

PLAN REFERENCES:

- TOPOGRAPHIC AND APPROX. PROPERTY BOUNDARY INFORMATION TAKEN FROM A COMPILATION OF THE FOLLOWING:
 - A PLAN TITLED "EXISTING CONDITIONS PLAN FOR PROPERTY AT 20 FOLCUTT ROAD, KITTERY POINT, YORK COUNTY, MAINE", PREPARED BY EASTERLY SURVEYING, INC OF 191 STATE ROAD, SUITE #1, KITTERY, MAINE 03904, DATED APRIL 1, 2019.
 - ORTHOIMAGE TILES WITH INDEX OBTAINED FROM MAINE OFFICE OF GIS GEOLIBRARY ORTHOIMAGE VIEWER ON FEBRUARY 24, 2021.
 - DIGITAL ELEVATION INFORMATION OBTAINED FROM MAINE OFFICE OF GIS GEOLIBRARY DIGITAL ELEVATION APPLICATION ON FEBRUARY 24, 2021.
 - PARCEL AND ABUTTERS PROPERTY BOUNDARIES OBTAINED FROM MAINE OFFICE OF GIS ON FEBRUARY 24, 2021.
 - ORTHOPHOTO GENERATED FROM A DRONE FLIGHT PERFORMED BY WALSH ENGINEERING ASSOCIATES, INC. ON NOVEMBER 10, 2021.

PARCEL INFORMATION:

- OWNER OF RECORD: WLADISLAW REALTY TRUST
- PARCEL SHOWN HEREON IS TOWN OF KITTERY TAX MAP 25, LOT 18.
- TOTAL AREA OF PARCEL: 1.71 AC.
- CURRENT ZONE: RESIDENTIAL-KITTERY POINT VILLAGE (R-KPV) 250' SHORELAND ZONE (OZ-SL-250) & RESOURCE PROTECTION ZONE (OZ-RP)

FLOOD ZONE INFORMATION:

- CLASSIFICATION: ZONE A2 (EL 9)
- FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 230171 0005 D
- EFFECTIVE DATE: JULY 3, 1986

ZONING INFORMATION*:

- CLASSIFICATION: RESIDENTIAL - KITTERY POINT VILLAGE (R-KPV), WATER BODY / WETLAND PROTECTION AREA - 250' (OZ-SL-250'), RESOURCE PROTECTION OVERLAY ZONE (OZ-RP)
- PERMITTED USES: RESIDENTIAL

R-KPV BASE ZONE REQUIREMENTS:

MINIMUM LAND AREA PER DWELLING UNIT:	40,000 Sq. Ft.
MINIMUM LOT SIZE:	40,000 Sq. Ft.
MINIMUM STREET FRONTAGE:	150 Ft.
MINIMUM FRONT YARD:	40 Ft.
MINIMUM REAR AND SIDE YARDS:	15 Ft.
MAXIMUM BUILDING HEIGHT:	35 Ft.

MINIMUM SETBACK FROM WATER BODY AND WETLAND DEPENDENT USES:	0 Ft.
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MAXIMUM LOT COVERAGE:	20%
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OZ-SL-250' REQUIREMENTS (SEE 16.3.2.17):

