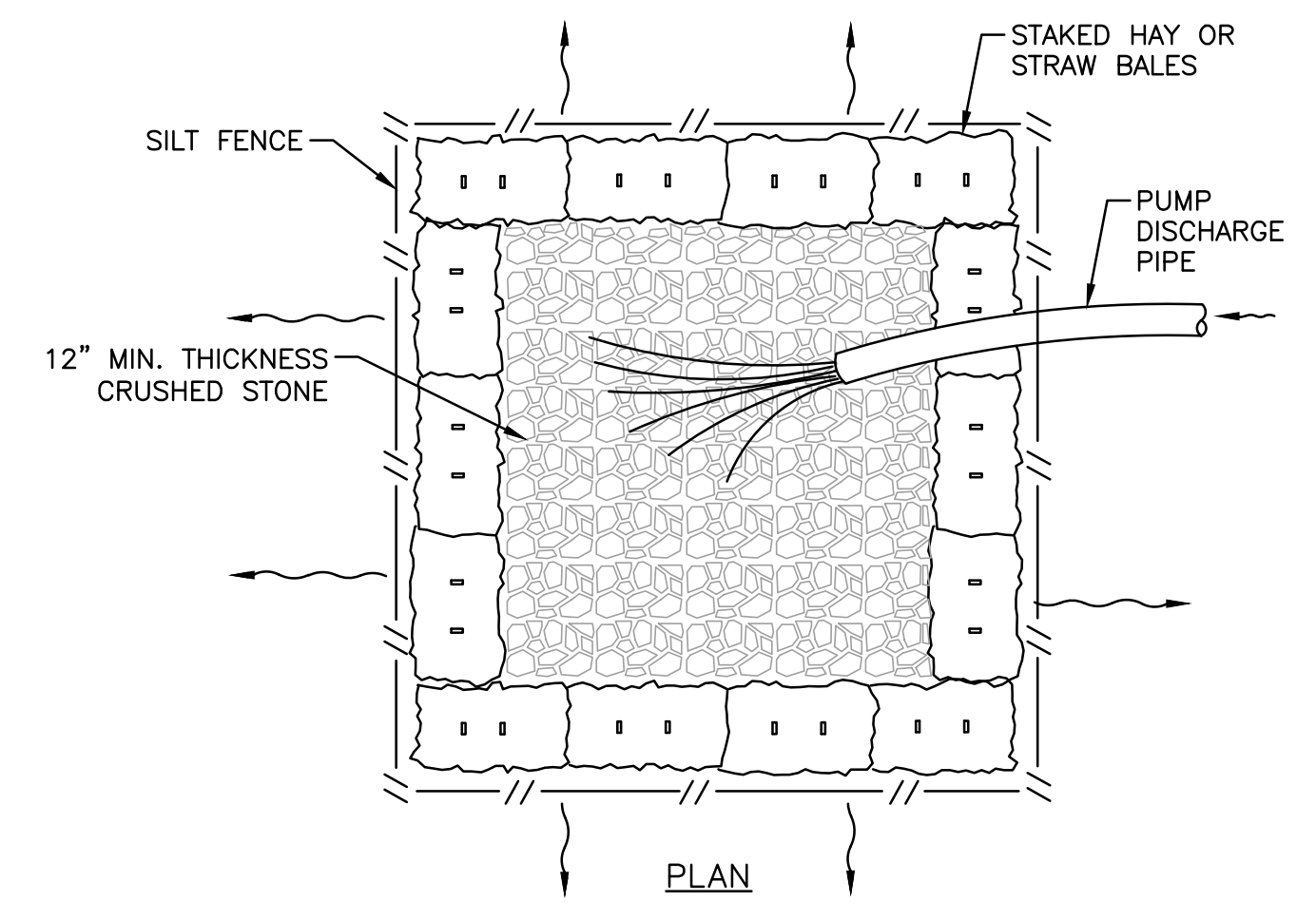
CONSTRUCTION DETAILS 2  
**C22**  
 PROJECT NO. 569200  
 SHEET 22 OF 28



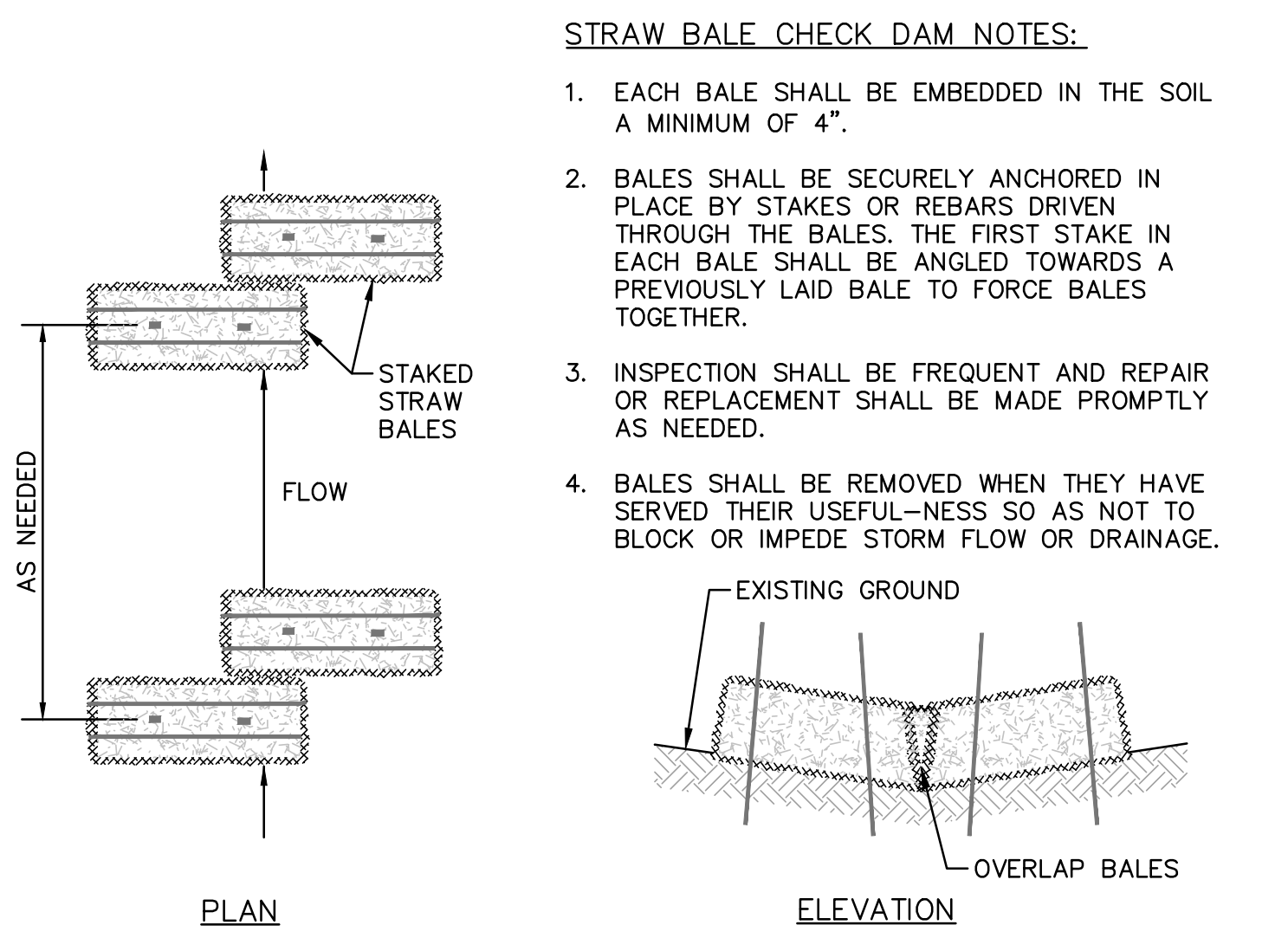
**1 STABILIZED CONSTRUCTION ENTRY DETAIL**  
 C22 SCALE: NONE



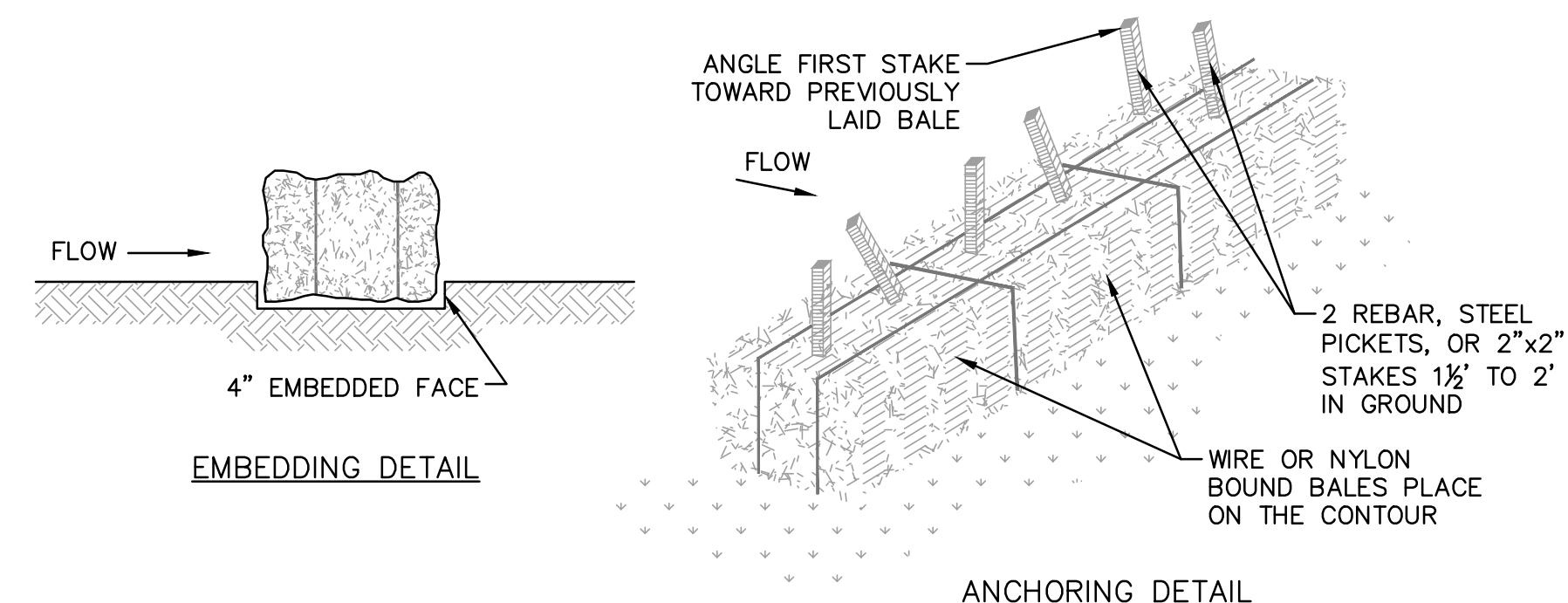
**2 STONE CHECK DAM DETAIL (AS NEEDED)**  
 C22 SCALE: NONE



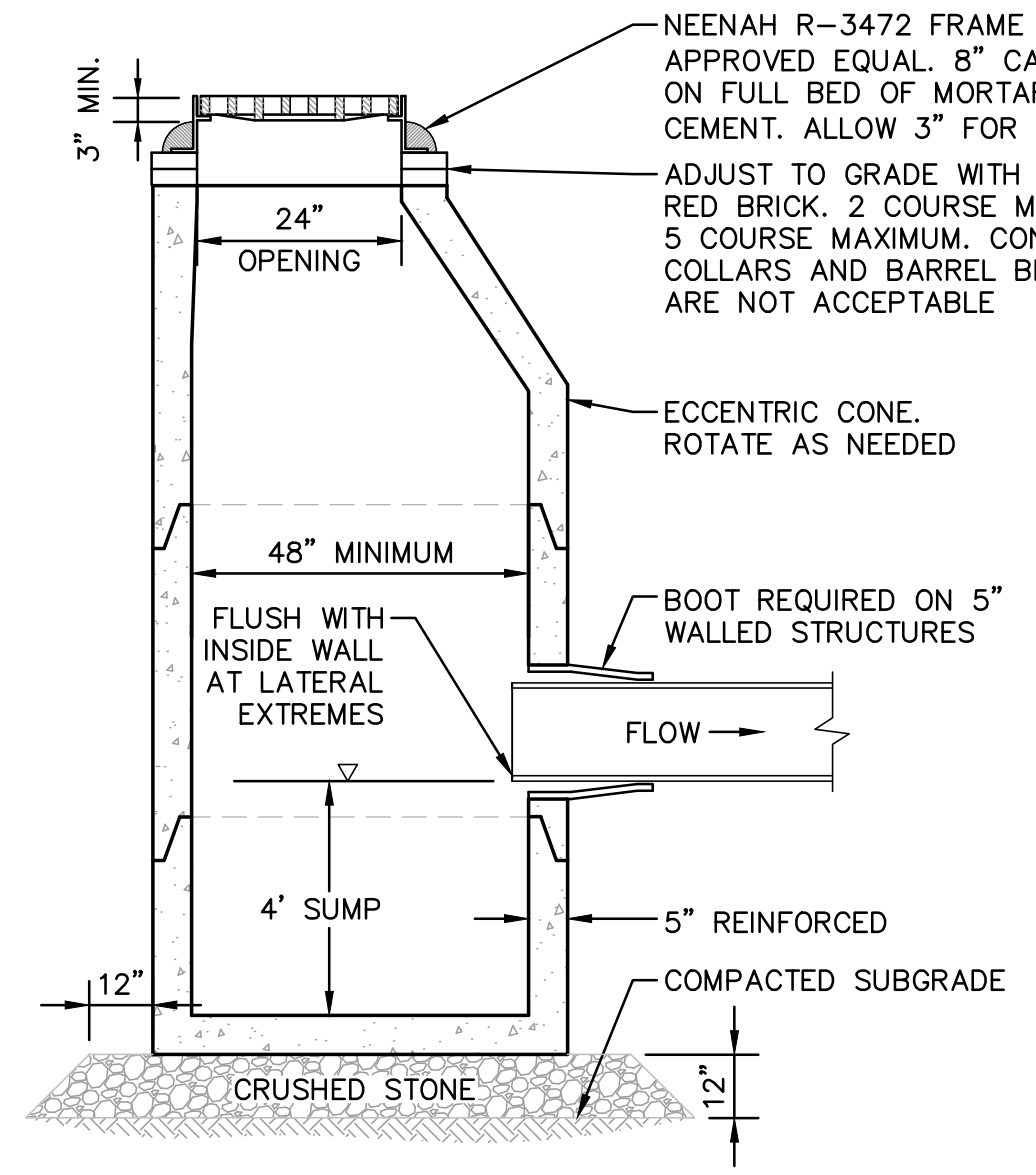
**3 DEWATERING PIT DETAIL**  
 C22 SCALE: NONE



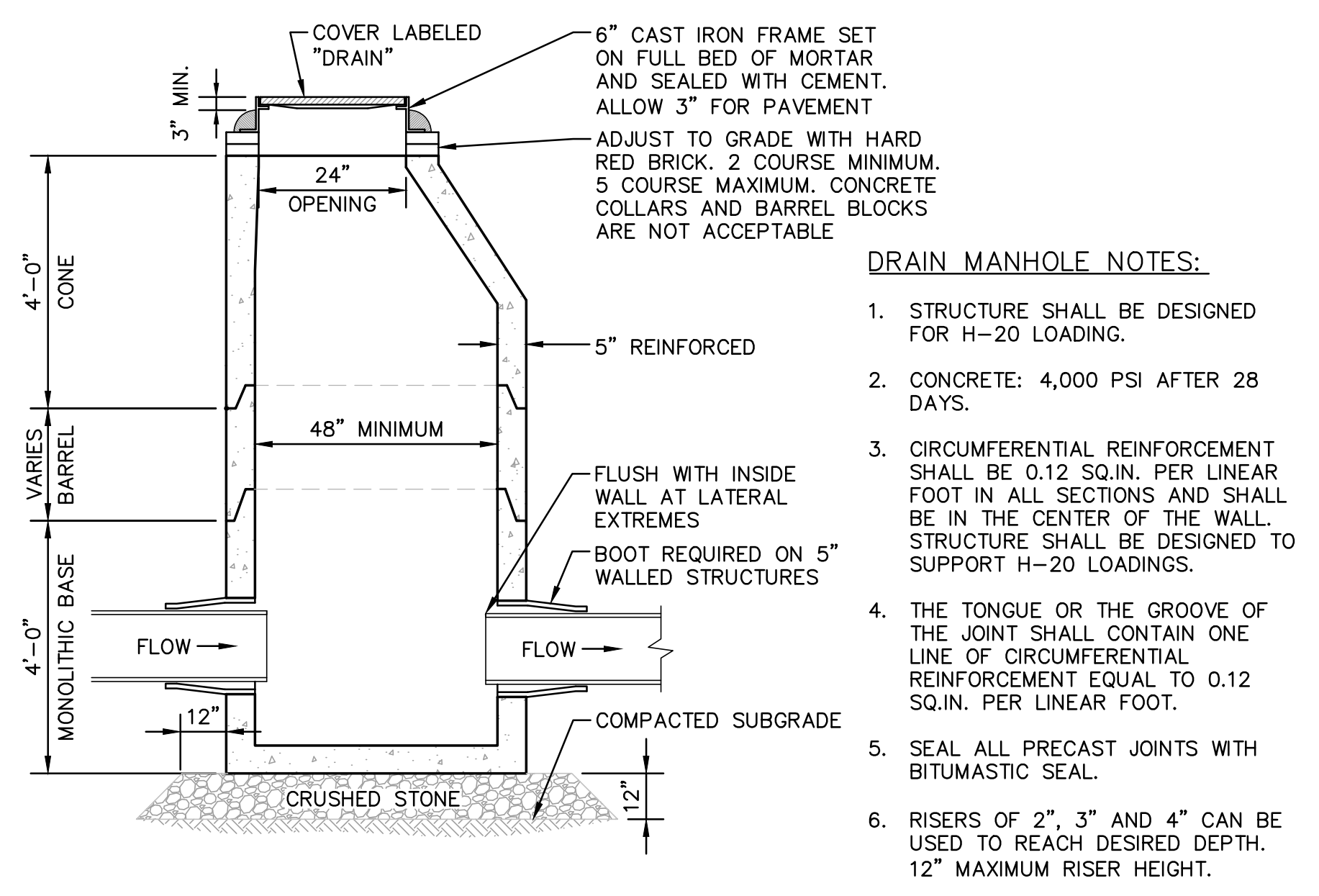
**4 STRAW BALE CHECK DAM DETAIL (AS NEEDED)**  
 C22 SCALE: NONE



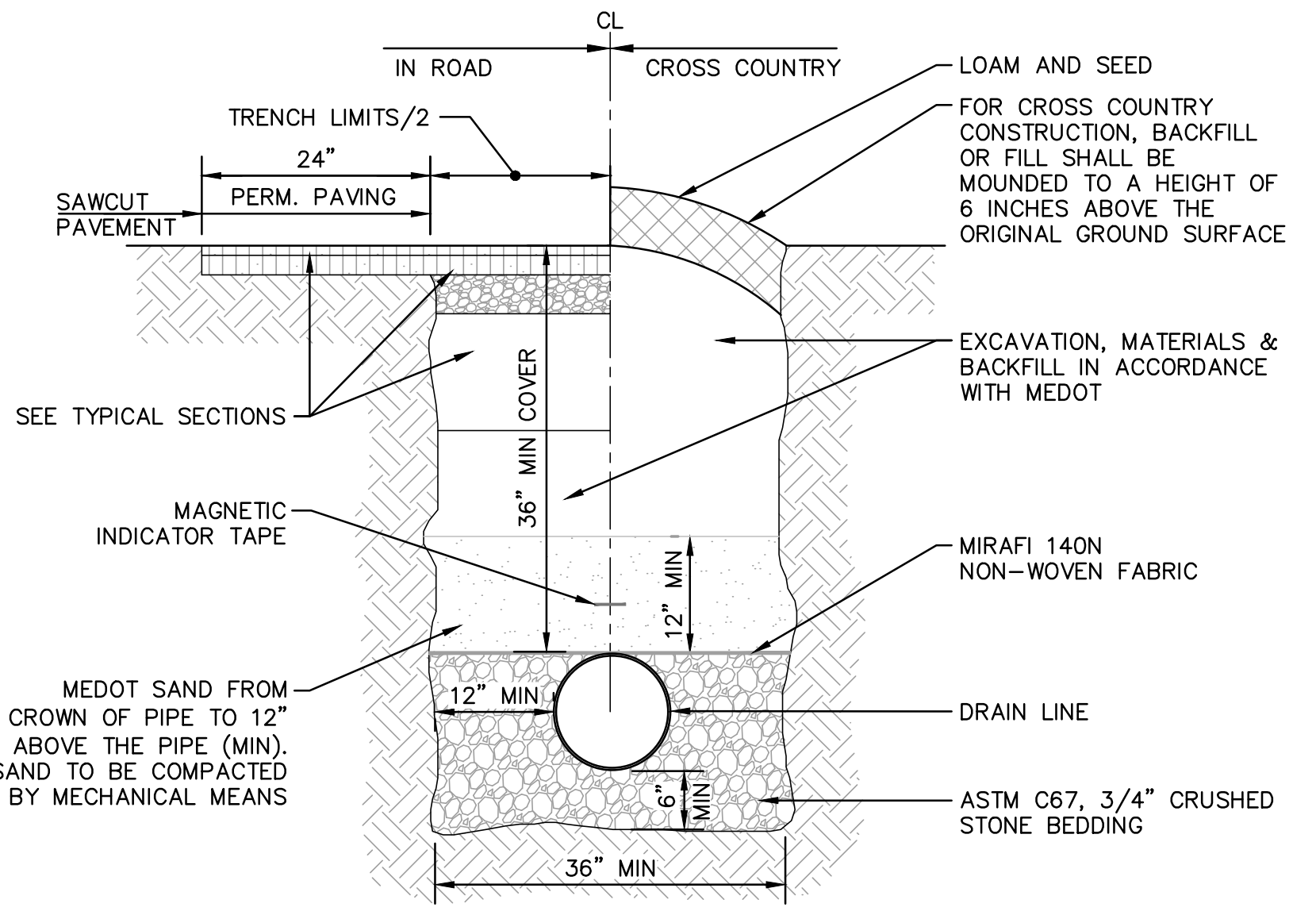
**5 STRAW BALE DETAIL (AS NEEDED)**  
 C22 SCALE: NONE



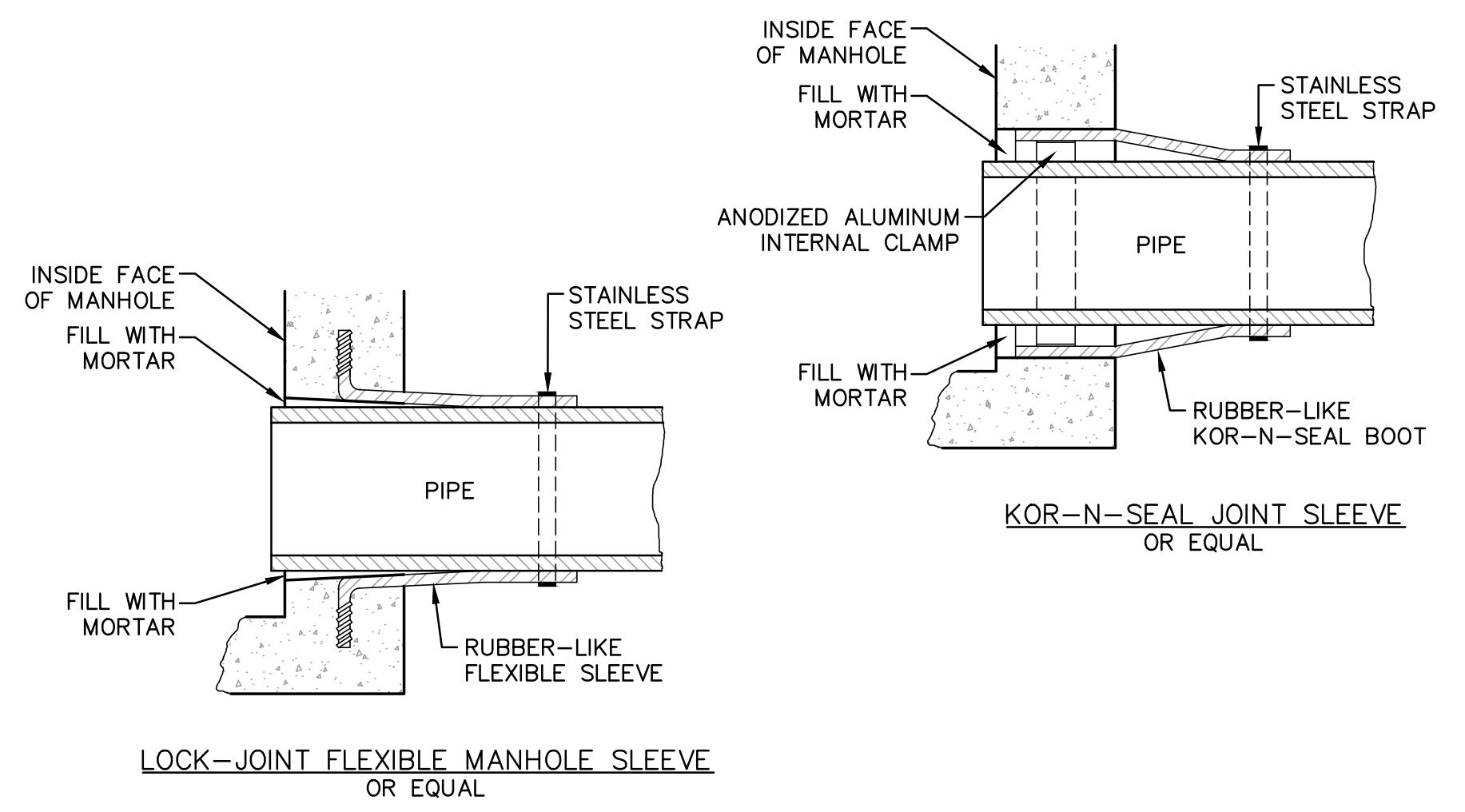
**6 TYPICAL CATCH BASIN DETAIL**  
 C22 SCALE: NONE



