

ITEM 2

**Town of Kittery
Planning Board Meeting
March 9, 2023**

ITEM 2 – 39 Badgers Island, Sketch Plan Review – Minor Cluster Subdivision

Action: hold public hearing: Pursuant to §16.4 Land Use Regulations and §16.9.3 Shoreland Development Review requirements of the Town of Kittery Land Use and Development Code, owner applicant B.I.W. Group, LLC and agent Chris Atwood Otter Creek homes with Ambit Engineering propose to subdivide the 0.48-acre parcel identified as Lot 38 of Tax Map 1 into 4 residential condominiums. The property is located at 39 Badgers Island West, in the Mixed-Use Badgers Island Zoning District (MU-BI) and Shoreland Overlay Zone (OZ-SL-250').

PROJECT TRACKING

REQ'D	ACTION	COMMENTS	STATUS
YES	Sketch Plan – Minor Subdivision	Accepted as complete 1/12/23. Preliminary Subdivision Application not required for minor subdivisions.	Accepted.
YES	Site Visit	Applicant presented Planning Board members and interested residents with location of future buildings, driveway, landscaping, and tree removal. Drainage, fencing, and off-site improvements were also discussed. No other actions were taken by the Board during this meeting.	Held 1/25/23
NO	Public Hearing		Held and closed 2/9/23
YES	Subdivision - Final Plan Review Shoreland Development Plan Review	Possible approval on March 9, 2023	Pending

Applicant: Plan Review Notes reflect comments and recommendations regarding applicability of Town Land Use Development Code, and standard planning and development practices. Only the PB makes final decisions on code compliance and approves, approves with conditions or denies final plans. Prior to the signing of the approved Plan any **Conditions of Approval related to the Findings of Fact along with waivers and variances (by the BOA) must be placed on the Final Plan and, when applicable, recorded at the York County Registry of Deeds. PLACE THE MAP AND LOT NUMBER IN 1/4" HIGH LETTERS AT LOWER RIGHT BORDER OF ALL PLAN SHEETS.** As per Section 16.4.4.13 - Grading/Construction Final Plan Required. - Grading or construction of roads, grading of land or lots, or construction of buildings is prohibited until the original copy of the approved final plan endorsed has been duly recorded in the York County registry of deeds when applicable.

Project Summary

39 Badgers Island West ("Property") is a 21,029 square-foot (0.48 acres) property located along the middle portion of the looping road of Badger Island West, within the Mixed-Use Badgers

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Island (MU-BI) zoning district. The entire parcel is also within the Shoreland Overlay Zone (OZ-SL-250) but located upland of the 75-foot setback to the highest annual tide.

The proposed project is to create (4) 1,037 sq ft buildings noted on the plan as A, B, C, D. Each building will contain 3 bedrooms/ 2 ½ baths with parking for 2 vehicles in enclosed garages, driveway parking for 2 more vehicles, and walkways and patios surfaced with pavers.

The sketch application was reviewed by the Planning Board during the January 12, 2023 meeting. The packet for that meeting includes site photographs, property and soil data, site plans, architectural renderings, and a deed which were provided with the applicant's submittal. The applicant submitted updated plans with a drainage analysis, lighting specifications, a demolition plan, and utility plans for the February 9 meeting when the public hearing was held. Packets for both these meetings are here:

- [Planning Board Meeting | Kittery ME for January 12.](#)
- [Planning Board Meeting | Kittery ME for February 9](#)

Because this subdivision is four single-family dwellings in a condominium development, it is classified as a minor subdivision. There are only two stages to a minor subdivision review – sketch and final. The Board accepted the sketch plan on February 9th. The submission the Board is reviewing for the March 9th meeting is the final plan.

Staff Review Notes: Title 16: Land Use and Development Code

- Single family dwellings are a permitted use in MU-BI zoning districts per §16.4.24(B)
- Plan complies with development standards for MU-BI zoning districts (unit density, setbacks, open space) of §16.4.24 (D) and (E) and with the OZ-SL Shoreland Overlay Zone of §16.4.28. Maximum devegetated area is 60% of lot; applicant proposes to achieve 45% devegetated area which lowers the pre-development amount of impervious surface.
- Plan complies with Net residential acreage, Dwellings in Shoreland Overlay Zones, of §16.5 Performance Standards. Sprinkler systems are required in buildings three or more stories or 36 or more feet in height (§16.5.25)
- The applicant provided a complete final plan submission including 10 detailed plan sheets depicting existing conditions, utilities, grading, and lighting. A drainage analysis prepared by a licensed engineer, a quitclaim deed and associated authorization letters, site photographs, a soils report, lighting specifications, and perspective building drawings were submitted and presented at an earlier meeting. The applicant is not requesting any **waivers**.
- §16.8.10 Performance Standards. Public water and sewer utilities available. Stormwater and erosion control requirements are being reviewed by the Town's qualified peer review consultants. Vehicular trip generation should be typical of residential uses. Snow storage proposed in open space areas east of driveway and at driveway terminus. The subdivision's sign has been moved to the south entrance. Additional plantings have been added to the west side of the property.
- Applicant must demonstrate financial and technical capacity prior to project approval and provide a financial guarantee prior to start of construction. Maintenance and inspection of

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stormwater facilities is required after project completion. Easements may be required to enable inspectors to access on-site facilities.

- Proposed exterior lighting is comprised of wall-mounted fixtures over driveways and one 12'-foot tall pole light located east of the driveway. Offsite light spillage or glare is anticipated to be minimal and generally complies with applicable standards.
- The proposed development is accessed from the south, where emergency responders can access an existing fire hydrant. This driveway will also connect to Badgers Island West in the north, where an emergency access gate will prevent thru-traffic for passenger vehicles but will allow emergency vehicles to travel out of the site, eliminating the need for an on-site turnaround for emergency vehicles. The gate as shown in the plans is clicker-activated—discussion on the gate's locking mechanism with the Fire Department is on-going.
- The amount of open space required is 40%. While the devegetation calculations are shown, the open space that is comprised of both common and limited common open space sizes and percentages are not shown.

Recommendations

This proposal substantially complies with applicable standards. Staff recommends **approving** this final plan with conditions or **continuing review** if additional information is needed from the applicant, staff, or peer review consultants. The Planning Board may choose to decide on this application during a separate meeting.

Motions

Move to approve with conditions/ continue review of final plan for minor subdivision.

Move to approve/ deny/ continue sketch plan application from owner/applicant owner applicant B.I.W. Group, LLC and agent Chris Atwood Otter Creek homes with Ambit Engineering request approval to create a subdivision of 4 residential lots on a legally conforming lot located on real property with the address of 39 Badgers Island West, Tax Map 1, Lot 38, in the Mixed-Use Badgers Island Zone (MU-BI), Shoreland Overlay Zone (OZ-SL-250'). [with conditions that all peer review comments must be addressed, the gate must be approved by the Fire Chief, both the common open space and limited common open space sizes must be shown on the plan...]

**KITTERY PLANNING BOARD
FINDINGS OF FACT -
for
39 Badgers Island West
Minor Cluster Subdivision Plan**

**M 16 L 148
Unapproved**

Note: This approval by the Planning Board constitutes an agreement between the Town and the Developer incorporating the Development plan and supporting documentation, the Findings of Fact, and all waivers and/or conditions approved and required by the Planning Board.

WHEREAS: , owner B.I.W. Group, LLC and applicant Otter Creek homes propose to subdivide the 0.48-acre parcel identified as Lot 38 of Tax Map 1 into 4 residential condominiums. The property is located at 39 Badgers Island West, in the Mixed-Use Badgers Island Zoning District (MU-BI) and Shoreland Overlay Zone (OZ-SL-250')

Hereinafter the "Development".

Pursuant to the Plan Review meetings conducted by the Planning Board as duly noted in the Plan Review Notes dated 03/09/2023;

Sketch Plan Review	Accepted	1/12/23
Site Visit	Held	1/25/23
Public Hearing	Held	2/9/23
Final Plan Approval	Granted	3/09/23

and pursuant to the Project Application and Plan and other documents considered to be a part of the approval by the Planning Board in this finding consist of the following and as noted in the Plan Review Notes dated 2/23/2023 (Hereinafter the "Plan").

1. Cover Letter and Application including stormwater and soils reports, Ambit Engineering, Inc. December 15, 2022
2. Residential Development Minor Subdivision Plans, Ambit Engineering, Inc. dated February 14 2023
3. Locus Map and Aerial Photograph, dated February 14, 2023

NOW THEREFORE, based on the entire record before the Planning Board as and pursuant to the applicable standards in the Land Use and Development Code, the Planning Board makes the following factual findings as required by Section 16.10.8.3.D. and as recorded below:

FINDINGS OF FACT

Action by the Board shall be based upon findings of fact which certify or waive compliance with all the required standards of this title, and which certify that the development satisfies the following requirements:

A. Development Conforms to Local Ordinances.

Standard: *The proposed development conforms to a duly adopted comprehensive plan as per adopted provisions in the Town Code, zoning ordinance, subdivision regulation or ordinance, development plan or land use plan, if any. In making this determination, the municipal reviewing authority may interpret these ordinances and plans.*

Finding: The proposed development conforms to Title 16, Article XI Cluster Residential Development, Section 16.8.11.

Conclusion: This standard appears to be met.

Vote of _in favor _against_ abstaining
B. Freshwater Wetlands Identified.
Standard: <i>All freshwater wetlands within the project area have been identified on any maps submitted as part of the application, regardless of the size of these wetlands.</i>
Finding: While the entire parcel is in the shoreland zone, there are no wetlands within or abutting the parcel..
Conclusion: This standard appears to be met.
Vote of _in favor _against_ abstaining
C. River, Stream or Brook Identified.
Standard: <i>Any river, stream or brook within or abutting the proposed project area has been identified on any maps submitted as part of the application. For purposes of this section, "river, stream or brook" has the same meaning as in 38 M.R.S. §480-B, Subsection 9.</i>
Finding: No rivers, streams or brooks were identified on the plans submitted.
Conclusion: This standard appears to be met.
Vote of _in favor _against_ abstaining
D. Water Supply Sufficient. {and}
<i>The proposed development has sufficient water available for the reasonably foreseeable needs of the development.</i>
E. Municipal Water Supply Available.
<i>Standard The proposed development will not cause an unreasonable burden on an existing water supply, if one is to be used.</i>
Finding: The proposed development is being serviced by an existing 6-inch municipal water main on Badgers Island West with a 4-inch line proposed along the new travel way to service the four new buildings.
Conclusion: A letter from the Kittery Water District stating there is capacity to service the development was submitted.
Vote of _in favor _against_ abstaining
F. Sewage Disposal Adequate.
Standard: <i>The proposed development will provide for adequate sewage waste disposal and will not cause an unreasonable burden on municipal services if they are utilized.</i>
Finding: The proposed development will use municipal wastewater services.
The sewer fees for each new unit are \$3,000 plus a \$3,000 entrance fee for connecting the private sewer line that is used by all four units per Sheet C-3 to public sewer at the street. There is also a \$15 charge for the sewer application permit. However, the final amount owed will be assessed by the Sewer Department.

Conclusion: A letter from the Sewer Department stating the capacity and ability of the Town's sewer system is sufficient for the development was submitted.
Vote of __in favor __against__ abstaining
G. Municipal Solid Waste Disposal Available.
<i>Standard: The proposed development will not cause an unreasonable burden on the municipality's ability to dispose of solid waste, if municipal services are to be used.</i>
Finding: The proposed development does not require any changes to municipal solid waste services.
Conclusion: This standard appears to be met.
Vote of __in favor __against__ abstaining
H. Water Body Quality and Shoreline Protected.
Standard: <i>Whenever situated entirely or partially within two hundred fifty (250) feet of any wetland, the proposed development will not adversely affect the quality of that body of water or unreasonably affect the shoreline of that body of water.</i>
Finding: The four proposed single-family buildings are located upland from the 75 feet setback from the highest annual tide (HAT) with the nearest building located 185.1 feet from the HAT.
Conclusion: This standard appears to be met.
Vote of __in favor __against__ abstaining
I. Groundwater Protected.
<i>Standard: The proposed development will not, alone or in conjunction with existing activities, adversely affect the quality or quantity of groundwater.</i>
Finding: The four proposed single-family buildings do not appear to adversely impact the quality or quantity of the groundwater.
Conclusion: This standard appears to be met.
Vote of __in favor __against__ abstaining
J. Flood Areas Identified and Development Conditioned.
Standard: <i>All flood-prone areas within the project area have been identified on maps submitted as part of the application based on the Federal Emergency Management Agency's Flood Boundary and Floodway Maps and Flood Insurance Rate Maps, and information presented by the applicant. If the proposed development, or any part of it, is in such an area, the applicant must determine the one hundred (100) year flood elevation and flood hazard boundaries within the project area. The proposed plan must include a condition of plan approval requiring that principal structures in the development will be constructed with their lowest floor, including the basement, at least one foot above the one hundred (100) year flood elevation.</i>
Finding: No flood hazard zones were identified to be located on the property.
Conclusion: This standard appears to be met.

Vote of __in favor __against__ abstaining	
K. Stormwater Managed.	
Standard: <i>Stormwater Managed. The proposed development will provide for adequate stormwater management</i>	
Finding: The design was prepared by Ambit Engineering, Inc. and reviewed by CMA Engineers, Town peer-review engineer. A review by CMA is coming but is not in the packet.	
Conclusion: None yet.	
Vote of __in favor __against__ abstaining	
L. Erosion Controlled.	
Standard: <i>The proposed development will not cause unreasonable soil erosion or a reduction in the land's capacity to hold water so that a dangerous or unhealthy condition results.</i>	
The Contractor shall follow MDEP best management practices for erosion and sediment control (silt fencing, silt sacks, etc.), and CMA Engineers will be notified to observe application during construction.	
Finding: There are erosion control measures shown in the plans. Best management practices for erosion control will be reviewed as part of the MDEP <i>Stormwater Law License</i> permit.	
Conclusion: This standard appears to be met.	
Vote of __in favor __against__ abstaining	
M. Traffic Managed.	
Standard: <i>The proposed development will:</i> <ol style="list-style-type: none"> 1. <i>Not cause unreasonable highway or public road congestion or unsafe conditions with respect to the use of the highways or public roads existing or proposed; and</i> 2. <i>Provide adequate traffic circulation, both on-site and off-site.</i> 	
Finding: Because the proposed development is four single-family houses, on a currently vacant lot with private roadway access, any impacts to the public roads will be minimal. On-site traffic circulation includes a private road which runs through the development and connects to the public road at both ends. The northern end will have a gate that will be accessible for use in public safety emergencies.	
Conclusion: This standard appears to be met.	
Vote of __in favor __against__ abstaining	
N. Water and Air Pollution Minimized.	
Standard: <i>The proposed development will not result in undue water or air pollution. In making this determination, the following must be considered:</i> <ol style="list-style-type: none"> 1. <i>Elevation of the land above sea level and its relation to the floodplains;</i> 2. <i>Nature of soils and sub-soils and their ability to adequately support waste disposal;</i> 3. <i>Slope of the land and its effect on effluents;</i> 4. <i>Availability of streams for disposal of effluents;</i> 5. <i>Applicable state and local health and water resource rules and regulations; and</i> 6. <i>Safe transportation, disposal and storage of hazardous materials.</i> 	

Finding: 1. No floodplains are located at or near the property. 2. The development will utilize public sewer. 3. See 2 above. 4. All effluent will be managed by the public sewer system. 5. No DEP permits are required. 6. Not applicable
Conclusion: This standard appears to be met.
Vote of __ in favor __ against __ abstaining
O. Aesthetic, Cultural and Natural Values Protected.
Standard: <i>The proposed development will not have an undue adverse effect on the scenic or natural beauty of the area, aesthetics, historic sites, significant wildlife habitat identified by the department of inland fisheries and wildlife or the municipality, or rare and irreplaceable natural areas or any public rights for physical or visual access to the shoreline.</i>
Finding: The proposed development will claim approximately 11,503 sf of vegetated area, between the limited common areas and the common open space which is a significant increase. Landscaping and trees are being proposed. Conclusion: The development will not have an adverse effect on the aesthetic, cultural or natural beauty of the area.
Vote of __ in favor __ against __ abstaining
P. Developer Financially and Technically Capable.
Standard: <i>Developer is financially and technically capable to meet the standards of this section.</i>
Finding: The developer will provide an inspection escrow in an amount suitable to cover the costs of on-site inspection by the Peer Review Engineer to ensure the proposed development is constructed according to the approved plan.
Conclusion: This standard appears to be met.
Vote of __ in favor __ against __ abstaining
Chapter 16. 9 MARITIME AND SHORELAND RELATED DEVELOPMENT
16.9.3.F. Findings of Fact <i>(2) An application will be approved or approved with conditions if the reviewing authority makes a positive finding based on the information presented. It must be demonstrated the proposed use will:</i>
<i>(a). Maintain safe and healthful conditions;</i>
Finding: The proposed development as represented in the plans and application does not appear to have an adverse impact on public health and safety.
Conclusion: This requirement appears to be met.
Vote: __ in favor __ against __ abstaining
<i>(b) Not result in water pollution, erosion or sedimentation to surface waters;</i>

Finding: The proposed development as represented in the plans and application will not result in water pollution and best practices for erosion and sedimentation will be observed.

Conclusion: This requirement appears to be met.

Vote: ___ in favor ___ against ___ abstaining

(c) Adequately provide for the disposal of all wastewater;

Finding: The development will be connected to public sewer.

Conclusion: This requirement appears to be met.

Vote: ___ in favor ___ against ___ abstaining

(d) Not have an adverse impact on spawning grounds, fish, aquatic life, bird or other wildlife habitat;

Finding: The proposed development as represented in the plans and application does not appear to have an adverse impact.

Conclusion: The requirement appears to be met.

Vote: ___ in favor ___ against ___ abstaining

(e) Conserve shore cover and visual, as well as actual, points of access to inland and coastal waters;

Finding: The proposed development's parcel does not have shore access. There are no adverse impacts to visual or actual points of access to waters.

Conclusion: This requirement appears to be met.

Vote: ___ in favor ___ against ___ abstaining

(f) Protect archaeological and historic resources;

Finding: There does not appear to be any archaeological nor historic resources impacted.

Conclusion: This requirement appears to be met.

Vote: ___ in favor ___ against ___ abstaining

(g) Not adversely affect existing commercial fishing or maritime activities in a commercial fisheries/maritime activities district;

Finding: The property is not located in the Commercial Fisheries / Maritime Use Zone and will have no adverse effect on commercial fishing nor maritime activities.

Conclusion: This requirement is not applicable.

Vote: ___ in favor ___ against ___ abstaining

<p><i>(h) Avoid problems associated with floodplain development and use;</i></p> <p><u>Finding:</u> The proposed development is not located in a floodplain.</p> <p><u>Conclusion:</u> This requirement appears to be met.</p> <p style="text-align: right;">Vote: ___ in favor ___ against ___ abstaining</p>
<p><i>(i) Is in conformance with the provisions of this code;</i></p> <p><u>Finding:</u> The proposed project is in conformance with the provisions of Title 16.</p> <p><u>Conclusion:</u> This requirement appears to be met.</p> <p style="text-align: right;">Vote: ___ in favor ___ against ___ abstaining</p>
<p><i>(j) Be recorded with the York County Registry of Deeds.</i></p> <p><u>Finding:</u> A plan suitable for recording will be submitted by the Applicant since this application is both a subdivision and a shoreland development plan.</p> <p><u>Conclusion:</u> As stated in the Notices to Applicant contained herein, a Shoreland Development Plan must be recorded with the York County Registry of Deeds prior to the issuance of a building permit.</p> <p style="text-align: right;">Vote: ___ in favor ___ against ___ abstaining</p>

NOW THEREFORE the Kittery Planning Board adopts each of the foregoing Findings of Fact and based on these Findings determines the proposed Development will have no significant detrimental impact, and the Kittery Planning Board hereby grants final approval for the Development at the above referenced property, including any waivers granted or conditions as noted.

Conditions of Approval (to be included as notes on the final plan in addition to the existing notes):

1. No changes, erasures, modifications or revisions may be made to any Planning Board approved final plan. (Title 16.10.9.1.2)
2. Applicant/contractor will follow Maine DEP *Best Management Practices* for all work associated with site and building construction to ensure adequate erosion control and slope stabilization.
3. Prior to the commencement of grading and/or construction within a building envelope, as shown on the Plan, the owner and/or developer must stake all corners of the envelope. These markers must remain in place until the Code Enforcement Officer determines construction is completed and there is no danger of damage to areas that are, per Planning Board approval, to remain undisturbed.
4. All Notices to Applicant contained in the Findings of Fact (dated: 03/09/2023).

Conditions of Approval (Not to be included as notes on the final plan):

5. Incorporate any plan revisions on the final plan as recommended by Staff, Planning Board, or Peer Review Engineer, and submit for Staff review prior to presentation of final plan for endorsement.
6. The Home Owners Association (HOA) document must be reviewed and found satisfactory by the Town Attorney prior to the final plan being signed by the Chair.