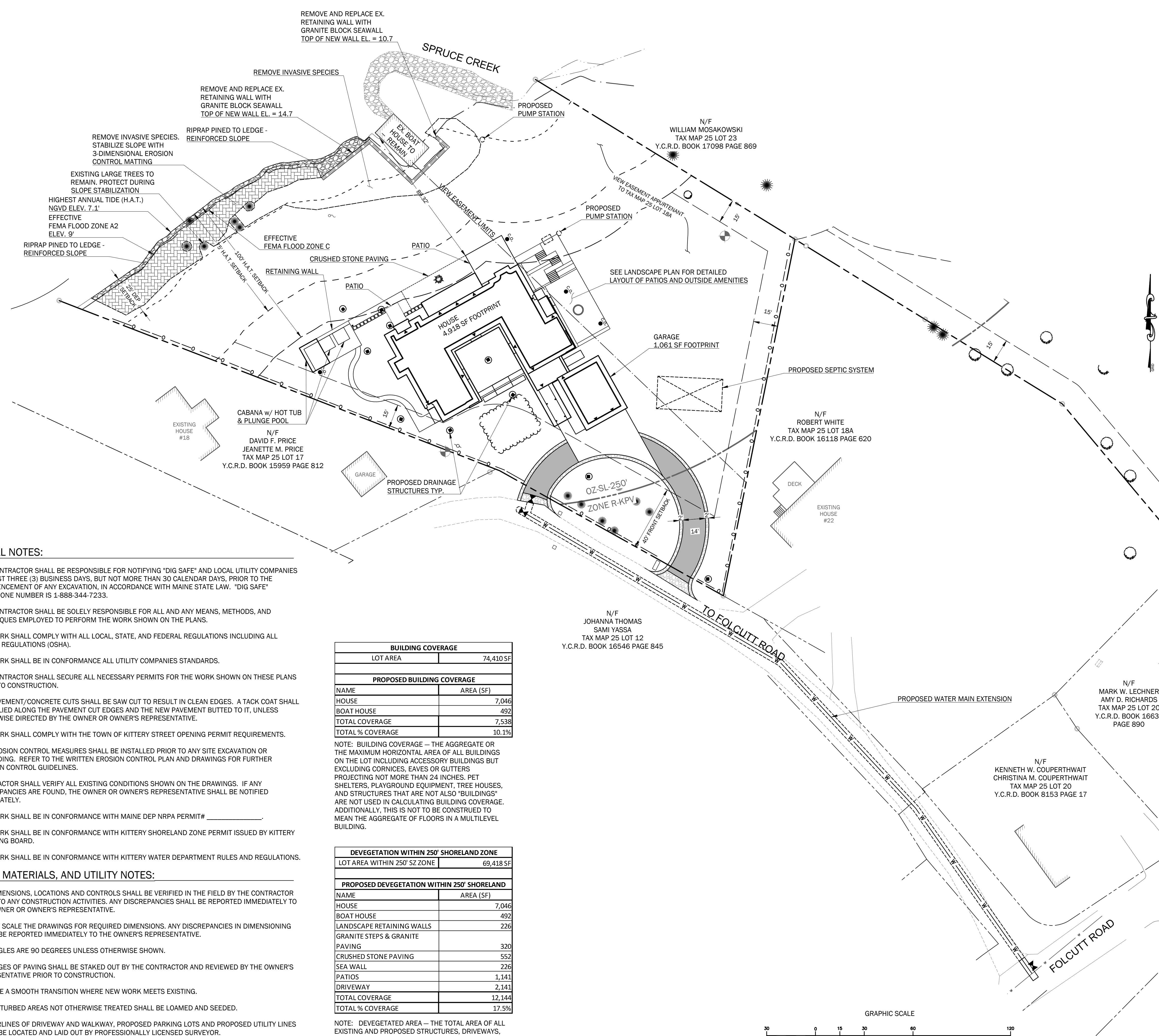
MINIMUM LOT SIZE:	40,000 Sq. Ft.
MINIMUM LAND AREA PER DWELLING UNIT:	40,000 Sq. Ft.
MINIMUM SHORE FRONTAGE:	150 Ft.
SHORE FRONTAGE PER DWELLING UNIT:	100 Ft.
MAXIMUM DEVEGETATED COVERAGE:	20%

PRINCIPAL AND ACCESSORY STRUCTURES SETBACK FROM NORMAL HIGH-WATER LINE:	100 Ft.
PATIO OR DECK LESS THAN 500 Sq. Ft.:	75 Ft.

*ZONING STANDARDS FROM TOWN OF KITTERY LAND USE ORDINANCE, DATED 6/8/2010, AMENDED 1/11/2021.

LEGEND

EXISTING	PROPOSED



GENERAL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL AND ANY MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
- ALL WORK SHALL BE IN CONFORMANCE ALL UTILITY COMPANIES STANDARDS.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
- ALL PAVEMENT/CONCRETE CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE PAVEMENT CUT EDGES AND THE NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL WORK SHALL COMPLY WITH THE TOWN OF KITTERY STREET OPENING PERMIT REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING. REFER TO THE WRITTEN EROSION CONTROL PLAN AND DRAWINGS FOR FURTHER EROSION CONTROL GUIDELINES.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.
- ALL WORK SHALL BE IN CONFORMANCE WITH MAINE DEP NRPA PERMIT# _____.
- ALL WORK SHALL BE IN CONFORMANCE WITH KITTERY SHORELAND ZONE PERMIT ISSUED BY KITTERY PLANNING BOARD.
- ALL WORK SHALL BE IN CONFORMANCE WITH KITTERY WATER DEPARTMENT RULES AND REGULATIONS.