**7 DRAIN MANHOLE DETAIL**  
 C22 SCALE: NONE



**8 DRAIN TRENCH DETAIL**  
 C22 SCALE: NONE

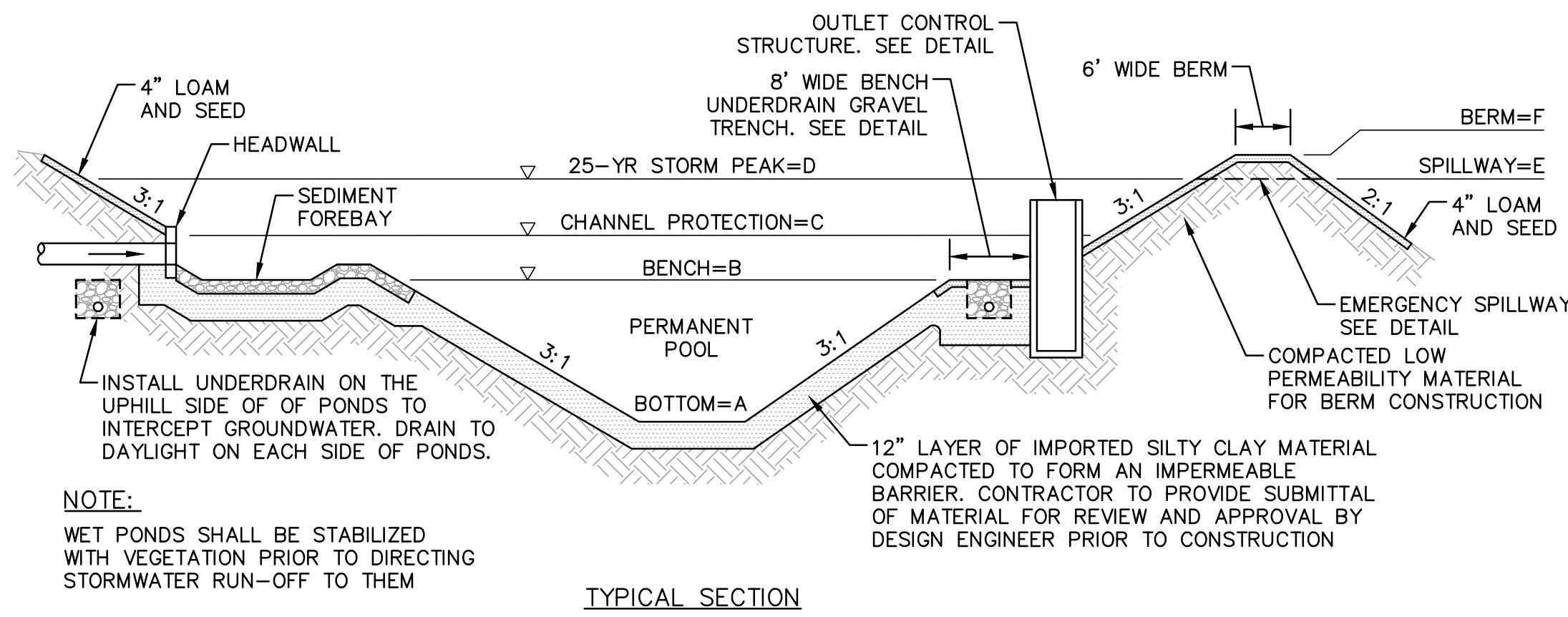


**9 TYPICAL PIPE TO MANHOLE DETAILS**  
 C22 SCALE: NONE



**WET POND MAINTENANCE NOTES:**

- EMBANKMENTS SHOULD BE INSPECTED AT LEAST ANNUALLY BY A QUALIFIED PROFESSIONAL FOR SETTLEMENT, EROSION, SEEPAGE, ANIMAL BURROWS, WOODY VEGETATION, AND OTHER CONDITIONS THAT COULD DEGRADE THE EMBANKMENT AND REDUCE ITS STABILITY FOR IMPOUNDING WATER. IMMEDIATE CORRECTIVE ACTION SHOULD BE IMPLEMENTED IF ANY SUCH CONDITIONS ARE FOUND.
- INLET AND OUTLET PIPES, INLET AND OUTLET STRUCTURES, ENERGY DISSIPATION STRUCTURES OR PRACTICES, AND OTHER STRUCTURAL APPURTENANCES SHOULD BE INSPECTED AT LEAST ANNUALLY BY A QUALIFIED PROFESSIONAL, AND CORRECTIVE ACTION IMPLEMENTED AS INDICATED BY SUCH INSPECTION.
- TRASH AND DEBRIS SHOULD BE REMOVED FROM THE BASIN AND ANY INLET OR OUTLET STRUCTURE WHENEVER OBSERVED BY INSPECTION.
- ACCUMULATED SEDIMENT SHOULD BE REMOVED WHEN IT SIGNIFICANTLY AFFECTS BASIN CAPACITY.
- A MINIMUM SEPARATION OF ONE (1) FOOT IS RECOMMENDED FROM THE BOTTOM OF THE BASIN TO THE TOP OF BEDROCK, OR AN IMPERMEABLE BARRIER (CLAY LAYER OR SYNTHETIC LINER) SHOULD BE PROVIDED.

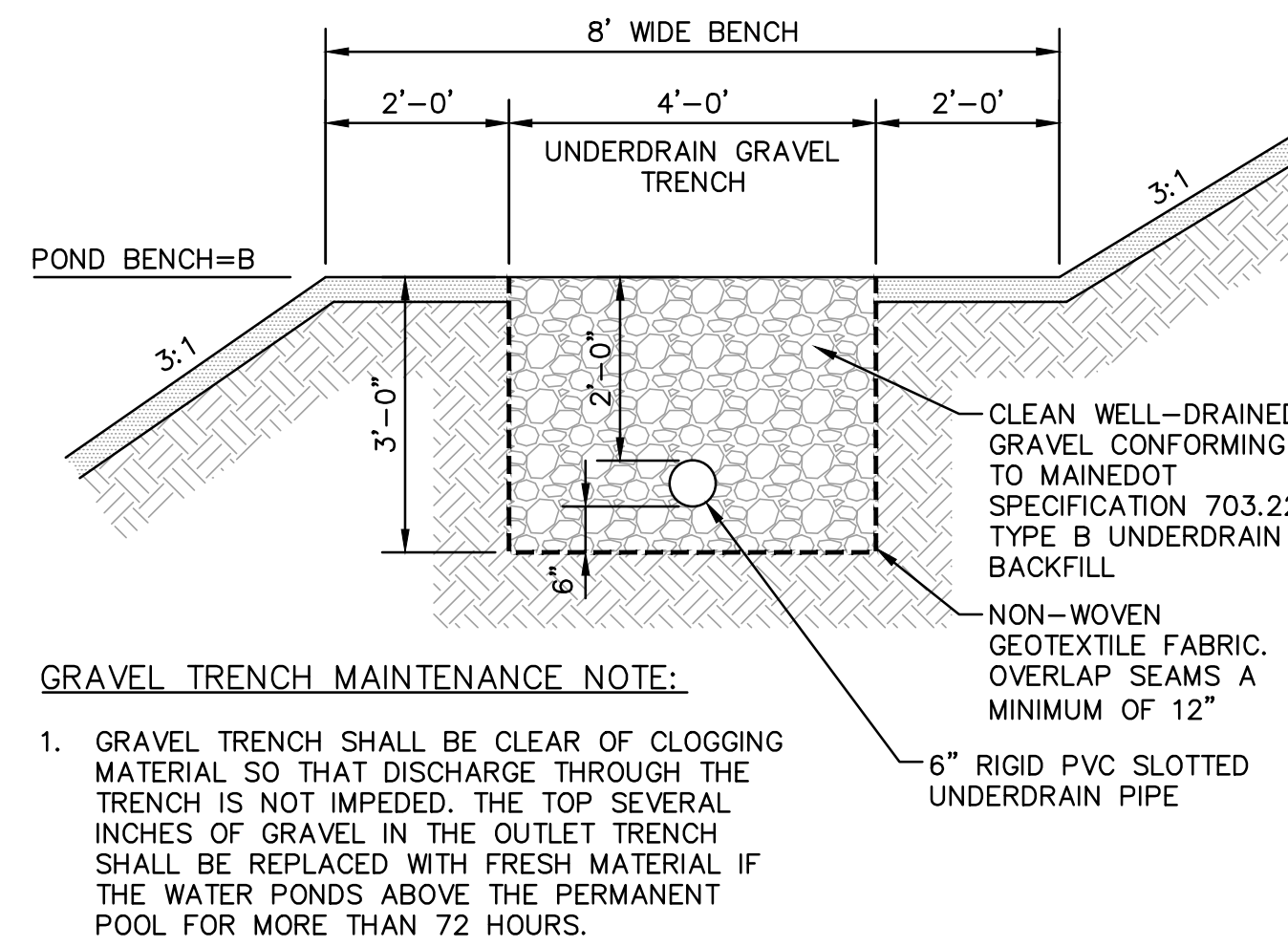


**NOTE:**

WET PONDS SHALL BE STABILIZED WITH VEGETATION PRIOR TO DIRECTING STORMWATER RUN-OFF TO THEM

**TYPICAL SECTION**

WET POND	BOTTOM ELEV. A	BENCH ELEV. B	PERMANENT POOL VOLUME	CHANNEL PROTECTION ELEV. C	CHANNEL PROTECTION VOLUME	25-YR STORM PEAK ELEV. D	SPILLWAY ELEV. E	BERM ELEV. F
1	46.0	53.3	18,313 C.F.	54.4	8,023 C.F.	55.83	55.85	57.1
2	45.0	52.5	12,916 C.F.	53.3	5,590 C.F.	54.84	54.85	56.0
3	44.0	49.5	29,209 C.F.	50.6	13,516 C.F.	52.43	52.43	53.75

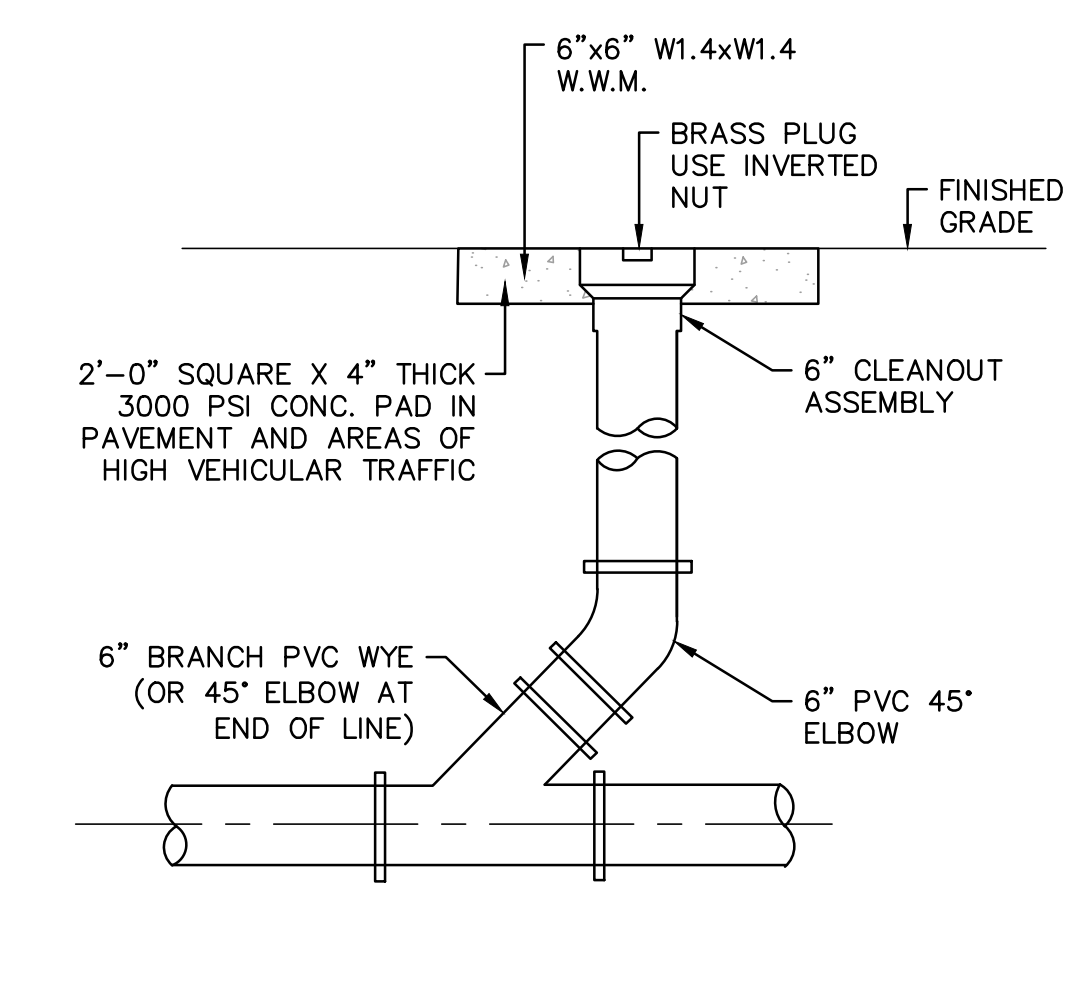


**GRAVEL TRENCH MAINTENANCE NOTE:**

- GRAVEL TRENCH SHALL BE CLEAR OF CLOGGING MATERIAL SO THAT DISCHARGE THROUGH THE TRENCH IS NOT IMPEDED. THE TOP SEVERAL INCHES OF GRAVEL IN THE OUTLET TRENCH SHALL BE REPLACED WITH FRESH MATERIAL IF THE WATER PONDS ABOVE THE PERMANENT POOL FOR MORE THAN 72 HOURS.

**2 UNDERDRAIN GRAVEL TRENCH DETAIL**

SCALE: NONE

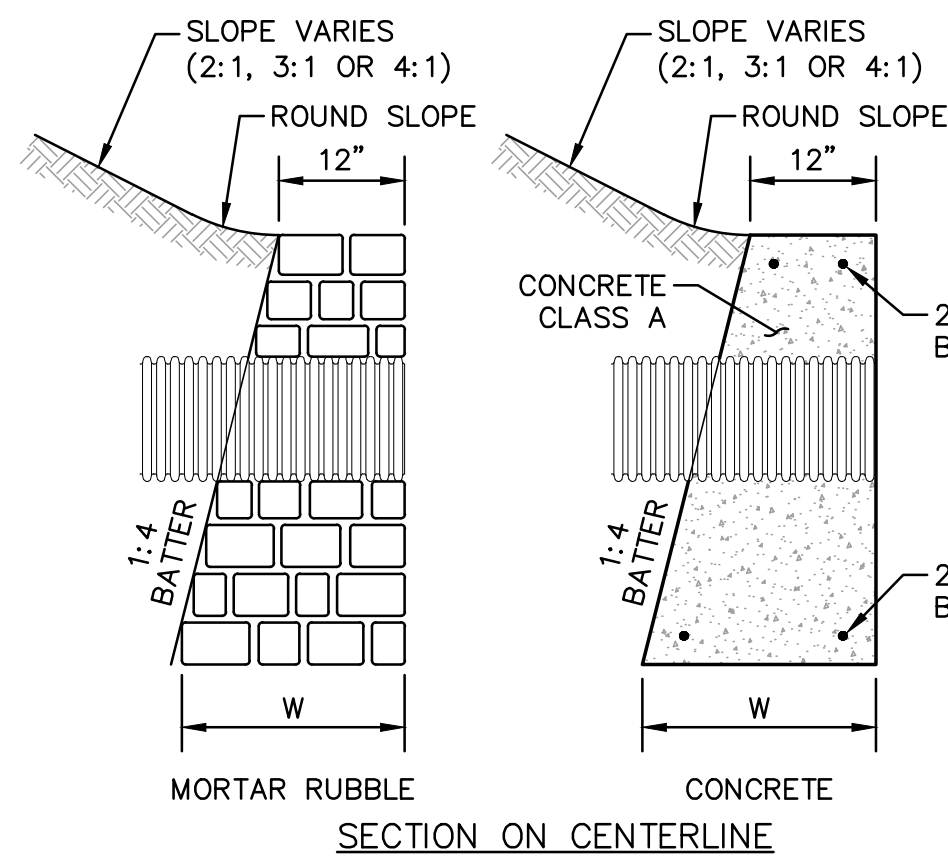


**3 DRAIN CLEANOUT DETAIL**

SCALE: NONE

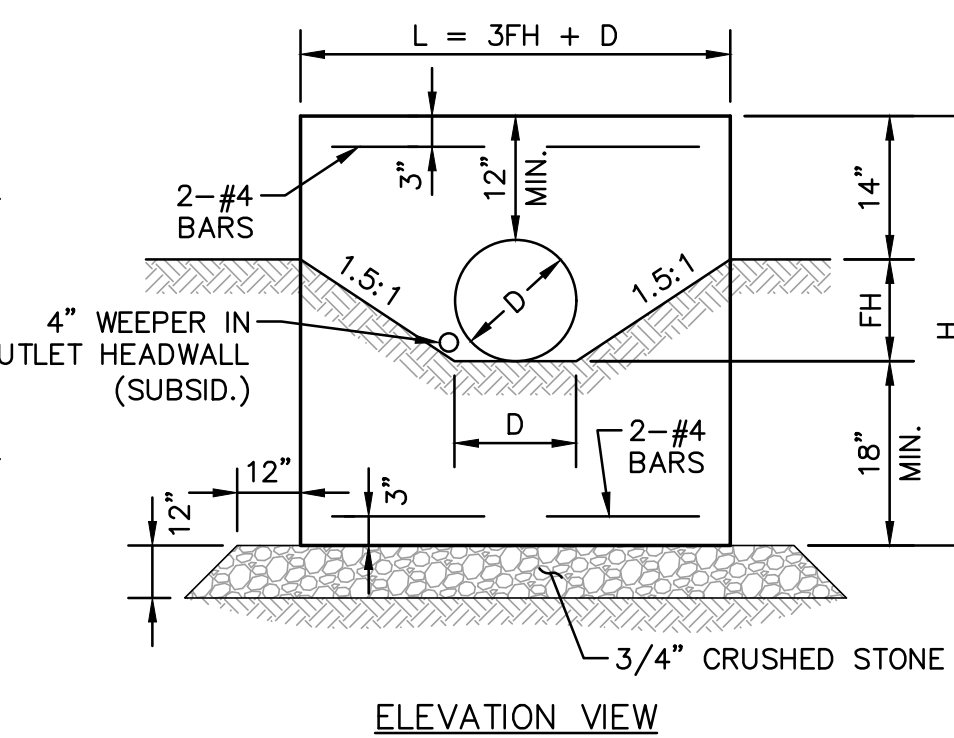
**1 WET POND CROSS SECTION**

SCALE: NONE



**NOTE:**

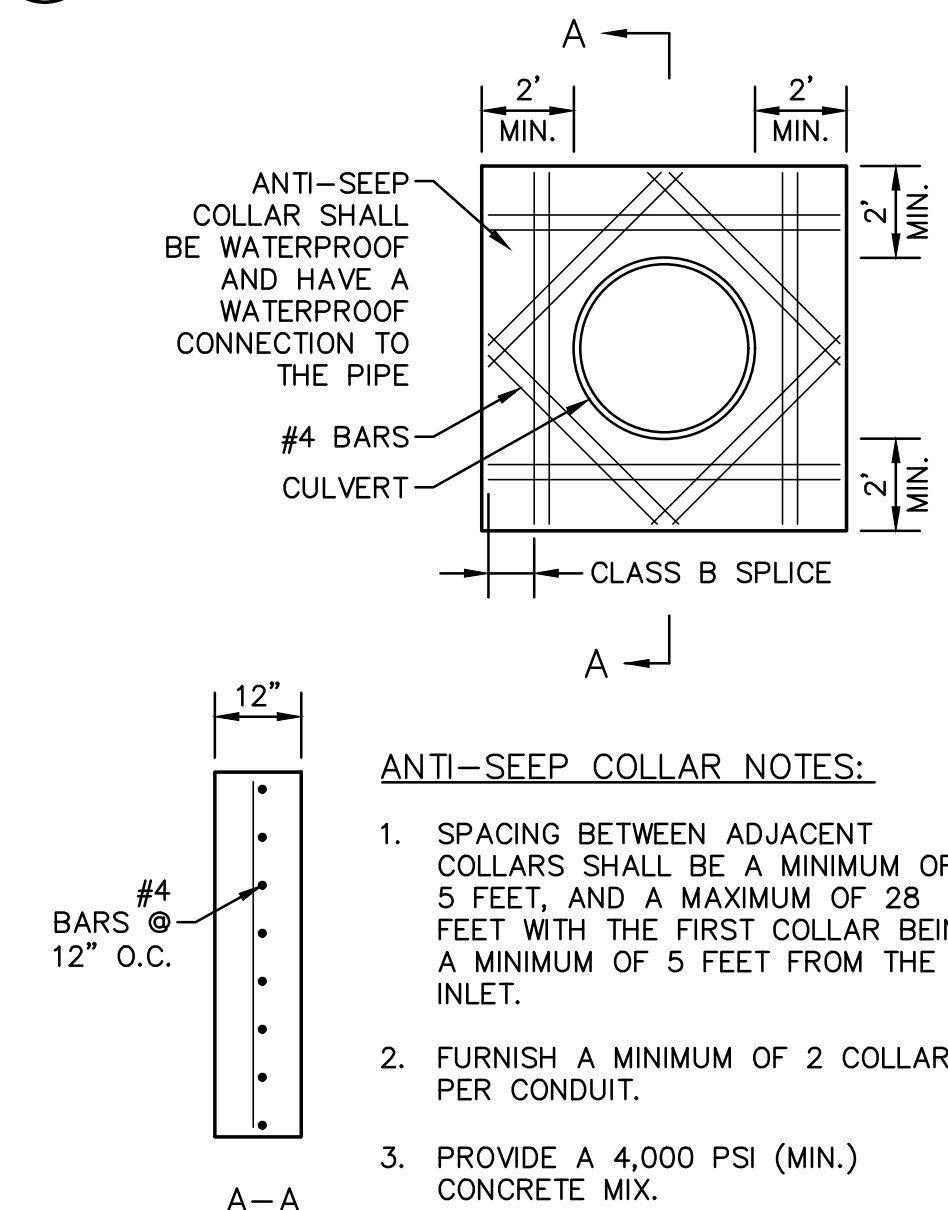
HEADWALLS 1-3, 6 AND 7 SHALL BE MORTAR RUBBLE OR STONE PATTERN STAMPED CONCRETE HEADWALLS. PROVIDE STAMPED PATTERN FOR REVIEW AND APPROVAL FROM OWNER.



DIAMETER D INCHES	MASONRY PER FOOT OF WALL CU. YD.	MASONRY PER STANDARD HEADER CU. YD.	STEEL PER STANDARD HEADER LB.	LENGTH OF BARS	EXC. FOR 1' DEPTH CU. YD.	HEADER LENGTH L	HEADER HEIGHT H	FILL HEIGHT FH	WIDTH AT BOTTOM OF HEADER W
12	0.186	0.61	9	3'-2"	0.789	3'-6"	3'-6"	0'-10"	0'-10 1/2"
15	0.202	0.85	11	3-10	0.947	4-6	3-9	1-1	1-11 1/4"
18	0.222	1.13	14	5-2	1.111	5-6	4-0	1-4	2-0
24	0.260	1.78	20	7-2	1.451	7-6	4-6	1-10	2-1 1/2"
30	0.301	2.58	25	9-2	1.810	9-6	5-0	2-4	2-3
36	0.344	3.53	31	11-2	2.187	11-6	5-6	2-10	2-4 1/2"

**4 CONCRETE OR MORTAR RUBBLE HEADWALL DETAILS**

SCALE: NONE

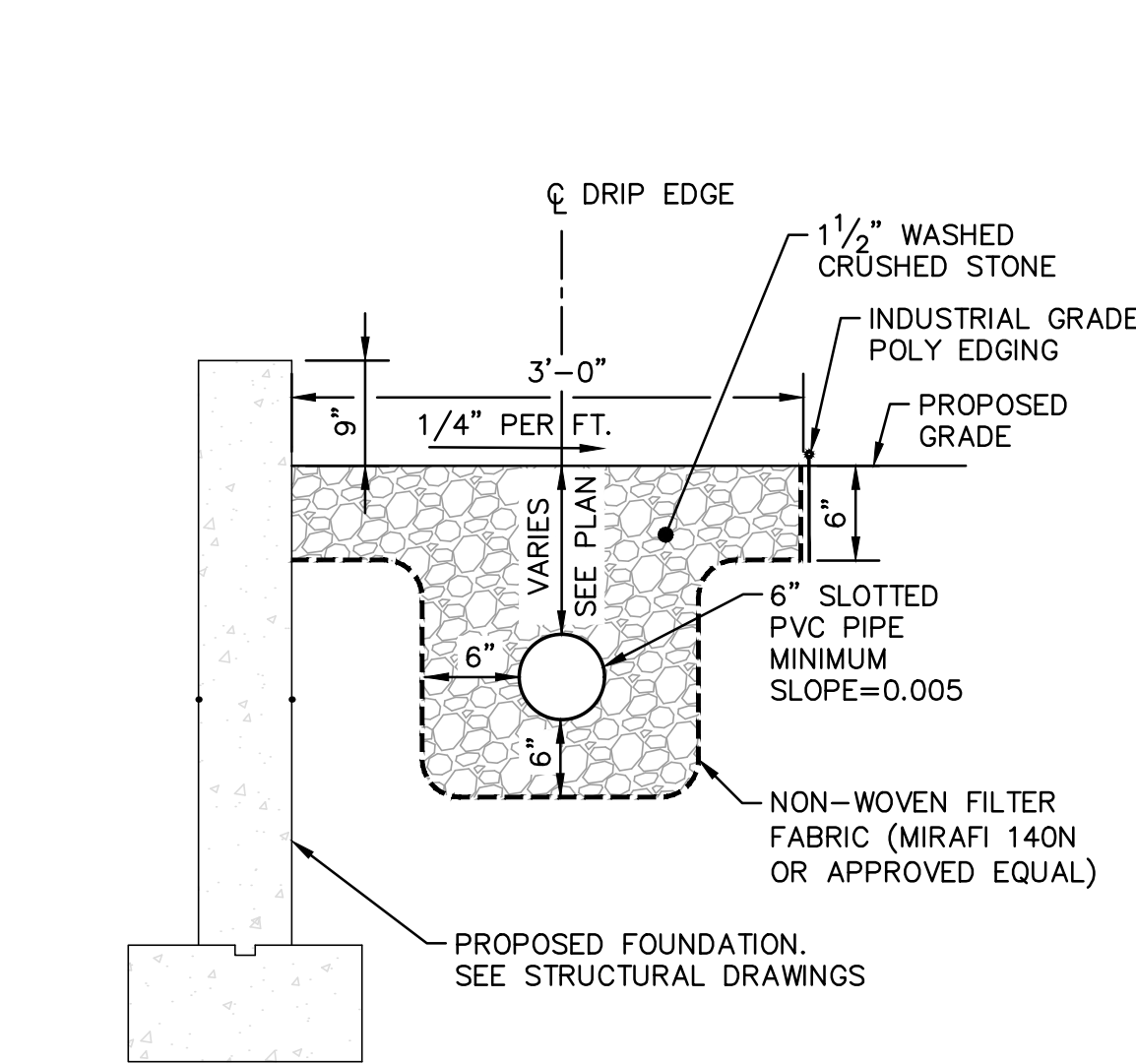


**ANTI-SEEP COLLAR NOTES:**

- SPACING BETWEEN ADJACENT COLLARS SHALL BE A MINIMUM OF 5 FEET, AND A MAXIMUM OF 28 FEET WITH THE FIRST COLLAR BEING A MINIMUM OF 5 FEET FROM THE INLET.
- FURNISH A MINIMUM OF 2 COLLARS PER CONDUIT.
- PROVIDE A 4,000 PSI (MIN.) CONCRETE MIX.