7. Provide the additional documents and/or responses to all CMA comments prior to presentation of final plan.

Notices to Applicant: (not to be included on the final plan)

1. Prior to the release of the signed plans, the applicant must pay all outstanding fees associated with review, including, but not limited to, Town Attorney fees, peer review, newspaper advertisements and abutter notification.
2. State law requires all subdivision and shoreland development plans, and any plans receiving waivers or variances, be recorded at the York County Registry of Deeds within 90 days of the final approval.
3. Three (3) paper copies of the final plan and any and all related state/federal permits or legal documents that may be required, must be submitted to the Town Planning Department. Date of Planning Board approval shall be included on the final plan in the Signature Block.
4. The owner and/or developer, in an amount and form acceptable to the Town Manager, must file with the municipal treasurer an instrument to cover the cost of all infrastructure and right-of-way improvements and site erosion and stormwater stabilization, including inspection fees for same.
5. This approval by the Town Planning Board constitutes an agreement between the Town and the Developer, incorporating the Plan and supporting documentation, the Findings of Fact, and any Conditions of Approval.

The Planning Board authorizes the Planning Board Chair, or Vice Chair, to sign the Final Plan and the Findings of Fact upon confirmation of compliance with any conditions of approval.

Vote of in favor against abstaining

APPROVED BY THE KITTERY PLANNING BOARD ON March 9, 2023

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Dutch Dunkelberger, Planning Board Chair

Appeal:

Per Title 16.6.2.A - An aggrieved party with legal standing may appeal a final decision of the Planning Board to the York County Superior Court in accordance with Maine Rules of Civil Procedures Section 80B, within forty-five (45) days from the date the decision by the Planning Board was rendered.



AMBIT ENGINEERING, INC.

A DIVISION OF HALEY WARD, INC. 

200 Griffin Road, Unit 3, Portsmouth, NH 03801

Phone (603) 430-9282 Fax 436-2315

14 February 2023

Dutch Dunkelberger, Chair
Kittery Planning Board
Town of Kittery
200 Rogers Road
Kittery, ME 03904

**Re: Final Subdivision Application; Residential Development
Tax Map 1, Lot 38
39 Badgers Island West
Kittery, ME**

Dear Dutch and Planning Board Members:

On behalf of BIW Group LLC – Owner and **Otter Creek Homes - Applicant** we submit herewith the attached package for **Final Subdivision Approval** at the site. The project Sketch Plan was approved at the February 9, 2023, Planning Board Meeting. Please scheduled the application for the **February 23, 2023, Planning Board Meeting**. In support thereof, we are submitting a revised Site Plan set with the associated exhibits and requirements. This proposal is to construct four free-standing Residential units. Currently the site served as parking and day care for the Green Pages office at the west end of Badgers Island. The proposed use submitted herewith we believe fits the predominately residential uses on Badgers Island. The Existing Conditions Plan reflects the state of the site today; however the building which existed on the site has been recently demolished.

The project conforms to the Kittery Land Use and Development Code for the zone it occupies for allowable number of dwelling units, open space (a reduction from the existing), and building setbacks. The entire lot is within the 250-foot Shoreland Zone. The Planning Board at Sketch Plan Review noted a few concerns which the applicant has addressed in this submission. The proposed sign has been moved to the south entrance, and some plantings have been added to the west property line. In addition, State Planar Coordinates have been added to the Existing Conditions Plan, as required for Subdivision approval.

The following plans are included in our submission, with revisions to address concerns noted in **bold** text:

- Cover Sheet – This plan shows the design team, site location, and Legend. **Revised Date.**
- Condominium Site Plan - The plan is the plan that will be recorded for the creation of the Condominium at the site. The plan shows Common and Limited Common areas. **Revised sign location.**
- Existing Conditions Plan C1 – This plan shows the current improvements on the property (including the recently demolished building) and the site boundary lines. **Add SPC (Coordinates).**
- Shoreland Development Plan C2 – This plan shows the location of the proposed buildings, landscaping, parking, patios, walkways, signage, and driveway entrance. The building siting takes advantage of available views. The plan highlights the existing landscaping (trees) that will be retained. The plan contains the Devegetated Coverage Table. **Revised sign location and added plantings on west property line.**
- Utility Plan C3 – This plan shows the utilities required to service the proposed buildings. The plan has tables with the proposed elevations. **Revised sign location.**
- Grading Plan C4 – This plan shows the proposed site grading. **Revised sign location.**
- Demolition Plan C5 – This plan shows the proposed demolition taking place on the property. **No change.**
- Lighting Plan L1 – This plan shows proposed site lighting with lighting intensities. **No change.**
- Detail Sheets D1 to D3 – These plans show the construction details for the project. **No change.**

Previously submitted in support of this proposal, and unchanged:

Property Deed, Authorizations, USGS Map, Vicinity Map, Tax Map, Drainage Analysis, Site Photographs, Soil Report, Lighting Specs

Let me know if anything from the previous submission list needs to be provided for the upcoming meeting.

We look forward to your review of this submission and our in-person presentation at the Planning Board meeting. Thank you for your time and attention to this proposal. Please contact me if you have any questions or concerns regarding this application.

Sincerely,



John R. Chagnon, PE
Ambit Engineering, Inc.
CC: Project Team



TOWN OF KITTERY MAINE

TOWN PLANNING AND DEVELOPMENT DEPARTMENT

200 Rogers Road, Kittery, Maine 03904

PHONE: (207) 475-1323

Fax: (207) 439-6806

www.kittery.org

APPLICATION: SUBDIVISION PLAN REVIEW

FEE FOR REVIEW:	<input checked="" type="checkbox"/> \$500. 00 PLUS	<input checked="" type="checkbox"/> \$50.00/LOT OR DWELLING UNIT	<input checked="" type="checkbox"/> Minor Subdivision: not more than 4 lots <input type="checkbox"/> Major Subdivision: 5 or more lots		Fee Paid: \$ _____ Date: _____ Escrow Fee Paid: \$ _____ Date: _____						
PROPERTY DESCRIPTION	Parcel ID	Map	1	Lot	38	Zone(s): Base: <u>MU-B1</u> Overlay: <u>OZ-SL-250</u> MS4: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Total Land Area	21,029			
	Physical Address		39 Badgers Island West								
PROPERTY OWNER'S INFORMATION	Name	BIW Group, LLC				Mailing Address	41 Industrial Drive Unit 20 Exeter, NH 03833				
	Phone										
	Fax										
	Email	steven.wilson@hdcgc.net									
APPLICANT'S AGENT INFORMATION	Name	John Chagnon				Name of Business	Ambit Engineering, A Division of Haley Ward, Inc.				
	Phone	(603)430-9282				Mailing Address	200 Griffin Road Unit 3 Portsmouth, NH 03801				
	Fax	(603)436-2315									
	Email	jchagnon@haleyward.com									
PROJECT DESCRIPTION	Existing Use(s):										
	Daycare/parking										
	Number of Proposed Lots		4		Subdivision Name		Otter Creek				
	Proposed Subdivision:										
	Design: (check)	<input type="checkbox"/> Conventional				Responsibilities: (check)	<input type="checkbox"/> Total Development		<input type="checkbox"/> Landscaping		
		<input checked="" type="checkbox"/> Cluster Development					<input type="checkbox"/> Other		<input type="checkbox"/> Road		
	Ownership: (check)	<input type="checkbox"/> Fee- Simple					<input type="checkbox"/> Post-Construction Storm Water Runoff System Maintenance				
		<input checked="" type="checkbox"/> Condominium									
	Homeowner's Association	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO									

WAIVER REQUEST (Submittal Information or Development Standard)

Waivers	Ordinance Section	Describe why this request is being made.
	EXAMPLE 16.32.560 (B)- OFFSTREET PARKING.	***EXAMPLE*** Requesting a waiver of this ordinance since the proposed professional offices have a written agreement with the abutting Church owned property to share parking.

Related Kittery Land Use and Development Code Provisions:

16.10.8.2.5 Conditions or Waivers.

Conditions required by the Planning Board at the final plan review phase must have been met before the final plan may be given final approval unless so specified in the condition or specifically waived, upon written request by the applicant, by formal Planning Board action wherein the character and extent of such waivers which may have been requested are such that they may be waived without jeopardy to the public health, safety and general welfare.

16.7.4.1 Objectives Met. In granting modifications or waivers, the Planning Board must require such conditions as will, in its judgment, substantially meet the objectives of the requirements so waived or modified.

ABUTTER NOTIFICATION

16.10.5.1.1. Preliminary Plan Application Filing and Completeness Review. ... The application must be accompanied by a Plan and the required fee together with a certification the applicant has notified abutters by mail of the filing of the Plan application for approval.

Submitted Application must include a list showing the names and addresses of the abutters notified and date mailed.

The Abutter Notice must include a copy of page one and where applicable page 2 of a signed Application.

I certify, to the best of my knowledge, the information provided in this Application is true and correct, abutters to the project have been notified, and I will not deviate from the Plan submitted without notifying the Kittery Planning Department of any changes.

Applicant's Signature: Date:	<u>John R. Chagnon</u> <u>2-14-23</u>	Owner's Signature: Date:	<u>See Authorization</u> _____
------------------------------------	--	--------------------------------	-----------------------------------

Minimum Plan Submittal Requirements

- ☒ 15 COPIES OF THE SUBDIVISION PLAN APPLICATION AND PLAN – 5 PLAN COPIES MUST BE 24"X 36"
- ☒ 1 PDF OF THE SUBDIVISION PLAN SHOWING GPS COORDINATES

PRIOR TO STARTING THE REVIEW PROCESS, THE PLANNING BOARD WILL DECIDE WHETHER SUFFICIENT INFORMATION HAS BEEN PROVIDED AND WILL VOTE TO *DETERMINE COMPLETENESS/ACCEPTANCE.*

NOTE: THE APPLICANT IS RESPONSIBLE TO PRESENT A CLEAR UNDERSTANDING OF THE PROJECT.

- A) Paper size:
 - ☒ No less than 11" X 17" (reduced) or greater than 24" X 36" (full)
- B) Scale size:
 - ☒ Under 10 acres: no greater than 1" = 30'
 - ☐ 10 + acres: 1" = 50'
- C) Title block:
 - ☒ Applicant's name and address
 - ☒ Name of preparer of plans with professional information and professional seal
 - ☒ Parcel's tax map identification (map – lot)
 - ☒ Date of plan preparation
- D) Boundary survey performed and sealed by licensed surveyor:
 - ☒ Identify all existing boundary markers
 - ☒ Show all proposed boundary monuments (per ordinance)
- E) Provide orientation:
 - ☒ Arrow showing true north and magnetic declination
 - ☒ Graphic scale ☒ Parcel Owners and map and lot
 - ☒ Deed docket and page numbers ☒ Draft Deed of Covenants
 - ☒ Signature block for planning board
- F) Show location and description of:
 - ☒ Elevations of dwelling units. If applicable
 - ☒ All structures and accesses within 100 feet
- G) Show parcel data:
 - ☒ Zoning District(s) ☐ Lots ☐ Lot Widths ☐ Lot Depths
 - ☒ Street frontage ☒ Building setback lines ☒ Lot Areas
 - ☒ Rights-of-way ☐ ROW area ☐ Exist. & new street names
 - ☐ Wetlands ☐ Wetland area ☐ Wetland setbacks
 - ☐ Common tracts ☐ Easements ☒ parcel areas
 - ☒ Shoreland Zoning setbacks ☐ undisturbed areas
 - ☒ Note on the subdivision plan regarding areas to be taped off and protected until project construction is completed.
- H) ☒ Show names and addresses of all owners of record on abutting parcels and the assessor's map and lot numbers.
- I) ☒ Label all zoning districts abutting the property boundaries.
- J) ☒ Show locations of natural physical features such as water bodies, watercourses, forest cover, and ledge outcroppings.
- K) Show the location of existing and proposed Utilities and identify which utilities are to be privately owned/ municipally owned:
 - ☒ Overhead Electric ☒ underground electric
 - ☒ Water mains ☐ Wells ☐ Gas mains ☐ Cable TV
 - ☒ Sewer mains ☐ Test pits ☐ Septic tanks ☐ Leach fields
 - ☒ Storm drain lines ☒ Catch basins ☒ Culverts ☐ Gutters
 - ☐ Stormwater storage basins ☐ Rain gardens
 - ☒ Nearest fire hydrant

- L) Indicate required landscaping including:
 - ☒ Type of plant material ☒ Plant/Tree sizes
 - ☒ Placement ☐ Irrigation systems
- M) Show natural and historical topography:
 - ☐ Rock walls ☐ Railroad beds
 - ☒ The location of all natural features or site elements to be preserved.
- N) Provide a vicinity map and aerial photograph at a scale not more than **400 feet to the inch** showing the relation to other properties and geographic features and show:
 - ☒ All the area within five hundred (500) feet of the boundary line of the proposed development including roads, geographic features, natural resources (wetlands, etc.), historic sites, applicable comprehensive plan features such as proposed park locations, land uses, Zones and other features;
 - ☒ Any smaller area between the tract and all existing streets, provided any part of such a street used as part of the perimeter for the vicinity map is at least five hundred (500) feet from any boundary of the proposed development.
- O) Show the locations of any:
 - ☐ Parks ☐ Preserved Open space ☐ Conservation easements
 - ☐ Note on the subdivision plan regarding areas to be dedicated for public use and conditions of such dedication.
- P) Identify and locate each:
 - ☐ Easements ☐ Rights-of-way ☐ Street alignments
 - ☐ All intersecting property lines within 50 feet of the parcel.
- Q) Include plans, profiles and typical sections of all roads and other paved ways, including all relevant street data.
 - ☐ Intersections or ☐ Distance to nearest intersection
 - ☐ Driveways onsite ☐ Distance to nearest driveway
 - ☐ Sight visibility lines
- R) Show all existing and proposed lighting
 - ☐ Map of all street lighting, attached lighting, and area lighting
 - ☐ Location of lighted signs ☒ Photo-metrics map
- S) ☐ Indicate the location of any permanently installed machinery likely to cause appreciable noise at the lot lines.
- T) Provide description of these materials stored on the property:
 - ☐ Hazardous ☐ Toxic ☐ Raw Waste
- U) ☒ Show existing contours and finished grade elevations onsite and sufficiently offsite to demonstrate how the project is situated in the surrounding environment.
- V) Indicate the location and dimensions of:
 - ☐ Sidewalks ☐ Curbs ☒ Driveways
 - ☐ Fences ☐ Retaining walls ☐ Other artificial features
- W) Copies of State and Local permit applications:
 - ☐ Notice of Intent ☐ NRPA ☐ Permit by Rule
 - ☐ All other applicable permits
- X) ☒ Copy of FIRM Map showing the proposed subdivision boundary to scale.

NOTE TO APPLICANT: PRIOR TO THE SITE WALK, TEMPORARY MARKERS MUST BE ADEQUATELY PLACED THAT ENABLE THE PLANNING BOARD TO READILY LOCATE AND APPRAISE THE LAYOUT OF DEVELOPMENT.

SUBMITTALS THE TOWN PLANNER DEEMS SUFFICIENTLY LACKING IN CONTENT WILL NOT BE SCHEDULED FOR PLANNING BOARD REVIEW.

25 October, 2022

To Whom It May Concern

RE: Client Representation for a proposed Amended Site Plan for BIW Group, LLC at 39 Badgers Island West, Kittery, Maine

This letter is to inform the Town of Kittery, and other parties in accordance with approval procedures that Otter Creek Homes of North Hampton, NH is authorized to represent the above-mentioned property as the Applicant for the approval process. This includes signatory powers on any and all applications.

Please feel free to call me if there is any question regarding this authorization.

Sincerely,



Digitally signed by Shayne Forsley
DN: C=US,
E=shayne.forsley@hdcgc.net,
O=Hampshire Development Corp.,
CN=Shayne Forsley
Date: 2022.10.25 12:59:17-04'00'

**Shayne Forsley
BIW Group, LLC**

Authorized Representative
41 Industrial Drive, Unit 20
Exeter, NH
03833

25 October, 2022

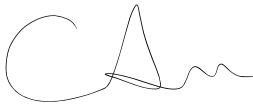
To Whom It May Concern

**RE: Client Representation for a proposed Amended Site Plan for BIW Group,
LLC at 39 Badgers Island West, Kittery, Maine**

This letter is to inform the Town of Kittery, and other parties in accordance with approval procedures that Ambit Engineering is authorized to represent the above-mentioned property as our agent in the approval process. This includes signatory powers on any and all applications.

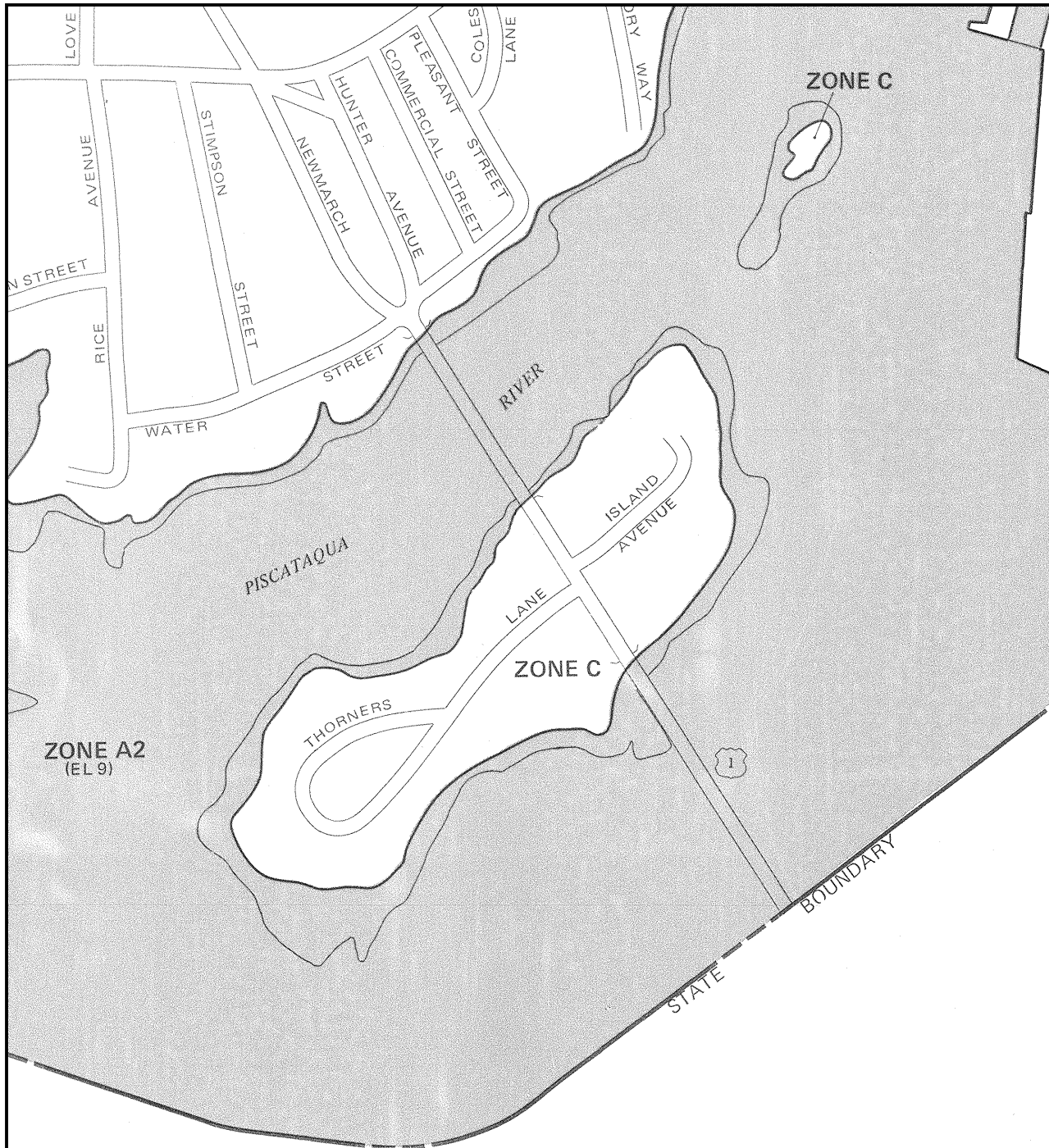
Please feel free to call me if there is any question regarding this authorization.

Sincerely,

A handwritten signature in black ink, appearing to be 'C. Atwood', with a stylized, wavy line extending from the end.