LAYOUT, MATERIALS, AND UTILITY NOTES:

- ALL DIMENSIONS, LOCATIONS AND CONTROLS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
- DO NOT SCALE THE DRAWINGS FOR REQUIRED DIMENSIONS. ANY DISCREPANCIES IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE SHOWN.
- ALL EDGES OF PAVING SHALL BE STAKED OUT BY THE CONTRACTOR AND REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.
- ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE LOAMED AND SEEDDED.
- CENTERLINES OF DRIVEWAY AND WALKWAY, PROPOSED PARKING LOTS AND PROPOSED UTILITY LINES SHALL BE LOCATED AND LAID OUT BY PROFESSIONALLY LICENSED SURVEYOR.
- SEE LANDSCAPING PLAN FOR NON-PAVED AREA SURFACE TREATMENTS AND CONCRETE PAVER PATTERN LAYOUTS.

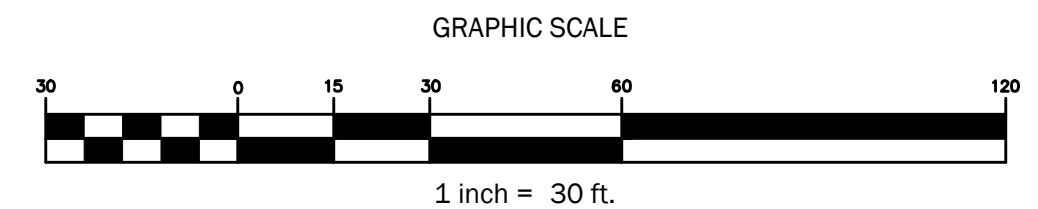
BUILDING COVERAGE	
LOT AREA	74,410 SF
NAME	AREA (SF)
HOUSE	7,046
BOAT HOUSE	492
TOTAL COVERAGE	7,538
TOTAL % COVERAGE	10.1%

NOTE: BUILDING COVERAGE – THE AGGREGATE OR THE MAXIMUM HORIZONTAL AREA OF ALL BUILDINGS ON THE LOT INCLUDING ACCESSORY BUILDINGS BUT EXCLUDING CORNICES, EAVES OR GUTTERS PROJECTING NOT MORE THAN 24 INCHES. PET SHELTERS, PLAYGROUND EQUIPMENT, TREE HOUSES, AND STRUCTURES THAT ARE NOT ALSO "BUILDINGS" ARE NOT USED IN CALCULATING BUILDING COVERAGE. ADDITIONALLY, THIS IS NOT TO BE CONSTRUED TO MEAN THE AGGREGATE OF FLOORS IN A MULTILEVEL BUILDING.

DEVEGETATION WITHIN 250' SHORELAND ZONE	
LOT AREA WITHIN 250' SZ ZONE	69,418 SF

PROPOSED DEVEGETATION WITHIN 250' SHORELAND	
NAME	AREA (SF)
HOUSE	7,046
BOAT HOUSE	492
LANDSCAPE RETAINING WALLS	226
GRANITE STEPS & GRANITE PAVING	320
CRUSHED STONE PAVING	552
SEA WALL	226
PATIOS	1,141
DRIVEWAY	2,141
TOTAL COVERAGE	12,144
TOTAL % COVERAGE	17.5%

NOTE: DEVEGETATED AREA – THE TOTAL AREA OF ALL EXISTING AND PROPOSED STRUCTURES, DRIVEWAYS, PARKING AREAS AND OTHER NONVEGETATED SURFACES LOCATED IN THE SHORELAND OVERLAY AND RESOURCE PROTECTION ZONES.



WALSH
ENGINEERING ASSOCIATES, INC.
One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9898 | www.walsh-eng.com
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STATE OF MAINE
WILIAM R. WALSH, III
No. 8204
LICENSED PROFESSIONAL ENGINEER
2/14/2022

SPRUCE CREEK RESIDENCE
20 FOLCUTT ROAD
KITTERY POINT, MAINE 03905

OWNER:
WLADISLAW REALTY TRUST
748 HUMPHREY STREET
SQUAMSCOTT, MASSACHUSETTS 01907

SPRUCE CREEK RESIDENCE
20 FOLCUTT ROAD
KITTERY POINT, MAINE 03905

MARK W. LECHNER
AMY D. RICHARDS
TAX MAP 25 LOT 20
Y.C.R.D. BOOK 16637
PAGE 890

Rev.	Date	Description	Drawn	Check
1	12/21/21	DD ISSUE	JWG	WRW
2	12/29/21	Issued for Permitting	JWG	WRW
3	2/14/22	Rev'd Retaining Walls	JWG	WRW