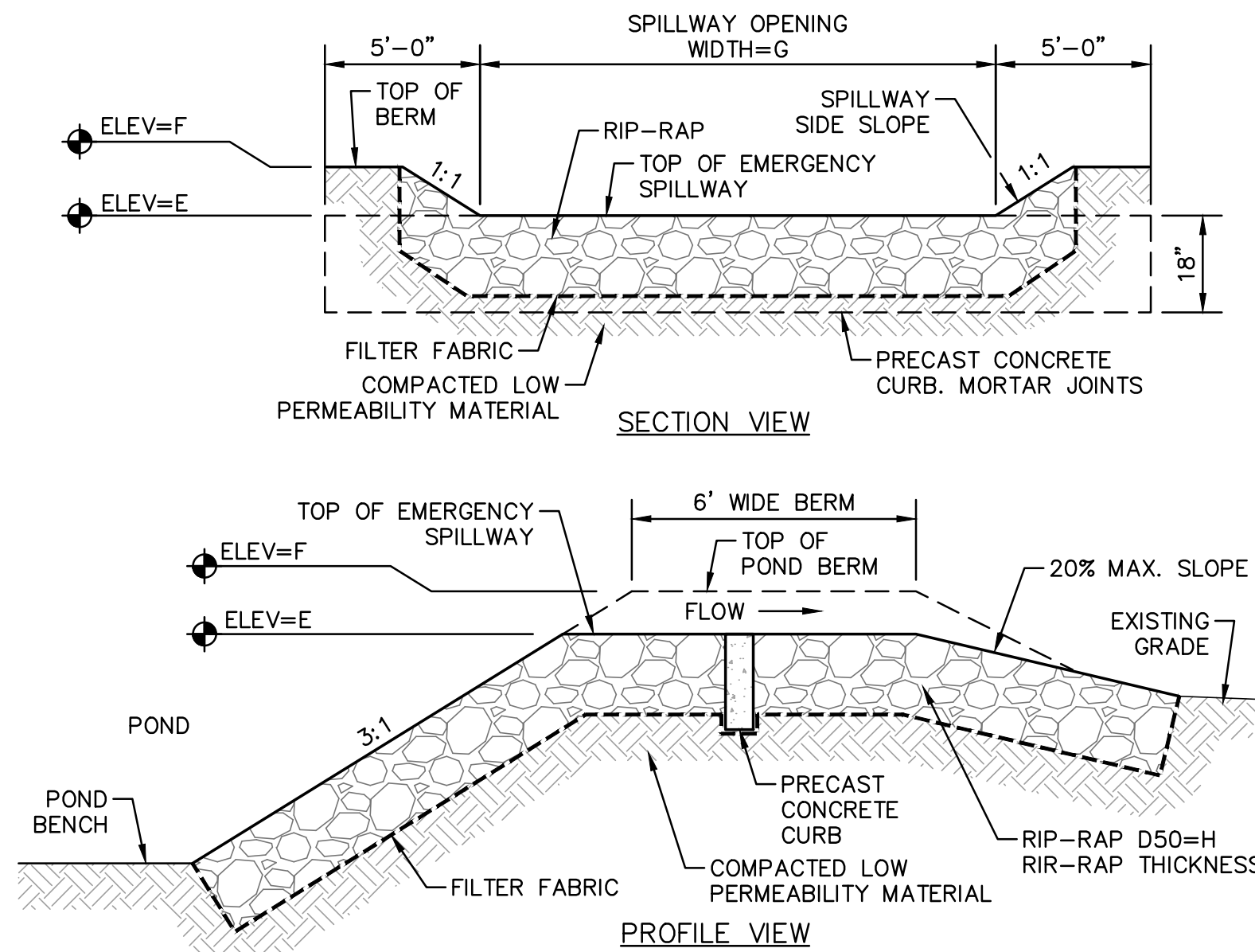
**6 ANTI-SEEP DRAIN COLLAR DETAIL**

SCALE: NONE



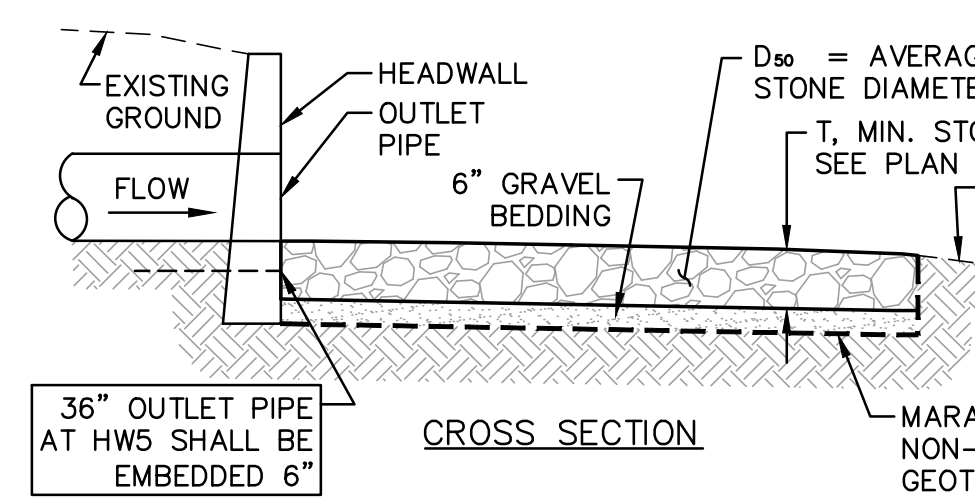
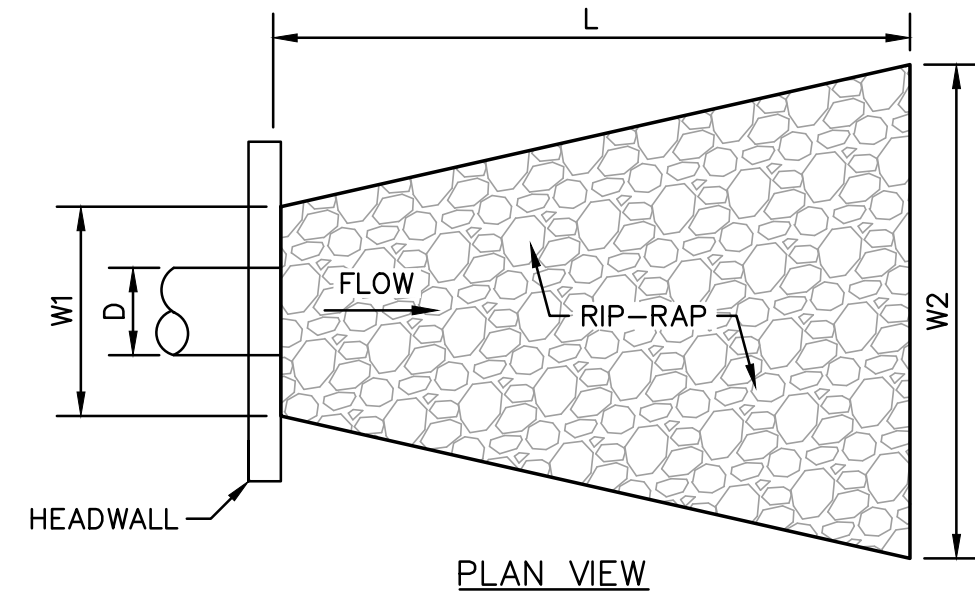
**7 TYPICAL DRIP EDGE INFILTRATION DETAIL**

SCALE: NONE



**5 EMERGENCY SPILLWAY DETAIL**

SCALE: NONE



**8 STONE LINED OUTLET PROTECTION DETAIL**

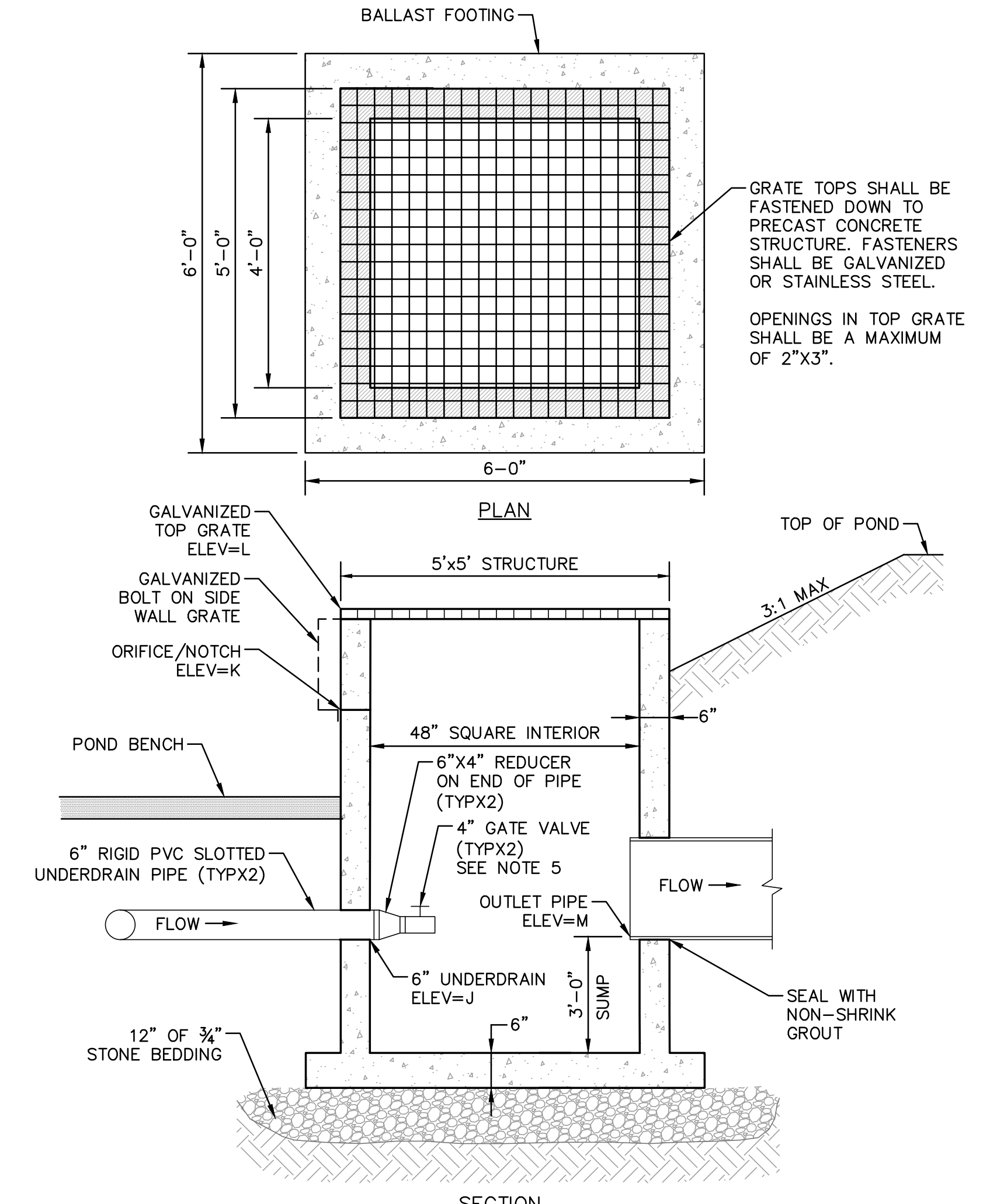
SCALE: NONE

**TABLE OF DIMENSIONS**

	D (IN)	W1 (FT)	L (FT)	W2 (FT)	T (IN)	D <sub>50</sub> (IN)	RIP-RAP VOLUME (C.Y.)
HW1	18	4.5	17	11	12	6	4.8
HW2	18	4.5	14	10	12	6	3.8
HW3	24	6	16	12	12	6	5.6
HW5	36	9	27	20	12	6	14.7
HW6	12	3	10	7	12	6	1.7
HW7	18	4.5	16	11	12	6	4.5
HW8	36	9	28	20	12	6	15.2
HW9	24/36	15	22	24	12	6	16.2
HW11	15	3.8	11	8	12	6	2.3
HW13	12	3	8	6	12	6	1.3

**RIP-RAP NOTE**

- ALL RIP-RAP SHALL BE PROTECTED FROM RECEIVING SEDIMENT RUNOFF DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL ENSURE THAT ALL RIP-RAP IS CLEAN AND FREE OF SEDIMENT AT THE COMPLETION OF THE PROJECT.



**OUTLET STRUCTURE NOTES:**

- ALL CEMENT CONCRETE TO BE 4,000 PSI (MIN.).
- GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE.
- ALL OPENINGS SHALL BE CAST IN AS REQUIRED.
- PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478 DESIGNATION AND H-20 LOADING.
- THE TWO 4" GATE VALVES CONNECTED TO THE UNDERDRAINS SHALL BE OPENED TO PROVIDE THE APPROXIMATE SQ. IN. OPENING SHOWN IN THE TABLE BELOW. AFTER CONSTRUCTION, ADJUST OPENINGS AS NEEDED TO ACCOUNT FOR FIELD CONDITIONS TO PROVIDE A CHANNEL PROTECTION VOLUME DRAIN DOWN TIME OF GREATER THAN 24 HOURS. CONTACT DESIGN ENGINEER FOR INSPECTION.

WET POND	UNDERDRAIN INV. IN J	GATE VALVE OPENING	ORIFICE/NOTCH INV. IN K	ORIFICE/NOTCH SIZE	TOP GRATE L	OUTLET PIPE INV. IN M	OUTLET PIPE SIZE
1	50.7	1.11 SQ. IN.	54.4	10"x15.6"	55.8	50.6	24"
2	49.8	0.76 SQ. IN.	53.3	5"	54.7	49.7	24"
3	46.6	1.9 SQ. IN.	50.6	15"x16.8"	52.25	46.5	36"

**9 OUTLET STRUCTURE AT DETENTION POND**

SCALE: NONE

DATE	REVISION DESCRIPTION
06/17/20	ISSUED FOR PLANNING BOARD APPROVAL
05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACE COMMENTS
12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS
	DATE

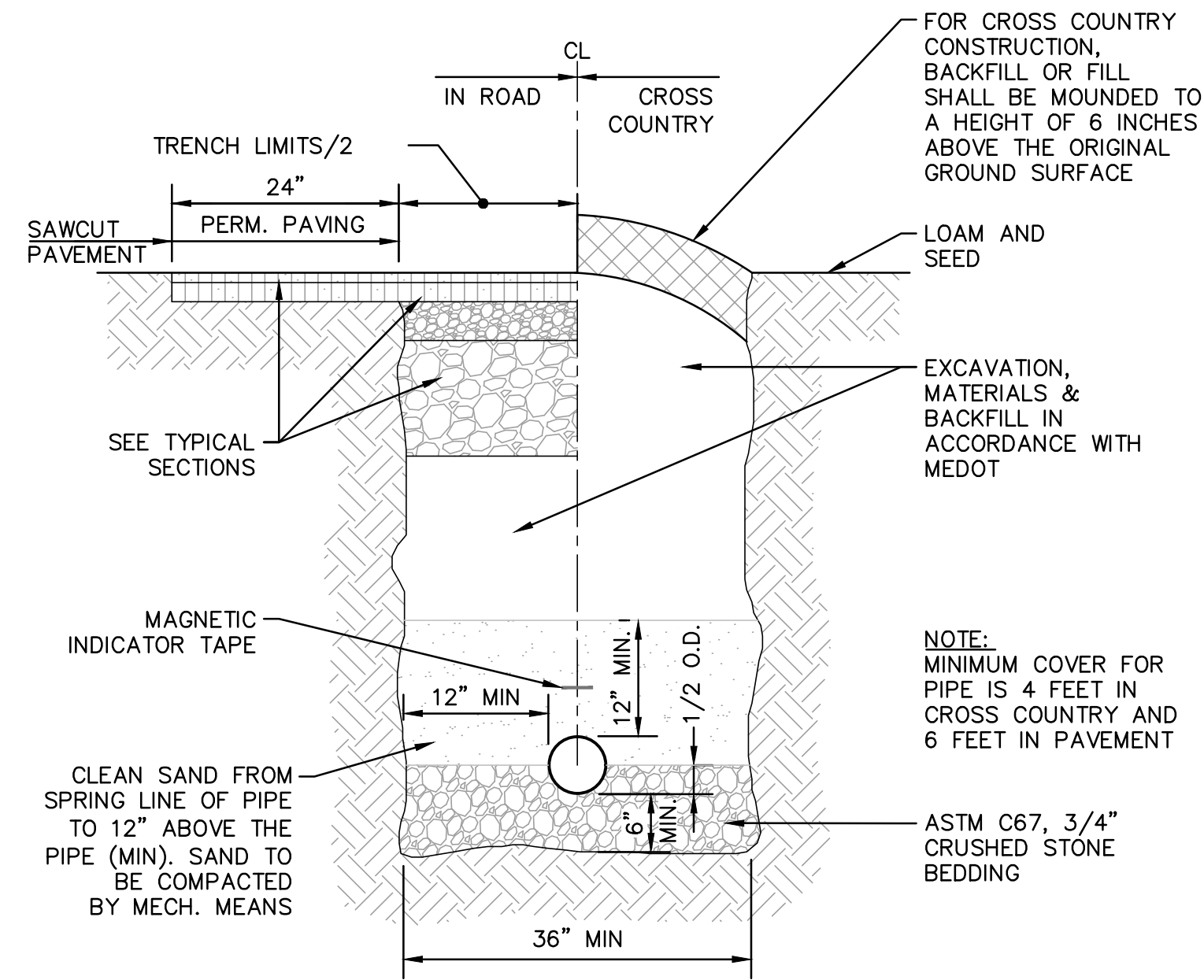
  

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF HOYLE, TANNER & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING ELECTRONICALLY, FOR ANY PROJECT OTHER THAN THE PROJECT PERMITTED BY THE WRITER, WITHOUT THE WRITER'S PERMISSION.	DRAWN BY: SMT CHECKED BY: WRD DESIGNED BY: SMT ORIGINAL DATE: JUNE 20, 2019 SCALE: AS SHOWN	APPLICANT: AZTEC, LLC ONE CITY CENTER, P.O. BOX 9546 PORTLAND, ME 04112 PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT TAX MAP LOTS 6-15B, 6-16A & 13-4 76 DENNETT ROAD, KITTERY, ME 03904
---	---	--