**Chris Atwood
Otter Creek Homes**

Authorized Representative
198 Lafayette Road, Unit 1
North Hampton, NH
03862



APPROXIMATE SCALE

400 0 400 FEET

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

TOWN OF
KITTERY, MAINE
YORK COUNTY

PANEL 8 OF 10
(SEE MAP INDEX FOR PANELS NOT PRINTED)

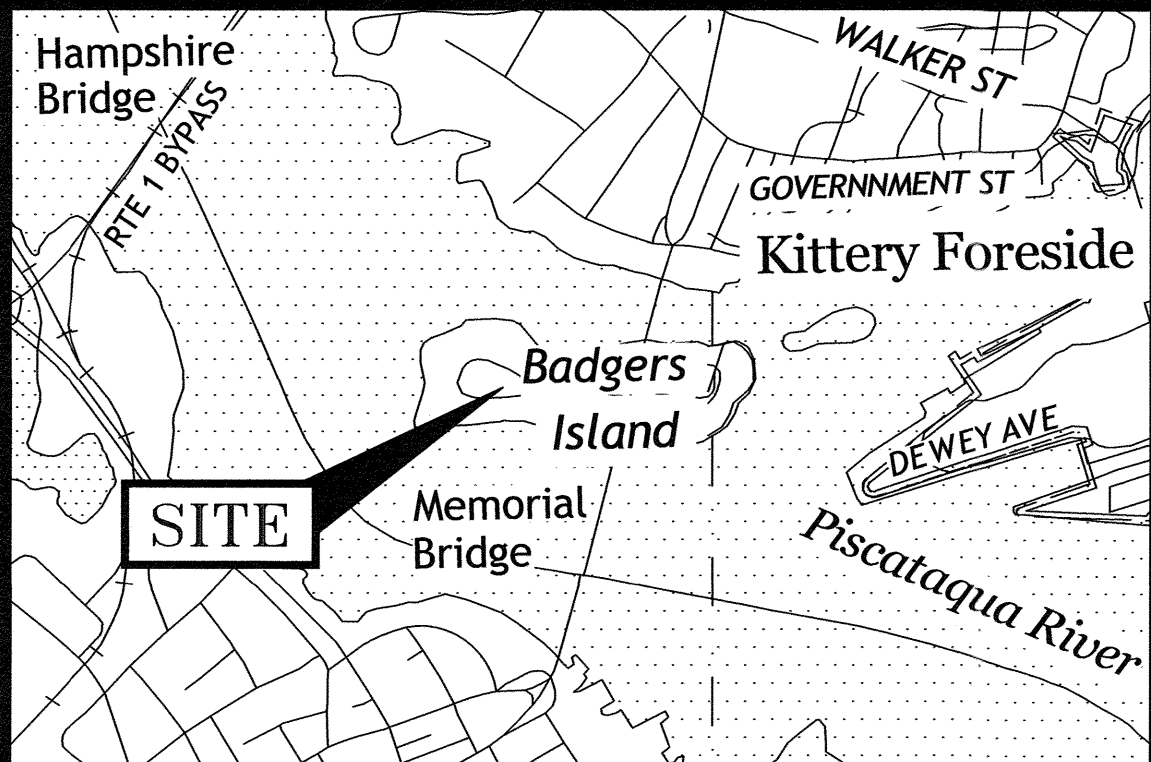
COMMUNITY-PANEL NUMBER
230171 0008 D

MAP REVISED:
JULY 3, 1986



Federal Emergency Management Agency

This is an official FIRMette showing a portion of the above-referenced flood map created from the MSC FIRMette Web tool. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For additional information about how to make sure the map is current, please see the Flood Hazard Mapping Updates Overview Fact Sheet available on the FEMA Flood Map Service Center home page at <https://msc.fema.gov>.



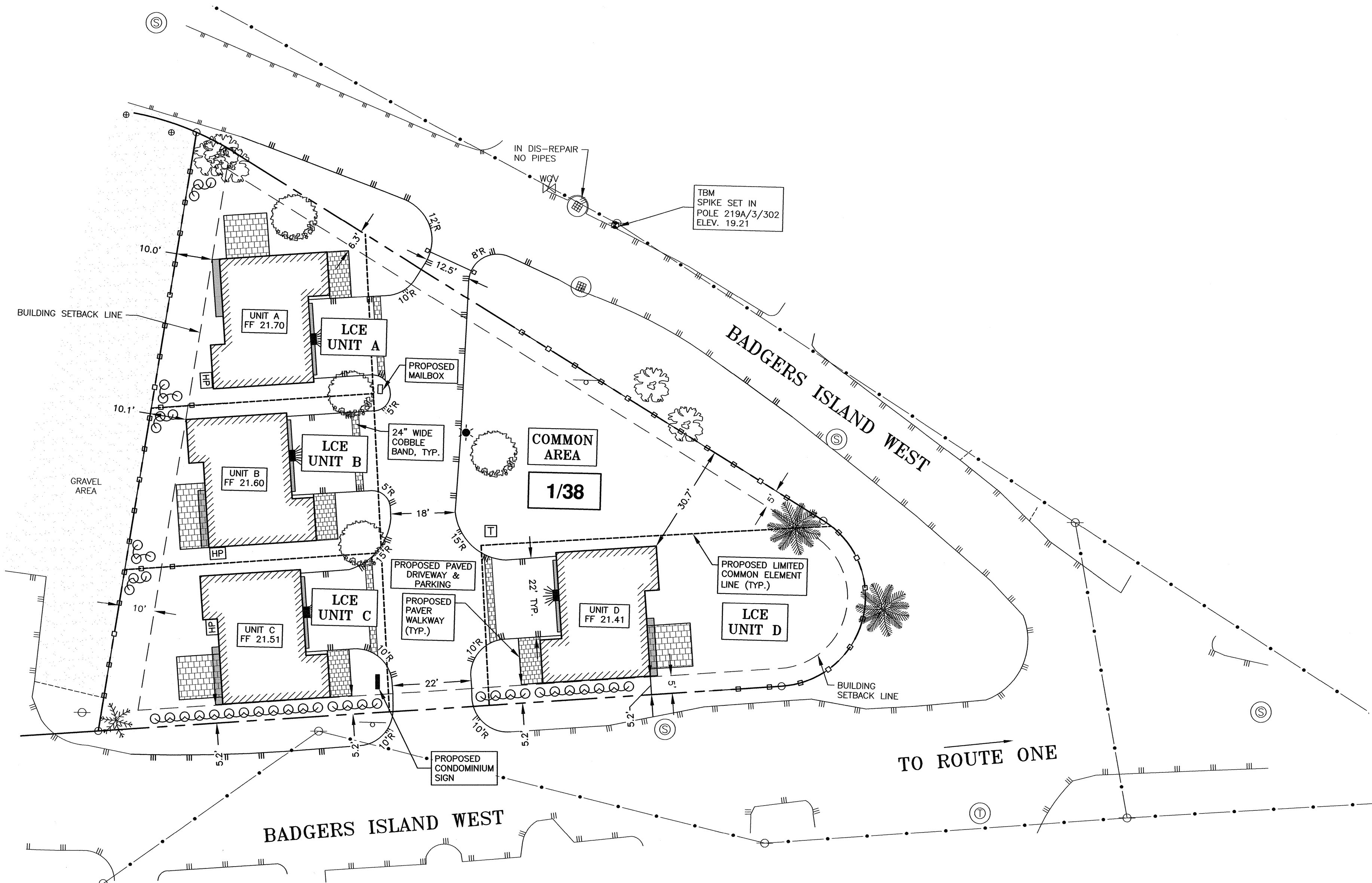
LOCATION MAP

1" = 100'

LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	YORK COUNTY REGISTRY OF DEEDS
(11/21)	MAP 11/LOT 21
RR SPK FND	RAILROAD SPIKE FOUND / SET
IR FND	IRON ROD FOUND / SET
IP FND	IRON PIPE FOUND / SET
DH FND	DRILL HOLE FOUND / SET
MB	MAINE D.O.T. BOUND FOUND
TB	TOWN BOUND FOUND
BND w/DH	BOUND WITH DRILL HOLE
ST BND w/DH	STONE BOUND WITH DRILL HOLE
AC	AIR CONDITIONER
F.F.	FINISH FLOOR
LCA	LIMITED COMMON ELEMENT
---	LIMITED COMMON/LCE LINE

- PLAN REFERENCES:
- 1) "STANDARD BOUNDARY SURVEY OF TAX MAP 1, LOT 38 ON BADGERS ISLAND, KITTERY, MAINE, FOR LIL'S GREENDREAM, INC.," PREPARED BY DOUCET SURVEY, INC., DATED JUNE 16, 1995 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 224 PAGE 42.
 - 2) "PLAN OF LOTS BADGERS ISLAND, KITTERY, MAINE, OWNED BY JOSEPH W. THORNER", PREPARED BY JOHN W. DURGIN, DATED APRIL, 1936 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 22 PAGE 31.
 - 3) EXISTING CONDITIONS PLAN, 39 BADGERS ISLAND WEST, SCALE: 1"=10. DATED 4/19/22. PREPARED BY EASTERLY SURVEY (NOT RECORDED).



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

- I, JOHN R. CHAGNON, LICENSED LAND SURVEYOR, HEREBY CERTIFY:
- A) THAT THIS SITE PLAN ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE IMPROVEMENTS SHOWN HEREON, SPECIFICALLY UNITS A,B,C, AND D.
 - B) THAT SAID UNITS A, B, C, & D HAVE BEEN SUBSTANTIALLY COMPLETED, AND
 - C) THAT SAID UNIT D IS NOT YET COMPLETED.

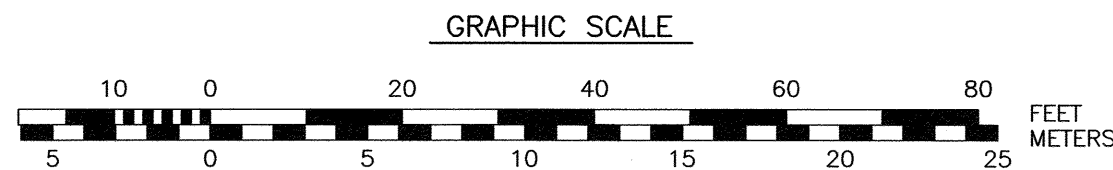
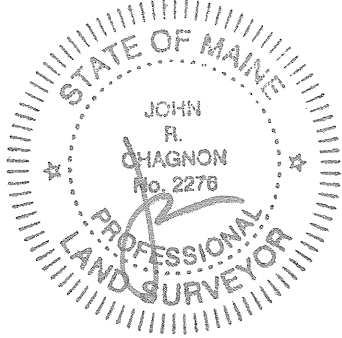
PURSUANT TO CHAPTER 90 PARTS 1 AND 2 OF THE SURVEY STANDARDS OF PRACTICE AS ADOPTED BY THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS, THE FOLLOWING EXCEPTIONS TO PART 2 ARE NOTED:

- A) NO SURVEY REPORT HAS BEEN PREPARED.

THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CHAPTER 90 STANDARDS OF PRACTICE, EFFECTIVE DATE APRIL 1, 2001 EXCEPT AS NOTED ON THIS PLAN.

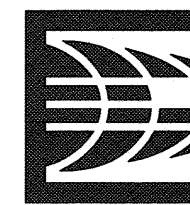
JOHN R. CHAGNON, PLS #2276

DATE 2.14.23



OWNER & DECLARANT:
BIW GROUP, LLC
41 INDUSTRIAL DRIVE
SUITE 20
EXETER, NH 03833

PREPARED BY:
AMBIT ENGINEERING
200 GRIFFIN ROAD UNIT 3
PORTSMOUTH, N.H. 03801



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE TOWN OF KITTERY ASSESSOR'S MAP 1 AS LOT 38.
- 2) OWNER OF RECORD:
BIW GROUP, LLC
41 INDUSTRIAL DRIVE, SUITE 20
EXETER, NH 03833
18503/331
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD ZONE (ZONE C) AS SHOWN ON FIRM PANEL 2301710008D. EFFECTIVE DATE JULY 3, 1986.
- 4) EXISTING LOT AREA (SUBMITTED LAND):
21,029 S.F.
0.4828 ACRES
- 5) THE BOUNDARY SHOWN HEREON IS FROM PLAN REFERENCE 3.
- 6) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW A RESIDENTIAL CONDOMINIUM ON ASSESSOR'S MAP 1 LOT 38 IN THE TOWN OF KITTERY.
- 8) PARCEL IS SERVED BY MUNICIPAL SEWER & WATER.
- 9) AS A CONDITION OF PLANNING BOARD APPROVAL THE CONDOMINIUM ASSOCIATION SHALL COORDINATE WITH THE TOWN OF KITTERY TO ESTABLISH AN AGREEMENT FOR THE PERMANENT MAINTENANCE OF THE SITE LANDSCAPING.

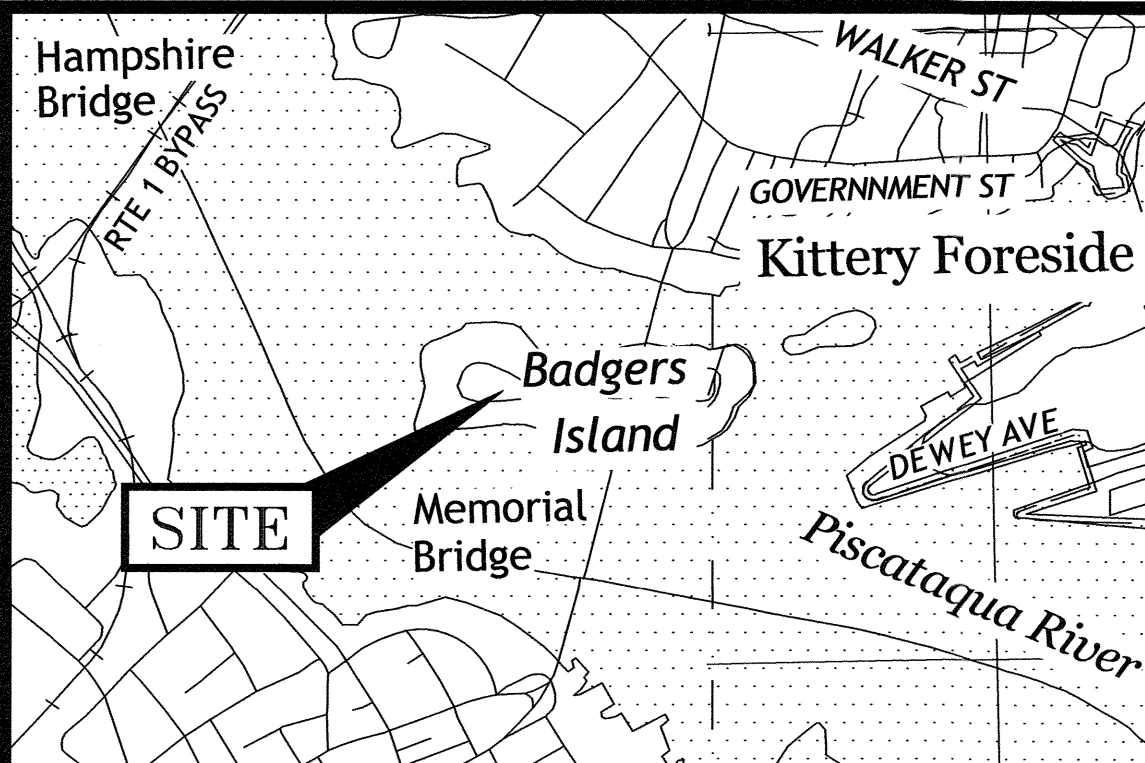
NO.	DESCRIPTION	DATE
2	SIGN LOCATION	2/14/23
1	LANDSCAPE, ENTRANCE, SIGN	1/19/23
0	ISSUED FOR COMMENT	12/8/22

CONDOMINIUM SITE PLAN
39 BADGERS ISLAND WEST
CONDOMINIUM

FOR OWNER/DECLARANT:

BIW GROUP, LLC
PROPERTY LOCATED AT
TAX MAP 1 LOT 38
39 BADGERS ISLAND WEST
TOWN OF KITTERY
COUNTY OF YORK
STATE OF MAINE

SCALE: 1" = 20' NOVEMBER 2022



LOCATION MAP SCALE: 1" = 1,000'

LEGEND:
*SEE COVER SHEET.

PLAN REFERENCES:

1) "STANDARD BOUNDARY SURVEY OF TAX MAP 1, LOT 38 ON BADGERS ISLAND, KITTERY, MAINE, FOR L.L.'S GREENDREAM, INC.," PREPARED BY DOUCET SURVEY, INC., DATED JUNE 16, 1995 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 224 PAGE 42.

2) "PLAN OF LOTS BADGERS ISLAND, KITTERY, MAINE, OWNED BY JOSEPH W. THORNER", PREPARED BY JOHN W. DURGIN, DATED APRIL, 1936 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 22 PAGE 31.

3) EXISTING CONDITIONS PLAN, 39 BADGERS ISLAND WEST, SCALE: 1"=10', DATED 4/19/22. PREPARED BY EASTERLY SURVEY (NOT RECORDED).

NOTES:

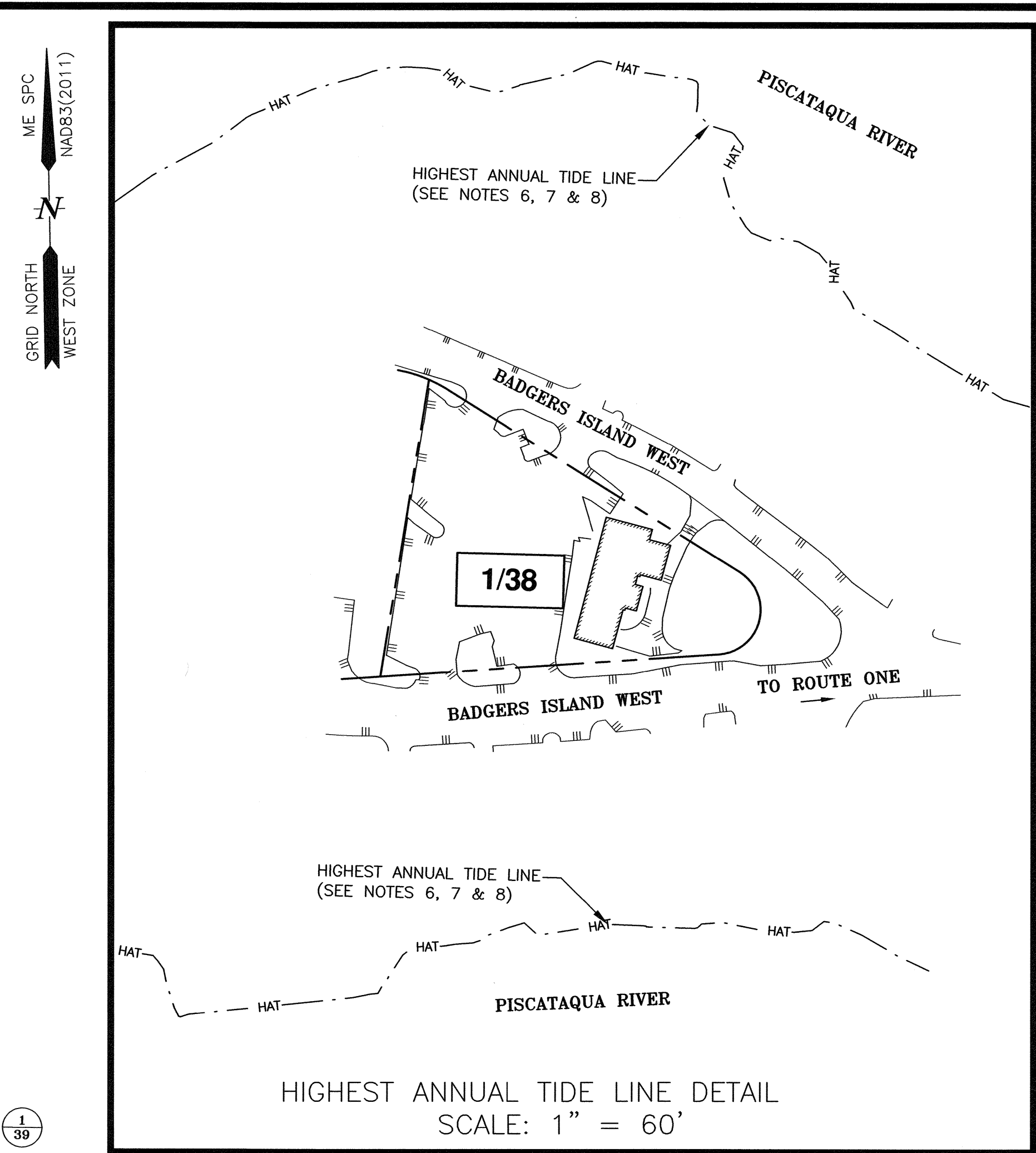
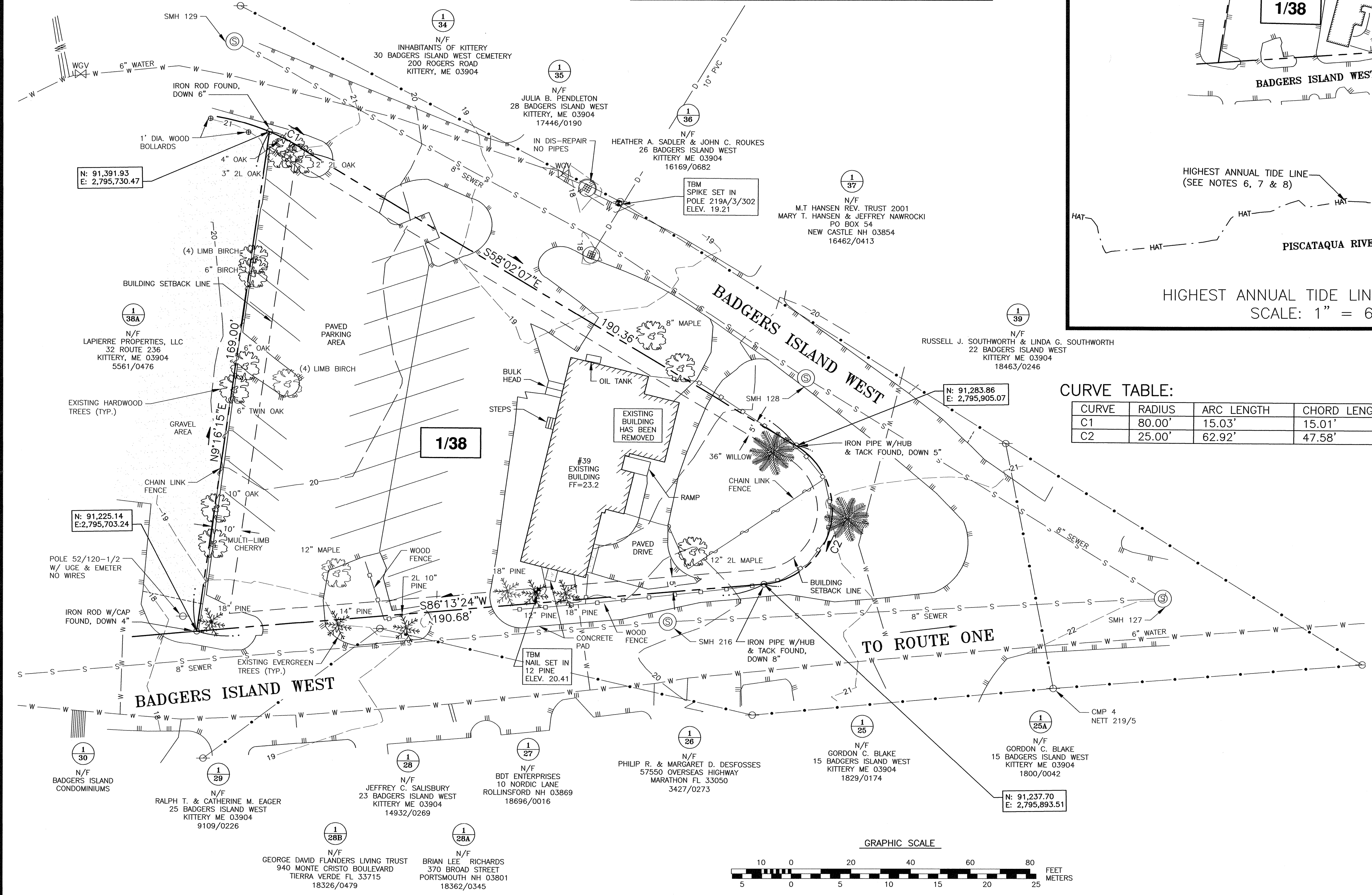
A) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

B) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

C) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMP'S" PUBLISHED BY THE MAINE D.E.P. IN 2014.