Job No.: 726 Sheet No.:
Date: 12/21/21
Scale: AS SHOWN
Drawn: JWG
Checked: WRW
C1.1
MAP 25 / LOT 18

DRAWN: JWG, CHECKED: WRW, DATE: 12/21/21, SCALE: AS SHOWN, SHEET: C1.1

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

PLAN REFERENCES:

- TOPOGRAPHIC AND APPROXIMATE PROPERTY BOUNDARY INFORMATION TAKEN FROM A COMPILATION OF THE FOLLOWING:
 - A PLAN TITLED "EXISTING CONDITIONS PLAN FOR PROPERTY AT 20 FOLCUTT ROAD, KITTEERY POINT, YORK COUNTY, MAINE", PREPARED BY EASTERLY SURVEYING, INC OF 191 STATE ROAD, SUITE #1, KITTEERY, MAINE 03904, DATED APRIL 1, 2019.
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 - PARCEL AND ABUTTERS PROPERTY BOUNDARIES OBTAINED FROM MAINE OFFICE OF GIS ON FEBRUARY 24, 2021.

PARCEL INFORMATION:

- OWNER OF RECORD: WLADISLAW REALTY TRUST
- Y.C.R.D BOOK 17831 PAGE 664
- PARCEL SHOWN HEREON IS TOWN OF KITTEERY TAX MAP 25, LOT 18.
- TOTAL AREA OF PARCEL: 1.71 AC.
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FLOOD ZONE INFORMATION:

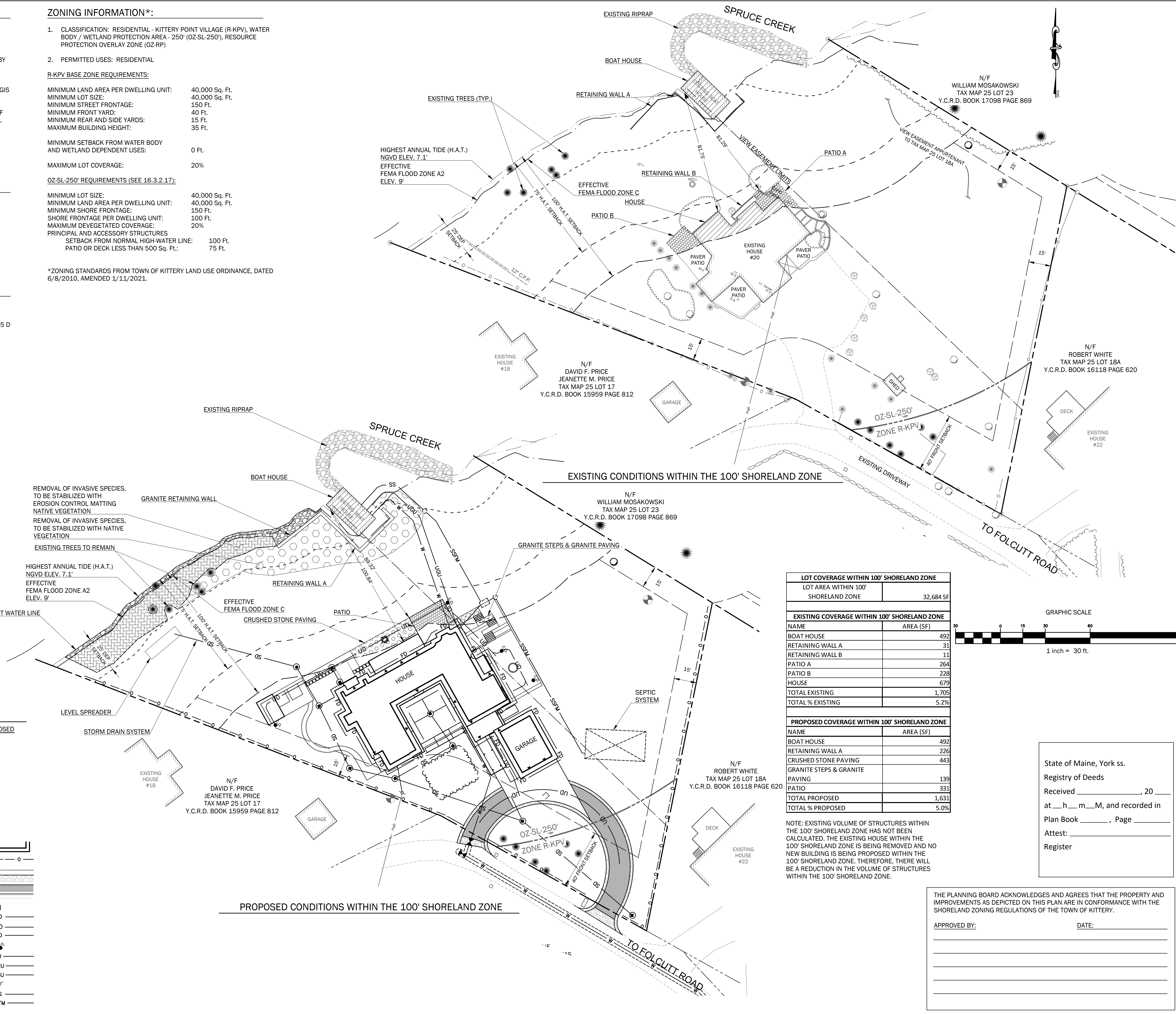
- CLASSIFICATION: ZONE A2 (EL 9)
- FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 230171.0005 D
- EFFECTIVE DATE: JULY 3, 1986