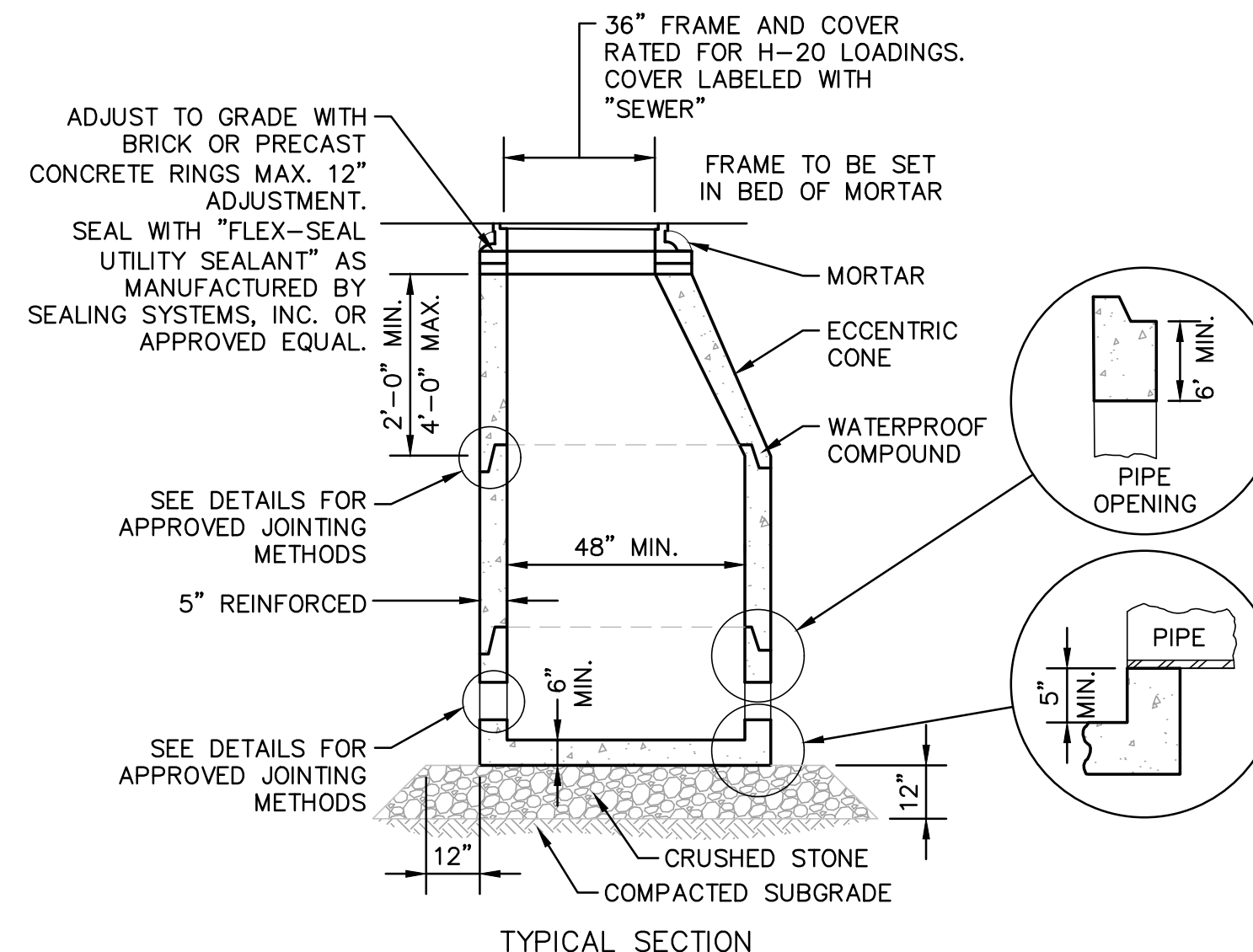
C23

PROJECT NO. 569200  
SHEET 23 OF 28





**1 SEWER TRENCH DETAIL**  
SCALE: NONE



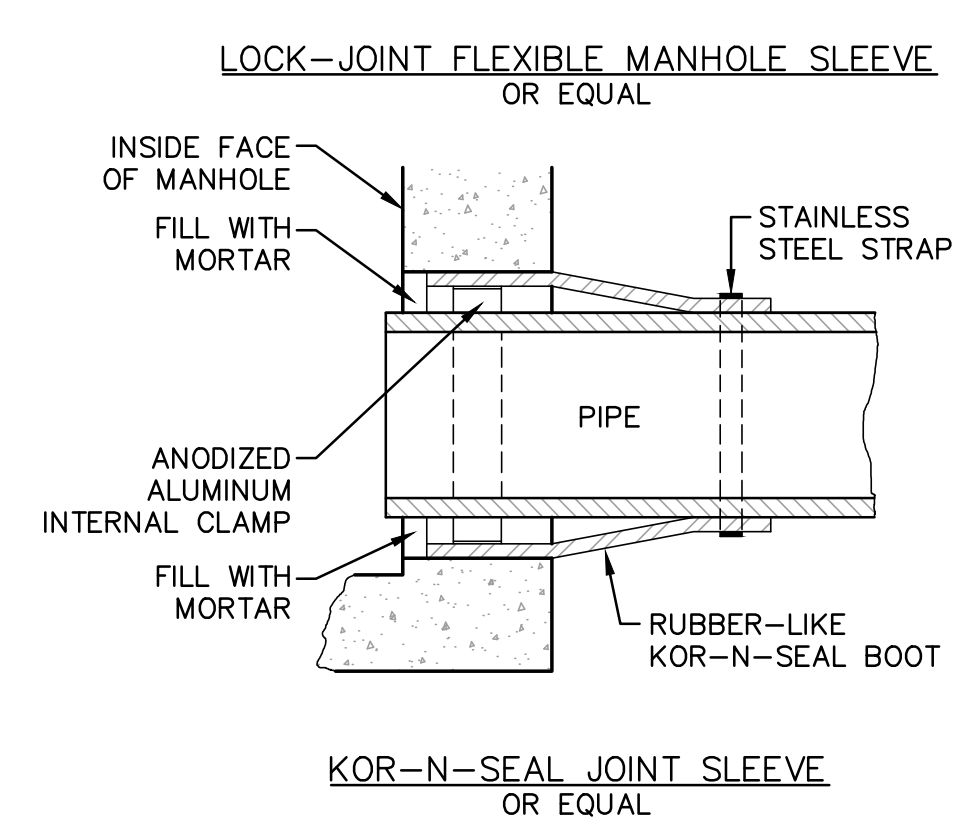
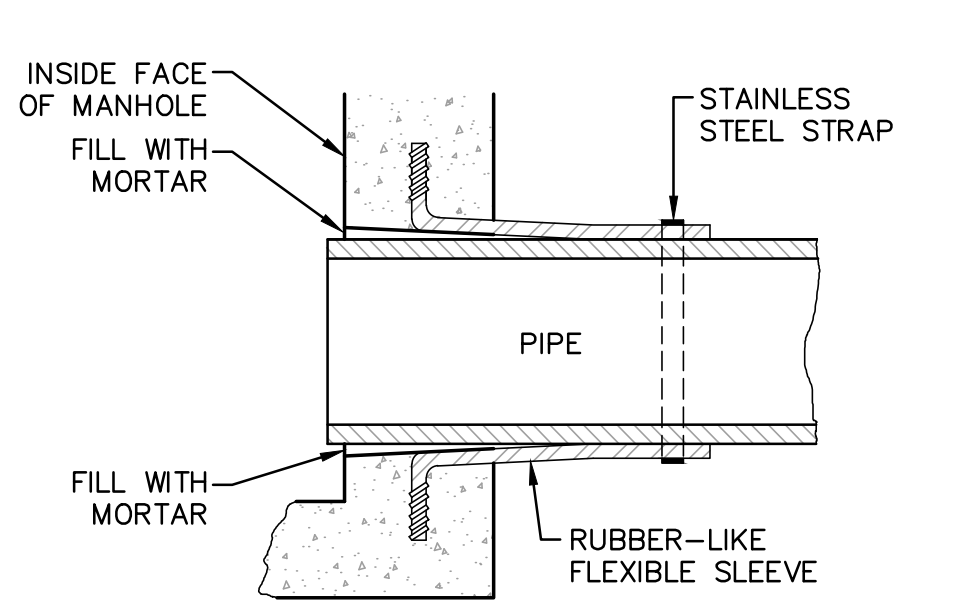
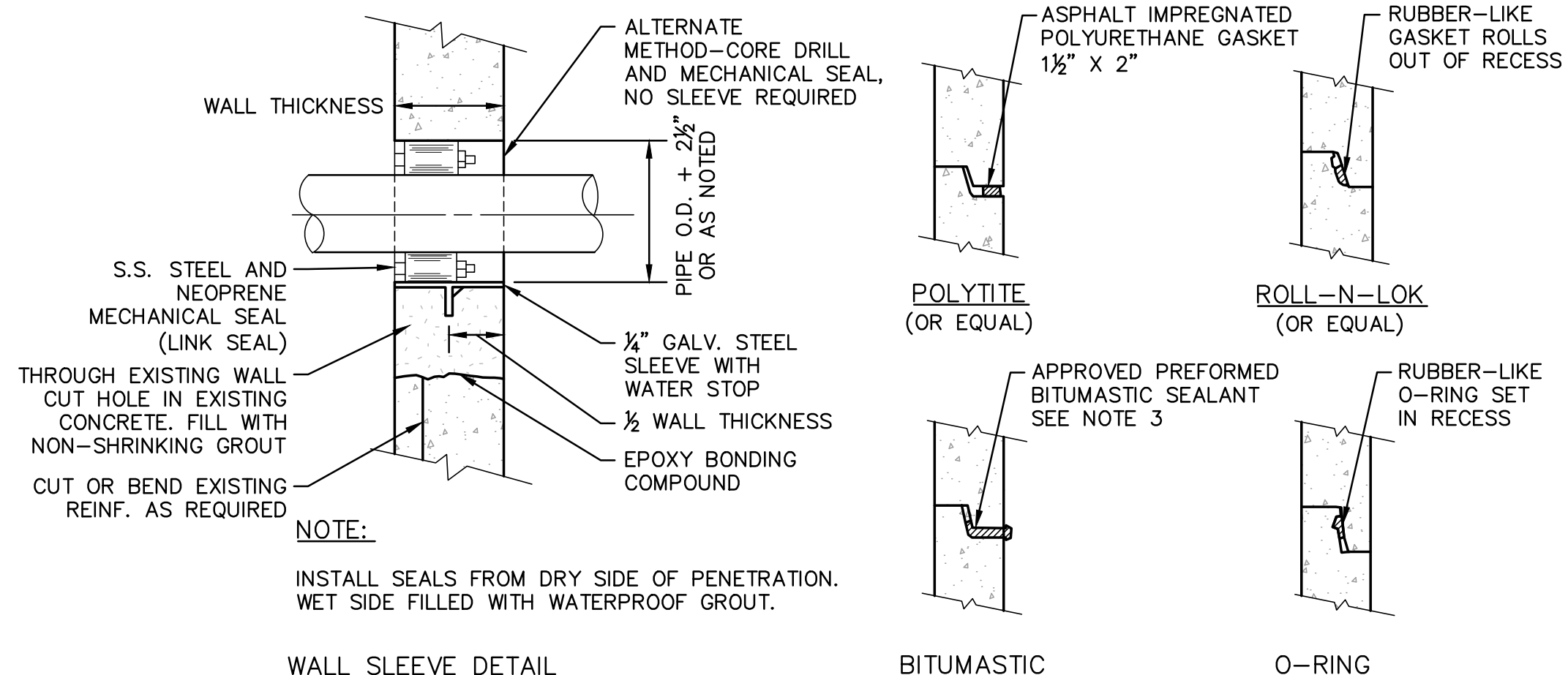
**SEWER NOTES:**

- MANHOLES:** THE MANHOLE, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
- INVERTS AND SHELVES:** MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
- SHALLOW MANHOLE:** IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER SHALL BE USED, WHERE INDICATED, HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H-20 LOADS. SEE DETAILS.
- RISER SECTION:** THE RISER SECTION SHALL HAVE THE EXTERIOR WRAPPED WITH WRAPIDSEAL MANHOLE ENCAPSULATION SYSTEM AS MANUFACTURED BY CCI PIPE PROTECTION PRODUCTS OR APPROVED EQUAL.

**MANHOLE NOTES:**

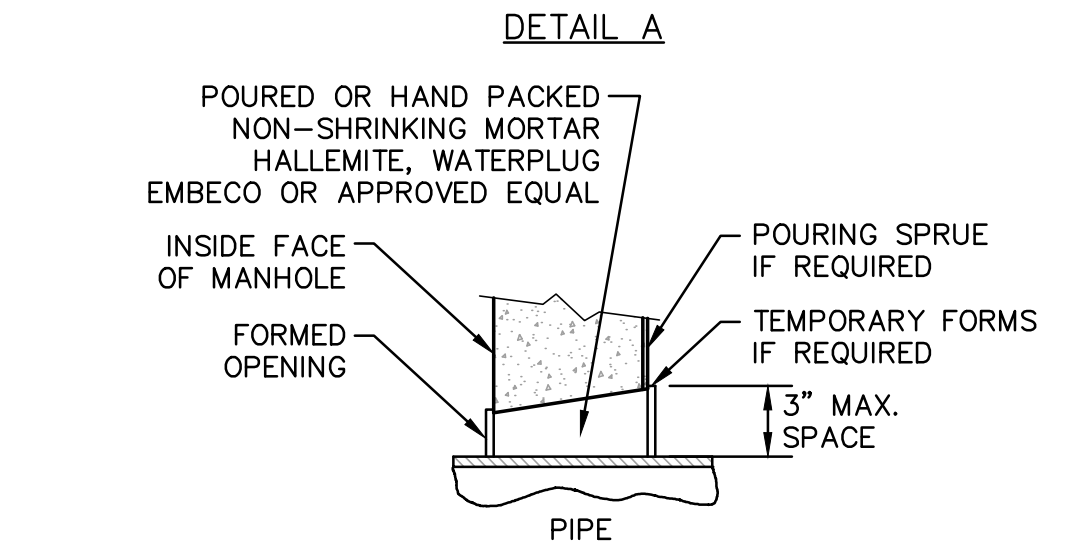
- BASE SECTION TO BE FULL WALL THICKNESS AND MONOLITHIC TO A POINT 6" ABOVE THE PIPE CROWN.
- THERE SHALL BE NO STEPS IN ANY OF THE SEWER MANHOLES

**3 STANDARD SANITARY SEWER MANHOLE DETAIL**  
SCALE: NONE

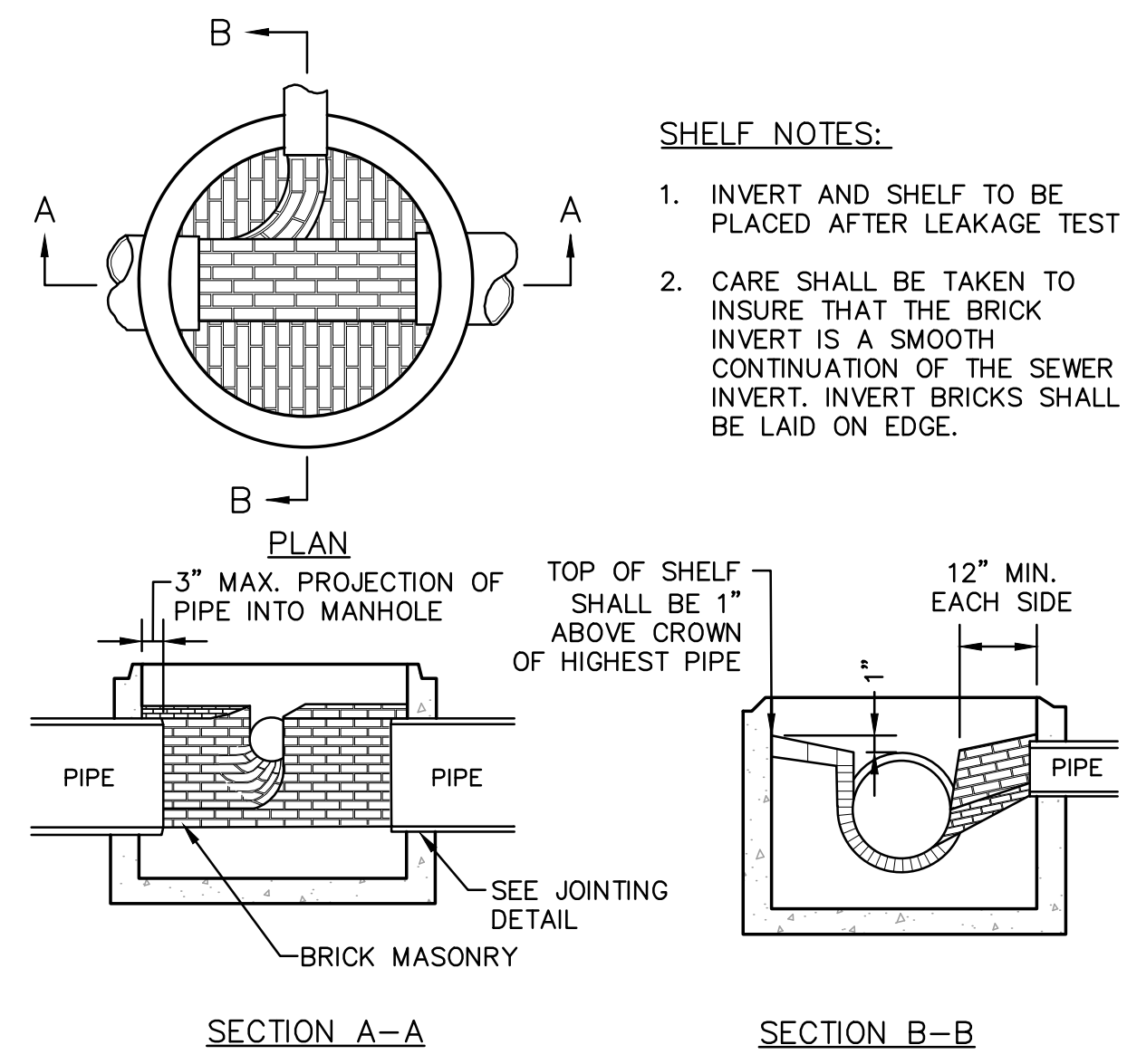


**2 SEWER MANHOLE JOINT AND PIPE CONNECTION DETAILS**  
SCALE: NONE

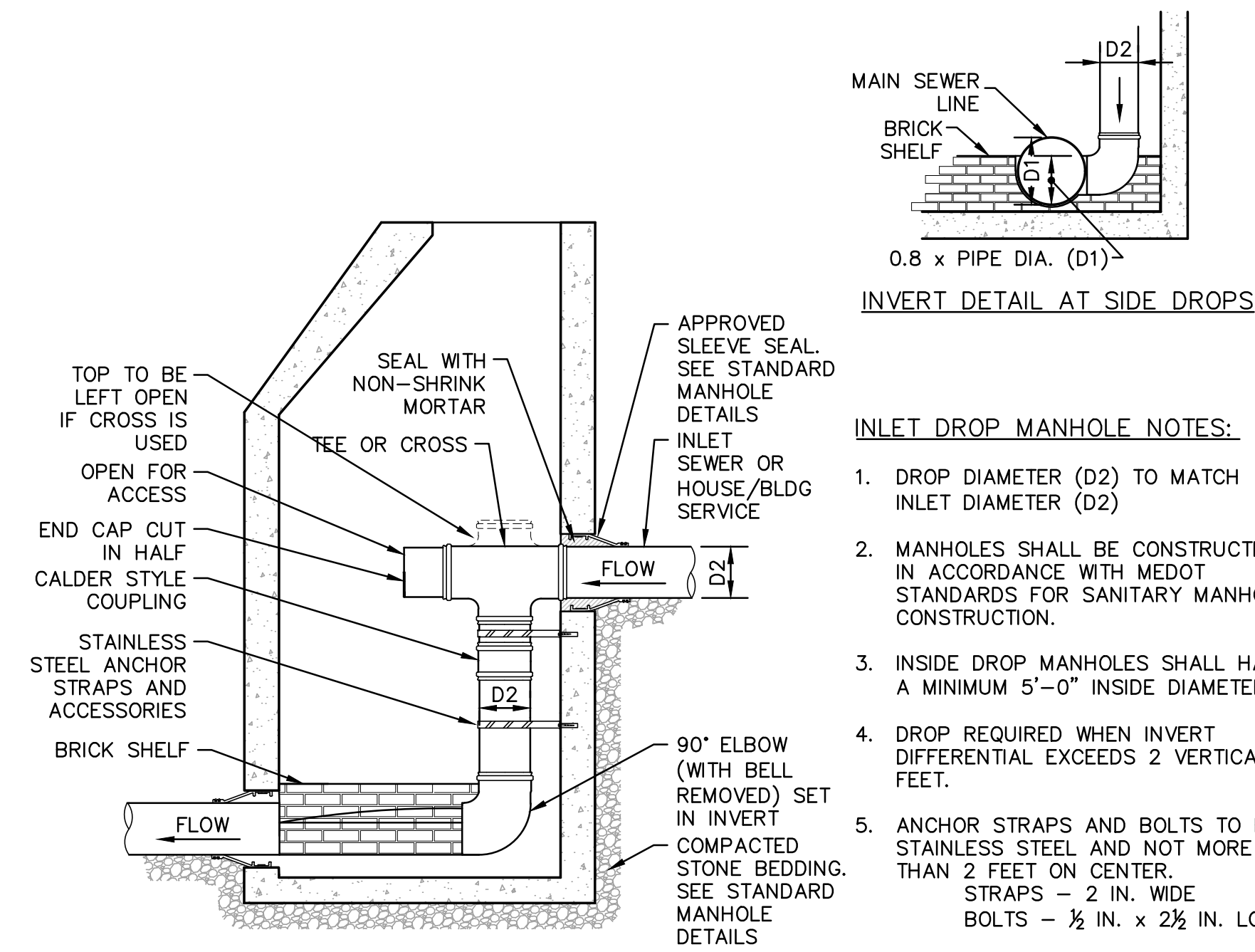
**NOTE:**  
ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.



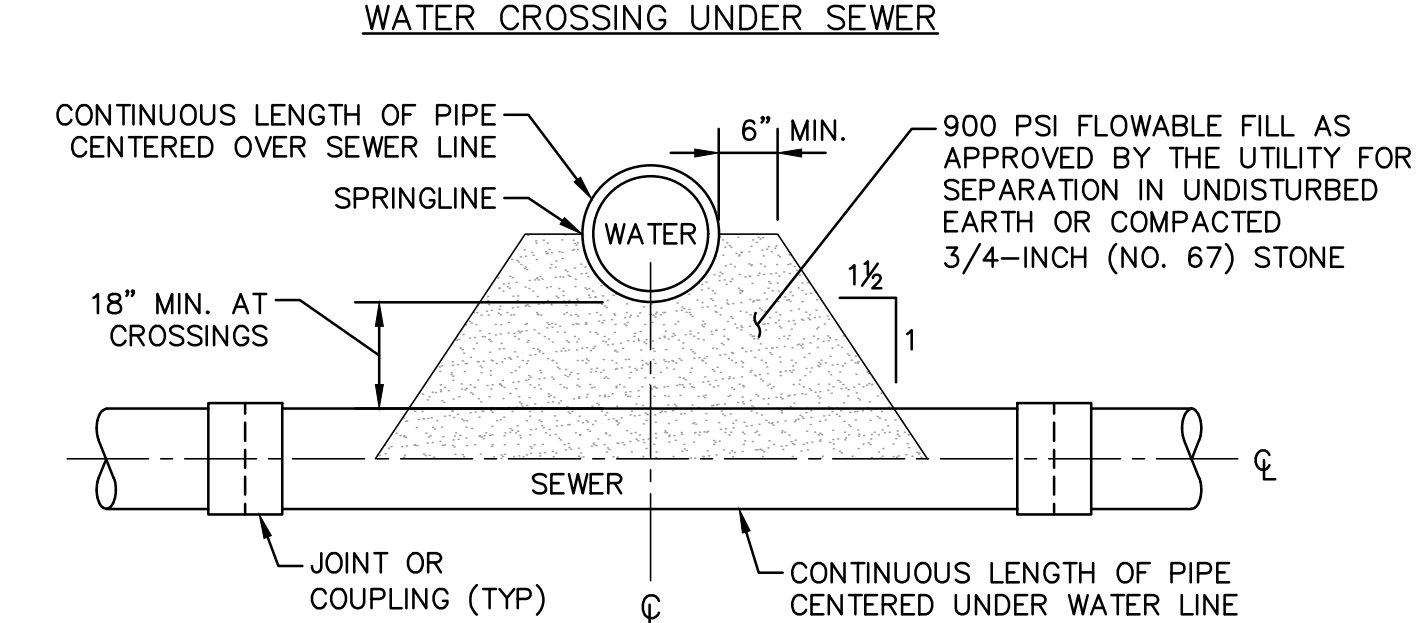
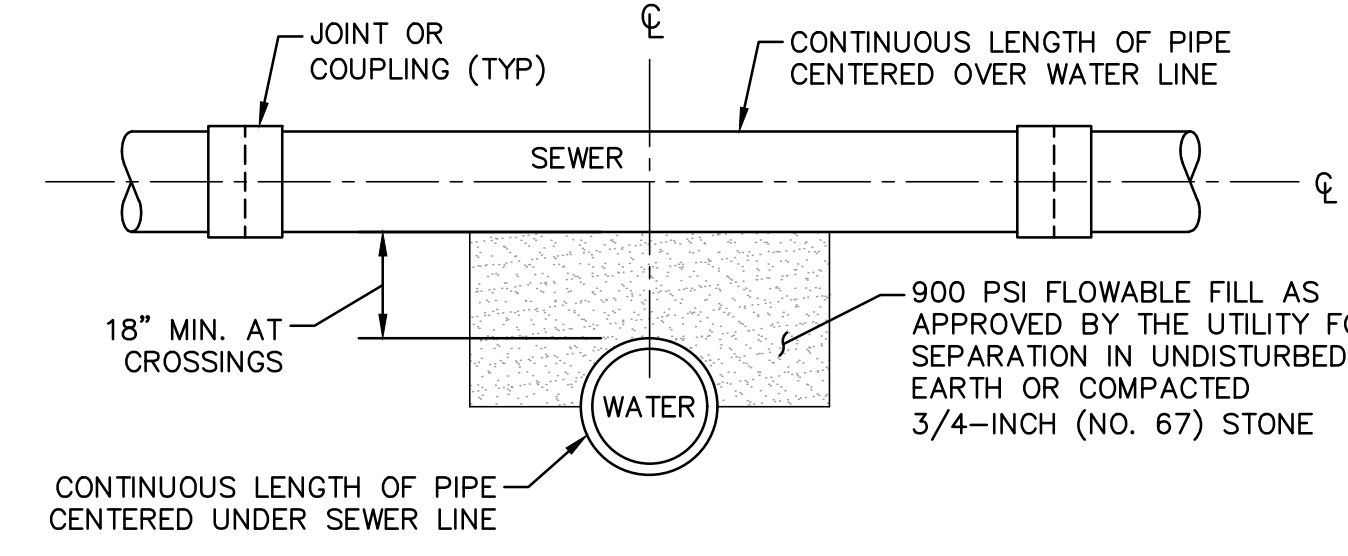
- SLEEVE AND GASKET NOTES:**
- HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF A TYPE APPROVED BY THE ENGINEER, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATERTIGHTNESS UPON AN ELASTOMERIC OR MASTIC-LIKE GASKET.
  - PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE ENGINEER AND IN GENERAL, WILL DEPEND FOR WATERTIGHTNESS UPON ELASTOMERIC SEALANT.
  - FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
  - NON-SHRINKING MORTAR SHALL ONLY BE USED WHERE SPECIFICALLY APPROVED BY THE ENGINEER.



**4 STANDARD SANITARY SEWER BRICK INVERT DETAILS**  
SCALE: NONE



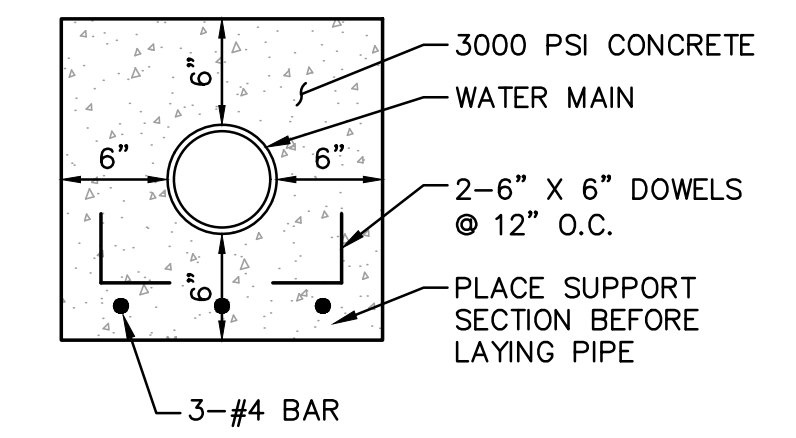
**5 INLET DROP SEWER MANHOLE DETAIL**  
SCALE: NONE



**CROSSING NOTES:**

- SEE PLAN AND PROFILE FOR CROSSING LOCATIONS,
- IF A CONTINUOUS LENGTH OF PIPE CANNOT BE CENTERED AT THE CROSSING OR IF 18" VERTICAL SEPARATION CANNOT BE ACHIEVED, THE LOWER PIPE SHALL BE INCASED IN CONCRETE 10'-0" IN EACH DIRECTION (SEE DETAIL). THE CONCRETE IS SUBSIDIARY TO THE PIPE INSTALLATION. CONTACT ENGINEER FOR DIRECTION BEFORE PROCEEDING IF THIS SITUATION IS ENCOUNTERED.

**6 WATER/SEWER PIPE CROSSING DETAIL**  
SCALE: NONE



**ENCASEMENT NOTES:**

- CONCRETE ENCASEMENT OF UTILITY PIPE WILL BE REQUIRED AS SHOWN ON THE PLANS OR WHEN UTILITY CROSSING REQUIREMENTS CANNOT BE MET.
- CONCRETE ENCASEMENT SHALL EXTEND 10'-0" MIN. ON EACH SIDE OF UTILITY CROSSING

**7 CONCRETE ENCASEMENT DETAIL**  
SCALE: NONE

06/17/20	05/21/20	03/09/20	02/20/20	01/23/20	01/08/20	12/19/19	DATE	
REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL	ISSUED FOR PLANNING BOARD APPROVAL	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING	REVISED OUTLET PROTECTION DETAIL PER ACE COMMENTS	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS	REVISION DESCRIPTION	
15	14	13	12	11	10	9	REV.	
THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF HOYLE, TANNER & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING ELECTRONICALLY, FOR ANY PROJECT OTHER THAN THE PROJECT FOR WHICH IT WAS PREPARED WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC.							CHECKED BY	
							WRD	DATE
							DRAWN BY	DATE
							SMT	JUNE 20, 2019
							DESIGNED BY	DATE
							SMT	JUNE 20, 2019
							SCALE:	AS SHOWN

**Hoyle, Tanner & Associates, Inc.**  
100 International Dr., #360, Portsmouth, NH 03801  
Tel (603) 431-6520 Fax (603) 431-8067 Web: www.hoyletanner.com  
© Copyright 2020 Hoyle, Tanner & Associates, Inc.