SEWER STRUCTURE SCHEDULE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
SMH 127	EX	21.97	8" PVC	7.82	7.42	E
			8" PVC	7.52		NW
SMH 128	EX	20.43	8" PVC	8.83	8.58	SE
			8" PVC	12.53		NW
SMH 129	EX	21.86	8" PVC		13.56	SW
			6" PVC	13.61		NE
SMH 216	EX	19.69	8" PVC		7.99	E
			8" PVC	8.09		W
SMH 217	EX	16.30	8" PVC	8.95	8.80	E
			6" PVC	8.95		NW
			4" PVC	8.85		W

DRAINAGE STRUCTURE SCHEDULE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
CB 159	EX	18.9	10" PVC		17.1	NE



CURVE TABLE:

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	80.00'	15.03'	15.01'	S60°52'37"E	10°45'46"
C2	25.00'	62.92'	47.58'	S14°04'04"W	144°12'22"

AMBIT ENGINEERING, INC.
A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3
Portsmouth, NH 03801
603.436.2315

WWW.HALEYWARD.COM

- NOTES:**
- 1) PARCEL IS SHOWN ON THE TOWN OF KITTERY ASSESSOR'S MAP 1 AS LOT 38.
- 2) OWNER OF RECORD:
BIW GROUP, LLC
41 INDUSTRIAL DRIVE, SUITE 20
EXETER, NH 03833
18503/331
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD ZONE (ZONE C) AS SHOWN ON FIRM PANEL 2301710008D. EFFECTIVE DATE JULY 3, 1986.
- 4) EXISTING LOT AREA:
21,029 S.F.
0.4828 ACRES
- 5) THE BOUNDARY SHOWN HEREON IS FROM PLAN REFERENCE 3.
- 6) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- 7) HIGHEST ANNUAL TIDE SHOWN AT ELEVATION 5.8 PER LOCATION SEAVEY ISLAND IN MAINE DEP HIGHEST ANNUAL TIDE (HAT) LEVELS FOR YEAR 2018.
- 8) THE ENTIRE PARCEL IS WITHIN THE 250' SHORELAND PROTECTION ZONE
- 9) PARCEL ZONING INFORMATION:
BASE ZONE: MIXED USE - BADGERS ISLAND (MU-BI)
OVERLAY ZONES:
WATER BODY/WETLAND PROTECTION AREA - 250' (OZ-SL-250')
COMMERCIAL FISHERIES/MARITIME USES - (CFMU)
- 10) DIMENSIONAL REQUIREMENTS:
MU-BI BASE ZONE REQUIREMENTS:
MINIMUM LAND AREA PER DWELLING UNIT:
3,000 SQ. FT. (UNITS 1 & 2)
6,000 SQ. FT. (UNITS 3+)
MINIMUM LOT SIZE: 6,000 SQ. FT.
MINIMUM STREET FRONTAGE: 50 FT.
MINIMUM FRONT YARD: 5 FT.
MINIMUM REAR AND SIDE YARDS: 10 FT.
MAXIMUM BUILDING HEIGHT: 40 FT.
MINIMUM OPEN SPACE: 40%
- OZ-SL-250' REQUIREMENTS (SEE 16.3.2.17):
MAXIMUM DEVEGETATED COVERAGE: 60%
PRINCIPAL AND ACCESSORY STRUCTURES
SETBACK: 75 FT.
ACCESSORY PATIO/DECK < 500 SQ.FT.
SETBACK: 75 FT.
- 11) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSOR'S MAP 1 LOT 38 IN THE TOWN OF KITTERY.

SITE REDEVELOPMENT 39 BADGERS ISLAND WEST KITTERY, ME

NO.	DESCRIPTION	DATE
2	ADD STATE PLANE COORDINATES	2/13/23
1	SEWER SCHEDULE ADDED	12/08/22
0	ISSUED FOR COMMENT	10/24/22

REVISIONS

2-13-23

SCALE: 1"=20' OCTOBER 2022

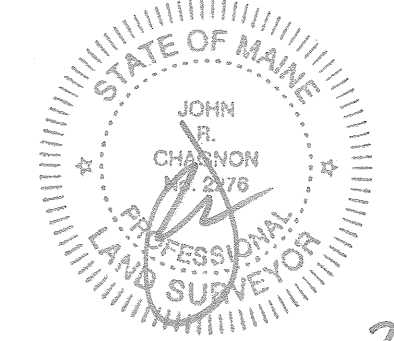
EXISTING CONDITIONS PLAN

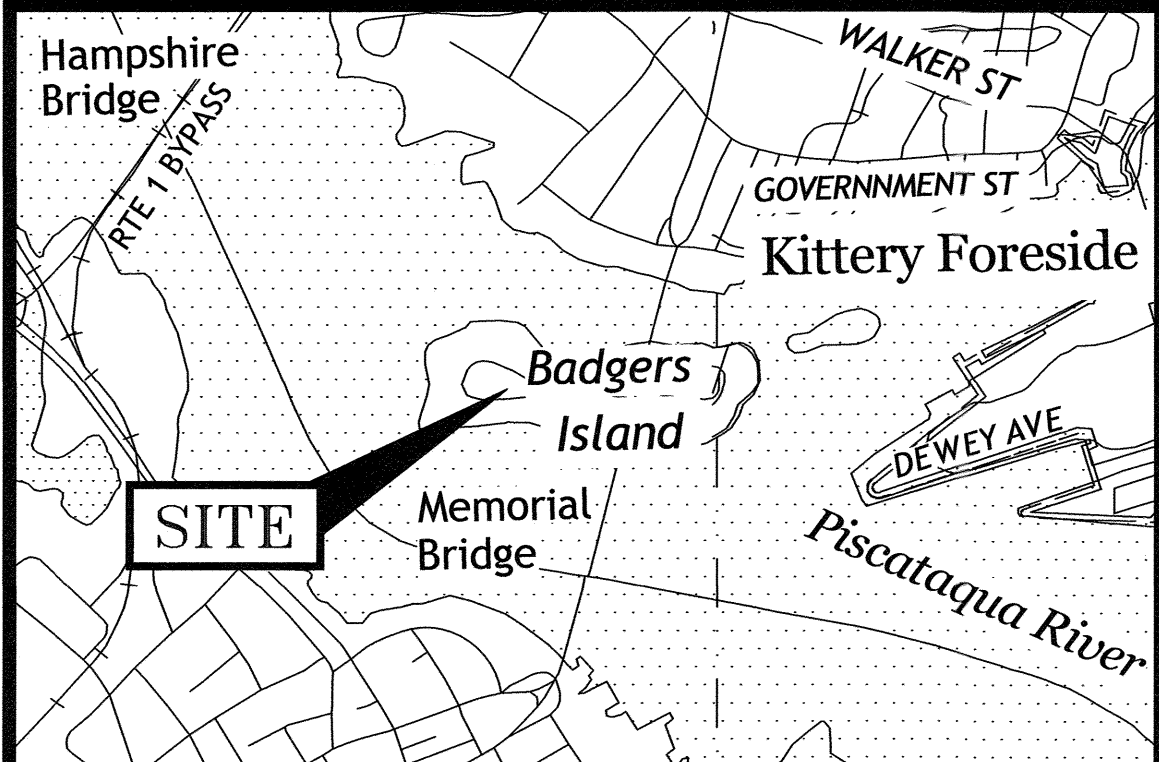
C1

OWNER:
BIW GROUP, LLC
41 INDUSTRIAL DRIVE
SUITE 20
EXETER, NH 03833

APPLICANT:
OTTER CREEK HOMES
198 LAFAYETTE ROAD UNIT 1
NORTH HAMPTON, NH 03862

PREPARED BY:
AMBIT ENGINEERING
200 GRIFFIN ROAD UNIT 3
PORTSMOUTH, N.H. 03801





LOCATION MAP

SCALE: 1" = 1,000'

LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
YCRD	YORK COUNTY REGISTRY OF DEEDS
11/21	MAP 11/LOT 21
IR FND	IRON ROD FOUND / SET
S	SEWER LINE
D	STORM DRAIN
W	WATER LINE
—	UNDERGROUND ELECTRIC
—	OVERHEAD ELECTRIC/WIRES
100	CONTOUR
—	EDGE OF PAVEMENT
—	PROPOSED EDGE OF PAVEMENT
—	UTILITY POLE
WGV	WATER GATE VALVE
—	CATCH BASIN
—	TELEPHONE MANHOLE
—	SEWER MANHOLE
—	TRANSFORMER
EL.	ELEVATION
FF	FINISHED FLOOR
INV	INVERT
TBM	TEMPORARY BENCH MARK
TYP	TYPICAL
HP	PROPOSED HEAT PUMP

DEVEGETATED COVERAGE CALCULATION (TO LOT LINE)

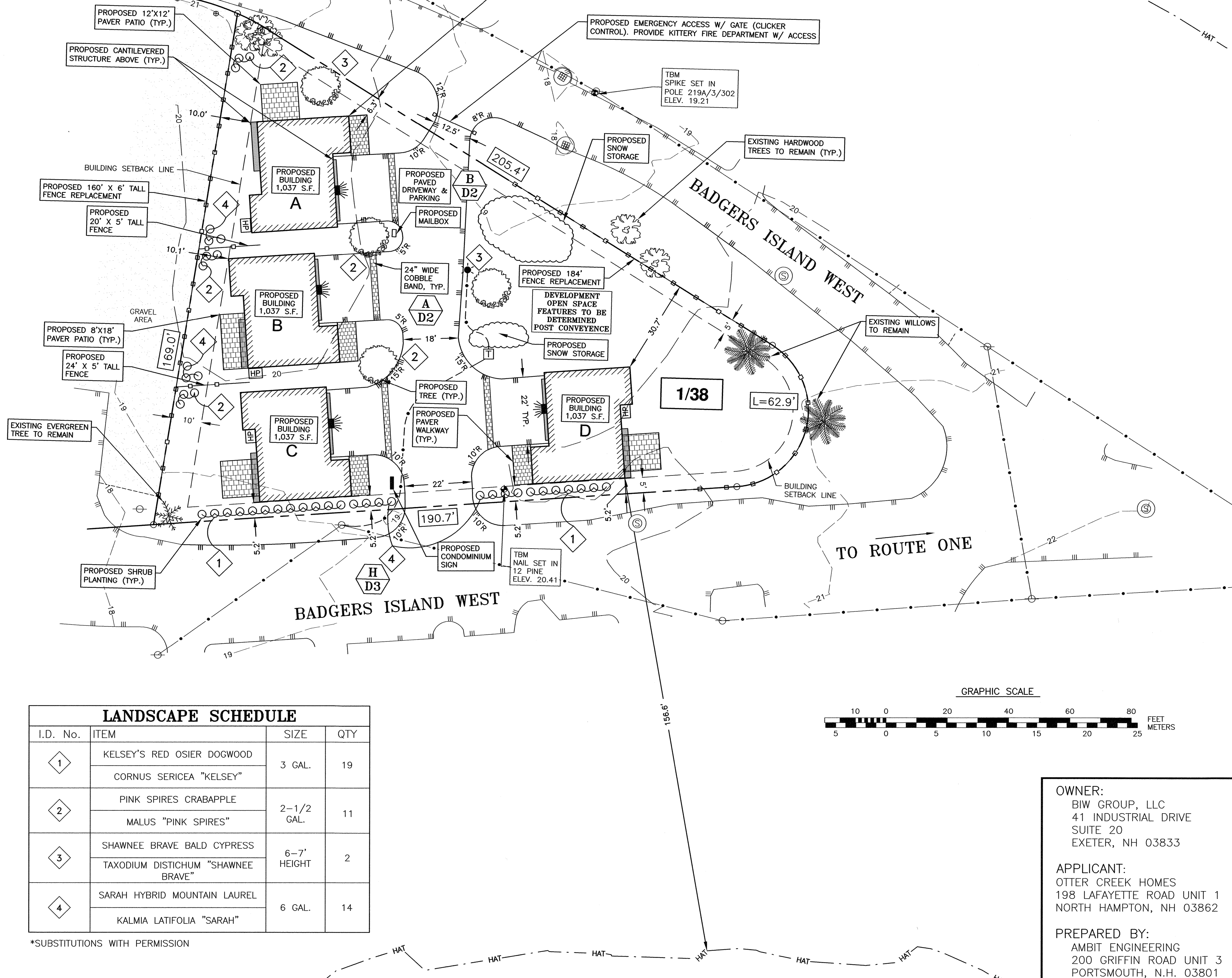
STRUCTURE	PRE-CONSTRUCTION (S.F.)	POST-CONSTRUCTION (S.F.)
MAIN STRUCTURES	2,071	4,148
PAVEMENT	13,286	4,771
STAIRS/RAMP	51	0
BULKHEAD	25	0
CONCRETE PADS	29	0
WALKWAY	0	312
PATIOS	0	288
TOTAL	15,462	9,519
LOT SIZE	21,029	21,029
% DEVEGETATED AREA	73.5%	45.3%

PROPOSED BUILDING COVERAGE: 19.7%
SITE IS CURRENTLY 0% BUILDING COVERAGE (POST BUILDING REMOVAL)

APPROVED BY THE KITTERY CODE ENFORCEMENT OFFICER

SIGNATURE

DATE



LANDSCAPE SCHEDULE

I.D. No.	ITEM	SIZE	QTY
1	KELSEY'S RED OSIER DOGWOOD	3 GAL.	19
2	CORNUS SERICEA "KELSEY"	2-1/2 GAL.	11
3	PINK SPIRES CRABAPPLE	6-7' HEIGHT	2
4	MALUS "PINK SPIRES"	6 GAL.	14
5	SHAWNEE BRAVE BALD CYPRESS	6 GAL.	14
6	TAXODIUM DISTICHUM "SHAWNEE BRAVE"	6 GAL.	14
7	SARAH HYBRID MOUNTAIN LAUREL	6 GAL.	14
8	KALMIA LATIFOLIA "SARAH"	6 GAL.	14

*SUBSTITUTIONS WITH PERMISSION

AMBIT ENGINEERING, INC.

A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3
Portsmouth, NH 03801
603.436.2315

WWW.HALEYWARD.COM

NOTES:

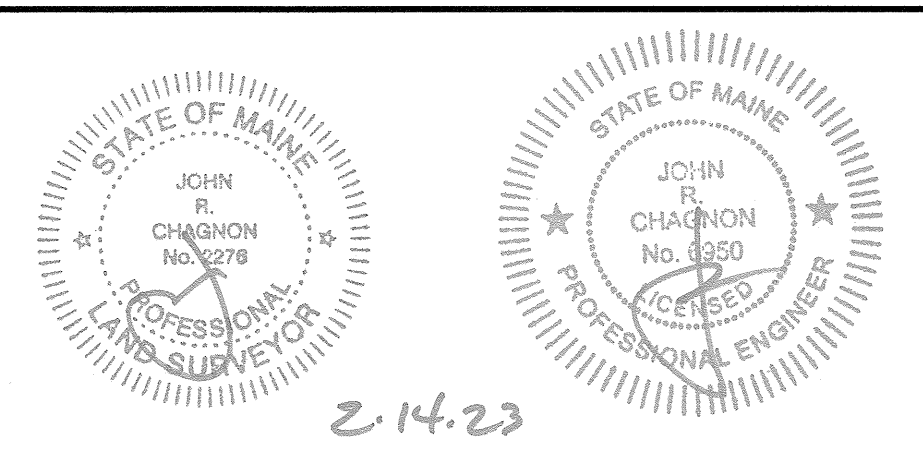
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41 INDUSTRIAL DRIVE, SUITE 20
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18503/331

APPLICANT:
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198 LAFAYETTE ROAD, UNIT 1
NORTH HAMPTON, NH 03862
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MU-BI BASE ZONE REQUIREMENTS:
MINIMUM LAND AREA PER DWELLING UNIT:
3,000 SQ. FT. (UNITS 1 & 2)
6,000 SQ. FT. (UNITS 3+)
MINIMUM LOT SIZE: 6,000 SQ. FT.
MINIMUM STREET FRONTAGE: 50 FT.
MINIMUM FRONT YARD: 5 FT.
MINIMUM REAR AND SIDE YARDS: 10 FT.
MAXIMUM BUILDING HEIGHT: 40 FT.
MINIMUM OPEN SPACE: 40%

OZ-SL-250' REQUIREMENTS (SEE 16.3.2.17):
MAXIMUM DEVEGETATED COVERAGE: 60%
PRINCIPAL AND ACCESSORY STRUCTURES
SETBACK: 75 FT.
ACCESSORY PATIO/DECK < 500 SQ.FT.
SETBACK: 75 FT.
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED STRUCTURES & SITE IMPROVEMENTS ON ASSESSOR'S MAP 1 LOT 38 IN THE TOWN OF KITTERY.
- 8) IF SNOW STORAGE CAPACITY IS EXCEEDED SNOW WILL NEED TO BE TRUCKED OFF SITE. NO SNOW STORAGE IN TOWN RIGHT OF WAY.