GENERAL NOTES

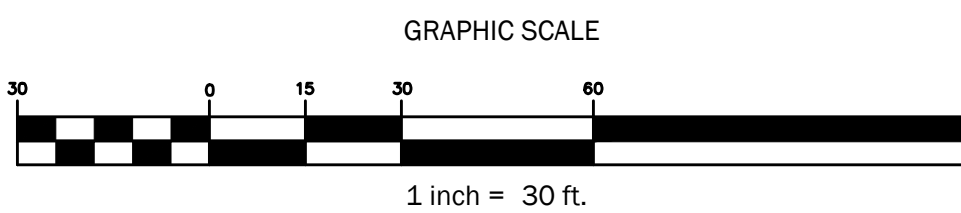
- EROSION CONTROL MEASURES IMPLEMENTED DURING CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE MAINE DEP BEST MANAGEMENT PRACTICES (BMP'S) AND THE PLANS APPROVED BY THE KITTEERY PLANNING BOARD FOR THIS PROJECT.
- ALL SITE WORK SHALL BE COMPLETED BY A CONTRACTOR WHO IS A "CERTIFIED CONTRACTOR" BY THE MAINE DEP.
- CONSTRUCTION SEQUENCE:
 THE APPLICANT ANTICIPATES THE FOLLOWING SEQUENCE OF CONSTRUCTION ACTIVITIES ON THE SITE. SIGNIFICANT CHANGES TO THE SEQUENCE WILL BE REVIEWED BY KITTEERY PLANNING STAFF.
 - INSTALLATION OF EROSION CONTROLS
 - REMOVAL OF EXISTING RESIDENCE
 - SHORELINE STABILIZATION INCLUDING:
 - RIP RAP REVETMENT
 - MASONRY SEAWALL RE-CONSTRUCTION
 - INVASIVES REMOVAL AND SLOPE STABILIZATION
 - PLANTINGS IN AREA OF SHORELAND ZONE STABILIZATION
 - UTILITY IMPROVEMENTS
 - BOATHOUSE UTILITY UPGRADES
 - WATER MAIN CONSTRUCTION TO RESIDENCE FROM FOLCUTT ROAD.
 - HOUSE CONSTRUCTION
 - SEPTIC INSTALLATION
 - LANDSCAPING AND HARDSCAPE AROUND RESIDENCE.
- THE BOATHOUSE SHALL BE USED ONLY FOR BOATING RELATED ACTIVITIES AND STORAGE OF BOATS. RESIDENTIAL USE OF THE BOATHOUSE IS PROHIBITED.
- ANY SIGNIFICANT STRUCTURAL IMPROVEMENTS TO THE BOATHOUSE WILL BE IN ACCORDANCE WITH THE KITTEERY LAND USE AND DEVELOPMENT CODE CHAPTER 16.7.3(C)(1).