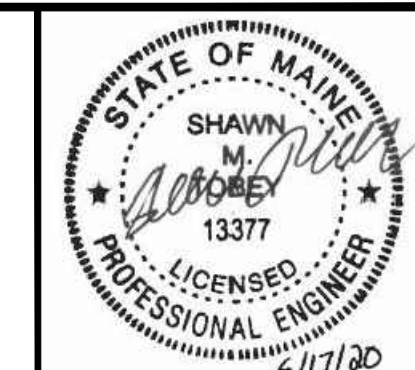
APPLICANT AZTEC, LLC ONE CITY CENTER, P.O. BOX 9546 PORTLAND, ME 04112	PROJECT PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT TAX MAP LOTS 6-15B, 6-16A & 13-4 76 DENNETT ROAD, KITTERY, ME 03904
---	---

CONSTRUCTION DETAILS 4  
**C24**  
PROJECT NO. 569200  
SHEET 24 OF 28









DATE	REVISION DESCRIPTION
06/17/20	ISSUED FOR PLANNING BOARD APPROVAL
05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACE COMMENTS
12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

REV.	DATE	CHECKED BY	DRAWN BY
15		WRD	SMT
14			SMT
13			SMT
12			SMT
11			SMT
10			SMT
9			SMT

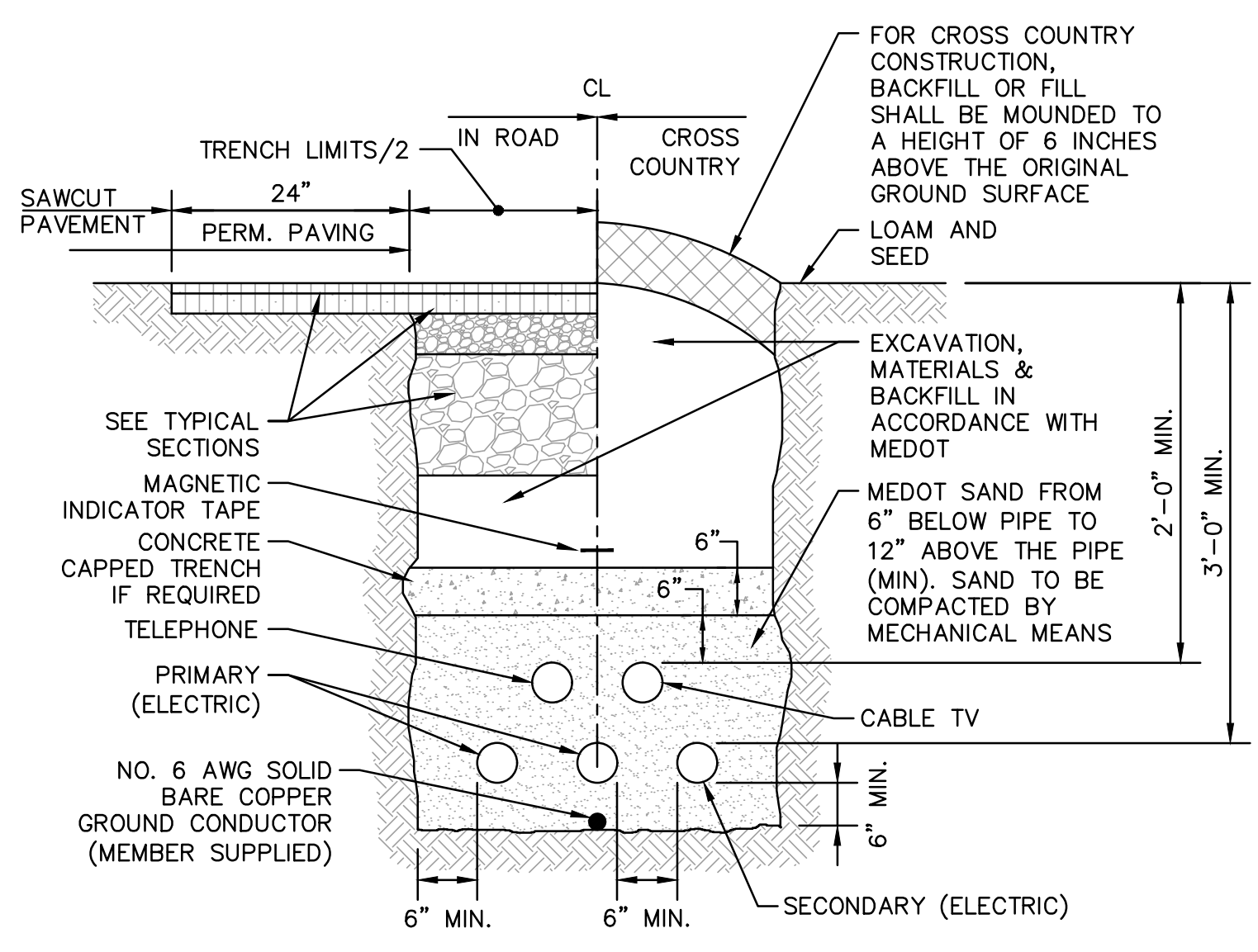
THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF HOYLE, TANNER, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY MANNER, INCLUDING ELECTRONICALLY, FOR ANY PROJECT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER, INC.

Hoyle, Tanner & Associates, Inc.  
 100 International Dr., #360, Portsmouth, NH 03801  
 Tel (603) 431-2520 Fax (603) 431-8067 Web: www.foyletanner.com  
 © Copyright, 2020 Hoyle, Tanner & Associates, Inc.

APPLICANT: AZTEC, LLC  
 ONE CITY CENTER, P.O. BOX 9546  
 PORTLAND, ME 04112

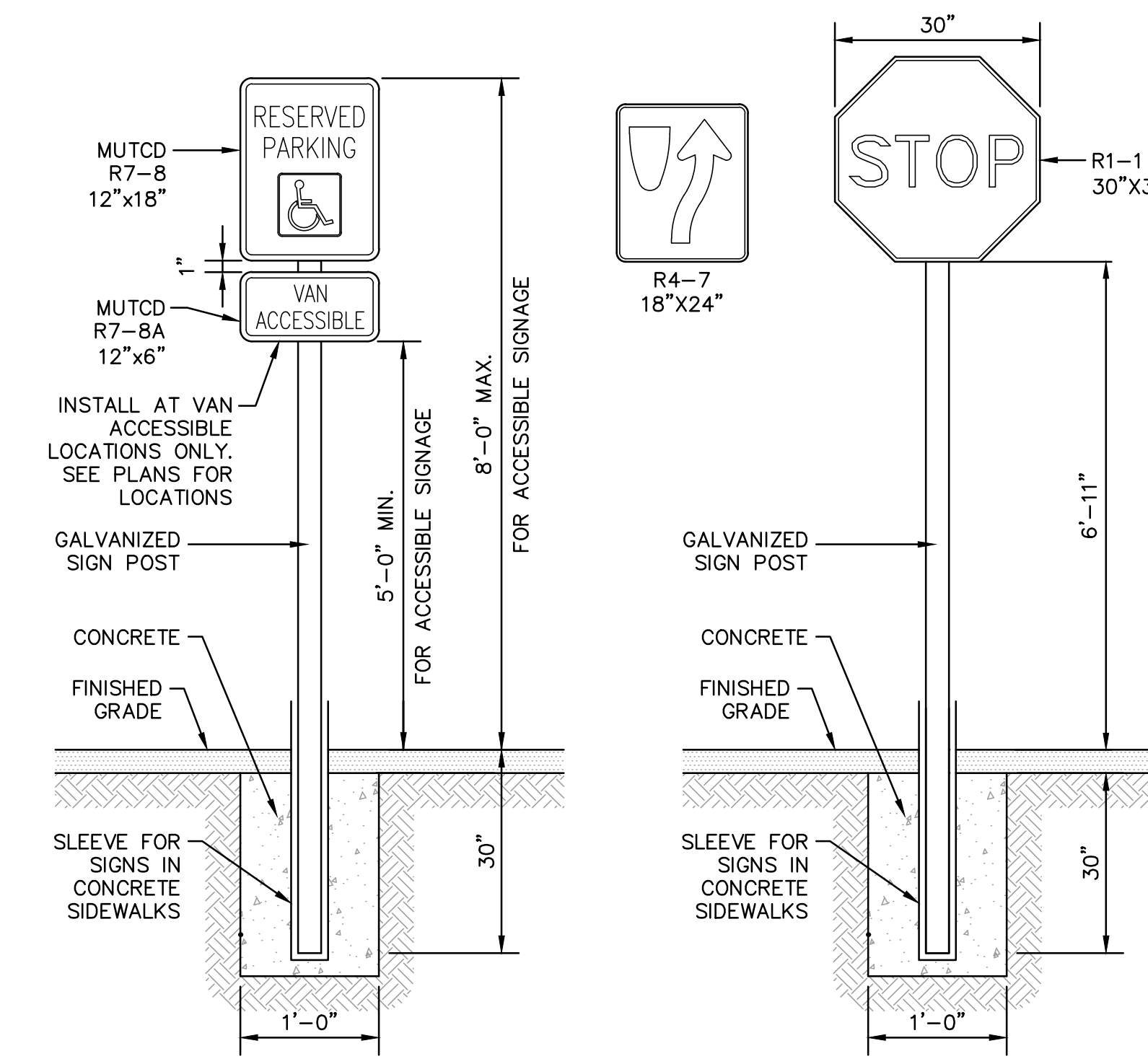
PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
 TAX MAP LOTS 6-15B, 6-16A & 13-4  
 76 DENNETT ROAD, KITTERY, ME 03904

CONSTRUCTION DETAILS 6  
**C26**  
 PROJECT NO. 569200  
 SHEET 26 OF 28



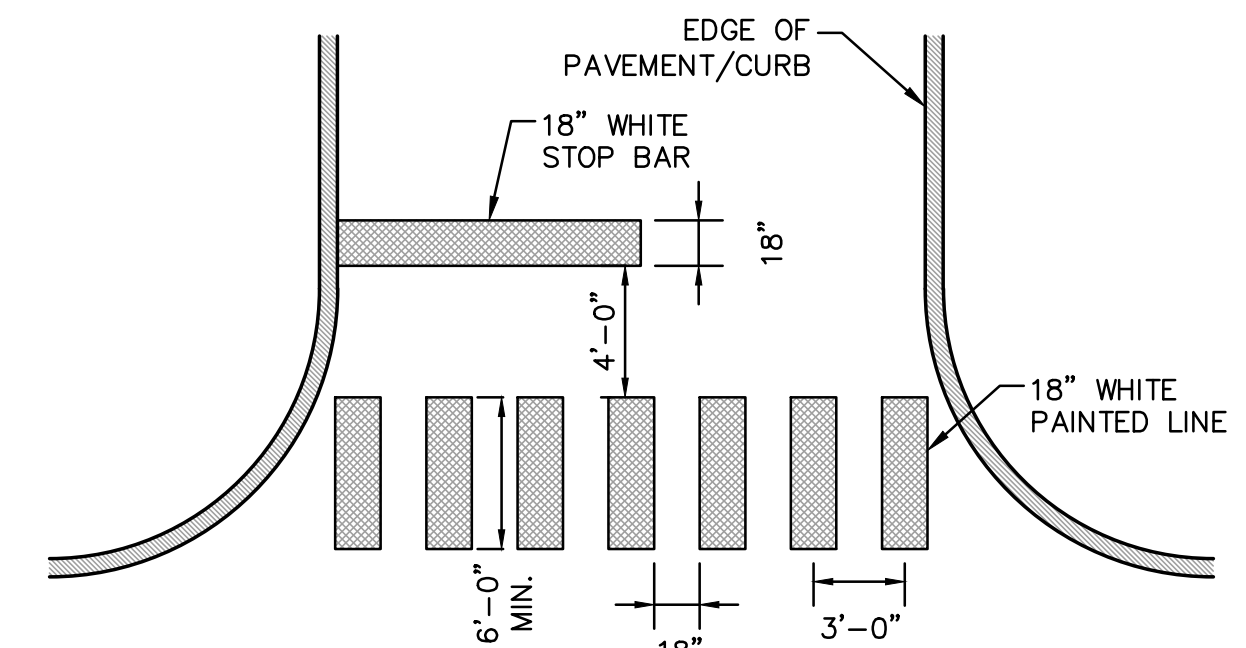
- TRENCH NOTES:**
- COORDINATE TRENCH DETAIL WITH ALL UTILITY OWNERS.
  - ELECTRICAL CONDUIT SHALL BE SCHEDULE 40 PVC
  - ALL PVC CONDUIT JOINTS SHALL BE CEMENTED.
  - A SUITABLE PULL CABLE, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE ELECTRICAL CONDUIT.
  - COORDINATE SIZE AND NUMBER OF CONDUIT WITH UTILITY OWNER.
  - DEPTH OF CONDUIT SHALL BE 36" TO INVERT.
  - TRENCH WIDTH AS REQUIRED TO MAINTAIN 6" MINIMUM SPACING BETWEEN ALL CONDUITS AND TRENCH SIDEWALLS.

**1 PRIMARY CIRCUIT W/ TELEPHONE AND/OR CABLE TV ELEC. TRENCH**  
 SCALE: NONE



- SIGN NOTES:**
- ALL SIGNAGE SHALL BE IN CONFORMANCE WITH THE CURRENT EDITION OF THE M.U.T.C.D.
  - ACCESSIBLE PARKING SIGN TO BE INSTALLED AT HEAD OF ALL DESIGNATED PARKING SPACES.
  - SIGNS IN CONCRETE AREAS SHALL BE INSTALLED WITH AN ANCHOR SLEEVE.
  - REFER TO SITE PLANS FOR TYPE OF SIGN AND SIGN INSTALLATION LOCATIONS.

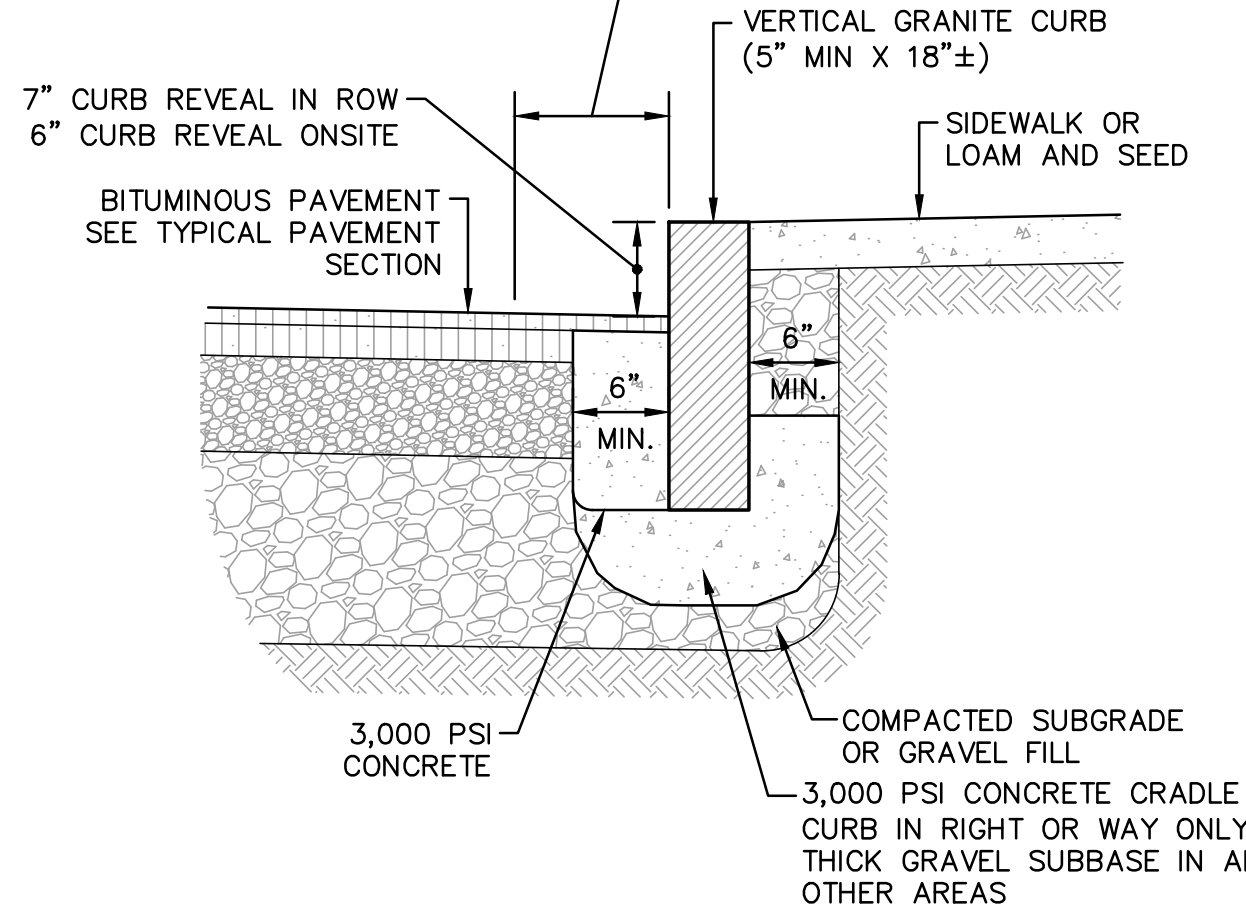
**2 TYPICAL SIGN MOUNTING DETAILS**  
 SCALE: NONE



- CROSSWALK NOTES:**
- CROSSWALK LINES SHALL BE CENTERED TO AVOID WHEEL MARKS.
  - ALL CROSSWALK LINES TO BE SAME LENGTH AND PROPERLY ALIGNED.
  - SEE PLANS FOR THE CROSSWALK LOCATIONS.

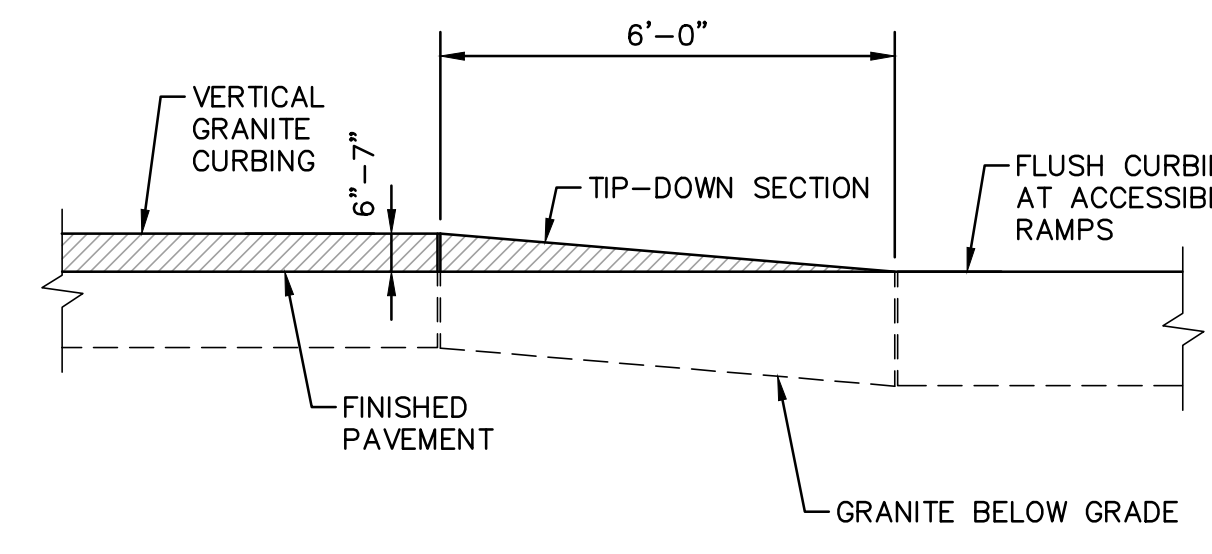
**3 PAINTED CROSSWALK DETAIL**  
 SCALE: NONE

RADIUS	MAX LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'



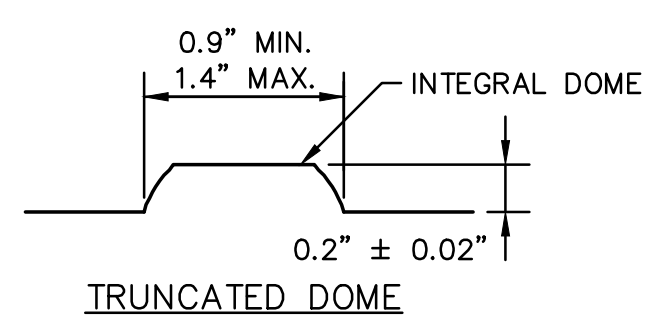
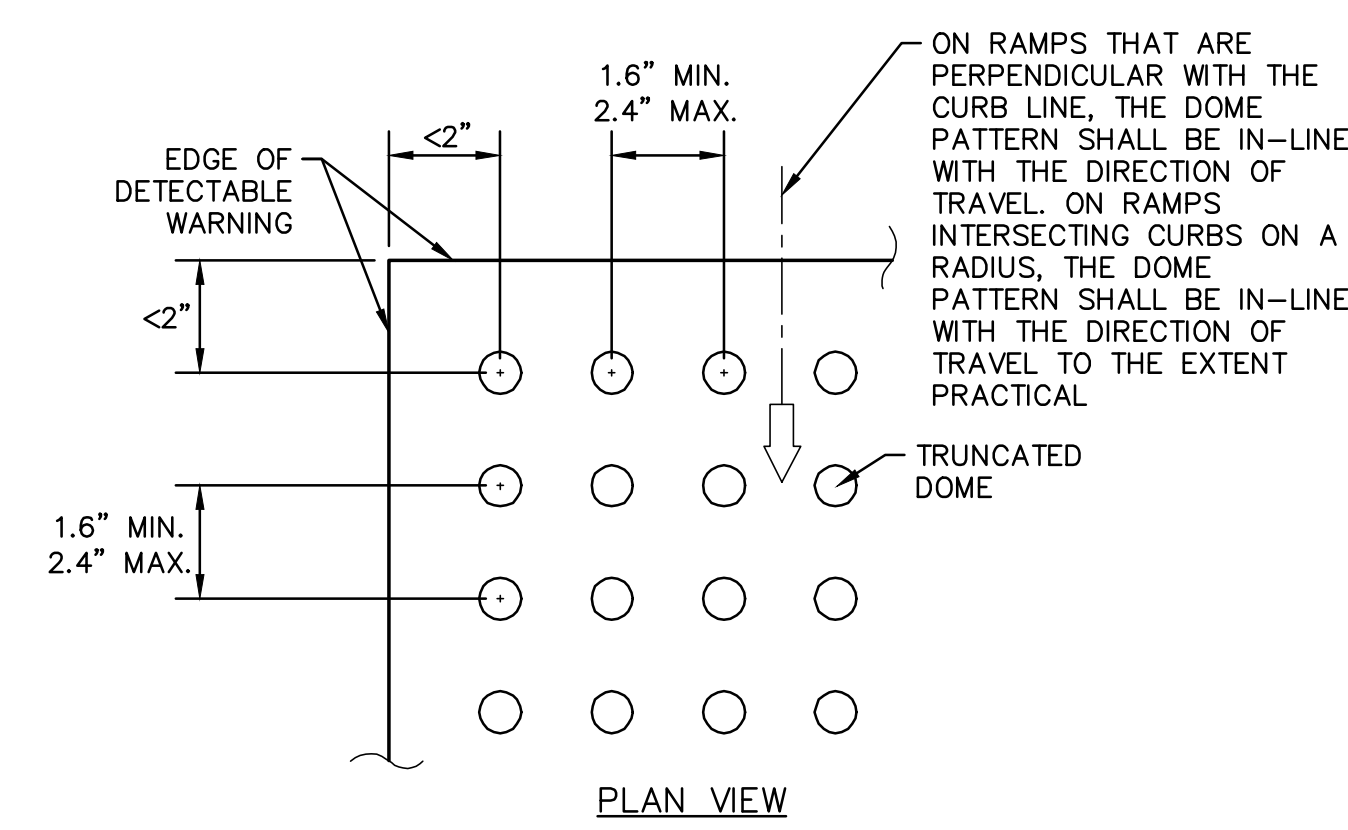
- VERTICAL GRANITE CURB NOTES:**
- MINIMUM LENGTH OF CURB STONES - 3'
  - MAXIMUM LENGTH OF CURB STONES - 10'
  - MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.
  - ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
  - CURB ENDS TO BE TIPPED DOWN.

**4 VERTICAL GRANITE CURB DETAIL**  
 SCALE: NONE



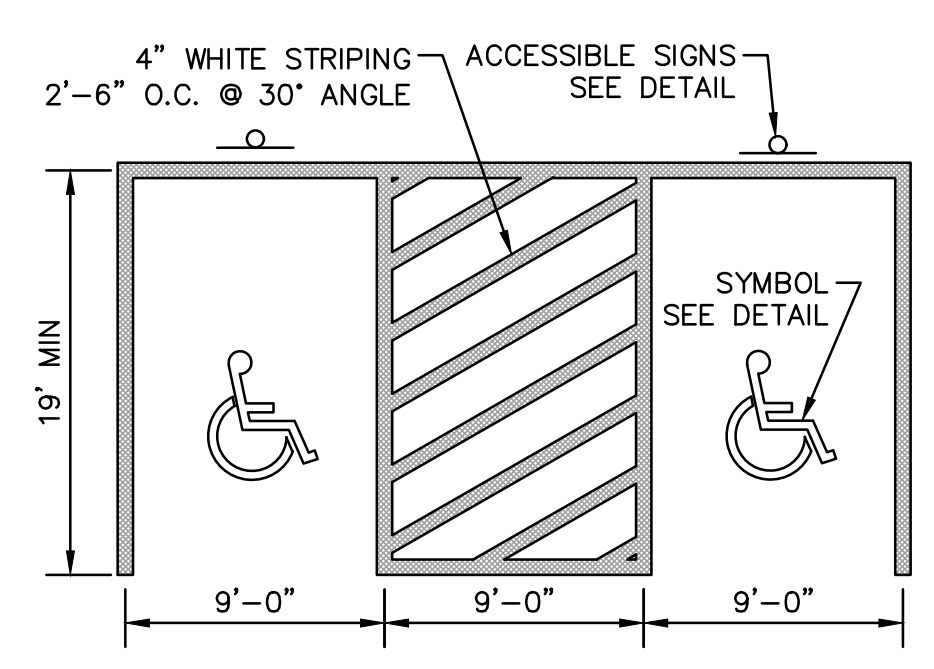
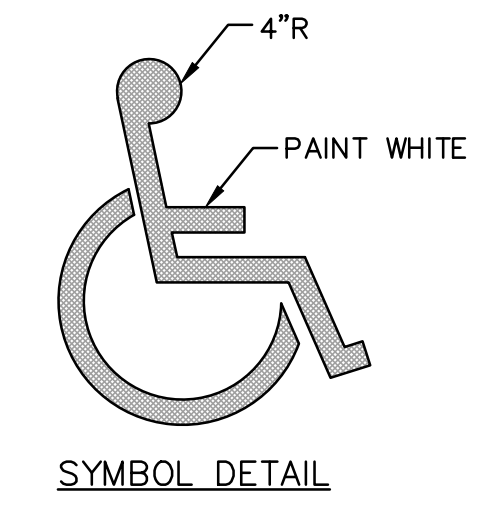
- NOTE:**
- REFER TO SITE PLANS FOR CURB TIP-DOWN LOCATIONS

**5 VERTICAL GRANITE TIP-DOWN DETAIL**  
 SCALE: NONE



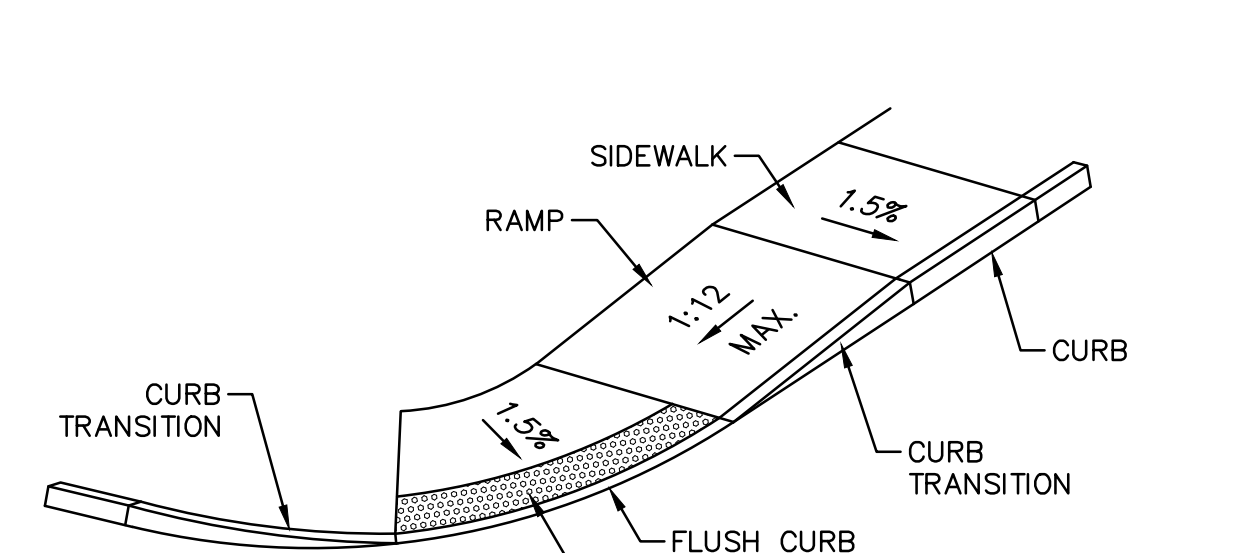
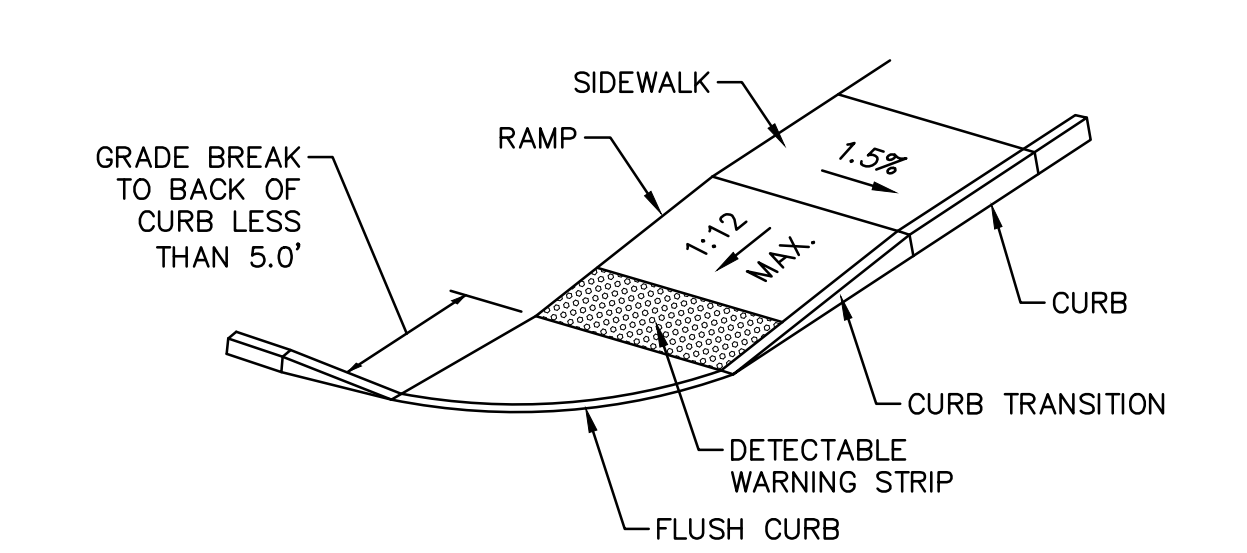
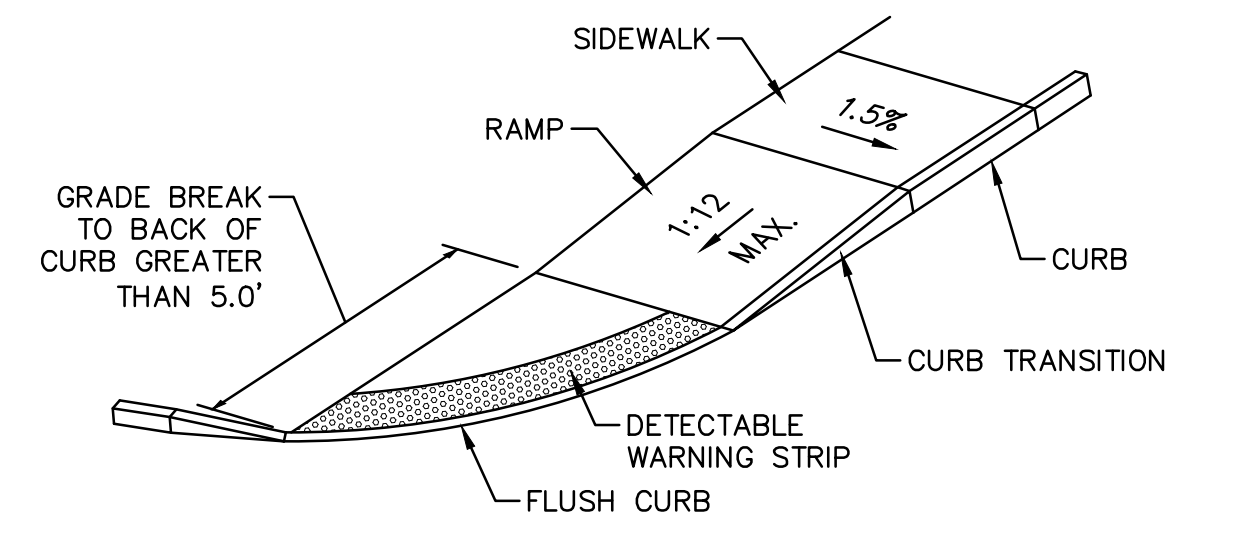
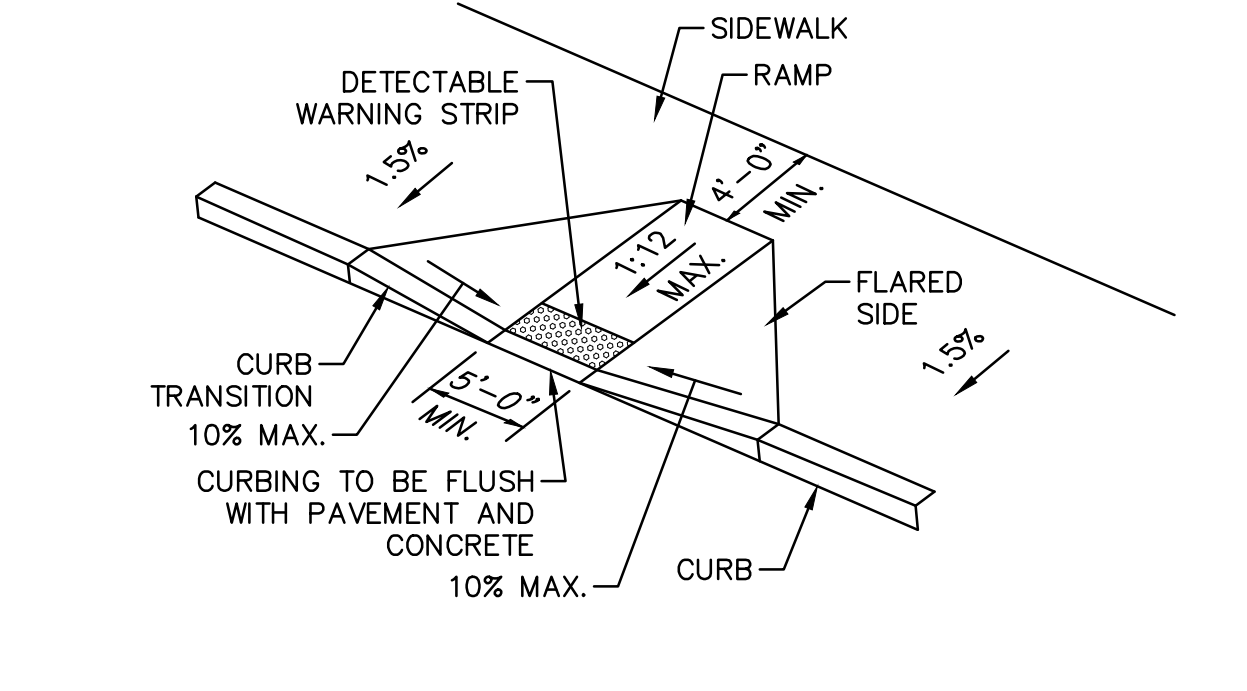
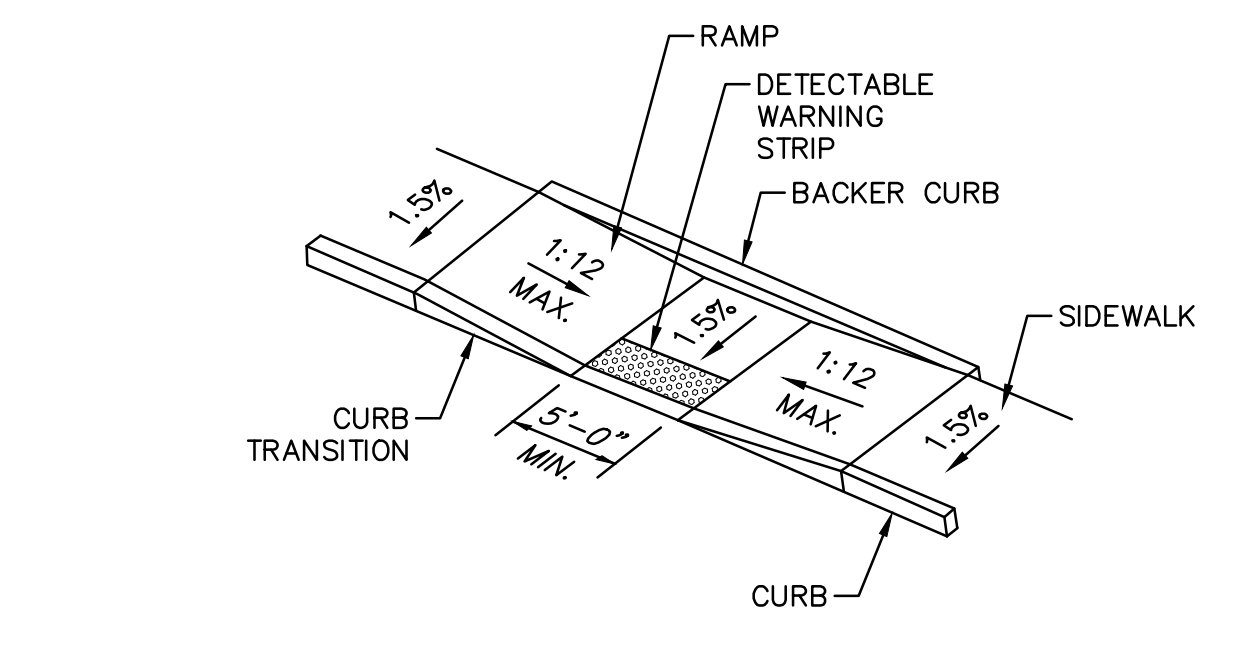
- DETECTABLE WARNING NOTES:**
- BASE-TO-BASE SPACING SHALL BE 0.65" MINIMUM BETWEEN DOMES.
  - ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24 INCHES FROM THE BACK OF CURB.
  - THE TOP WIDTH OF THE DOME SHALL BE A MINIMUM OF 50% AND A MAXIMUM OF 65% OF THE BASE DIAMETER.
  - WARNING PANELS TO BE CAST IRON.

**6 TYPICAL DETECTABLE WARNING DETAILS**  
 SCALE: NONE



- STALL LAYOUT NOTES:**
- ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THESE STANDARDS AND THE CURRENT EDITION OF MUTCD.
  - WIDTH OF LINES SHALL VARY NO MORE THAN ± 1/4 INCH FROM THAT SPECIFIED.
  - THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 20 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED. OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.
  - BROKEN LINES SHALL BEGIN AND END WITH THE NEAREST FULL CYCLE OF BROKEN LINE.
  - SOLID LONGITUDINAL LINES SHALL BEGIN AND END WITHIN ± 2 INCHES OFF A LAYOUT SYMBOL INDICATING THE END OF THE LINE, OR WITH A FULL CYCLE OF BROKEN LINE (IF APPROPRIATE).

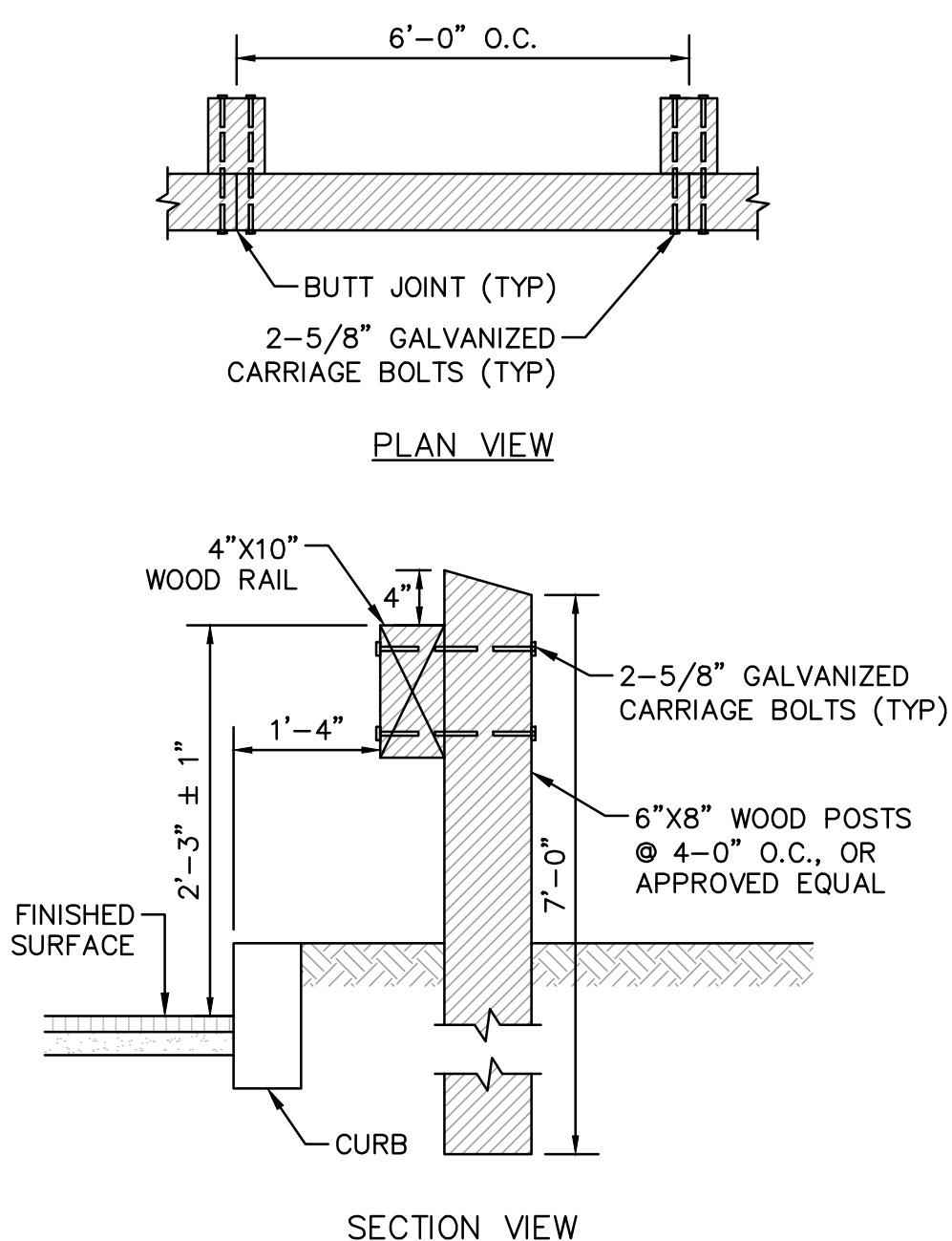
**7 ACCESSIBLE PARKING STALL LAYOUT**  
 SCALE: NONE



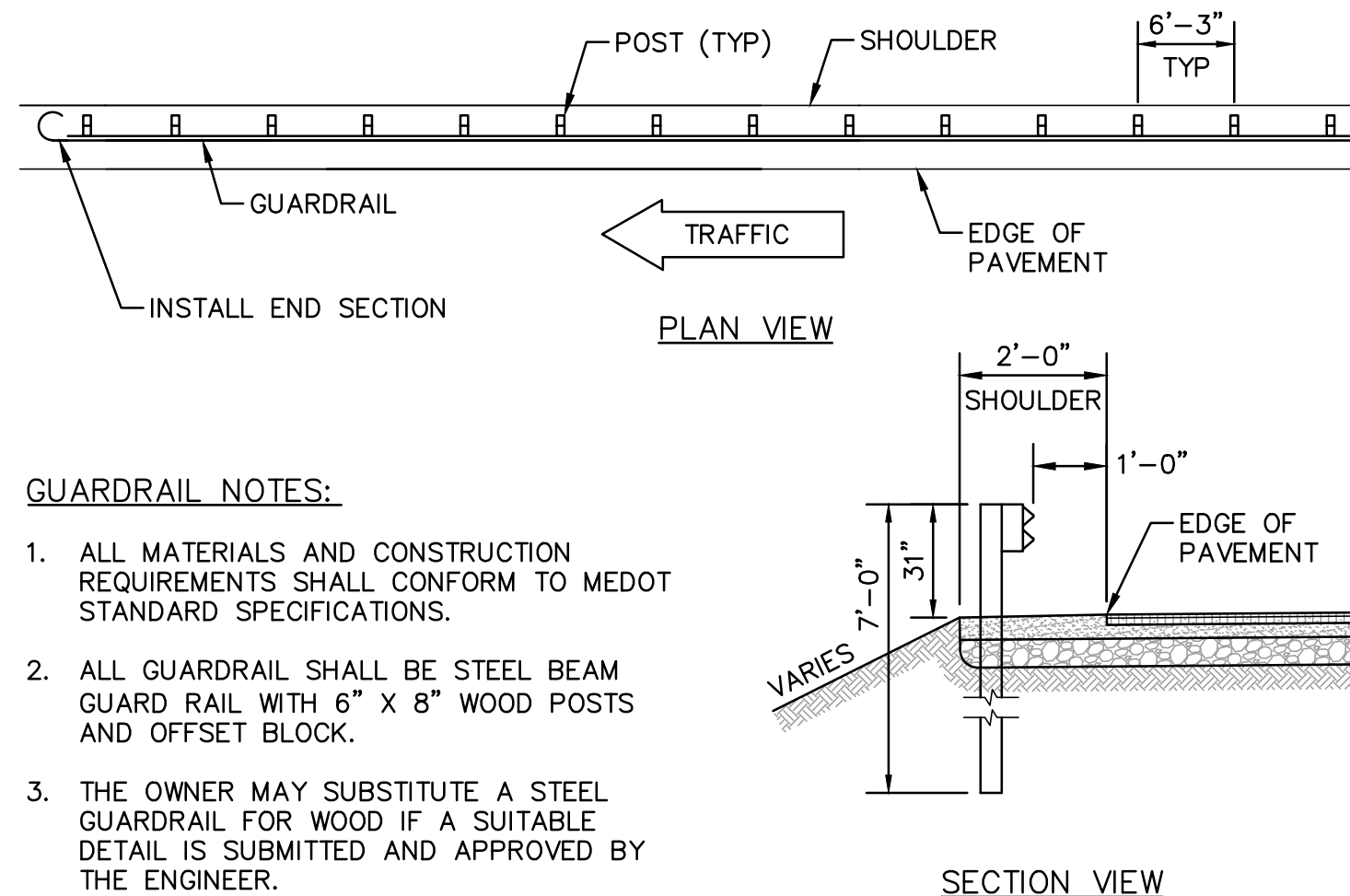
- SIDEWALK RAMP NOTES:**
- THE MAXIMUM ALLOWABLE SIDEWALK AND TIP-DOWN RAMP CROSS SLOPE SHALL BE 2.0% (1% MIN.)
  - THE MAXIMUM ALLOWABLE SLOPE OF THE ACCESSIBLE ROUTE EXCLUDING TIP-DOWN RAMPS SHALL BE 5%.
  - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT TIP-DOWN RAMPS SHALL BE 1:12 (8.3%).
  - FLARED SIDE SLOPES SHALL BE INSTALLED WITH A MAXIMUM SLOPE OF 10% MEASURED PARALLEL TO THE CURB LINE.
  - A MINIMUM OF 4 FEET CLEARANCE SHALL BE PROVIDED BETWEEN ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE.
  - RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  - AN ADA DETECTABLE WARNING TRUNCATED DOME PANEL FINISH SHALL TRANSVERSE THE SLOPE OF THE TIP-DOWN RAMP. DETECTABLE WARNING PANELS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.
  - CURBING SHALL BE SET FLUSH WHERE TIP-DOWN RAMP ABUTS PAVEMENT.
  - MAINTAIN THE NORMAL GUTTER PROFILE THROUGHOUT THE RAMP AREA. INTERCEPT DRAINAGE ALONG THE CURB IN ADVANCE OF THE RAMP.

**8 ACCESSIBLE TIP-DOWN RAMPS**  
 SCALE: NONE

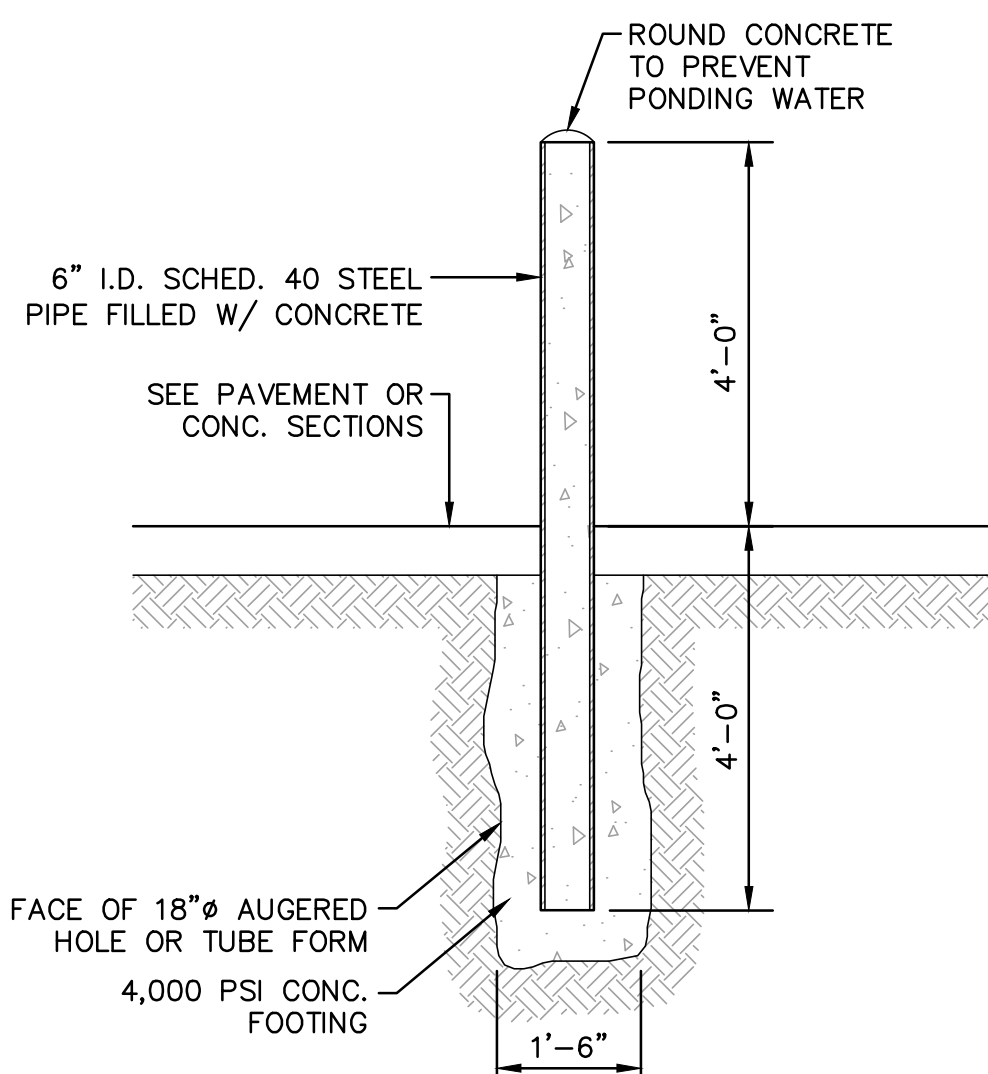




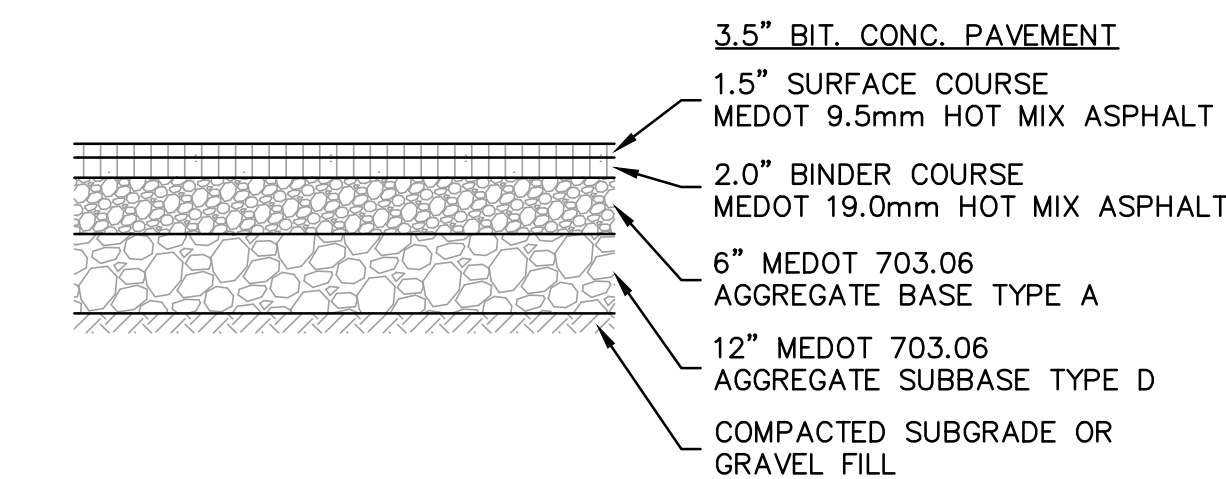
1 WOOD GUARDRAIL DETAIL  
SCALE: NONE



3 STEEL FACE WOOD POST GUARDRAIL  
SCALE: NONE



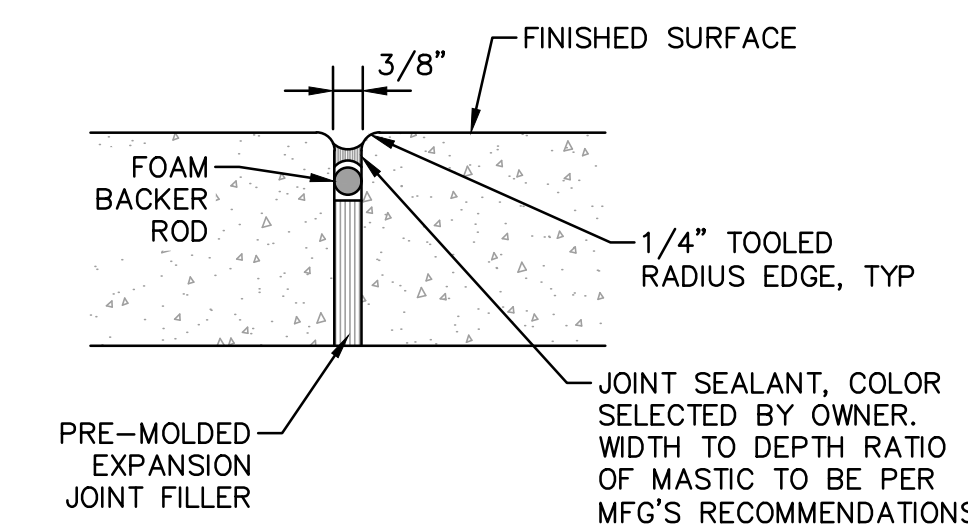
5 STEEL PIPE BOLLARD DETAIL  
SCALE: NONE



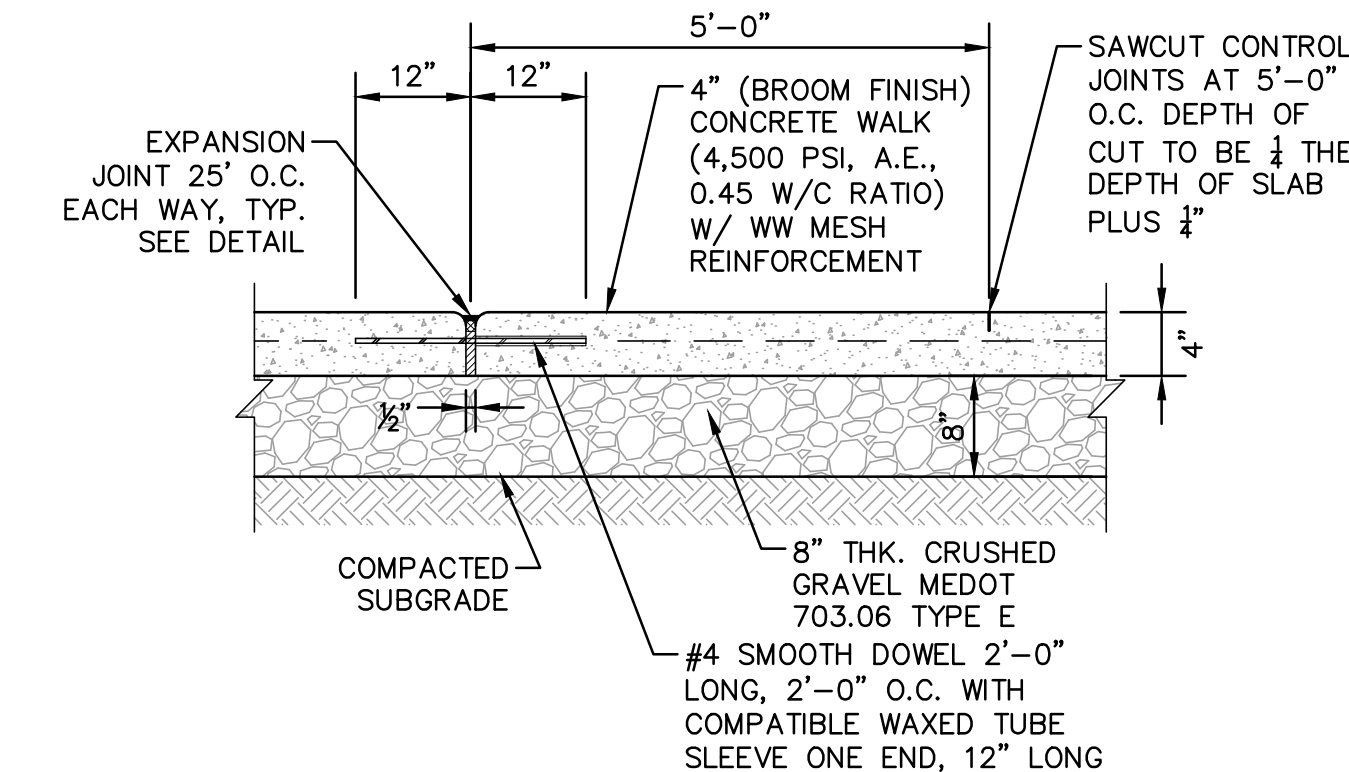
PAVEMENT NOTES:

1. THE BASE AND SUBBASE MATERIALS SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THEIR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.
2. HOT MIX ASPHALT PAVEMENT SHOULD BE COMPACTED TO 92 TO 97 PERCENT OF ITS THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D-2042.
3. A TACK COAT SHOULD BE USED BETWEEN SUCCESSIVE LIFTS OF BITUMINOUS PAVEMENT

6 TYPICAL SITE PAVEMENT SECTION  
SCALE: NONE



EXPANSION JOINT DETAIL

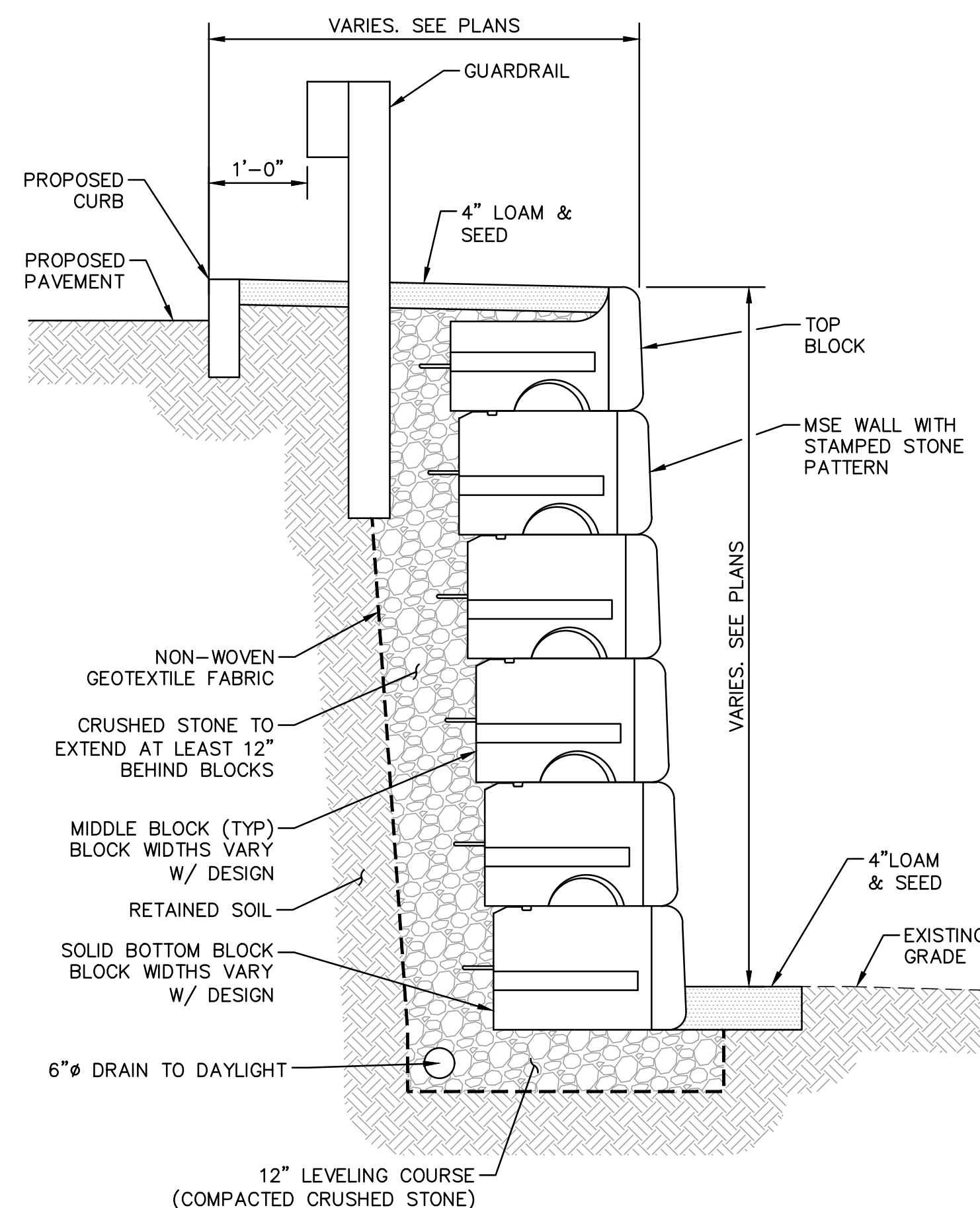


TYPICAL SECTION

CONCRETE WALKWAY NOTES:

1. THE CONTRACTOR SHALL INSTALL EXPANSION JOINTS EVERY 25'-0" ON CENTER AND CONTROL JOINTS AT 5'-0" ON CENTER.
2. THE CONTROL JOINTS SHALL BE SAWCUT AS SHOWN IN THE DETAIL ABOVE OR TOOLED CONTROL JOINTS WITH A 1/4" RADIUS.

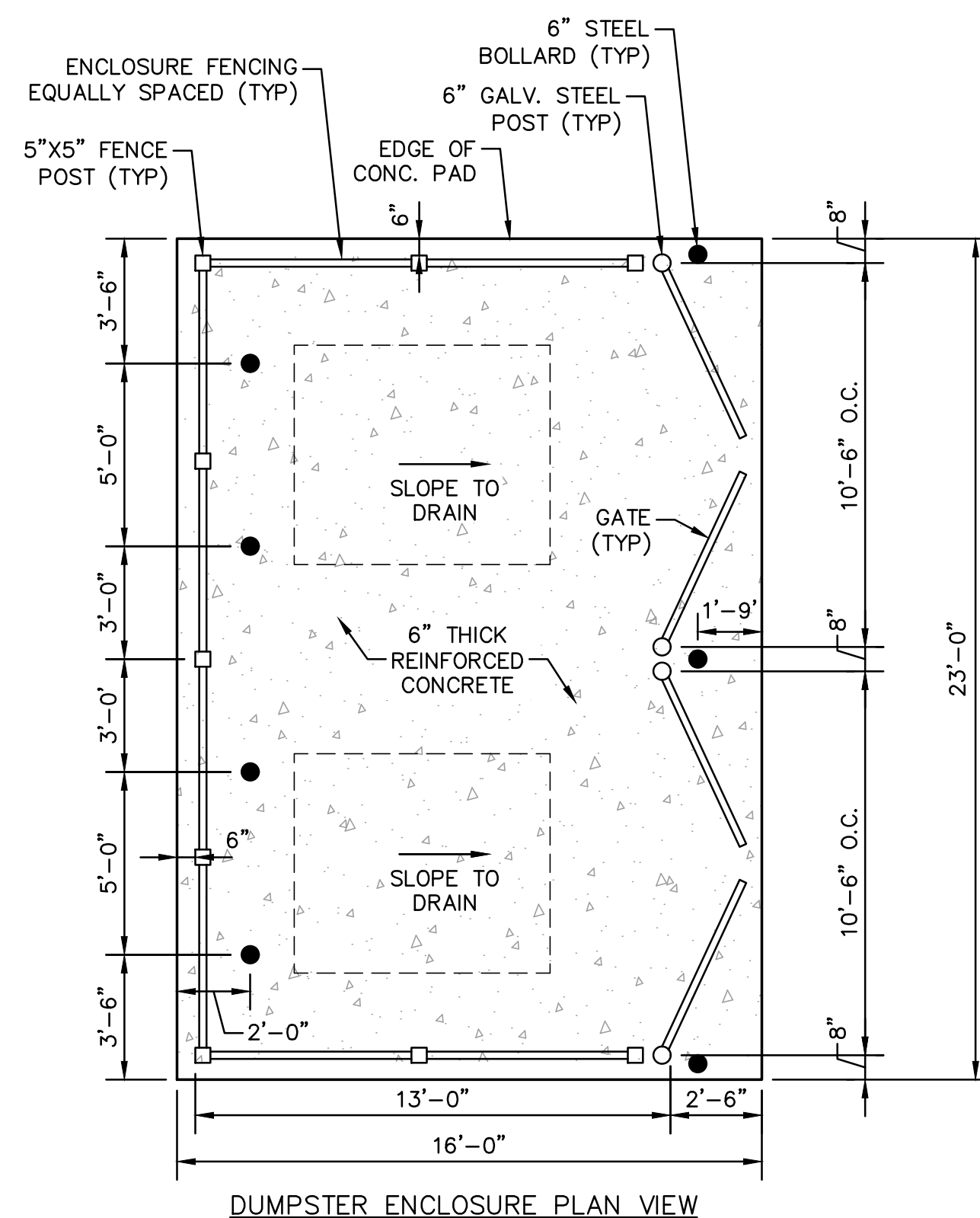
7 TYPICAL CONCRETE WALKWAY DETAIL  
SCALE: NONE



WALL NOTES:

1. THIS DETAIL IS FOR REFERENCE ONLY. DETERMINATION OF THE SUITABILITY AND/OR MANNER OF USE OF ANY DETAILS CONTAINED IN THIS DOCUMENT IS THE SOLE RESPONSIBILITY OF THE WALL MANUFACTURER. FINAL WALL DESIGNS, INCLUDING ALL CONSTRUCTION DETAILS, SHALL BE PREPARED BY THE WALL MANUFACTURER'S LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE.
1. THE WALL DESIGN AND SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL COORDINATE WITH GUARDRAIL MANUFACTURER FOR MINIMUM DISTANCE BETWEEN GUARDRAIL AND RETAINING WALL.

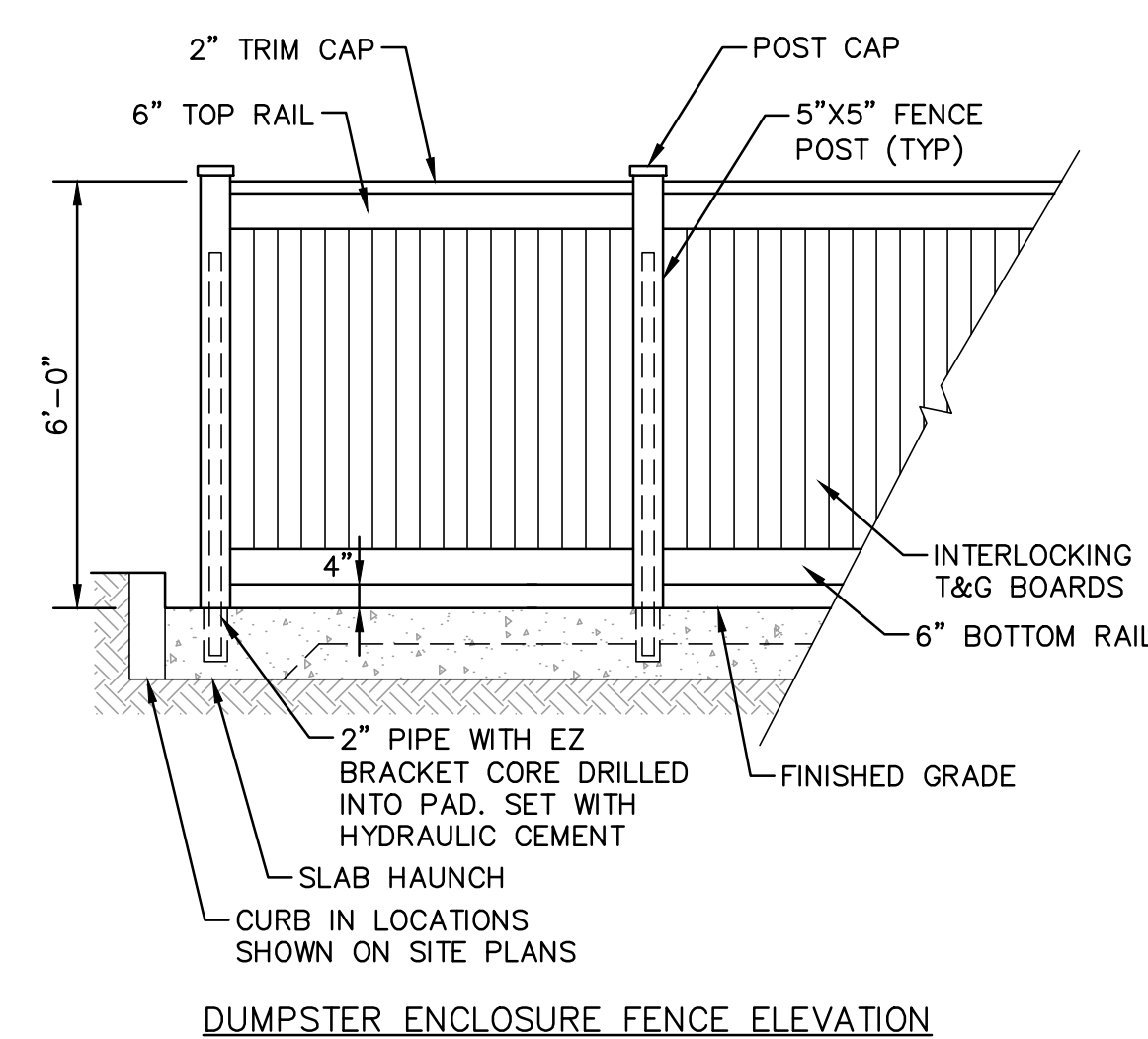
2 TYPICAL MSE GRAVITY BLOCK RETAINING WALL SECTION  
SCALE: NONE



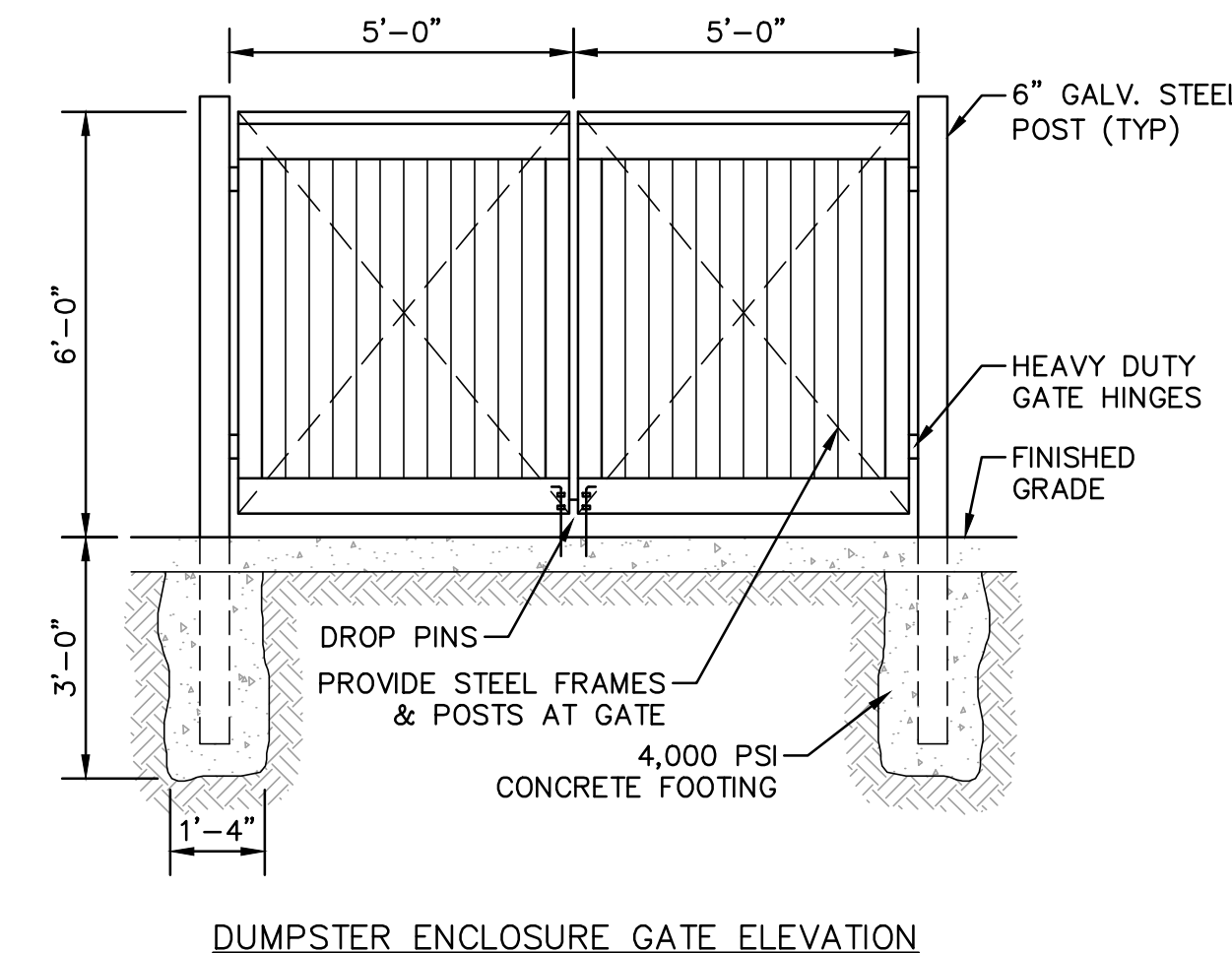
DUMPSTER ENCLOSURE NOTES:

1. THE CONTRACTOR SHALL SUBMIT A FENCING & GATE DETAIL FOR OWNER APPROVAL PRIOR TO ENCLOSURE CONSTRUCTION.
2. FENCING MATERIAL SHALL BE PAINTED WOOD OR VINYL. COLOR TO BE OFF WHITE OR MATCH BUILDING ACCENT COLORS.
3. DUMPSTER GATES SHALL MATCH FENCING MATERIAL.
4. ALL ENCLOSURE HARDWARE INCLUDING HINGES, LATCHES, DROP PINS & FASTENERS SHALL BE HEAVY DUTY COMMERCIAL GRADE WITH A WEATHER RESISTANT COATING. HARDWARE COLOR SHALL BE BLACK OR MATCH BUILDING ACCENT COLORS.

4 DOUBLE DUMPSTER PAD ENCLOSURE DETAIL  
SCALE: NONE

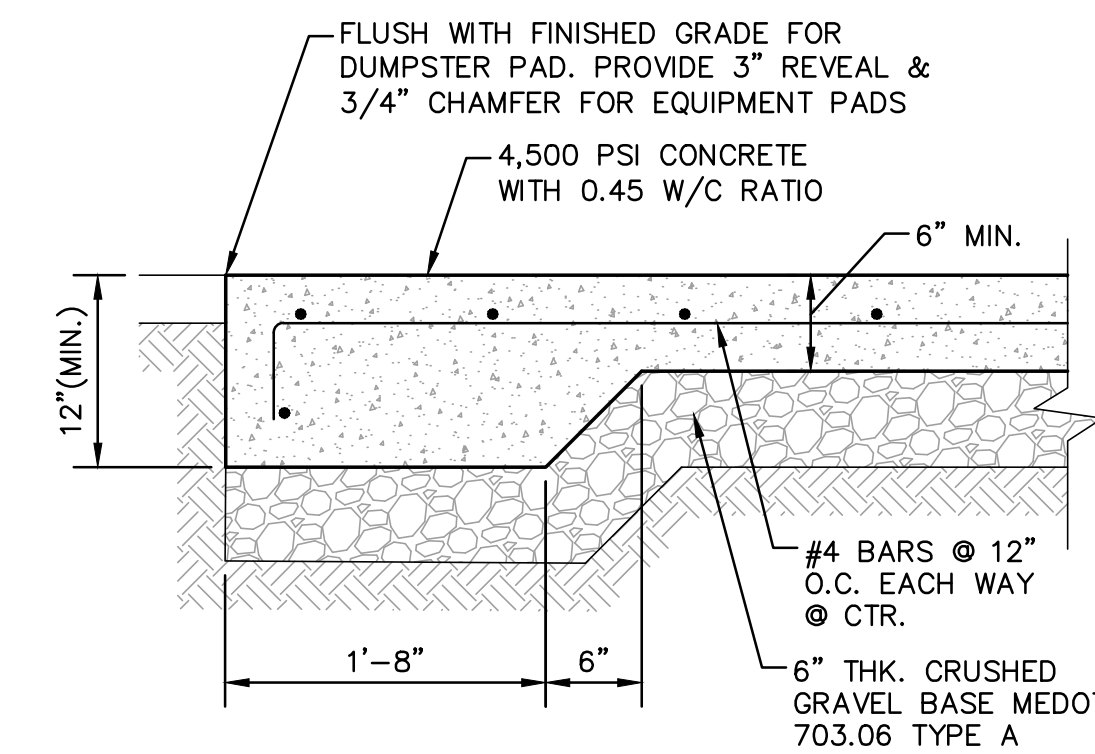


DUMPSTER ENCLOSURE FENCE ELEVATION



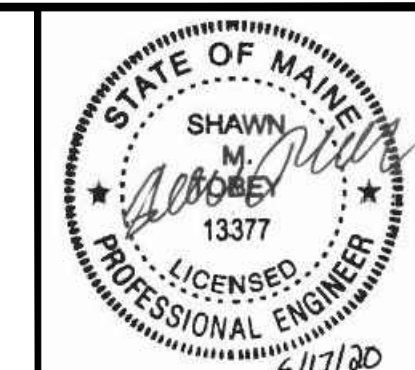
DUMPSTER ENCLOSURE GATE ELEVATION

8 TYPICAL DUMPSTER PAD & EQUIPMENT PAD DETAIL  
SCALE: NONE



PAD NOTE:

1. REFER TO SITE PLANS FOR DUMPSTER & EQUIPMENT PAD DIMENSIONS.

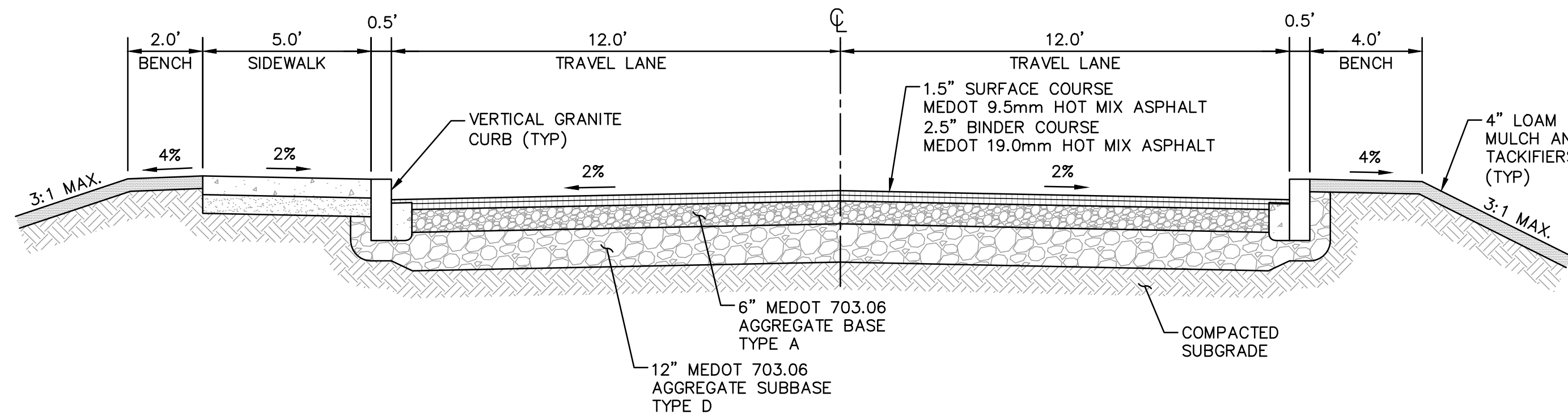


NO.	DATE	REVISION DESCRIPTION
06/17/20		ISSUED FOR PLANNING BOARD APPROVAL
05/21/20		ISSUED FOR PLANNING BOARD APPROVAL
03/09/20		REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
02/20/20		ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
01/23/20		ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
01/08/20		REVISED OUTLET PROTECTION DETAIL PER ACE COMMENTS
12/19/19		ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS
		DATE

THIS DOCUMENT IS PREPARED AS A SERVICE AND THE USER ASSUMES ALL LIABILITY FOR USE. HOYLE, TANNER & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT. DRAWN BY: SMT. CHECKED BY: WRD. DESIGNED BY: SMT. ORIGINAL DATE: JUNE 20, 2019. SCALE: AS SHOWN.

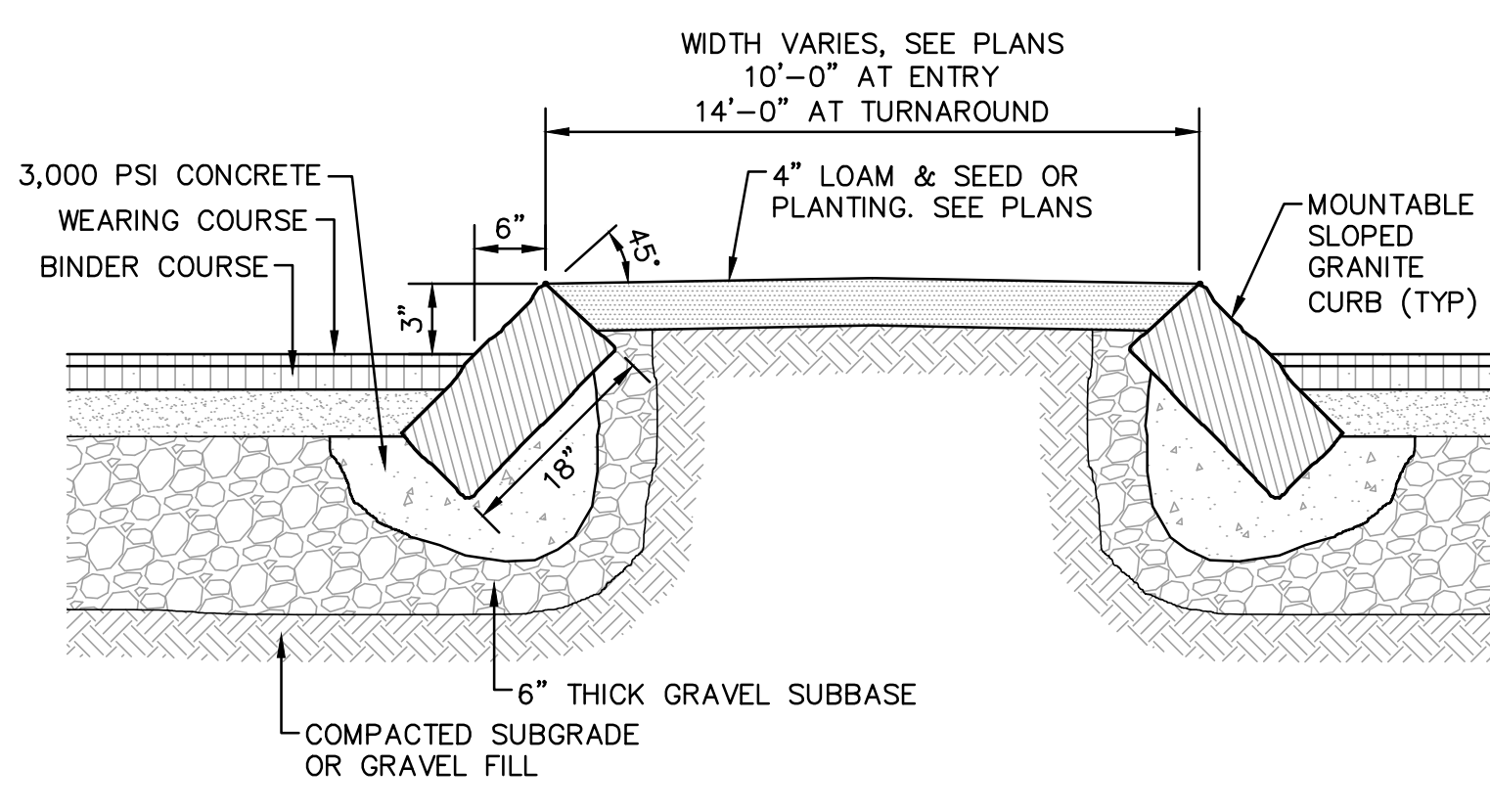
APPLICANT: AZTEC, LLC, ONE CITY CENTER, P.O. BOX 9546, PORTLAND, ME 04112. PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT. TAX MAP LOTS 6-15B, 6-16A & 13-4, 76 DENNETT ROAD, KITTERY, ME 03904.





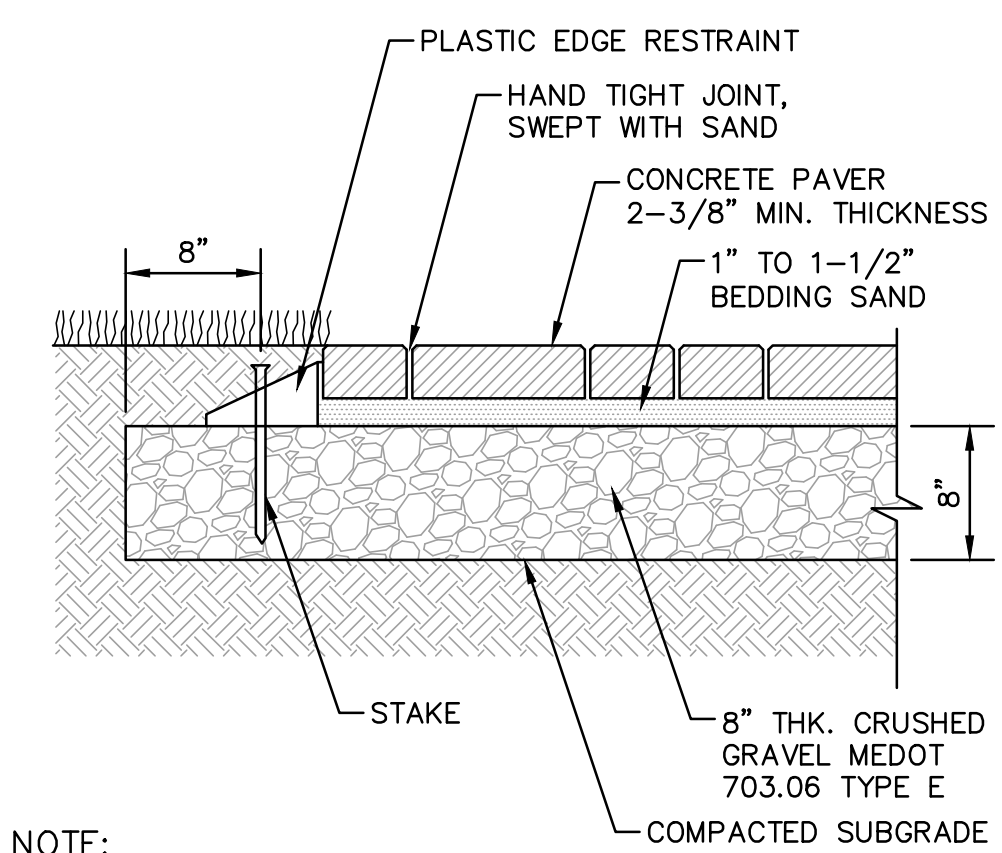
- ACCESS DRIVE NOTES:**
1. THE TRAVEL LANE WIDTHS WIDEN AT THE SIDE ENTRANCE. REFER TO SITE PLANS C8 & C9 FOR DETAILS.
  2. THE PAVEMENT THICKNESS FOR THE SITE ACCESS DRIVE BETWEEN STATION 0+19.8 AND 9+67.4 SHALL BE 4" AS SHOWN IN DETAIL 1/C26.
  3. ONSITE DRIVE AISLES, TURNAROUND AND PARKING SPACES SHALL BE 3.5" AS SHOWN IN DETAIL 4/C26.

**1 TYPICAL ONSITE ACCESS DRIVE SECTION**  
SCALE: NONE



- SLOPED GRANITE CURB NOTES:**
1. MINIMUM LENGTH OF CURB STONES - 3'
  2. MAXIMUM LENGTH OF CURB STONES - 10'
  3. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.
  4. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.

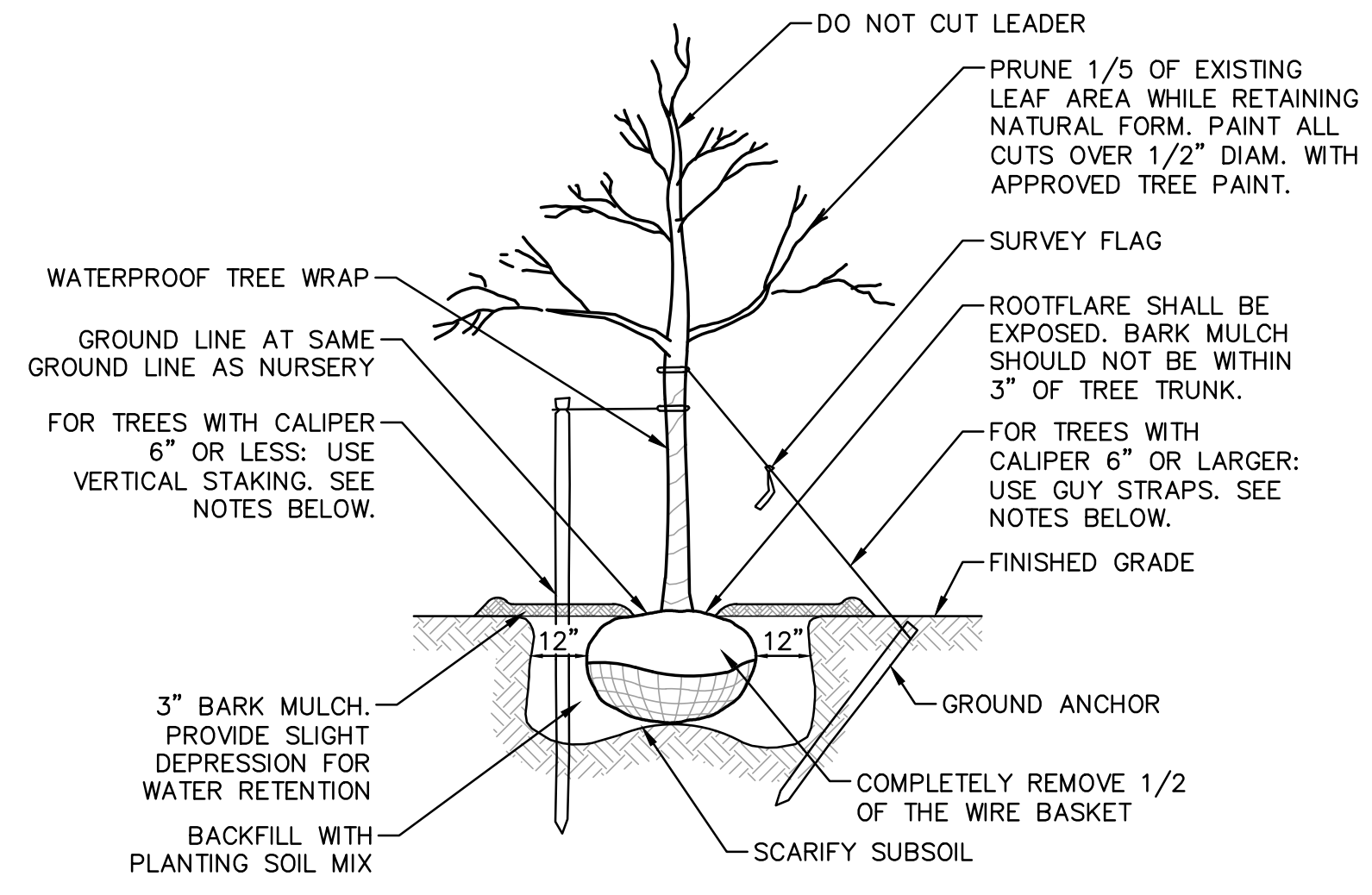
RADIUS	MAX LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'



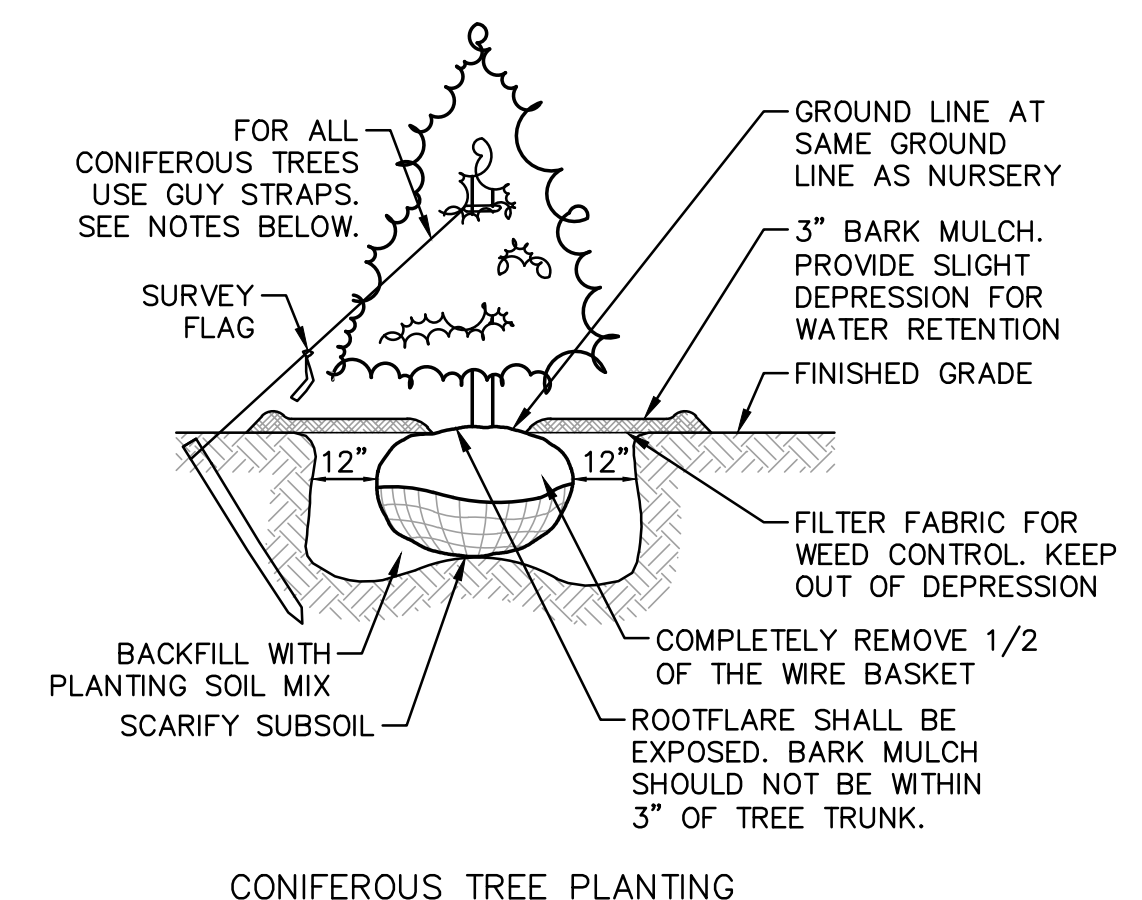
- NOTE:**
1. FINAL PAVER STYLE AND COLOR TO BE CHOSEN BY OWNER.
  2. THE CONTRACTOR SHALL PROVIDE A PAVER SUBMITTAL FOR OWNER APPROVAL PRIOR TO ENCLOSURE CONSTRUCTION.

**2 SLOPED GRANITE CURB & ISLAND DETAIL**  
SCALE: NONE

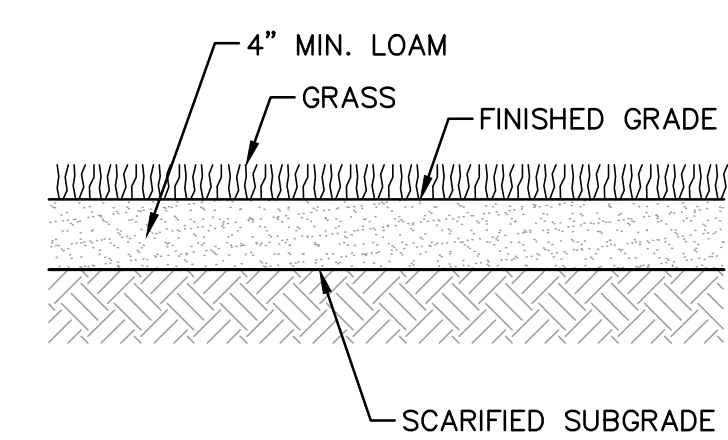
**3 CONCRETE PAVER SETTING DETAIL**  
SCALE: NONE



- NOTE:**
1. REMOVE ALL TREE STAKING & GUY STRAPS AFTER TWO GROWING SEASONS.
- DECIDUOUS TREES GREATER THAN 6" CALIPER & ALL CONIFEROUS:**
1. PROVIDE (3) WIDE WOVEN POLYPROPYLENE GUY STRAPS @ 120 DEGREE SPACING.
  2. ATTACH TO TREE @ 1/2-2/3 HEIGHT OF TREE ABOVE GRADE.
  3. ANCHOR WITH 2"x3" HARDWOOD STAKE BURIED BELOW GRADE AND CLEAR OF ROOT BALL.
- DECIDUOUS TREES LESS THAN 6" CALIPER:**
1. PROVIDE (3) 2"x3" HARDWOOD STAKES @ 120 DEGREE SPACING, MIN. 36" IN GROUND AND CLEAR OF ROOT BALL.
  2. ATTACHED TO TREE WITH WIDE WOVEN POLYPROPYLENE STRAPS.

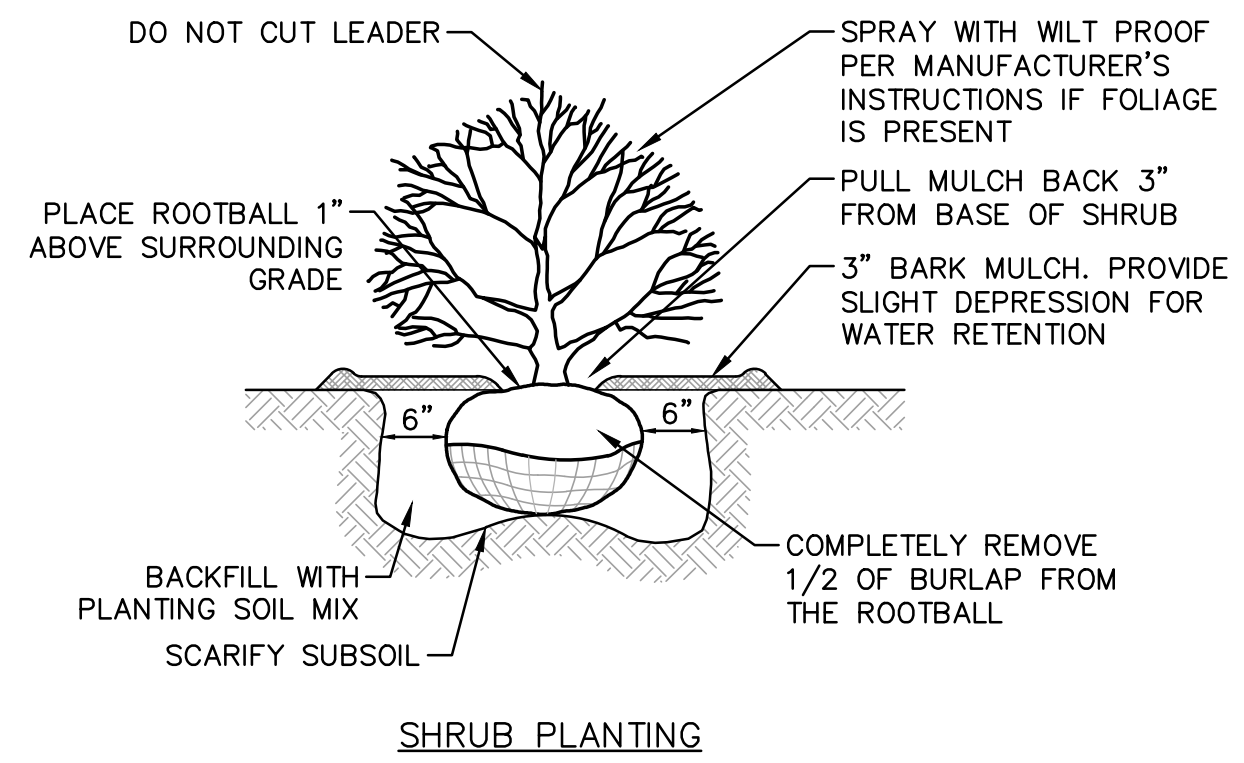


**CONIFEROUS TREE PLANTING**



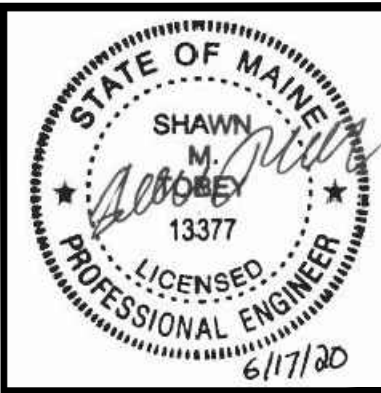
- NOTE:**
1. REFER TO LANDSCAPE DRAWINGS FOR SEED MIXTURES AND APPLICATION RATES.

**5 GRASS PLANTING DETAIL**  
SCALE: NONE



**SHRUB PLANTING**

**4 TYPICAL TREE PLANTING DETAILS**  
SCALE: NONE



REV.	DATE	DESCRIPTION
15	06/17/20	REVISED PER STAFF COMMENTS - ISSUED FOR PLANNING BOARD APPROVAL
14	05/21/20	ISSUED FOR PLANNING BOARD APPROVAL
13	03/09/20	REVISED PER MAINE TURNPIKE AUTHORITY COMMENTS
12	02/20/20	ISSUED FOR APPROVAL - REVISED PER MAINE DEP & MAINE DOT COMMENTS
11	01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
10	01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACEE COMMENTS
9	12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF HOYLE, TANNER & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE PROJECT TITLE. NO PART OF THIS PROJECT OR THE MATERIALS HEREIN ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC.

**Hoyle, Tanner & Associates, Inc.**  
100 International Dr., #360, Portsmouth, NH 03801  
Tel: (603) 431-2520 Fax: (603) 431-8067 Web: www.hoyletanner.com  
© Copyright 2020 Hoyle, Tanner & Associates, Inc.

DESIGNED BY: SMT  
DRAWN BY: SMT  
CHECKED BY: WRD  
DATE: JUNE 20, 2019

APPLICANT: AZTEC, LLC  
ONE CITY CENTER, P.O. BOX 9546  
PORTLAND, ME 04112

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT  
TAX MAP LOTS 6-15B, 6-16A & 73-4  
76 DENNETT ROAD, KITTERY, ME 03904