SITE REDEVELOPMENT 39 BADGERS ISLAND WEST KITTERY, ME

3	SIGN, LANDSCAPING	2/14/23
2	LANDSCAPE, ENTRANCE, NOTE 8	1/19/23
1	ISSUED FOR APPROVAL	12/8/22
0	ISSUED FOR COMMENT	11/10/22
NO.	DESCRIPTION	DATE



SCALE: 1"=20' OCTOBER 2022

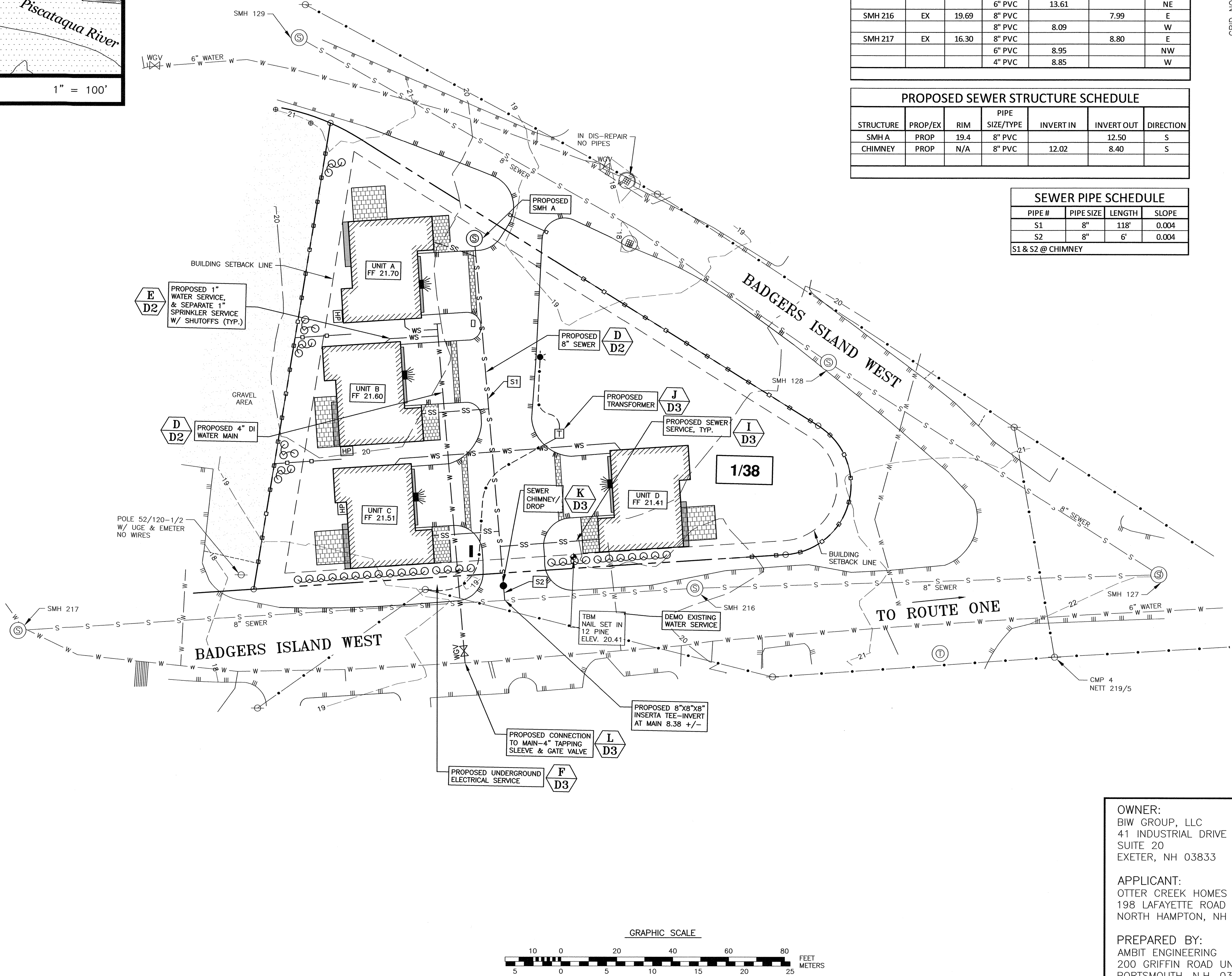
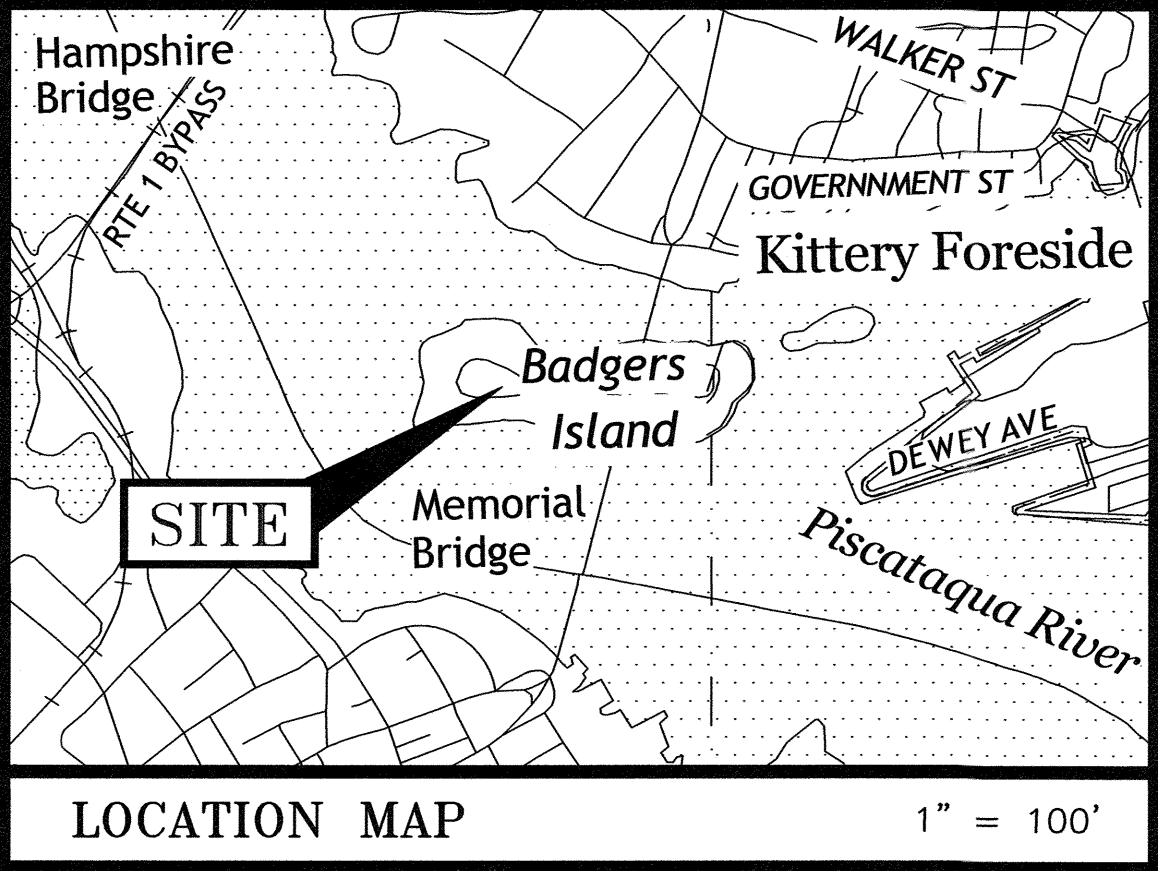
SHORELAND DEVELOPMENT PLAN

C2

OWNER:
BIW GROUP, LLC
41 INDUSTRIAL DRIVE
SUITE 20
EXETER, NH 03833

APPLICANT:
OTTER CREEK HOMES
198 LAFAYETTE ROAD UNIT 1
NORTH HAMPTON, NH 03862

PREPARED BY:
AMBIT ENGINEERING
200 GRIFFIN ROAD UNIT 3
PORTSMOUTH, N.H. 03801



SEWER STRUCTURE SCHEDULE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
SMH 127	EX	21.97	8" PVC	7.82	7.42	E
			8" PVC	7.82		NW
			8" PVC	7.52		W
SMH 128	EX	20.43	8" PVC		8.58	SE
			8" PVC	8.83		NW
			6" PVC	12.53		NW
SMH 129	EX	21.86	8" PVC		13.56	SW
			6" PVC	13.61		NE
SMH 216	EX	19.69	8" PVC		7.99	E
			8" PVC	8.09		W
SMH 217	EX	16.30	8" PVC		8.80	E
			6" PVC	8.95		NW
			4" PVC	8.85		W

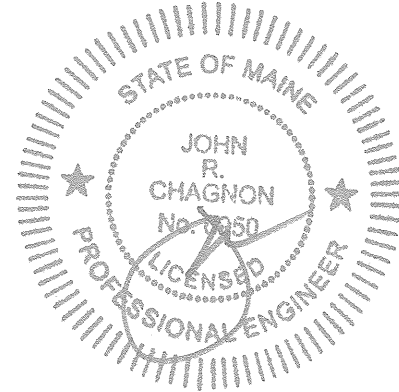
PROPOSED SEWER STRUCTURE SCHEDULE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
SMH A	PROP	19.4	8" PVC		12.50	S
CHIMNEY	PROP	N/A	8" PVC	12.02	8.40	S

SEWER PIPE SCHEDULE			
PIPE #	PIPE SIZE	LENGTH	SLOPE
S1	8"	118'	0.004
S2	8"	6'	0.004
S1 & S2 @ CHIMNEY			

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMP's" PUBLISHED BY THE MAINE D.E.P. IN 2016.
 - 4) CONTRACTOR SHALL FIELD VERIFY THE DEPTH OF EXISTING UTILITIES AND COORDINATE WITH THE ENGINEER PRIOR TO CONSTRUCTION OF THE PROPOSED UTILITIES.
 - 5) ALL UTILITIES SHOWN ARE TO REMAIN UNLESS NOTED OTHERWISE.
 - 6) COORDINATE UTILITY CONNECTIONS AND INSTALLATIONS WITH RESPECTIVE UTILITY COMPANIES AND SERVICE PROVIDERS.
 - 7) CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICES TO ADJACENT PROPERTIES DURING CONSTRUCTION. PROVIDE PROPER NOTIFICATION OF ANY SERVICE INTERRUPTIONS.
 - 8) ALL WATER MAINS SHALL BE DUCTILE IRON WITH POLYWRAP AND WATER SERVICES SHALL BE COPPER WITH BRASS CURB STOPS UNLESS NOTED OTHERWISE; ALL TO KITTERY WATER DISTRICT STANDARDS.
 - 9) SPRINKLER SERVICE SIZE SUBJECT TO DESIGN CONFIRMATION.

**SITE REDEVELOPMENT
39 BADGERS ISLAND WEST
KITTERY, ME**

NO.	DESCRIPTION	DATE
1	PAVEMENT, SPRINKLER SERVICE	1/19/23
0	ISSUED FOR COMMENT	12/8/22



SCALE: 1"=20' OCTOBER 2022

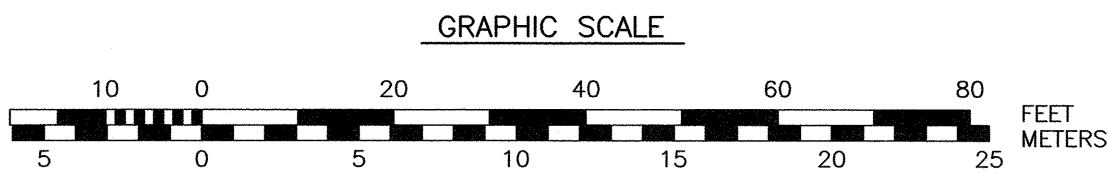
UTILITY
PLAN

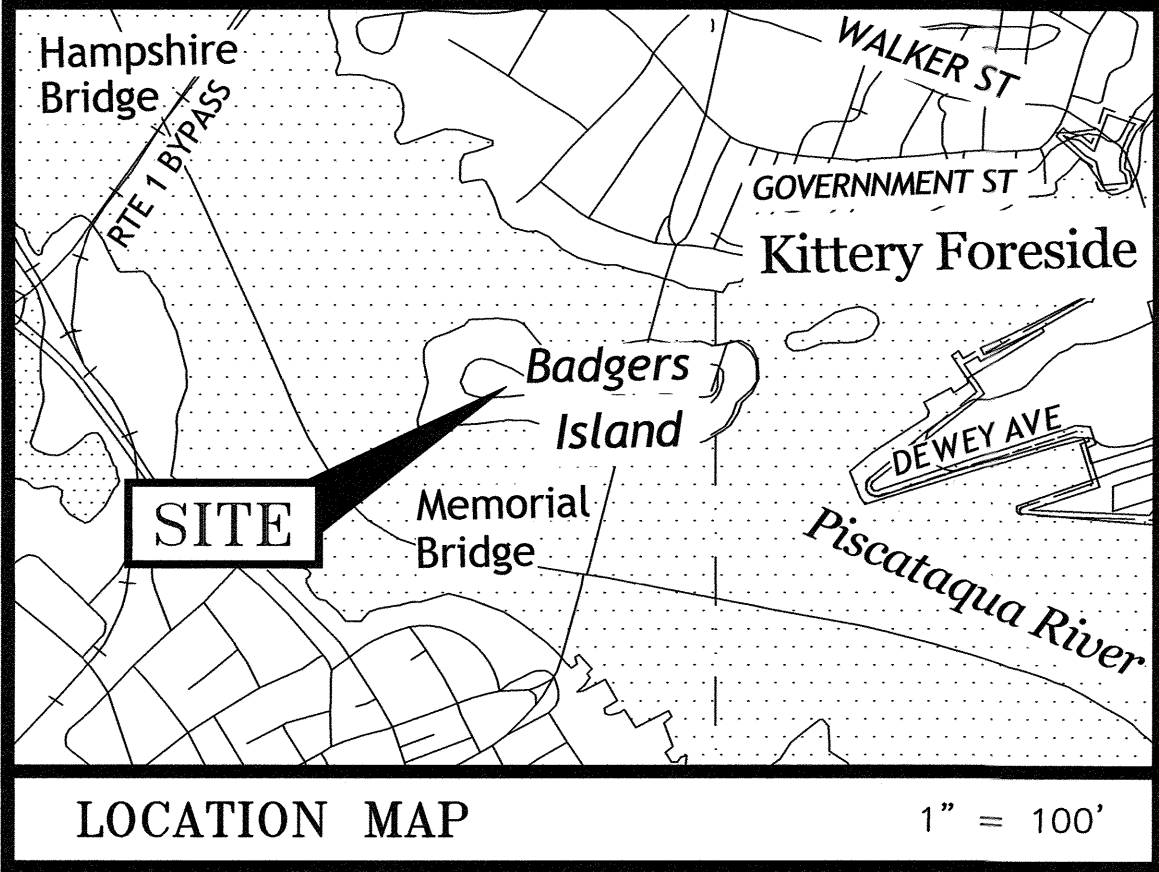
C3

OWNER:
BIW GROUP, LLC
41 INDUSTRIAL DRIVE
SUITE 20
EXETER, NH 03862

APPLICANT:
OTTER CREEK HOMES
198 LAFAYETTE ROAD UNIT 1
NORTH HAMPTON, NH 03862

PREPARED BY:
AMBIT ENGINEERING
200 GRIFFIN ROAD UNIT 3
PORTSMOUTH, N.H. 03801



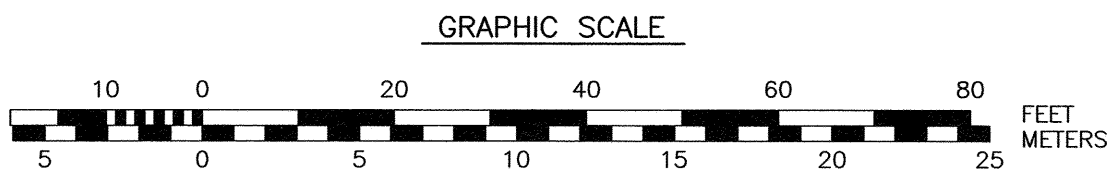
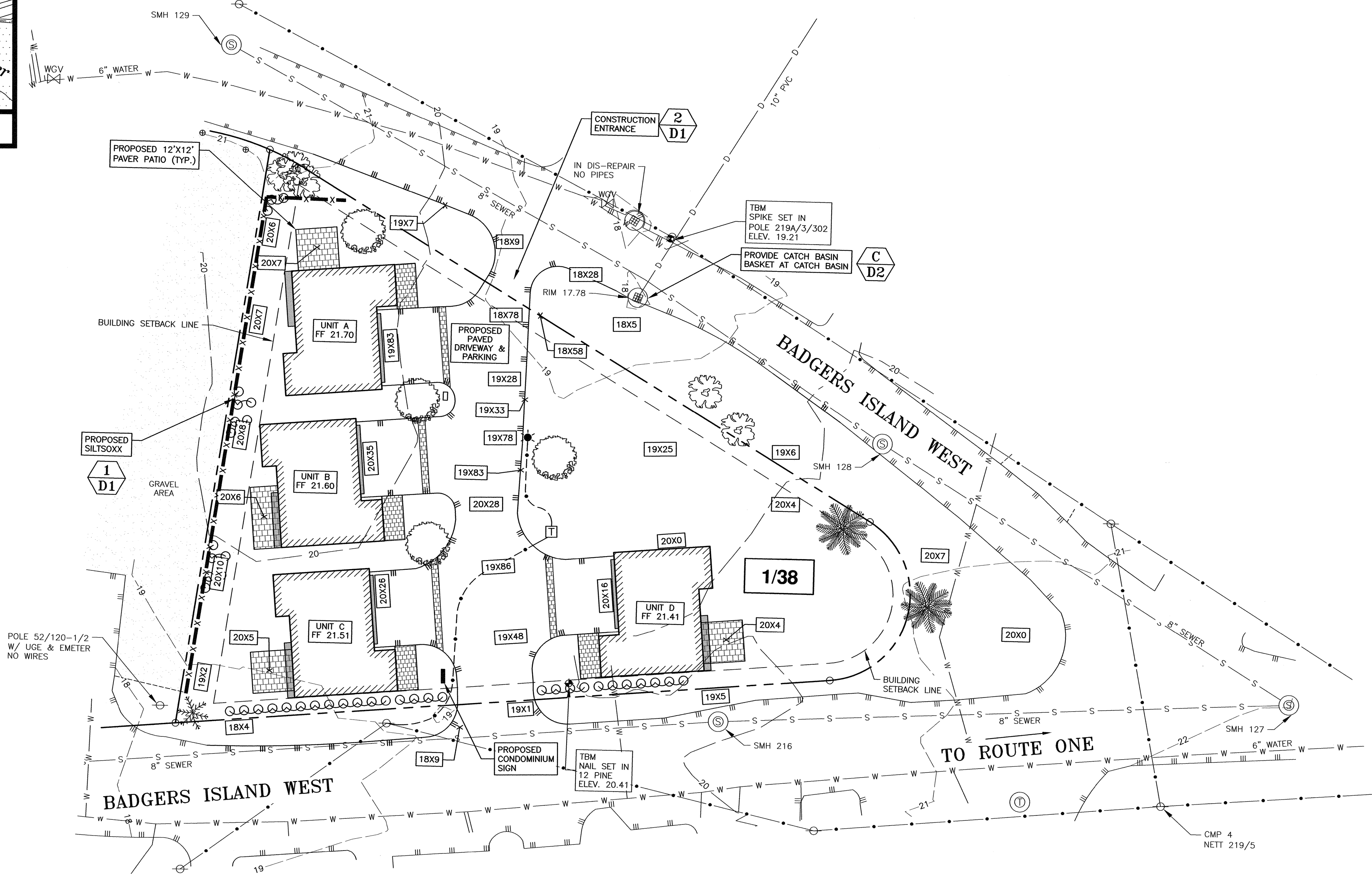


DRAINAGE STRUCTURE SCHEDULE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
CB 159	EX	18.9	10" PVC		17.1	NE

ME SPC
NAD83(2011)
GRID NORTH
WEST ZONE

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMP's" PUBLISHED BY THE MAINE D.E.P. IN 2016.
- 4) TOTAL PROJECT DISTURBED AREA: 22,092 S.F.
- 5) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.



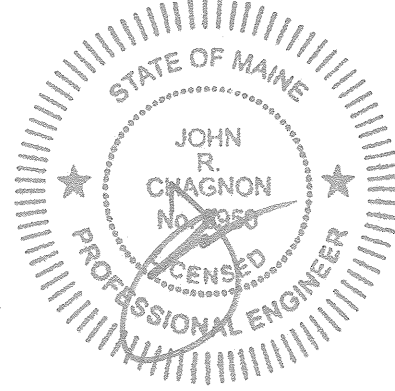
OWNER:
BIW GROUP, LLC
41 INDUSTRIAL DRIVE
SUITE 20
EXETER, NH 03833

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OTTER CREEK HOMES
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NORTH HAMPTON, NH 03862

PREPARED BY:
AMBIT ENGINEERING
200 GRIFFIN ROAD UNIT 3
PORTSMOUTH, N.H. 03801

SITE REDEVELOPMENT
39 BADGERS ISLAND WEST
KITTERY, ME

NO.	DESCRIPTION	DATE
2	SIGN	2/14/23
1	PAVEMENT	1/19/23
0	ISSUED FOR COMMENT	12/8/22
REVISIONS		



2.14.23

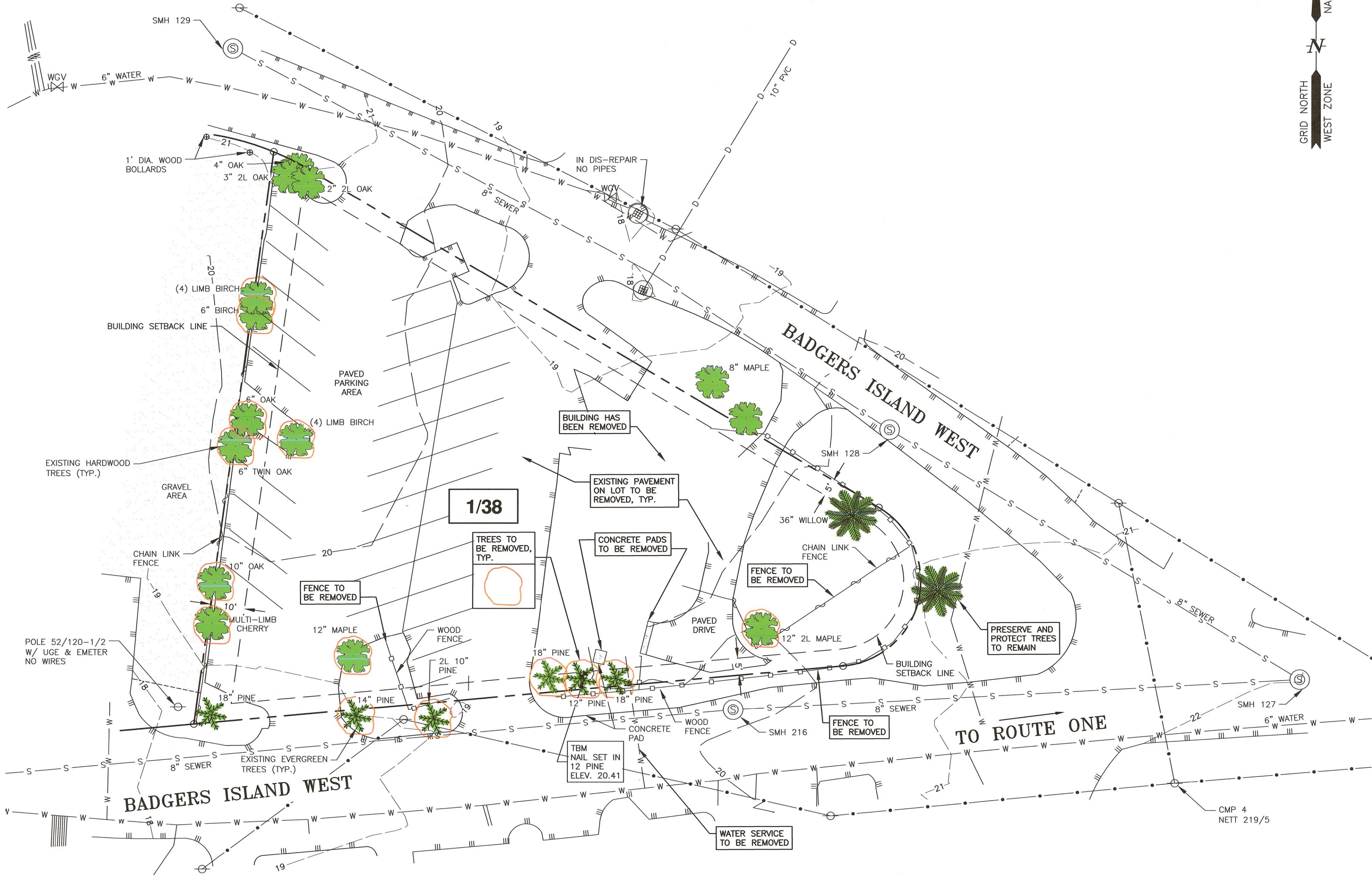
SCALE: 1"=20' OCTOBER 2022

GRADING
PLAN

C4

DEMOLITION NOTES:

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) ALL WORK WITHIN THE TOWN OF KITTERY RIGHT OF WAY SHALL BE COORDINATED WITH THE TOWN OF KITTERY DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH MEDEP REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



ME SPC
NAD83(2011)
GRID NORTH
WEST ZONE



WWW.HALEYWARD.COM

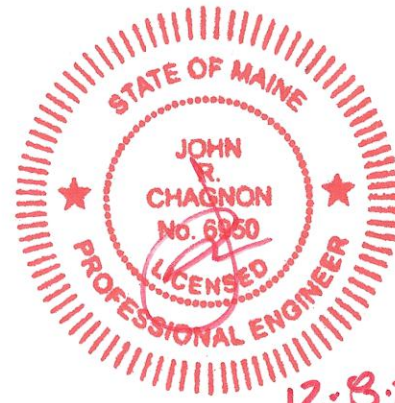
200 Griffin Road, Unit 3
Portsmouth, NH 03801
603.436.2315

NOTES:

- A) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
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SITE REDEVELOPMENT
39 BADGERS ISLAND WEST
KITTERY, ME

0	ISSUED FOR COMMENT	12/8/22
NO.	DESCRIPTION	DATE
REVISIONS		



SCALE: 1"=20' OCTOBER 2022

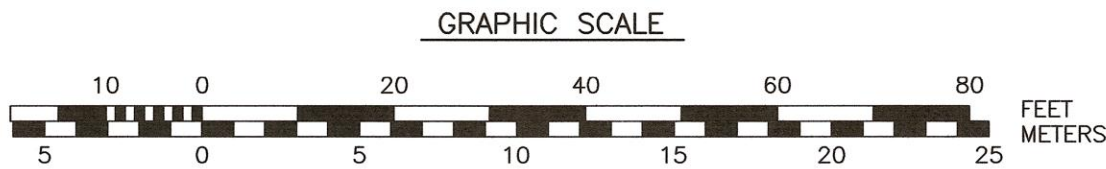
DEMOLITION
PLAN

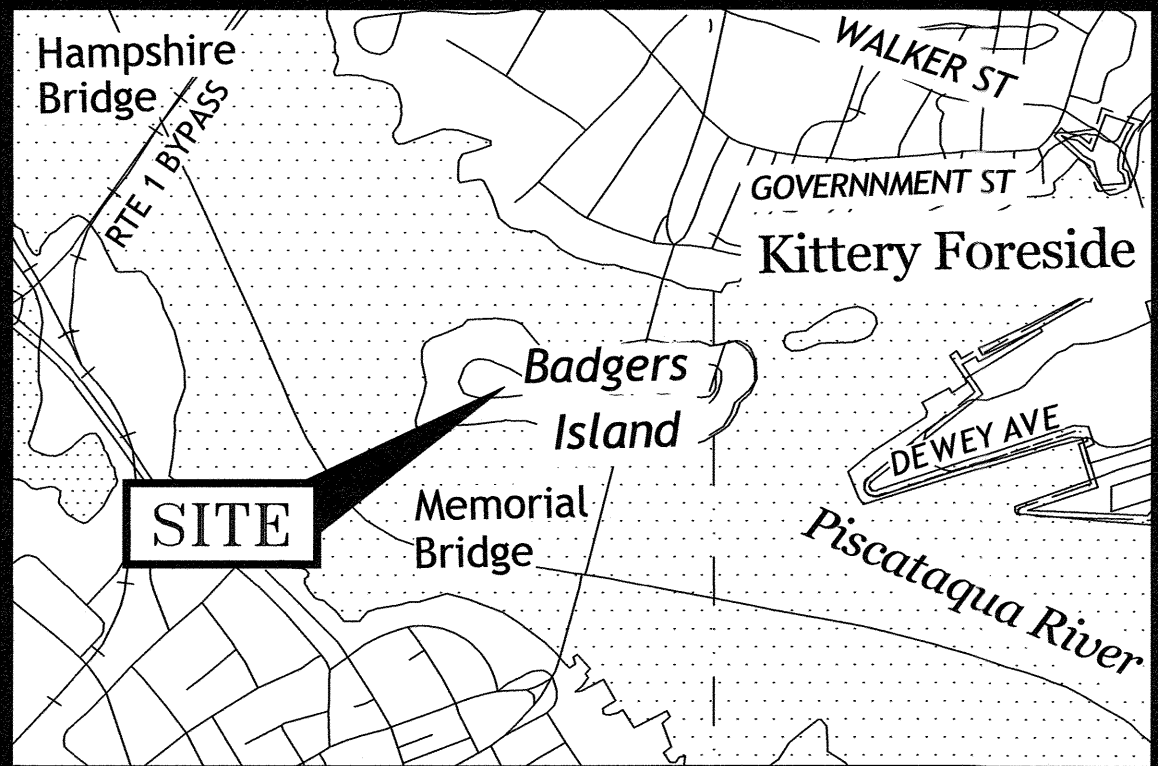
C5

OWNER:
BIW GROUP, LLC
41 INDUSTRIAL DRIVE
SUITE 20
EXETER, NH 03833

APPLICANT:
OTTER CREEK HOMES
198 LAFAYETTE ROAD UNIT 1
NORTH HAMPTON, NH 03862

PREPARED BY:
AMBIT ENGINEERING
200 GRIFFIN ROAD UNIT 3
PORTSMOUTH, N.H. 03801

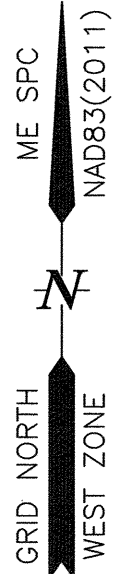




LOCATION MAP

1" = 100'

LIGHTING SCHEDULE				
SYMBOL	QTY.	LABEL	ARRANGEMENT	DESCRIPTION
	1	P	SINGLE	UMC-20001-30W-T2-W30-CXX-120/277V/12' POLE
	4	W	SINGLE	UCI-30131-18W-T4-W30-CXX-120/277V/WALL MTD. 10 AFG

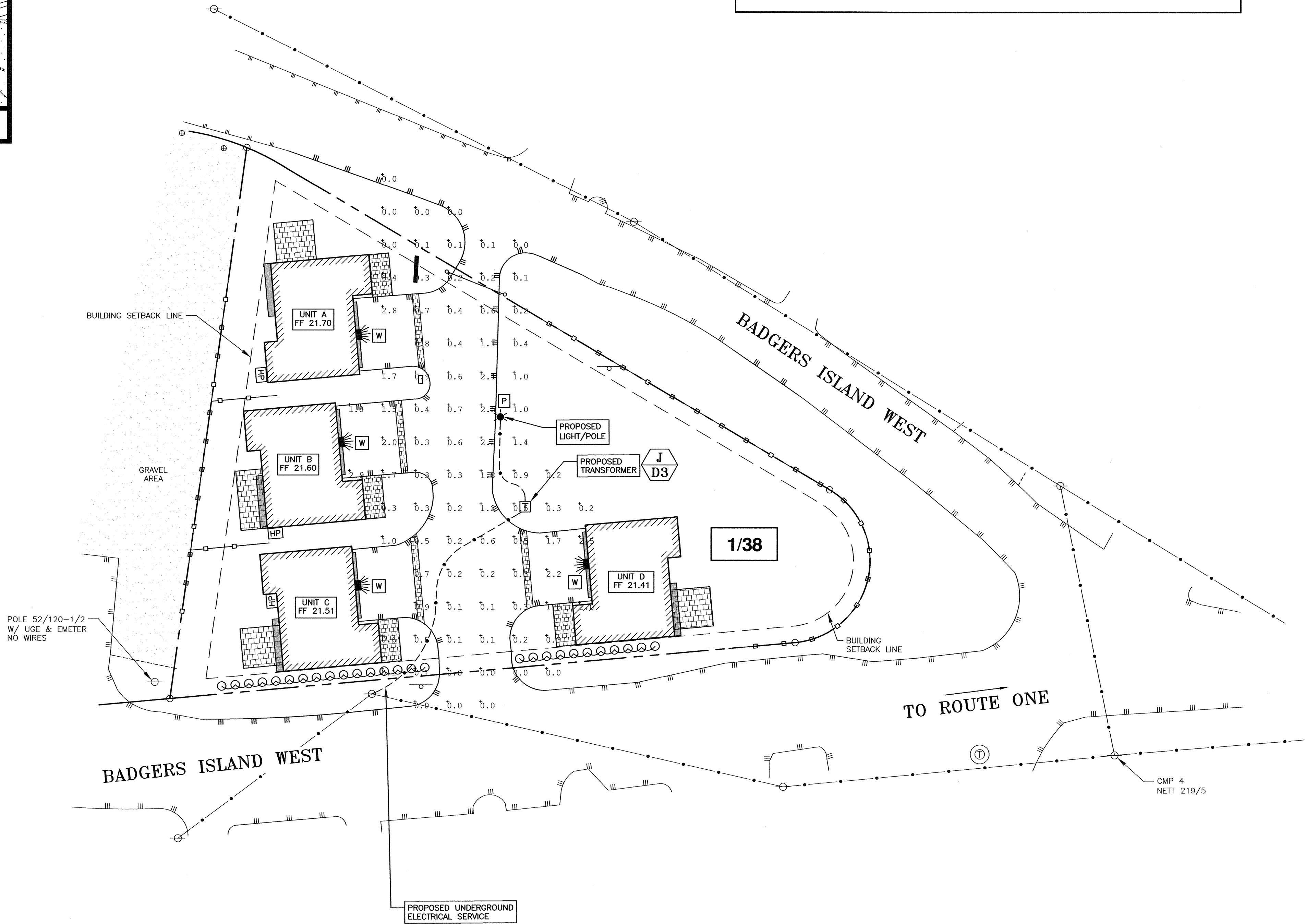


200 Griffin Road, Unit 3
Portsmouth, NH 03801
603.436.2315

WWW.HALEYWARD.COM

NOTES:

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- 4) POLE MOUNTED LIGHTS SHALL HAVE A MAXIMUM FIXTURE OF HEIGHT OF 12 FEET.
- 5) ALL LIGHTING SHALL BE SHIELDED TO MINIMIZE LIGHT TRESPASS AND DIRECT GLARE BEYOND THE PROPERTY.
- 6) ALL LIGHTS SHALL BE DARK SKY COMPLIANT AND DIRECTED DOWNWARD.
- 7) LIGHTING PLAN DESIGN BY EXPOSURE 2 LIGHTING 603-601-8080.
- 8) LIGHTS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.



SITE REDEVELOPMENT 39 BADGERS ISLAND WEST KITTERY, ME

NO.	DESCRIPTION	DATE
1	PAVEMENT	1/19/23
0	ISSUED FOR COMMENT	12/8/22

REVISIONS

OWNER:
BIW GROUP, LLC
41 INDUSTRIAL DRIVE
SUITE 20
EXETER, NH 03833

APPLICANT:
OTTER CREEK HOMES
198 LAFAYETTE ROAD UNIT 1
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PREPARED BY:
AMBIT ENGINEERING
200 GRIFFIN ROAD UNIT 3
PORTSMOUTH, N.H. 03801

SCALE: 1"=20'

OCTOBER 2022

LIGHTING
PLAN

C6

EASTERLY

3430.01

MAP 1 LOT 38

EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

INSTALL PERIMETER CONTROLS, i.e., SILT FENCING OR SILTSOXX AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAY BALES IS NOT ALLOWED.

CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.

PERFORM CLEARING & GRUBBING

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED.

REMOVE PAVEMENT AS NEEDED.

BULLDOZE TOPSOIL INTO STOCKPILES, AND CIRCLE WITH SILT FENCING OR SILTSOXX. IF EROSION IS EXCESSIVE, THEN COVER WITH MULCH.

ROUGH GRADE SITE. IN LANDSCAPED AREAS OUT OF THE WAY OF SUBSEQUENT CONSTRUCTION ACTIVITY, INSTALL TOPSOIL, MULCH, SEED AND FERTILIZE. STABILIZE PER DETAILS.

CONSTRUCT FOUNDATIONS.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES TO THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING FRAMES.

FINISH GRADE SITE, DRIVEWAY & PARKING SUBBASE GRAVEL IN TWO, COMPACTED LIFTS. PROVIDE TEMPORARY EROSION PROTECTION TO DITCHES AND SWALES IN THE FORM OF MULCHING, JUTE MESH OR DITCH DAMS. CONSTRUCT BINDER COURSE.

BUILDING EXTERIOR WORK & LIGHT FIXTURES.

AFTER BUILDING IS COMPLETED FINISH ALL REMAINING LANDSCAPED WORK.

CONSTRUCT ASPHALT WEARING COURSE.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO "MAINE EROSION AND SEDIMENT CONTROL BMP's" PUBLISHED BY THE MAINE D.E.P. IN 2016.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
- EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM OF 0.5" OR GREATER. ALL DAMAGED SILT FENCES SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES (LOAM AND SEED AREAS) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS. CONSTRUCT SILT FENCE AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED BY GRINDING OR FILL IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT EXCEEDING 8 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DISTURBED AREAS SHALL BE SEEDED WITHIN 72 HOURS FOLLOWING FINISHED GRADING.

AT NO TIME SHALL ANY DISTURBED AREA REMAIN UNSTABILIZED FOR LONGER THAN 72 HOURS. ALL AREAS WHERE CONSTRUCTION IS NOT COMPLETE WITHIN THIRTY DAYS OF THE INITIAL DISTURBANCE SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS:

LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEDED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER	PROPORTION	SEEDING RATE
CREeping RED FESCUE	50%	100 LBS/ACRE
KENTUCKY BLUEGRASS	50%	
SLOPE SEED (USED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1)		
CREeping RED FESCUE	42%	
TALL FESCUE	42%	48 LBS/ACRE
BIRDSFOOT TREFOIL	16%	

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS:

MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

PERENNIAL RYE: 0.7 LBS/1,000 S.F.

MULCH: 1.5 TONS/ACRE

MAINTENANCE AND PROTECTION

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.

TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDED AREAS WILL BE FERTILIZED AND RESEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.

THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.

THE SILT FENCE BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

SILT FENCING SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE REMOVAL SHALL BE PERMANENTLY SEEDED.

WINTER NOTES

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE; SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL.

INSPECTION AND MAINTENANCE PLAN

INTRODUCTION

THE INTENT OF THIS IS TO PROVIDE OTTER CREEK HOMES A LIST OF PROCEDURES THAT DOCUMENT THE INSPECTION AND MAINTENANCE REQUIREMENTS OF THE STORMWATER MANAGEMENT SYSTEM FOR THIS DEVELOPMENT. SPECIFICALLY, THE PROPOSED CONSTRUCTION DRAINAGE AND ASSOCIATED STRUCTURES ON THE PROJECT SITE (COLLECTIVELY REFERRED TO AS THE "STORMWATER MANAGEMENT SYSTEM")

THE FOLLOWING INSPECTION AND MAINTENANCE PROGRAM IS NECESSARY TO KEEP THE STORMWATER MANAGEMENT SYSTEM FUNCTIONING PROPERLY. THESE MEASURES WILL ALSO HELP MINIMIZE POTENTIAL ENVIRONMENTAL IMPACTS. BY FOLLOWING THE ENCLOSED PROCEDURES, THE OWNER WILL BE ABLE TO MAINTAIN THE FUNCTIONAL DESIGN OF THE STORMWATER MANAGEMENT SYSTEM AND MAXIMIZED ITS ABILITY TO REMOVE SEDIMENT AND OTHER CONTAMINANTS FROM THE SITE GENERATED STORMWATER RUNOFF.

STORMWATER MANAGEMENT SYSTEM COMPONENTS

THE STORMWATER MANAGEMENT SYSTEM IS DESIGNED TO MITIGATE BOTH THE QUANTITY AND QUALITY OF SITE-GENERATED RUNOFF. AS THE RESULT, THE DESIGN INCLUDES THE FOLLOWING ELEMENTS:

NON-STRUCTURAL BMP'S

NON-STRUCTURAL BEST MANAGEMENT PRACTICES (BMP'S) INCLUDE TEMPORARY AND PERMANENT MEASURES THAT TYPICALLY REQUIRE LESS LABOR AND CAPITAL INPUTS AND ARE INTENDED TO PROVIDE PROTECTION AGAINST EROSION OF SOILS. EXAMPLES OF NON-STRUCTURAL BMP'S ON THIS PROJECT INCLUDE BUT ARE NOT LIMITED TO: TEMPORARY AND PERMANENT MULCHING, TEMPORARY AND PERMANENT GRASS COVER, TREES, SHRUBS AND GRASS COVERS, MISCELLANEOUS LANDSCAPE PLANTINGS, DUST CONTROL, TREE PROTECTION, TOPSOILING, SEDIMENT BARRIERS, AND DURING CONSTRUCTION, STABILIZED CONSTRUCTION ENTRANCES AND CATCH BASIN BASKETS. IN THIS SITE TOTAL IMPERVIOUS AREA IS REDUCED.

STRUCTURAL BMP'S

STRUCTURAL BMP'S REQUIRE MORE SPECIALIZED PERSONNEL TO INSTALL. EXAMPLES ON THE PROJECT INCLUDE BUT ARE NOT LIMITED TO: STORM DRAINS, THE FILTRATION BASIN, AND ASSOCIATED OUTLET CONTROL STRUCTURES.

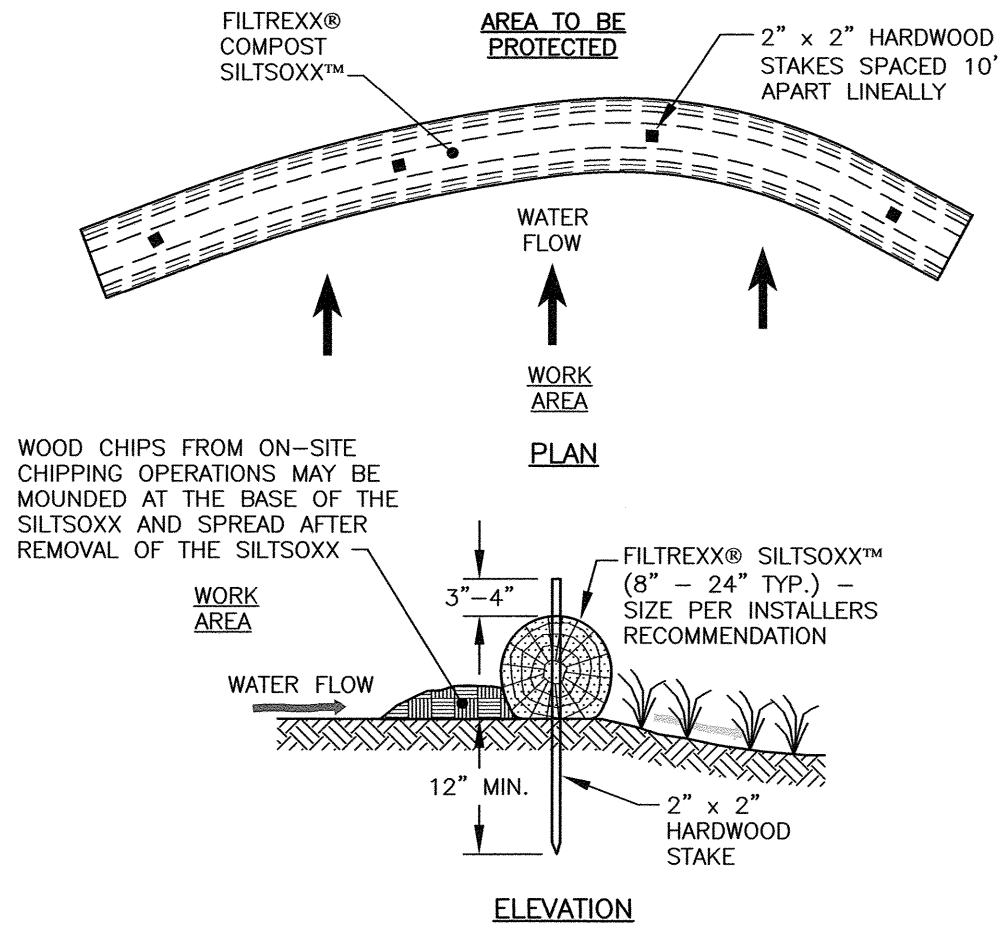
INSPECTION AND MAINTENANCE REQUIREMENTS

THE FOLLOWING SUMMARIZES THE INSPECTION AND MAINTENANCE REQUIREMENTS FOR THE VARIOUS BMP'S THAT MAY BE FOUND ON THIS PROJECT:

1. GRASSED AREAS: AFTER EACH RAIN EVEN OF 0.5" OR MORE DURING A 24 HOUR PERIOD, INSPECT GRASSED AREAS FOR SIGNS OF DISTURBANCE, SUCH AS EROSION. IF DAMAGED AREAS ARE DISCOVERED, IMMEDIATELY REPAIR THE DAMAGE. REPAIRS MAY INCLUDE ADDING NEW TOPSOIL, LIME, SEED, FERTILIZER AND MULCH.

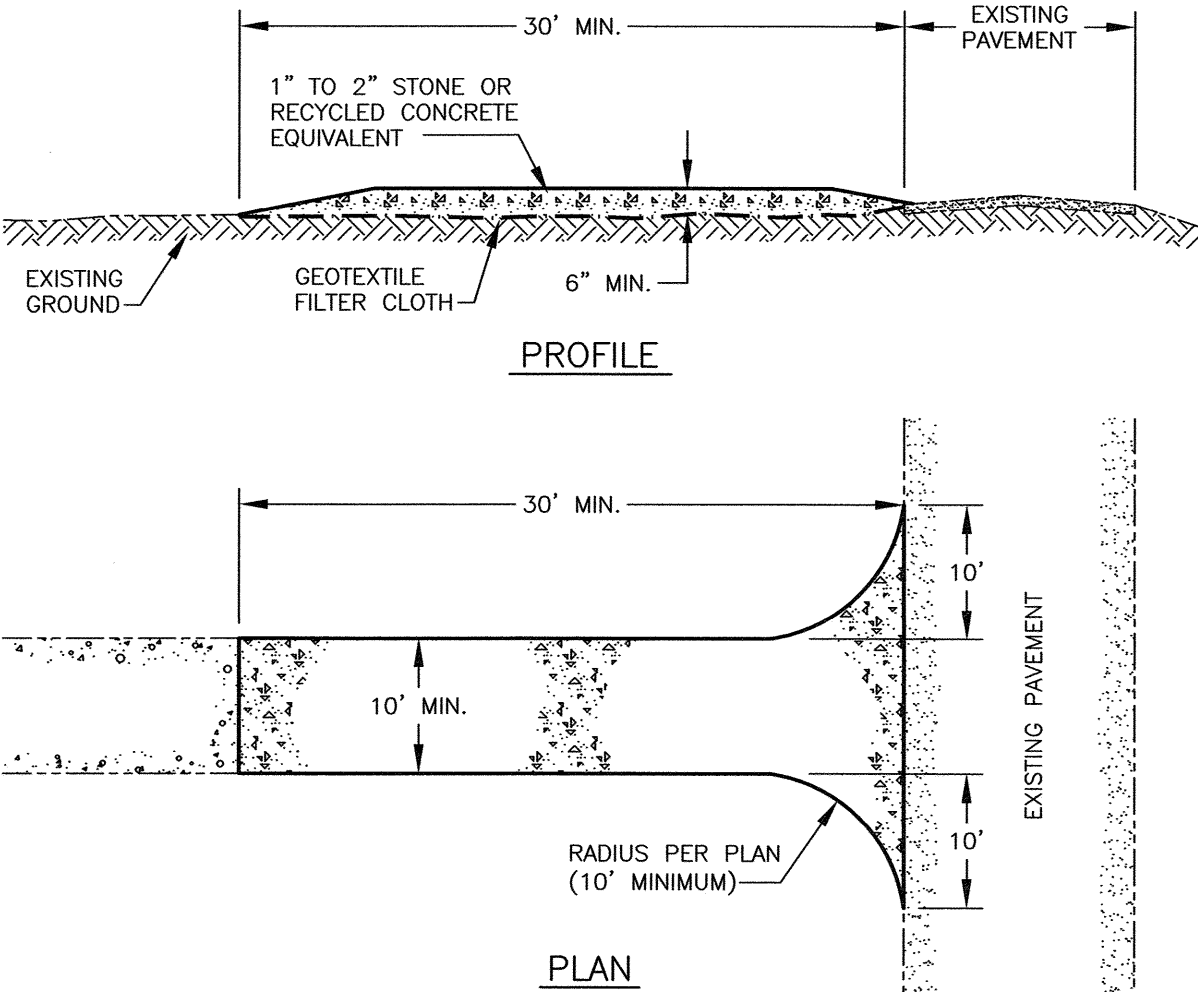
2. PLANTINGS: PLANTING AND LANDSCAPING (TREES, SHRUBS) SHALL BE MONITORED BI-MONTHLY DURING THE FIRST YEAR TO INSURE VIABILITY AND VIGOROUS GROWTH. REPLACE DEAD OR DYING VEGETATION WITH NEW STOCK AND MAKE ADJUSTMENTS TO THE CONDITIONS THAT CAUSED THE DEAD OR DYING VEGETATION. DURING DRYER TIMES OF THE YEAR, PROVIDED WEEKLY WATERING OR IRRIGATION DURING THE ESTABLISHMENT PERIOD OF THE FIRST YEAR. MAKE NECESSARY ADJUSTMENTS TO ENSURE LONG-TERM HEALTH OF VEGETATED COVER, I.E. PROVIDE MORE PERMANENT MULCH OR COMPOST OR OTHER MEANS OF PROTECTION.

3. INVASIVE SPECIES
MONITOR STORMWATER MANAGEMENT SYSTEM FOR SIGNS OF INVASIVE SPECIES GROWTH. IF CAUGHT EARLIER ENOUGH, THEIR ERADICATION IS MUCH EASIER. THE MOST LIKELY PLACES WHERE INVASIONS START ARE IN WETTER, DISTURBED SOILS OR DETENTION PONDS. SPECIES SUCH AS PHRAGMITES AND PURPLE LOOSE-STRIPE ARE COMMON INVADERS IN THESE WETTER AREAS. IF THEY ARE FOUND THEN THE OWNER SHALL CONTACT A WETLAND SCIENTIST WITH EXPERIENCE IN INVASIVE SPECIES CONTROL TO IMPLEMENT A PLAN OF ACTION TO ERADICATE THE INVADERS. MEASURES THAT DO NOT REQUIRE THE APPLICATION OF CHEMICAL HERBICIDES SHOULD BE THE FIRST LINE OF DEFENSE.



- NOTES:
1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 2. FILTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
 3. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
 4. SILTSOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
 5. THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

1 FILTREXX® SILTSOXX™ FILTRATION SYSTEM (AS NEEDED) NTS



MAINTENANCE

- 1) MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOP DRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
- 2) IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATIONS

- 1) STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 2 TO 4 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- 2) THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 30 FEET FOR A SINGLE RESIDENTIAL LOT.
- 3) THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- 4) THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- 5) GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- 6) ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE GROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- 7) THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- 8) WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

2 STABILIZED CONSTRUCTION ENTRANCE (AS NEEDED) NTS



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

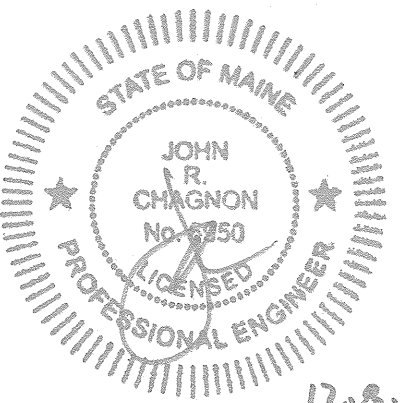
NOTES:

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- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMP's" PUBLISHED BY THE MAINE D.E.P. IN 2016.

SITE REDEVELOPMENT 39 BADGERS ISLAND WEST KITTERY, ME

0	ISSUED FOR COMMENT	12/8/22
NO.	DESCRIPTION	DATE

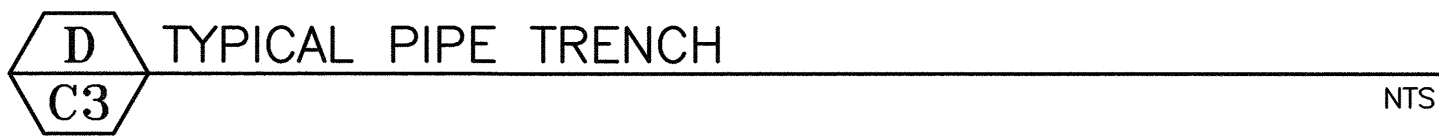
REVISIONS



SCALE: AS SHOWN DECEMBER 2022

EROSION CONTROL
NOTES AND DETAILS

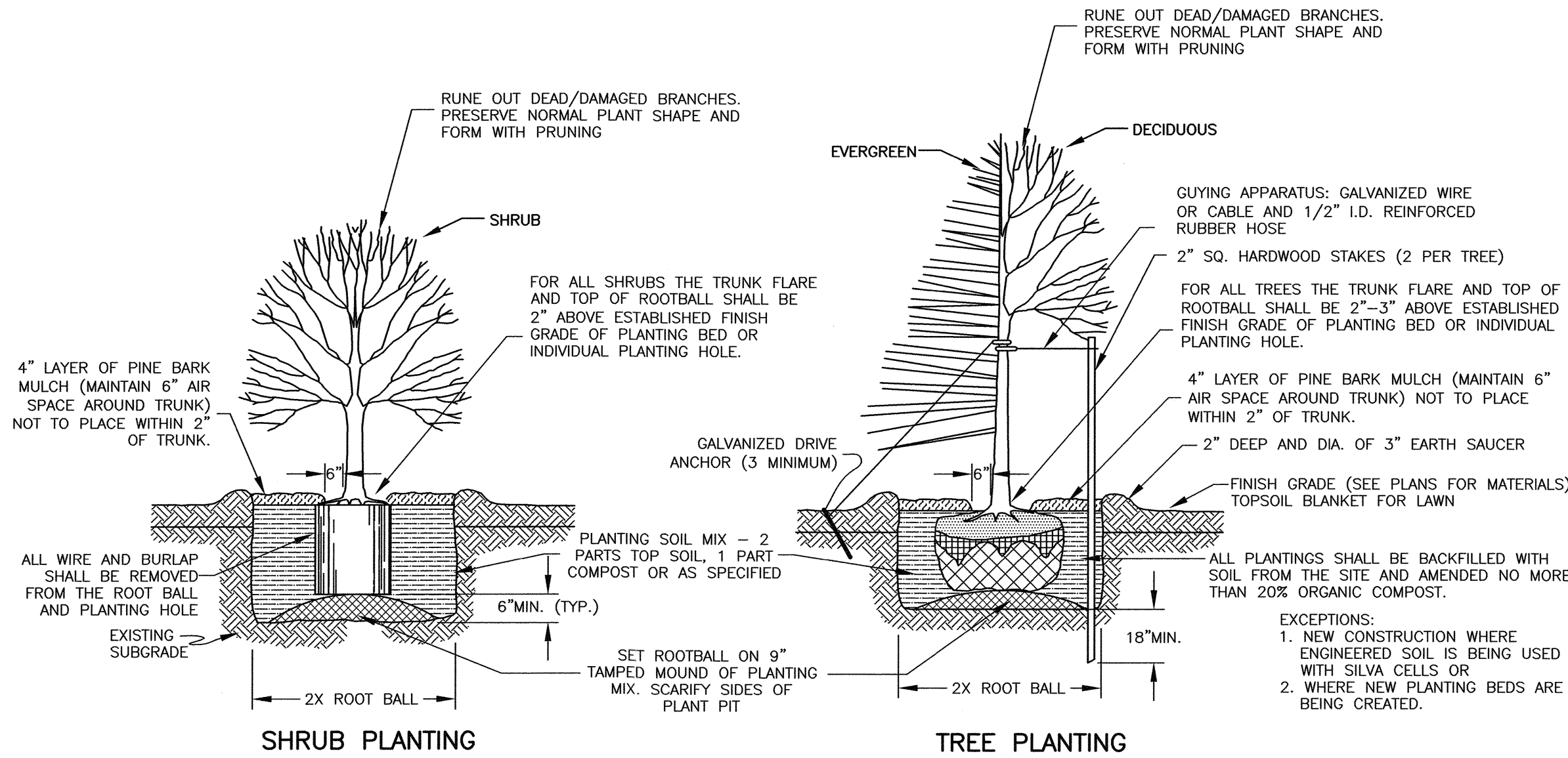
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F UTILITY TRENCH
C3 ELECTRIC/PHONE/CABLE

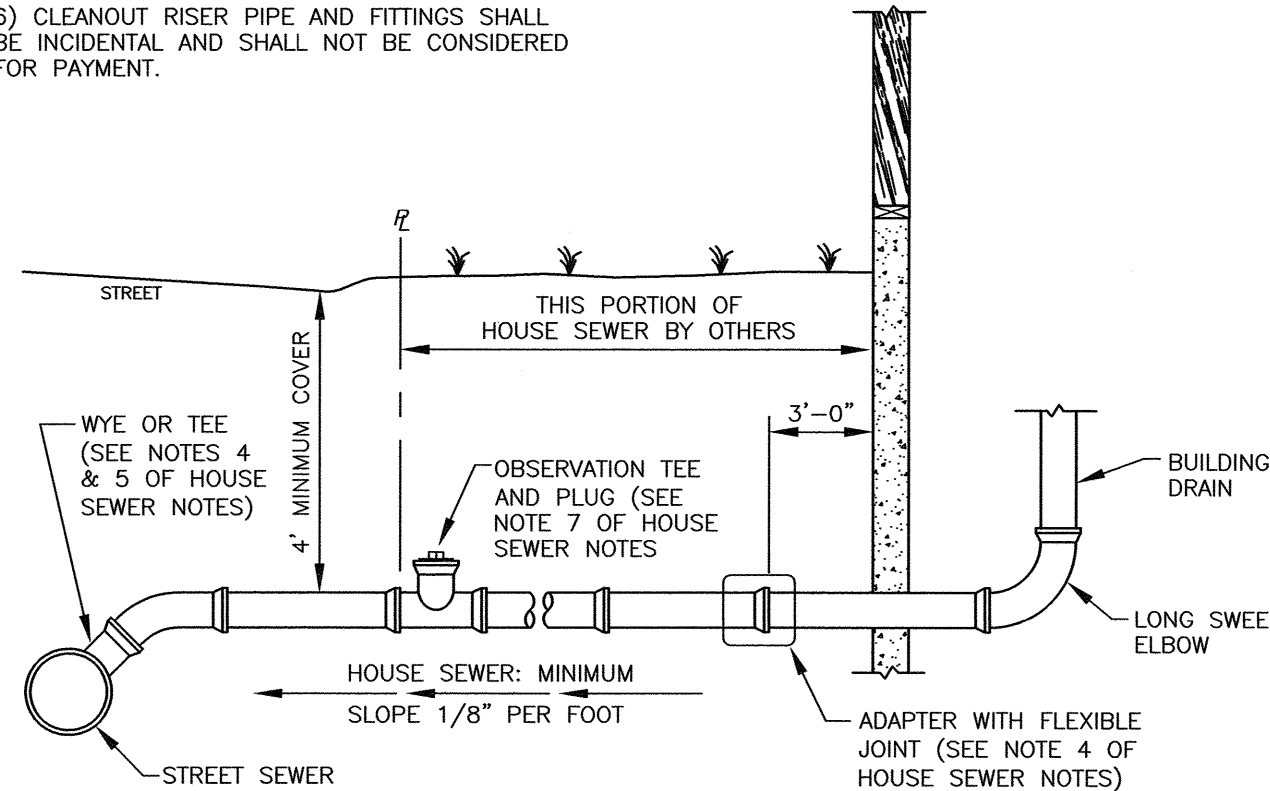


DETAILS



H
D3 SHRUB & TREE PLANTING DETAIL
(SHRUB PLANTING DETAIL APPLIES TO EVERGREEN AND DECIDUOUS SHRUBS)
NTS

- SERVICE CONNECTION NOTES:**
- 1) SEE NOTES FOR SERVICE CONNECTION REQUIREMENTS.
 - 2) SERVICE CONNECTION SHALL BE INSTALLED BELOW WATER MAIN WHERE POSSIBLE.
 - 3) CLEANOUTS SHALL BE INSTALLED AT EACH SERVICE CONNECTION.
 - 4) REBAR SHALL BE PLACED AT SIDE OF CLEANOUT.
 - 5) CLEANOUT SHALL BE USED TO PLUG AND TEST ALL NEW LATERALS WITH MINIMAL INTERRUPTION TO OPERATION OF HOMEOWNER SANITARY SYSTEM.
 - 6) CLEANOUT RISER PIPE AND FITTINGS SHALL BE INCIDENTAL AND SHALL NOT BE CONSIDERED FOR PAYMENT.



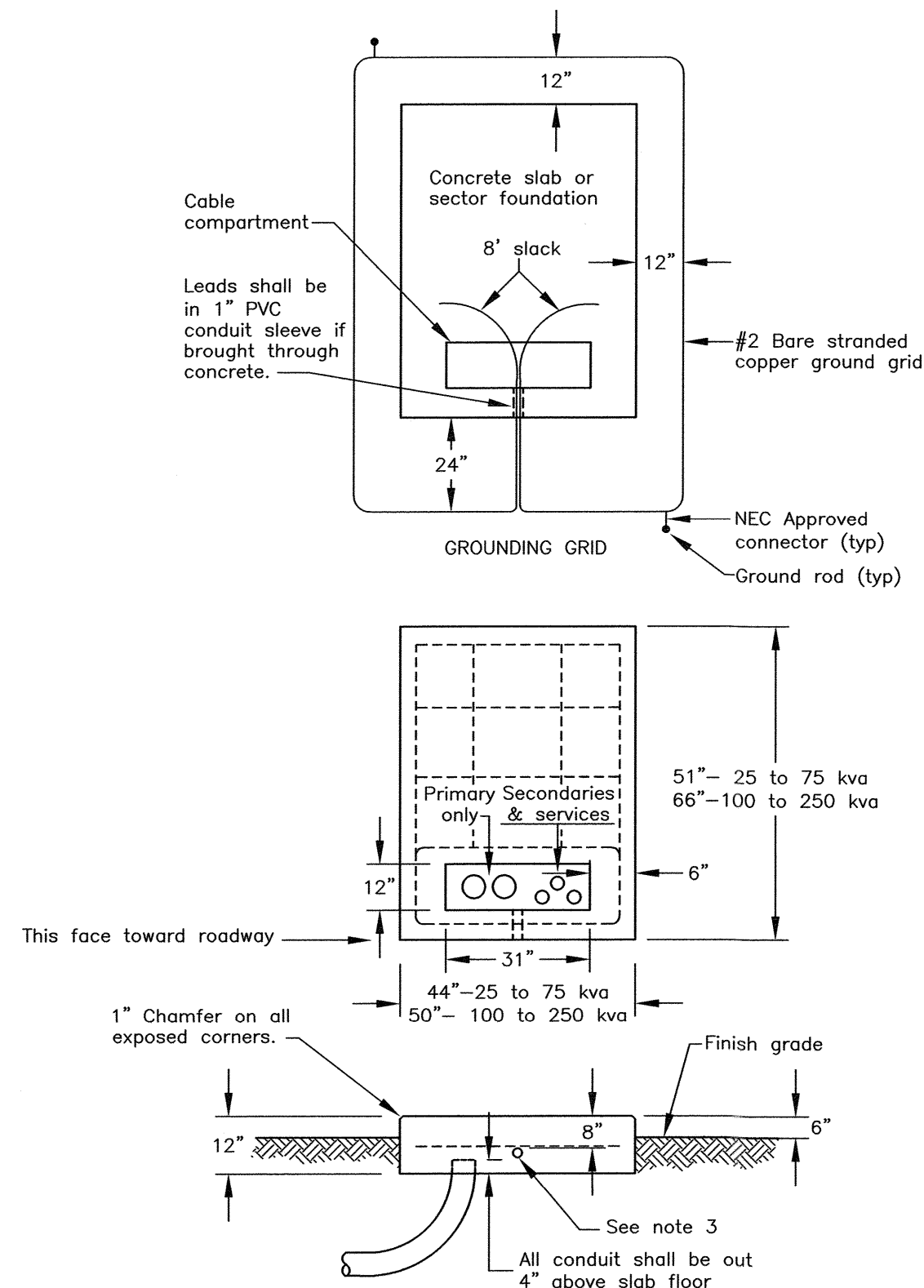
I
C3 TYPICAL SEWER SERVICE CONNECTION
NTS

HOUSE SEWER NOTES

- 1) MINIMUM PIPE SIZE FOR HOUSE SERVICE SHALL BE FOUR INCHES.
- 2) PIPE AND JOINT MATERIALS:
 - A. PLASTIC SEWER PIPE
 1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

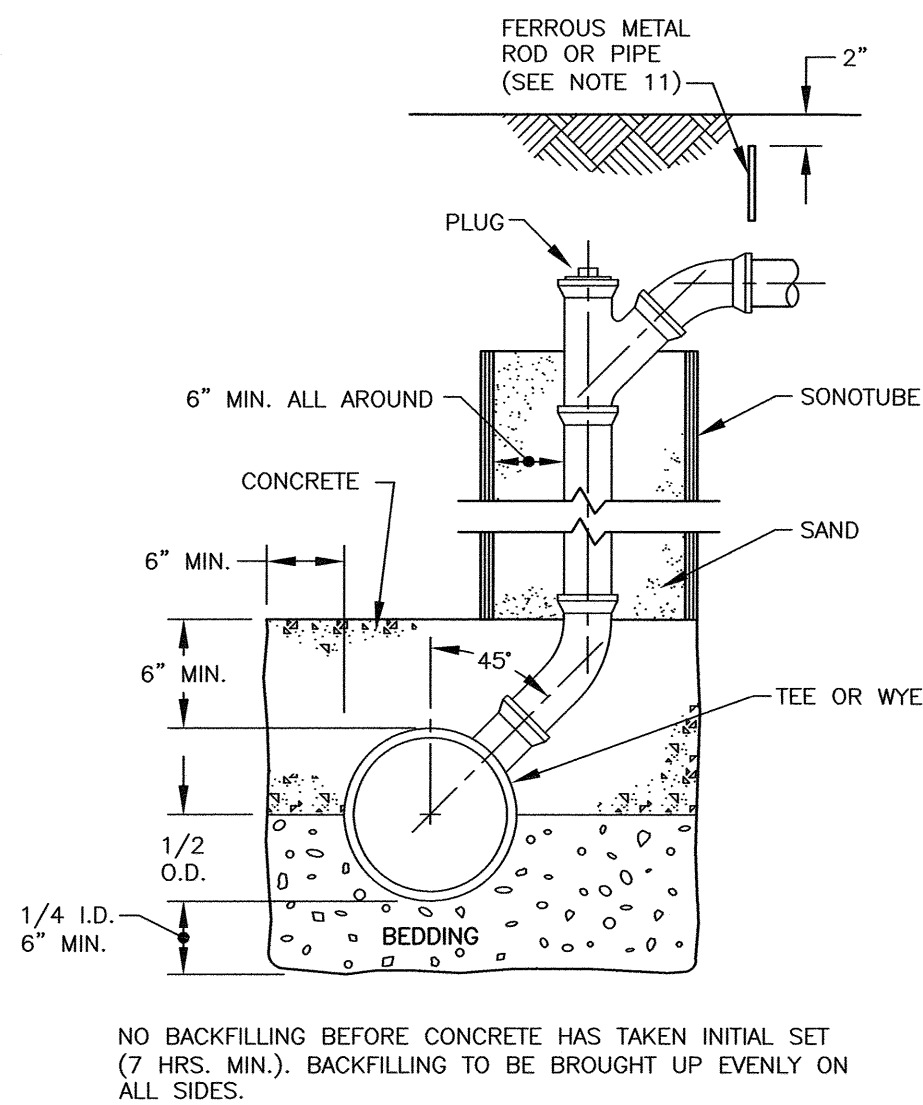
ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034	*PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F789	PVC (SOLID WALL)	4" THROUGH 18" (T-1 To T-3)
F794	PVC (RIBBED WALL)	8" THROUGH 36"
D2680	*ABS (COMPOSITE WALL)	8" THROUGH 15"

*PVC: POLYVINYL CHLORIDE
*ABS: ACRYLONITRILE-BUTADIENE-STYRENE
 2. JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON BELL AND SPIGOT TYPE.
 3. ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680. POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 322).
 4. JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.
 - B. DUCTILE IRON PIPE, FITTINGS AND JOINTS:
 1. DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
 - A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.
 - A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND LINED MOLDS FOR WATER OR OTHER LIQUIDS.
 2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
 - A21.11 RUBBER GASKET JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS.
- 3) DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- 4) JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
- 5) HOUSE SEWER INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND REFILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES. THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/8th INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.
- 6) TESTING: THE COMPLETED HOUSE SEWER SHALL BE SUBJECTED TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING)
 - A. AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND WHEN READY FOR TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE TEE. AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
 - B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER, TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS OR, IF TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.
 - C. DRY FLUORESCENCE DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER, OR IF THE TRENCH IS WET, GROUNDWATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST DOWN STREAM MANHOLE.LEAKAGE OBSERVED IN ANY ONE OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG UP IF NECESSARY AND RE-LAID SO AS TO ASSURE WATER TIGHTNESS.

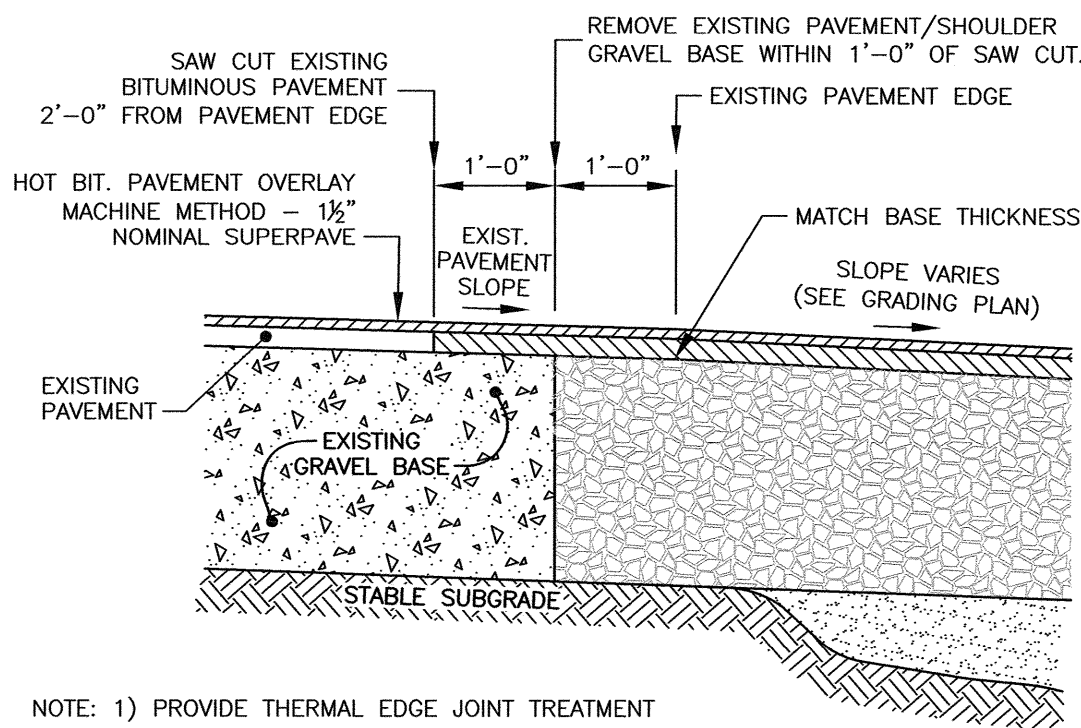


- NOTES**
1. See sheet "Requirements for Padmounted Transformer Slab Details".
 2. All reinforcing to be #6 bars.
 3. 1" PVC conduit sleeve for ground grid leads.
 4. The ground grid shall be supplied and installed by the customer and is to be buried at least 12" below grade. Eight feet of extra wire for each ground grid leg shall be left exposed in the cable compartment to allow for the connection to the transformer. The two 8' ground rods may be either galvanized steel or copperweld and they shall be connected to the grid with NEC approved connectors.

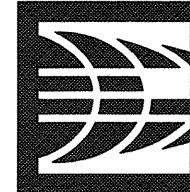
J
C3 TRANSFORMER PAD
CMP
NTS



K
C3 SEWER CHIMNEY
NOT TO SCALE



L
C3 PAVEMENT JOINT DETAIL
NTS



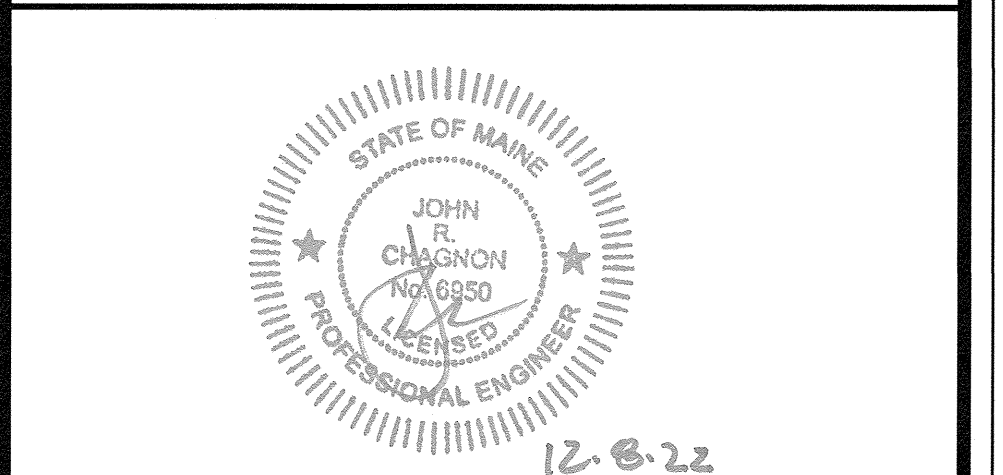
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
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NOTES:

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SITE REDEVELOPMENT 39 BADGERS ISLAND WEST KITTERY, ME

0	ISSUED FOR COMMENT	12/8/22
NO.	DESCRIPTION	DATE



SCALE: AS SHOWN
DECEMBER 2022

DETAILS

D3

OTTER CREEK HOMES
39 BADGERS ISLAND WEST
KITTERY, MAINE

JOB NUMBER: 3430.01
SCALE: 1" = 1000'
SUBMITTED: 10-12-2022



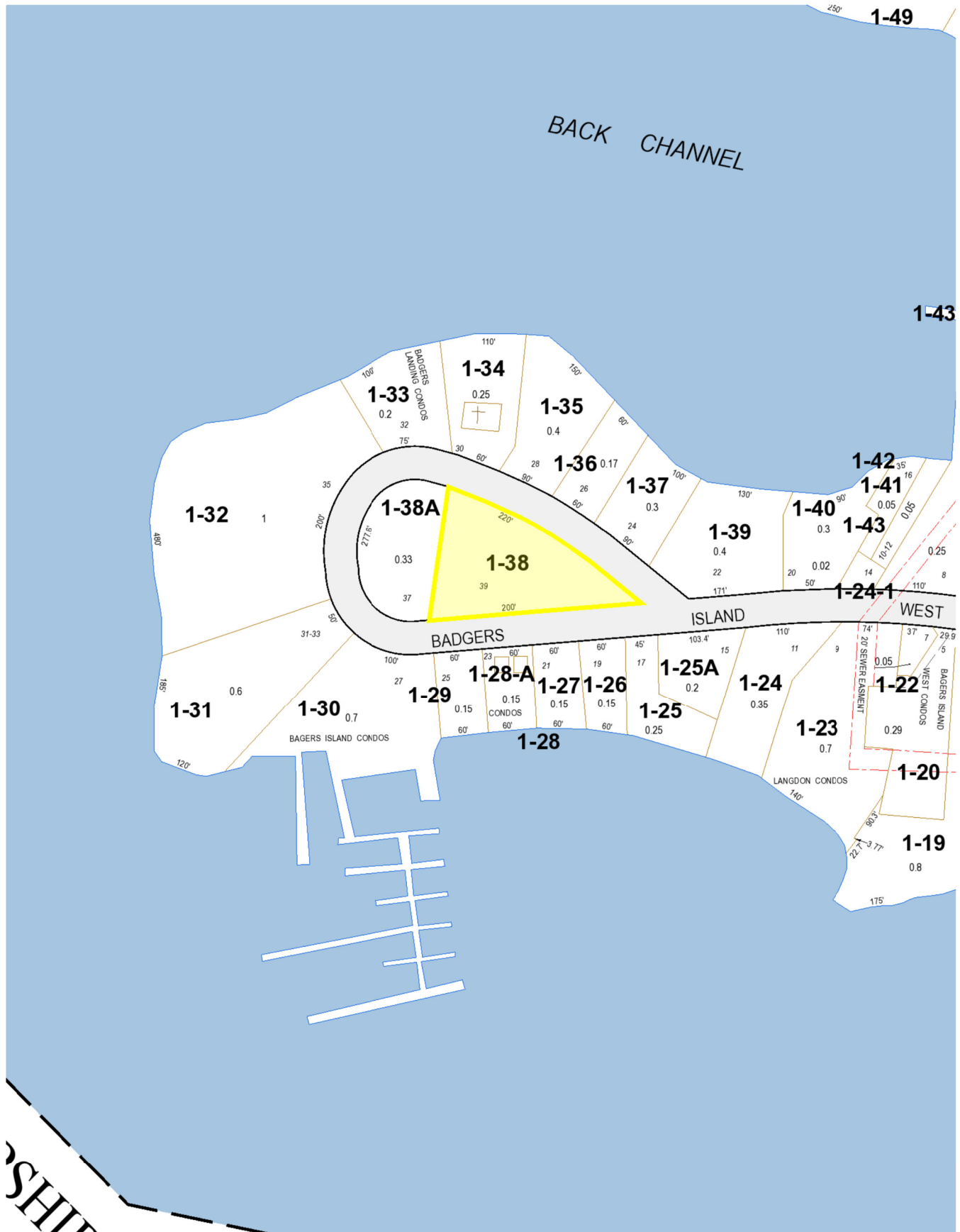
OTTER CREEK HOMES
39 BADGERS ISLAND WEST
KITTERY, MAINE

JOB NUMBER: 3430.01
SCALE: 1" = 100'
SUBMITTED: 10-12-2022



OTTER CREEK HOMES
39 BADGERS ISLAND WEST
KITTERY, MAINE

JOB NUMBER: 3430.01
NTS
SUBMITTED: 10-12-2022



Ambit Engineering Abutter Research

Name	B.I.W. Group, LLC
Address	39 Badgers Island West
City, State	Kittery, ME

Date	10/5/2022	Job #	3430.01
Job Name	Otter Creek		
Town	Kittery		
Research by	CA		

Applicant/Owner(s)

Map	Lot	Deed	Owner (s) First/Trust	Owner(s) Last, Trustee	Mailing Address	City	State	Zip	Street Address
1	38	18503/0331	B.I.W. Group, LLC		41 Industrial Drive, Unit 20	Exeter	NH	03833	39 Badgers Island West
			Otter Creek Homes		198 Lafayette Road, Unit 1	North Hampton	NH	03862	39 Badgers Island West

Engineer			Ambit Engineering Civil Engineers & Land Surveyors		200 Griffin Road, Unit #3	Portsmouth	NH	03801
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Other Consultants

Abutters

Job Name	Otter Creek	Job #	3430.01						
Map	Lot	Deed	Owner (s) First/Trust	Owner(s) Last, Trustee	Mailing Address	City	State	Zip	Street Address
1	25-A	1800/0042	Gordon C.	Blake	15 Badgers Island West	Kittery	ME	03904	15 Badgers Island West
1	25	1829/0174	Gordon C.	Blake	15 Badgers Island West	Kittery	ME	03904	17 Badgers Island West
1	26	3427/0273	Philip R. & Margaret D.	Desfosses	57550 Overseas Highway	Marathon	FL	33050	19 Badgers Island West
1	27	18696/0016	BDT Enterprises		10 Nordic Lane	Rollinsford	NH	03869	21 Badgers Island West
1	28	14932/0269	Jeffrey C.	Salisbury	23 Badgers Island West	Kittery	ME	03904	23 Badgers Island West
1	28-A	18362/0345	Brian Lee	Richards	370 Broad Street	Portsmouth	NH	03801	23 Badgers Island West # A
1	28-B	18326/0479	George David Flanders Liv. Trust		940 Monte Cristo Boulevard	Tierra Verde	FL	33715	23 Badgers Island West # B
1	29	9109/0226	Ralph T. & Catherine M.	Eager	25 Badgers Island West	Kittery	ME	03904	25 Badgers Island West
1	30		Badgers Island Condo						27 Badgers Island West
1	30-1	16408/0181	Harold	Fagan	27 Badgers Island West Unit 1	Kittery	ME	03904	27 Badgers Island West #1
1	30-2	18211/0910	Spratt Family Trust		27 Badgers Island West Unit 2	Kittery	ME	03904	27 Badgers Island West #2
1	30-3	16927/0186	James LaBranche Trust	Betty LaBranche Trust	27 Badgers Island West Unit 3	Kittery	ME	03904	27 Badgers Island West #3
1	30-4	16595/0713	Lynda A.	Truncellito	27 Badgers Island West Unit 4	Kittery	ME	03904	27 Badgers Island West #4
1	30-5	11878/162	Peter S. & Mary R. Karalekas Trust		27 Badgers Island West Unit 5	Kittery	ME	03904	27 Badgers Island West #5
1	30-6	18813/0907	27 BIM, LLC		32 Route 236	Kittery	ME	03904	27 Badgers Island West #6
1	33		Condominium						32-32 Badgers Island West

Ambit Engineering Abutter Research

[illegible]

John C. Perry, President
James E. Golter, Treasurer
Robert A. Gray, Clerk

Michael H. Melhorn, Trustee
Carla J. Robinson, Trustee
Michael S. Rogers, Superintendent

OFFICE OF

KITTERY WATER DISTRICT

17 State Road
Kittery, ME 03904-1565
TEL: 207-439-1128
FAX: 207-439-8549
E-Mail: kitterywater@comcast.net

Kittery Planning Board
200 Rogers Road
Kittery, ME 03904

March 2, 2023

Re: Proposed Minor Subdivision – 39 Badgers Island West, Kittery

Dear Planning Board Members,

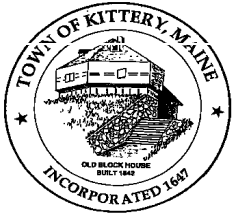
Please accept this letter as verification that the Kittery Water District does have the capacity to supply municipal water service to the proposed minor subdivision – 39 Badgers Island West, Kittery

Sincerely,



Michael S. Rogers
Superintendent

cc: John Chagnon, PE, LLS, Senior Project Manager – Ambit Engineering, Inc



TOWN OF KITTERY, MAINE

SEWER DEPARTMENT

200 Rogers Road, Kittery, ME 03904

Telephone: (207) 439-4646 Fax: (207) 439-2799

39 Badgers Island West
Kittery, ME 03904

March 2, 2023

RE:Sewer Availability

This letter is to confirm that the sewer system (piping and pumping stations) and the treatment facility has the capacity and ability to handle the increased flow from the project located at 39 Badgers Island West.

This letter is only confirming the sewer department capacity, Impact and Entrance Fees will be calculated after project receives all required approvals.

If you have further questions or concerns, please contact me.

Sincerely Yours

Timothy Babkirk

Timothy Babkirk
Superintendent of Sewer Services
Town of Kittery
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1-207-439-4646
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