ZONING INFORMATION*:

- CLASSIFICATION: RESIDENTIAL - KITTEERY POINT VILLAGE (R-KPV), WATER BODY / WETLAND PROTECTION AREA - 250' (OZ-SL-250), RESOURCE PROTECTION OVERLAY ZONE (OZ-RP)
 - PERMITTED USES: RESIDENTIAL
- R-KPV BASE ZONE REQUIREMENTS:**
- MINIMUM LAND AREA PER DWELLING UNIT: 40,000 Sq. Ft.
 MINIMUM LOT SIZE: 40,000 Sq. Ft.
 MINIMUM STREET FRONTAGE: 150 Ft.
 MINIMUM FRONT YARD: 40 Ft.
 MINIMUM REAR AND SIDE YARDS: 15 Ft.
 MAXIMUM BUILDING HEIGHT: 35 Ft.
- MINIMUM SETBACK FROM WATER BODY AND WETLAND DEPENDENT USES: 0 Ft.
- MAXIMUM LOT COVERAGE: 20%
- OZ-SL-250' REQUIREMENTS (SEE 16.3.2.17):**
- MINIMUM LOT SIZE: 40,000 Sq. Ft.
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 PRINCIPAL AND ACCESSORY STRUCTURES
 SETBACK FROM NORMAL HIGH-WATER LINE: 100 Ft.
 PATIO OR DECK LESS THAN 500 Sq. Ft.: 75 Ft.
- *ZONING STANDARDS FROM TOWN OF KITTEERY LAND USE ORDINANCE, DATED 6/8/2010, AMENDED 1/11/2021.



LOT COVERAGE WITHIN 100' SHORELAND ZONE	
LOT AREA WITHIN 100' SHORELAND ZONE	AREA (SF)
	32,684 SF
EXISTING COVERAGE WITHIN 100' SHORELAND ZONE	
NAME	AREA (SF)
BOAT HOUSE	492
RETAINING WALL A	31
RETAINING WALL B	11
PATIO A	264
PATIO B	228
HOUSE	679
TOTAL EXISTING	1,705
TOTAL % EXISTING	5.2%
PROPOSED COVERAGE WITHIN 100' SHORELAND ZONE	
NAME	AREA (SF)
BOAT HOUSE	492
RETAINING WALL A	226
CRUSHED STONE PAVING	443
GRANITE STEPS & GRANITE PAVING	139
PATIO	331
TOTAL PROPOSED	1,631
TOTAL % PROPOSED	5.0%



EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
ABUTTERS PROPERTY LINE	EASEMENT
PROPERTY SETBACK	25' DEP DISCHARGE SETBACK FROM H.A.T.
75' H.A.T. SETBACK	100' H.A.T. SETBACK
EDGE OF WATER	FLOOD ZONE
HIGHEST ANNUAL TIDE (H.A.T.)	BUILDING
FENCE	EDGE OF LAWN PATH
GRANITE COBBLE	GRANITE CHIP AND SEAL
GRANITE PAVING	STORM DRAIN STRUCTURE
SD	STORM DRAIN LINE
UD	UNDERDRAIN
FD	FOUNDATION DRAIN
UGU	STORMDRAIN CLEANOUT
W	WATERLINE
OHU	OVERHEAD UTILITY
UGU	UNDERGROUND UTILITY
SS	UTILITY POLE
SS	SANITARY SEWER LINE
SSFM	SANITARY FORCE MAIN

NOTE: EXISTING VOLUME OF STRUCTURES WITHIN THE 100' SHORELAND ZONE HAS NOT BEEN CALCULATED. THE EXISTING HOUSE WITHIN THE 100' SHORELAND ZONE IS BEING REMOVED AND NO NEW BUILDING IS BEING PROPOSED WITHIN THE 100' SHORELAND ZONE. THEREFORE, THERE WILL BE A REDUCTION IN THE VOLUME OF STRUCTURES WITHIN THE 100' SHORELAND ZONE.

State of Maine, York ss.
 Registry of Deeds
 Received _____, 20____
 at ____h ____m ____M, and recorded in
 Plan Book _____, Page _____
 Attest:
 Register

THE PLANNING BOARD ACKNOWLEDGES AND AGREES THAT THE PROPERTY AND IMPROVEMENTS AS DEPICTED ON THIS PLAN ARE IN CONFORMANCE WITH THE SHORELAND ZONING REGULATIONS OF THE TOWN OF KITTEERY.

APPROVED BY: _____ DATE: _____

WALSH
 ENGINEERING ASSOCIATES, INC.
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 ph: 207.553.9898 | www.walsh-eng.com
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Rev.	Date	Description	Drawn	Check
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2	12/29/21	Issued for Permitting	JWG	WRW
3	2/8/22	Added General Notes	JWG	WRW
4	2/14/22	Rev'd Retaining Walls	JWG	WRW

Sheet Title:
Shoreland Zone Site Plan

Job No.: 726 Sheet No.:
 Date: 12/21/21
 Scale: AS SHOWN
 Drawn: JWG
 Checked: WRW
C1.0
 MAP 25 / LOT 18

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION