

December 23, 2021

Town of Kittery Planning Board
c/o Bart McDonough, Town Planner
200 Rogers Road
Kittery, ME 03904

**RE: Shoreland Development Plan Resubmission
20 Folcutt Road – Spruce Creek Residence**

Dear Bart,

Per our conversation earlier this month, we are providing the following supplemental information for your review of the Spruce Creek Residence located at 20 Folcutt Road:

Impervious coverage within the Shoreland Zone

As requested, we have provided a plan entitled Shoreland Zone Site Plan C1.0 which illustrates both the existing coverage and proposed coverages within the 100-ft setback. As indicated on the plan, the existing and proposed coverages are as follows:

LOT COVERAGE WITHIN 100' SHORELAND ZONE	
LOT AREA WITHIN 100' SHORELAND ZONE	32,684 SF
EXISTING COVERAGE WITHIN 100' SHORELAND ZONE	
NAME	AREA (SF)
BOAT HOUSE	492
RETAINING WALL A	31
RETAINING WALL B	11
PATIO A	264
PATIO B	228
HOUSE	679
TOTAL EXISTING	1,705
TOTAL % EXISTING	5.2%

PROPOSED COVERAGE WITHIN 100' SHORELAND ZONE	
NAME	AREA (SF)
BOAT HOUSE	492
RETAINING WALL A	226
RETAINING WALL B	59
RETAINING WALL C	51
RETAINING WALL D	26
RETAINING WALL E	13
RETAINING WALL F	12
RETAINING WALL G	27
PATIO	274
TOTAL EXISTING	1,180
TOTAL % EXISTING	3.6%

As you will see, in the proposed condition, the site becomes significantly more compliant with shoreland zoning regulations by reducing the impervious coverage within the zone by 36% (525 sq. ft) and completely removing all building volume of the structure from the 100-ft setback.

Recordable Plan

Within the plan set, you will find site plan sheet C1.1 which details the proposed improvements for the site. As well, we have included both a signature block for the planning board and the registry recording.

Building Elevations

We have developed the attached sheet EX-1 which indicates the calculation completed for average existing grade and maximum building height. Based on this, in coordination with Whitten Architects, the proposed structure will be designed to be within the ordinance requirement of 35-ft for the maximum building height (elevation 61.33 ft.).

Boat House

WEA understands that the existing boat house was used historically for the storage of boats, recreational watersport equipment and boating equipment. The applicant intends to continue that use by repairing and maintaining the existing structure. The proposed use will include storing of small boats (kayaks, dinghy's, etc.), the storage of boating equipment, and upgrading of utilities including water, sewer, and electrical services to support the use at the boathouse. The proposed schedule to complete the repairs is as follows:

<u>Repairs</u>	<u>Schedule</u>
Structural Repairs	2022 (targeted)
Roofing	2022 (targeted)
Door Repairs	2023 (targeted)
Exterior Siding	2023 (targeted)
Painting	2023 (targeted)
Electrical Upgrades	2024 (targeted)
Plumbing Upgrades	2024 (targeted)

I trust the supplemental information we have provided further clarifies the proposed development and we look forward to working with you and the planning board to make the project a success.

Should you have any additional questions or concerns regarding this resubmission, please don't hesitate to contact me at (207) 553-9898.

Respectfully,



William R. Walsh, III, P.E., LEED AP
Walsh Engineering Associates, Inc.

cc. Wladislaw Realty Trust – c/o William Mosakowski
Whitten Architects – c/o Rob Whitten & Tom Lane
Soren deNiord Design Studios – c/o Soren deNiord

Enc. Agent Authorization
EX-1 – Building Height Plan
WEA Site Plans Dated 12/23/21

- C1.0 – Shoreland Zone Site Plan
- C1.1 – Site Plan
- C1.2 – Existing Conditions & Removals Plan
- C1.3 – Erosion Control Plan
- C2.1 – Utility Plan
- C2.2 – Grading & Drainage Plan
- C2.3 – Retaining Wall Plan & Sections
- C3.1 – Site Details
- C3.2 – Site Details
- C3.3 – Site Details

Whitten Architects Design Development Plans Dated 12/21/21

- A201 – Exterior Elevations
- A202 – Exterior Elevations

Landscaping Plan by Soren deNiord Design Studios Dated 11/17/21

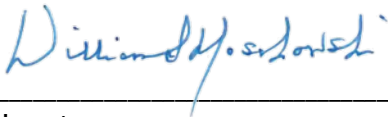
- L2.0 – Landscape Materials Plan

Date:

To Whom It May Concern,

By this letter, the undersigned, William M. Mosakowski, authorizes Walsh Engineering Associates, Inc. to act as the agent for the undersigned in the preparation and submission of all Federal, State, and Local City permit applications and relevant documents and correspondence for all necessary permits for the construction/reconstruction of the property at 20 Folcutt Road in Kittery, Maine; to attend meetings and site visits; to appear before all boards, commissions, and committees, and to provide such other services as are necessary and appropriate in furtherance of the aforementioned project.

Sincerely,



Signature

William S. Mosakowski, Owner

Printed Name and Title

10/27/2021

Date

TOWN OF KITTERY, TITLE 16: LAND USE AND DEVELOPMENT CODE:

§ 16.2.2. DEFINITIONS.

HEIGHT OF BUILDING – THE VERTICAL MEASUREMENT FROM THE AVERAGE GRADE BETWEEN THE HIGHEST AND LOWEST ELEVATION OF THE ORIGINAL GROUND LEVEL TO THE HIGHEST POINT OF THE ROOF BEAMS IN FLAT ROOFS; TO THE HIGHEST POINT ON THE DECK OF MANSARD ROOFS; TO A LEVEL MIDWAY BETWEEN THE LEVEL OF THE EAVES AND HIGHEST POINT OF PITCHED ROOFS OR HIP ROOFS; OR TO A LEVEL 2/3 OF THE DISTANCE FROM THE LEVEL OF THE EAVES TO THE HIGHEST POINT OF GAMBREL ROOFS. FOR THIS PURPOSE, THE LEVEL OF THE EAVES IS TAKEN TO MEAN THE HIGHEST LEVEL WHERE THE PLANE OF THE ROOF INTERSECTS THE PLANE OF THE OUTSIDE WALL ON A SIDE CONTAINING THE EAVES. THIS IS NOT INTENDED TO INCLUDE WEATHER-VANES OR RESIDENTIAL ANTENNAS THAT PROTRUDE FROM A ROOF, BUT DOES INCLUDE ALL TOWERS, EXCEPTING THOSE UTILIZED FOR AMATEUR RADIO COMMUNICATIONS, AND OTHER STRUCTURES. BUILDING HEIGHT RESTRICTIONS DO NOT APPLY TO ROADSIDE UTILITY POLES APPROVED BY THE TOWN COUNCIL OF LESS THAN 45 FEET IN HEIGHT ABOVE GROUND.

HEIGHT OF STRUCTURE – THE VERTICAL DISTANCE BETWEEN THE MEAN ORIGINAL GRADE AT THE DOWNHILL SIDE OF THE STRUCTURE AND THE HIGHEST POINT OF THE STRUCTURE, EXCLUDING CHIMNEYS, STEEPLES, ANTENNAS AND SIMILAR APPURTENANCES WHICH HAVE NO FLOOR AREA.

§ 16.3.2.3. RESIDENTIAL – KITTERY POINT VILLAGE R-KPV. [AMENDED 9-26-2011 BY ORD. NO. 11-15]

D. STANDARDS. THE FOLLOWING STANDARDS MUST BE MET UNLESS MODIFIED PER CHAPTER 16.8, ARTICLE XI, CLUSTER RESIDENTIAL AND CLUSTER MIXED-USE DEVELOPMENT: [AMENDED 9-24-2012 BY ORD. NO. 12-10]

(2) DIMENSIONAL STANDARDS.

(g) MAXIMUM BUILDING HEIGHT: 35 FEET. (NOTE: MINIMUM DISTANCE BETWEEN PRINCIPAL BUILDINGS ON THE SAME LOT IS THE HEIGHT EQUIVALENT TO THE TALLER BUILDING.)

MANDATORY SHORELAND ZONING (DEP):

DEP CHAPTER 1000 (GUIDELINES FOR MUNICIPAL SHORELAND ZONING ORDINANCES)

17. DEFINITIONS:

HEIGHT OF A STRUCTURE - THE VERTICAL DISTANCE BETWEEN THE MEAN ORIGINAL (PRIOR TO CONSTRUCTION) GRADE AT THE DOWNHILL SIDE OF THE STRUCTURE AND THE HIGHEST POINT OF THE STRUCTURE, EXCLUDING CHIMNEYS, STEEPLES, ANTENNAS, AND SIMILAR APPURTENANCES THAT HAVE NO FLOOR AREA.

15. LAND USE STANDARDS. ALL LAND USE ACTIVITIES WITHIN THE SHORELAND ZONE SHALL CONFORM WITH THE FOLLOWING PROVISIONS, IF APPLICABLE.

B. PRINCIPAL AND ACCESSORY STRUCTURES

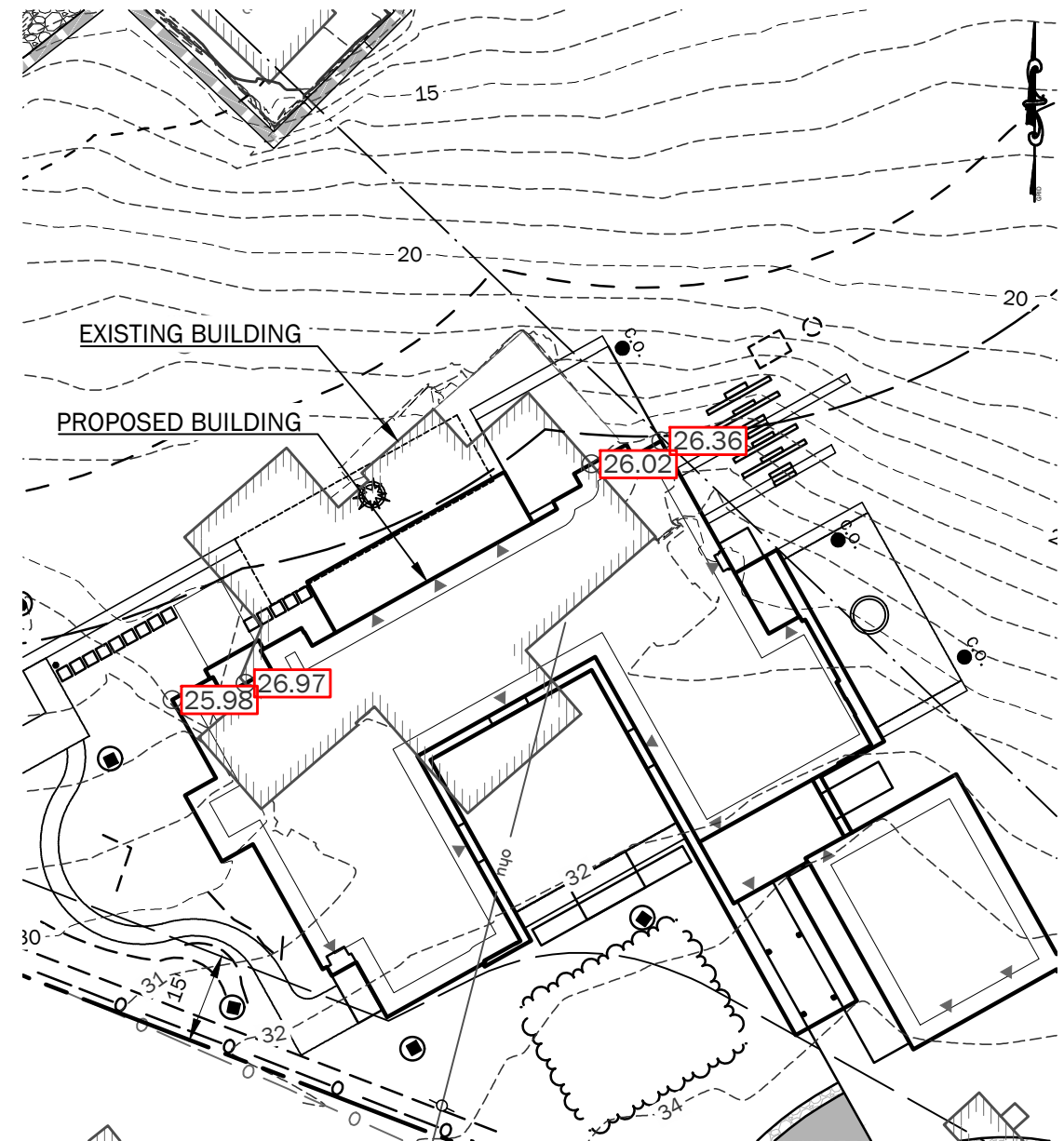
(2) PRINCIPAL OR ACCESSORY STRUCTURES AND EXPANSIONS OF EXISTING STRUCTURES WHICH ARE PERMITTED IN THE RESOURCE PROTECTION, LIMITED RESIDENTIAL, LIMITED COMMERCIAL, AND STREAM PROTECTION DISTRICTS, SHALL NOT EXCEED THIRTY-FIVE (35) FEET IN HEIGHT. THIS PROVISION SHALL NOT APPLY TO STRUCTURES SUCH AS TRANSMISSION TOWERS, WINDMILLS, ANTENNAS, AND SIMILAR STRUCTURES HAVING NO FLOOR AREA.

PLAN REFERENCES:

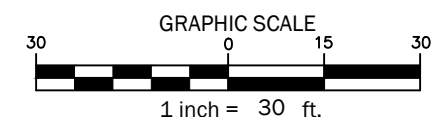
1. TOPOGRAPHIC AND APPROX. PROPERTY BOUNDARY INFORMATION TAKEN FROM A COMPILATION OF THE FOLLOWING:

1.1. A PLAN TITLED "EXISTING CONDITIONS PLAN FOR PROPERTY AT 20 FOLCUTT ROAD, KITTERY POINT, YORK COUNTY, MAINE", PREPARED BY EASTERLY SURVEYING, INC OF 191 STATE ROAD, SUITE #1, KITTERY, MAINE 03904, DATED APRIL 1, 2019.

1.2. PROPOSED BUILDING DESIGN PROVIDED BY WHITTEN ARCHITECTS OF 37 SILVER STREET, PORTLAND, ME 04101, DATED NOVEMBER 18, 2021.



AVERAGE GRADE CALCULATION	
POINT	ELEVATION
1	25.98
2	26.97
3	26.02
4	26.36
AVG. GRADE	26.33
MAX. HEIGHT	35
MAX. ALLOWABLE EL.	61.33



Sheet Number:

EX-1

Sheet Title:
**Building
Height Plan**

Job No.: 726
Date: 12/1/21
Scale: 1" = 30'
Drawn: JWG
Checked: WFW

SPRUCE CREEK RESIDENCE

20 FOLCUTT ROAD
KITTERY POINT, MAINE 03905

WALSH
ENGINEERING ASSOCIATES, INC.

One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9898 | www.walsh-eng.com

Copyright © 2021



PLAN REFERENCES:

1. TOPOGRAPHIC AND APPROXIMATE PROPERTY BOUNDARY INFORMATION TAKEN FROM A COMPILATION OF THE FOLLOWING:
 - 1.1. A PLAN TITLED "EXISTING CONDITIONS PLAN FOR PROPERTY AT 20 FOLCUTT ROAD, KITTERY POINT, YORK COUNTY, MAINE", PREPARED BY EASTERLY SURVEYING, INC OF 191 STATE ROAD, SUITE #1, KITTERY, MAINE 03904, DATED APRIL 1, 2019.
 - 1.2. ORTHOIMAGE TILES WITH INDEX OBTAINED FROM MAINE OFFICE OF GIS GEOLIBRARY ORTHOIMAGE VIEWER ON FEBRUARY 24, 2021.
 - 1.3. DIGITAL ELEVATION INFORMATION OBTAINED FROM MAINE OFFICE OF GIS GEOLIBRARY DIGITAL ELEVATION APPLICATION ON FEBRUARY 24, 2021.
 - 1.4. PARCEL AND ABUTTERS PROPERTY BOUNDARIES OBTAINED FROM MAINE OFFICE OF GIS ON FEBRUARY 24, 2021.

PARCEL INFORMATION:

1. OWNER OF RECORD: WLADISLAW REALTY TRUST
2. Y.C.R.D BOOK 17831 PAGE 664
3. PARCEL SHOWN HEREON IS TOWN OF KITTERY TAX MAP 25, LOT 18.
4. TOTAL AREA OF PARCEL: 1.71 AC.
5. CURRENT ZONE: RESIDENTIAL-KITTERY POINT VILLAGE (R-KPV) 250' SHORELAND ZONE (OZ-SL-250) & RESOURCE PROTECTION ZONE (OZ-RP)

FLOOD ZONE INFORMATION:

1. CLASSIFICATION: ZONE A2 (EL 9)
2. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 230171.0005 D
3. EFFECTIVE DATE: JULY 3, 1986

ZONING INFORMATION*:

1. CLASSIFICATION: RESIDENTIAL - KITTERY POINT VILLAGE (R-KPV), WATER BODY / WETLAND PROTECTION AREA - 250' (OZ-SL-250), RESOURCE PROTECTION OVERLAY ZONE (OZ-RP)
2. PERMITTED USES: RESIDENTIAL

R-KPV BASE ZONE REQUIREMENTS:

MINIMUM LAND AREA PER DWELLING UNIT: 40,000 Sq. Ft.
 MINIMUM LOT SIZE: 40,000 Sq. Ft.
 MINIMUM STREET FRONTAGE: 150 Ft.
 MINIMUM FRONT YARD: 40 Ft.
 MINIMUM REAR AND SIDE YARDS: 15 Ft.
 MAXIMUM BUILDING HEIGHT: 35 Ft.

MINIMUM SETBACK FROM WATER BODY AND WETLAND DEPENDENT USES: 0 Ft.
 MAXIMUM LOT COVERAGE: 20%

OZ-SL-250' REQUIREMENTS (SEE 16.3.2.17):

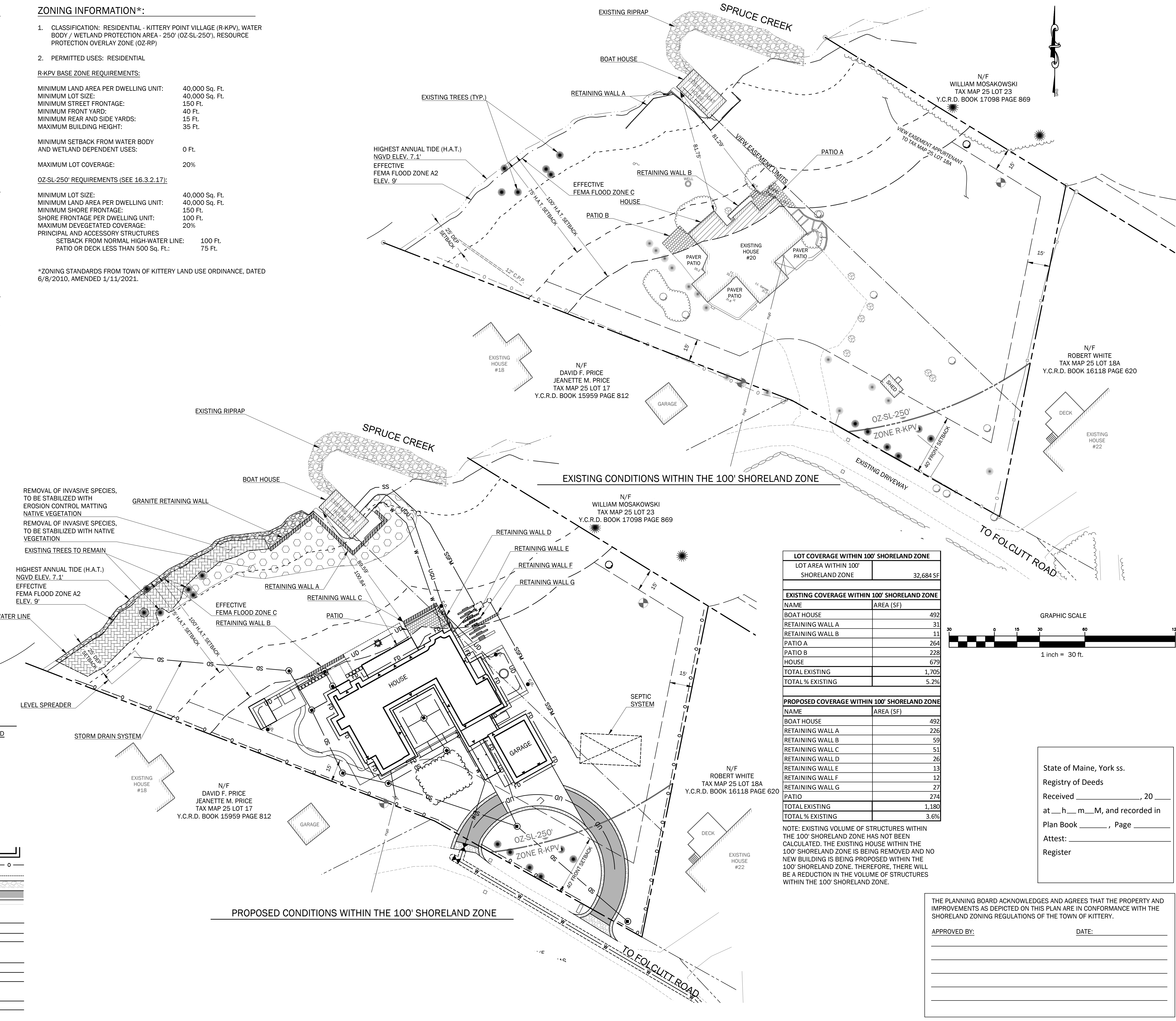
MINIMUM LOT SIZE: 40,000 Sq. Ft.
 MINIMUM LAND AREA PER DWELLING UNIT: 40,000 Sq. Ft.
 MINIMUM SHORE FRONTAGE: 150 Ft.
 SHORE FRONTAGE PER DWELLING UNIT: 100 Ft.
 MAXIMUM DEVEGETATED COVERAGE: 20%

PRINCIPAL AND ACCESSORY STRUCTURES
 SETBACK FROM NORMAL HIGH-WATER LINE: 100 Ft.
 PATIO OR DECK LESS THAN 500 Sq. Ft.: 75 Ft.

*ZONING STANDARDS FROM TOWN OF KITTERY LAND USE ORDINANCE, DATED 6/8/2010, AMENDED 1/11/2021.

LEGEND

EXISTING	PROPOSED
	PROPERTY LINE
	ABUTTERS PROPERTY LINE
	EASEMENT
	PROPERTY SETBACK
	25' DEP DISCHARGE SETBACK FROM H.A.T.
	75' H.A.T. SETBACK
	100' H.A.T. SETBACK
	EDGE OF WATER
	FLOOD ZONE
	HIGHEST ANNUAL TIDE (H.A.T.)
	BUILDING
	FENCE
	EDGE OF LAWN PATH
	GRANITE COBBLE
	GRANITE CHIP AND SEAL
	GRANITE PAVING
	STORM DRAIN STRUCTURE
	STORM DRAIN LINE
	UNDERDRAIN
	FOUNDATION DRAIN
	STORM DRAIN CLEANOUT
	WATERLINE
	OVERHEAD UTILITY
	UNDERGROUND UTILITY
	UTILITY POLE
	SANITARY SEWER LINE
	SANITARY FORCE MAIN



LOT COVERAGE WITHIN 100' SHORELAND ZONE

LOT AREA WITHIN 100' SHORELAND ZONE	32,684 SF
-------------------------------------	-----------

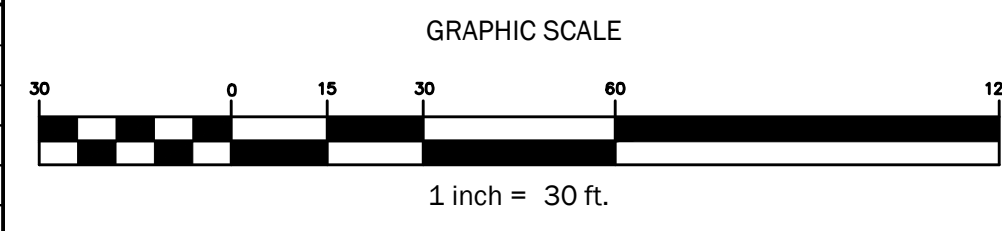
EXISTING COVERAGE WITHIN 100' SHORELAND ZONE

NAME	AREA (SF)
BOAT HOUSE	492
RETAINING WALL A	31
RETAINING WALL B	11
PATIO A	264
PATIO B	228
HOUSE	679
TOTAL EXISTING	1,705
TOTAL % EXISTING	5.2%

PROPOSED COVERAGE WITHIN 100' SHORELAND ZONE

NAME	AREA (SF)
BOAT HOUSE	492
RETAINING WALL A	226
RETAINING WALL B	59
RETAINING WALL C	51
RETAINING WALL D	26
RETAINING WALL E	13
RETAINING WALL F	12
RETAINING WALL G	27
PATIO	274
TOTAL EXISTING	1,180
TOTAL % EXISTING	3.6%

NOTE: EXISTING VOLUME OF STRUCTURES WITHIN THE 100' SHORELAND ZONE HAS NOT BEEN CALCULATED. THE EXISTING HOUSE WITHIN THE 100' SHORELAND ZONE IS BEING REMOVED AND NO NEW BUILDING IS BEING PROPOSED WITHIN THE 100' SHORELAND ZONE. THEREFORE, THERE WILL BE A REDUCTION IN THE VOLUME OF STRUCTURES WITHIN THE 100' SHORELAND ZONE.



State of Maine, York ss.
 Registry of Deeds
 Received _____, 20____
 at _____h____m____M, and recorded in
 Plan Book _____, Page _____
 Attest:
 Register

THE PLANNING BOARD ACKNOWLEDGES AND AGREES THAT THE PROPERTY AND IMPROVEMENTS AS DEPICTED ON THIS PLAN ARE IN CONFORMANCE WITH THE SHORELAND ZONING REGULATIONS OF THE TOWN OF KITTERY.

APPROVED BY: _____ DATE: _____

SPRUCE CREEK RESIDENCE
 20 FOLCUTT ROAD
 KITTERY POINT, MAINE 03905
 OWNER:
WLADISLAW REALTY TRUST
 748 HUMPHREY STREET
 SQUAMSCOTT, MASSACHUSETTS 01907

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

Rev.	Date	Description	Drawn	Check
1	12/21/21	DD ISSUE	JWG	WRW
2	12/23/21	Issued for Permitting	JWG	WRW

Sheet Title:
Shoreland Zone Site Plan

Job No.: 726 Sheet No.:
 Date: 12/21/21
 Scale: AS SHOWN
 Drawn: JWG
 Checked: WRW
C1.0
 MAP 25 / LOT 18

PLAN REFERENCES:

1. TOPOGRAPHIC AND APPROX. PROPERTY BOUNDARY INFORMATION TAKEN FROM A COMPILATION OF THE FOLLOWING:
 - 1.1. A PLAN TITLED "EXISTING CONDITIONS PLAN FOR PROPERTY AT 20 FOLCUTT ROAD, KITTERY POINT, YORK COUNTY, MAINE", PREPARED BY EASTERLY SURVEYING, INC OF 191 STATE ROAD, SUITE #1, KITTERY, MAINE 03904, DATED APRIL 1, 2019.
 - 1.2. ORTHOIMAGE TILES WITH INDEX OBTAINED FROM MAINE OFFICE OF GIS GEOLIBRARY ORTHOIMAGE VIEWER ON FEBRUARY 24, 2021.
 - 1.3. DIGITAL ELEVATION INFORMATION OBTAINED FROM MAINE OFFICE OF GIS GEOLIBRARY DIGITAL ELEVATION APPLICATION ON FEBRUARY 24, 2021.
 - 1.4. PARCEL AND ABUTTERS PROPERTY BOUNDARIES OBTAINED FROM MAINE OFFICE OF GIS ON FEBRUARY 24, 2021.
 - 1.5. ORTHOPHOTO GENERATED FROM A DRONE FLIGHT PERFORMED BY WALSH ENGINEERING ASSOCIATES, INC. ON NOVEMBER 10, 2021.

PARCEL INFORMATION:

1. OWNER OF RECORD: WLADISLAW REALTY TRUST
2. PARCEL SHOWN HEREON IS TOWN OF KITTERY TAX MAP 25, LOT 18.
3. TOTAL AREA OF PARCEL: 1.71 AC.
4. CURRENT ZONE: RESIDENTIAL-KITTERY VILLAGE (R-KPV) 250' SHORELAND ZONE (OZ-SL-250) & RESOURCE PROTECTION ZONE (OZ-RP)

FLOOD ZONE INFORMATION:

1. CLASSIFICATION: ZONE A2 (EL 9)
2. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 230171 0005 D
3. EFFECTIVE DATE: JULY 3, 1986

ZONING INFORMATION*:

1. CLASSIFICATION: RESIDENTIAL - KITTERY VILLAGE (R-KPV), WATER BODY / WETLAND PROTECTION AREA - 250' (OZ-SL-250'), RESOURCE PROTECTION OVERLAY ZONE (OZ-RP)
2. PERMITTED USES: RESIDENTIAL

R-KPV BASE ZONE REQUIREMENTS:

MINIMUM LAND AREA PER DWELLING UNIT:	40,000 Sq. Ft.
MINIMUM LOT SIZE:	40,000 Sq. Ft.
MINIMUM STREET FRONTAGE:	150 Ft.
MINIMUM FRONT YARD:	40 Ft.
MINIMUM REAR AND SIDE YARDS:	15 Ft.
MAXIMUM BUILDING HEIGHT:	35 Ft.

MINIMUM SETBACK FROM WATER BODY AND WETLAND DEPENDENT USES:	0 Ft.
MAXIMUM LOT COVERAGE:	20%

OZ-SL-250' REQUIREMENTS (SEE 16.3.2.17):

MINIMUM LOT SIZE:	40,000 Sq. Ft.
MINIMUM LAND AREA PER DWELLING UNIT:	40,000 Sq. Ft.
MINIMUM SHORE FRONTAGE:	150 Ft.
SHORE FRONTAGE PER DWELLING UNIT:	100 Ft.
MAXIMUM DEVEGETATED COVERAGE:	20%
PRINCIPAL AND ACCESSORY STRUCTURES SETBACK FROM NORMAL HIGH-WATER LINE:	100 Ft.
PATIO OR DECK LESS THAN 500 Sq. Ft.:	75 Ft.

*ZONING STANDARDS FROM TOWN OF KITTERY LAND USE ORDINANCE, DATED 6/8/2010, AMENDED 1/11/2021.

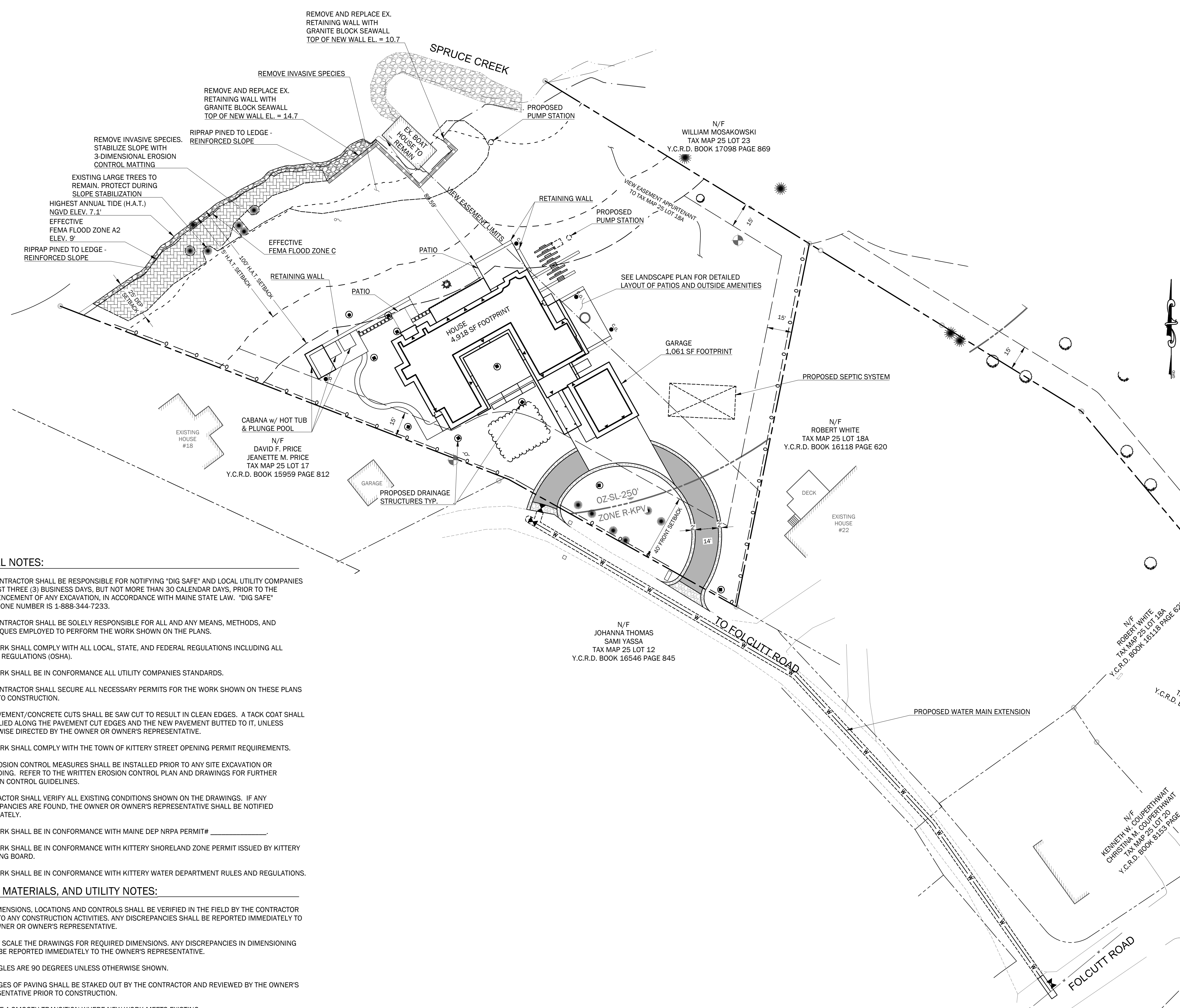
LEGEND	
EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
RIGHT-OF-WAY LINE	RIGHT-OF-WAY LINE
ABUTTERS PROPERTY LINE	ABUTTERS PROPERTY LINE
EASEMENT	EASEMENT
PROPERTY SETBACK	PROPERTY SETBACK
IRON ROD OR PIN FOUND	IRON ROD OR PIN FOUND
WETLANDS	WETLANDS
25' DEP DISCHARGE SETBACK FROM H.A.T.	25' DEP DISCHARGE SETBACK FROM H.A.T.
75' H.A.T. SETBACK	75' H.A.T. SETBACK
100' H.A.T. SETBACK	100' H.A.T. SETBACK
EDGE OF WATER	EDGE OF WATER
FLOOD ZONE	FLOOD ZONE
HIGHEST ANNUAL TIDE (H.A.T.)	HIGHEST ANNUAL TIDE (H.A.T.)
INDEX CONTOUR	INDEX CONTOUR
INTERMEDIATE CONTOUR	INTERMEDIATE CONTOUR
SPOT GRADE	SPOT GRADE
BUILDING	BUILDING
FENCE	FENCE
BUSH/SHRUB	BUSH/SHRUB
CL OF LANDSCAPING	CL OF LANDSCAPING
TREE	TREE
EDGE OF LAWN PATH	EDGE OF LAWN PATH
GRANITE COBBLE	GRANITE COBBLE
GRANITE CHIP AND SEAL	GRANITE CHIP AND SEAL
GRANITE PAVING	GRANITE PAVING
STORM DRAIN STRUCTURE	STORM DRAIN STRUCTURE
STORM DRAIN LINE	STORM DRAIN LINE
UNDERDRAIN	UNDERDRAIN
FOUNDATION DRAIN	FOUNDATION DRAIN
STORMDRAIN CLEANOUT	STORMDRAIN CLEANOUT
WATERLINE	WATERLINE
OVERHEAD UTILITY	OVERHEAD UTILITY
UNDERGROUND UTILITY	UNDERGROUND UTILITY
UTILITY POLE	UTILITY POLE
SANITARY SEWER LINE	SANITARY SEWER LINE
SANITARY FORCE MAIN	SANITARY FORCE MAIN

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL AND ANY MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
3. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
4. ALL WORK SHALL BE IN CONFORMANCE ALL UTILITY COMPANIES STANDARDS.
5. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
6. ALL PAVEMENT/CONCRETE CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE PAVEMENT CUT EDGES AND THE NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
7. ALL WORK SHALL COMPLY WITH THE TOWN OF KITTERY STREET OPENING PERMIT REQUIREMENTS.
8. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING. REFER TO THE WRITTEN EROSION CONTROL PLAN AND DRAWINGS FOR FURTHER EROSION CONTROL GUIDELINES.
9. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.
10. ALL WORK SHALL BE IN CONFORMANCE WITH MAINE DEP NRPA PERMIT# _____.
11. ALL WORK SHALL BE IN CONFORMANCE WITH KITTERY SHORELAND ZONE PERMIT ISSUED BY KITTERY PLANNING BOARD.
12. ALL WORK SHALL BE IN CONFORMANCE WITH KITTERY WATER DEPARTMENT RULES AND REGULATIONS.

LAYOUT, MATERIALS, AND UTILITY NOTES:

1. ALL DIMENSIONS, LOCATIONS AND CONTROLS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
2. DO NOT SCALE THE DRAWINGS FOR REQUIRED DIMENSIONS. ANY DISCREPANCIES IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
3. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE SHOWN.
4. ALL EDGES OF PAVING SHALL BE STAKED OUT BY THE CONTRACTOR AND REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
5. PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.
6. ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE LOAMED AND SEEDDED.
7. CENTERLINES OF DRIVEWAY AND WALKWAY, PROPOSED PARKING LOTS AND PROPOSED UTILITY LINES SHALL BE LOCATED AND LAID OUT BY PROFESSIONALLY LICENSED SURVEYOR.
8. SEE LANDSCAPING PLAN FOR NON-PAVED AREA SURFACE TREATMENTS AND CONCRETE PAVER PATTERN LAYOUTS.



WALSH
ENGINEERING ASSOCIATES, INC.
One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9898 | www.walsh-eng.com
Copyright © 2021

STATE OF MAINE
WILIAM R. WALSH, III
No. 8204
LICENSED PROFESSIONAL ENGINEER
12/23/2021

SPRUCE CREEK RESIDENCE
20 FOLCUTT ROAD
KITTERY POINT, MAINE 03905

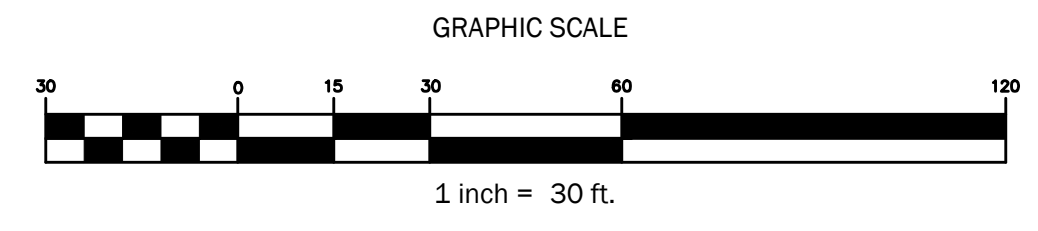
OWNER:
WLADISLAW REALTY TRUST
748 HUMPHREY STREET
SQUAMSCOTT, MASSACHUSETTS 01907

SPRUCE CREEK RESIDENCE
20 FOLCUTT ROAD
KITTERY POINT, MAINE 03905

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

Rev.	Date	Description	Drawn	Check
1	12/21/21	DD ISSUE	JWG	WRW
2	12/23/21	Issued for Permitting	JWG	WRW

Job No.: 726 Sheet No.:
Date: 12/21/21 Scale: AS SHOWN
Drawn: JWG Checked: WRW
C1.1
MAP 25 / LOT 18



LEGEND

	EXISTING ROAD		PROPERTY LINE
	RIGHT-OF-WAY LINE		ABUTTERS PROPERTY LINE
	HIGHEST ANNUAL TIDE (HAT)		HAT SETBACK
	INDEX CONTOUR		INTERMEDIATE CONTOUR
	LANDSCAPE TO BE REMOVED		

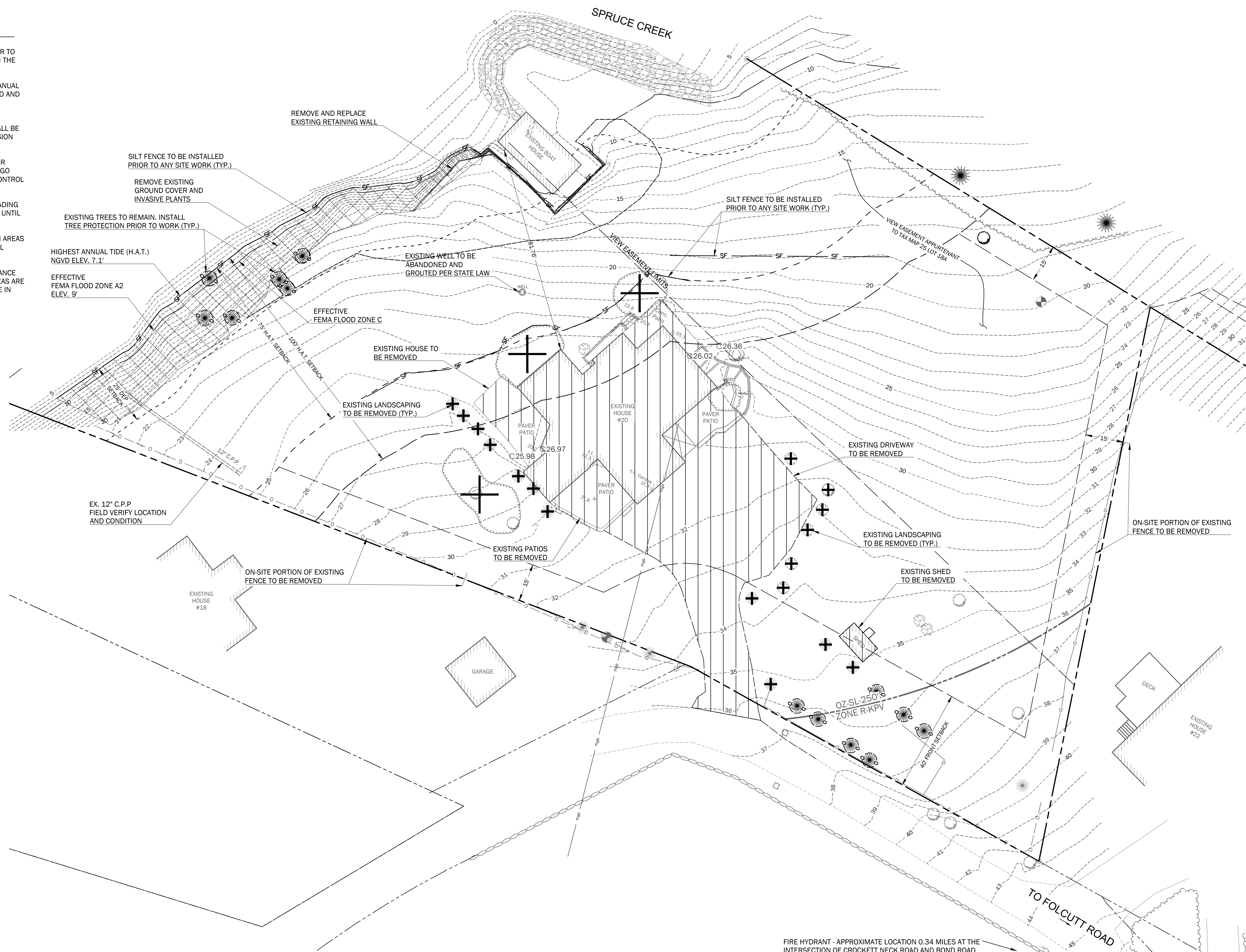


GENERAL NOTES:

- SEE SHEET C1.1 FOR GENERAL NOTES, PLAN REFERENCES, AND ZONING INFORMATION.

EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPS MANUAL AS PUBLISHED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BUREAU OF LAND AND WATER QUALITY, MARCH 2003 OR LATEST EDITION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING. ALL DISTURBED AREAS ON SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED, OR BY OTHER METHODS AS REQUIRED BY THE WRITTEN EROSION CONTROL PLAN.
- DISTURBED AREAS SHALL BE LIMITED TO ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION. FOR DISTURBED AREAS THAT ARE NOT UNDER ACTIVE CONSTRUCTION AND THAT CAN NOT YET UNDERGO FINAL GRADING, INSTALL TEMPORARY SEEDING AND MULCHING (REFER TO WRITTEN EROSION CONTROL PLAN).
- PERMANENT SEEDING OR STABILIZATION SHALL BE CARRIED OUT IMMEDIATELY AFTER FINAL GRADING IS COMPLETED, OR TEMPORARY MEASURES SHALL BE APPLIED SUCH AS MULCHING OR SEEDING UNTIL PERMANENT STABILIZATION MEASURES ARE IN PLACE.
- TOPSOIL SHALL BE STOCKPILED IN AREAS AWAY FROM PROTECTED NATURAL RESOURCES AND IN AREAS WHICH HAVE A MINIMAL POTENTIAL FOR EROSION; REFER TO OWNER FOR LOCATION OF MATERIAL STOCKPILE.
- ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED AND REPAIRED IN ACCORDANCE WITH THE WRITTEN EROSION CONTROL PLAN FOR THE DURATION OF THE PROJECT UNTIL ALL AREAS ARE STABILIZED. REMOVE ACCUMULATED SILT AND SEDIMENT AS NEEDED AND MAINTAIN SILT FENCE IN GOOD, OPERABLE CONDITION.



WALSH
ENGINEERING ASSOCIATES, INC.
One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9898 | www.walsh-eng.com
Copyright © 2021

STATE OF MAINE
WILIAM R. WALSH, III
No. 8204
LICENSED PROFESSIONAL ENGINEER
12/23/2021



SPRUCE CREEK RESIDENCE
20 FOLCUTT ROAD
KITTEERY POINT, MAINE 03805

OWNER:
WLADISLAW REALTY TRUST
748 HUMPHREY STREET
SQUAMSCOTT, MASSACHUSETTS 01907

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

Rev.	Date	Description	Drawn	Check
1	12/21/21	DD ISSUE	JWG	WRW
2	12/23/21	Issued for Permitting	JWG	WRW

Sheet Title:

Existing Conditions & Removals Plan

Job No.: 726 Sheet No.:

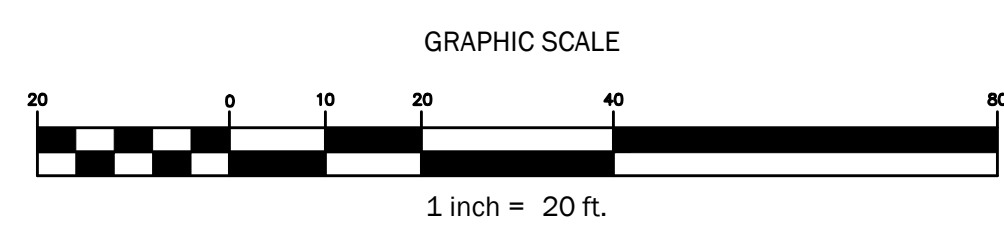
Date: 12/21/21

Scale: AS SHOWN

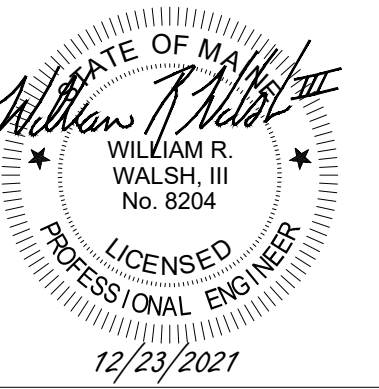
Drawn: JWG

Checked: WRW

C1.2
MAP 25 / LOT 18



FIRE HYDRANT - APPROXIMATE LOCATION 0.34 MILES AT THE INTERSECTION OF CROCKETT NECK ROAD AND BOND ROAD.



SPRUCE CREEK RESIDENCE

20 FOLCUTT ROAD
KITTEERY POINT, MAINE 03805

OWNER:
WLADISLAW REALTY TRUST
748 HUMPHREY STREET
SQUAMSCOTT, MASSACHUSETTS 01907

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

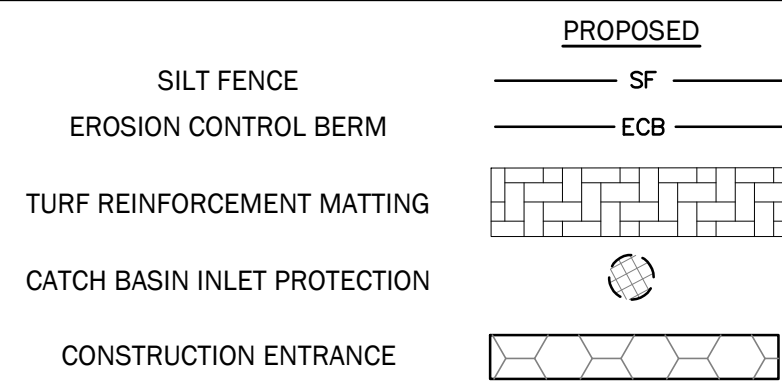
Rev.	Date	Description	Drawn	Check
1	12/21/21	DD ISSUE	JWG	WRW
2	12/22/21	Issued for Permitting	JWG	WRW

Sheet Title:

Erosion Control Plan

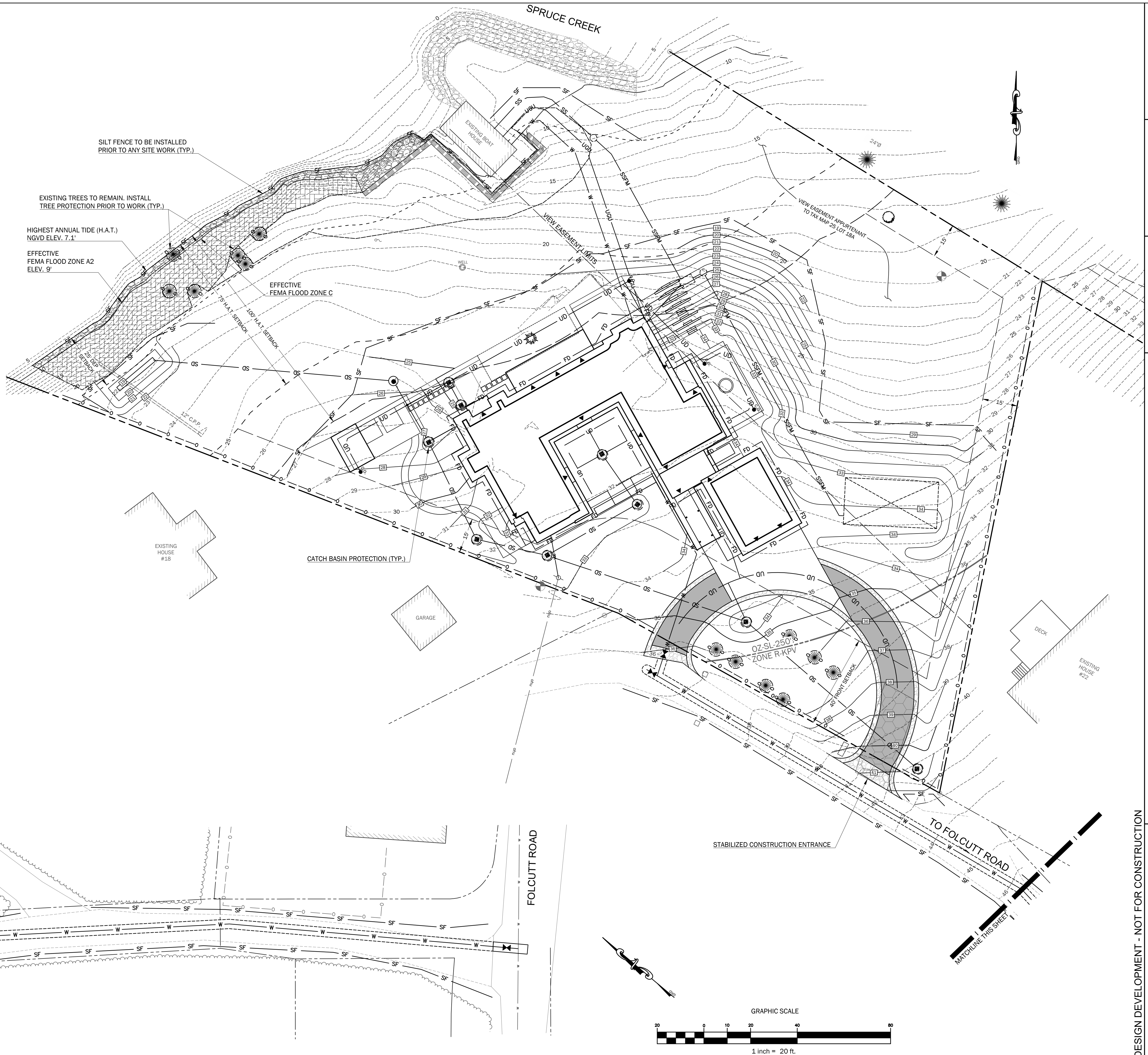
Job No.:	726	Sheet No.:	
Date:	12/21/21	C1.3	
Scale:	AS SHOWN		
Drawn:	JWG		
Checked:	WRW	MAP 25 / LOT 18	

EROSION CONTROL

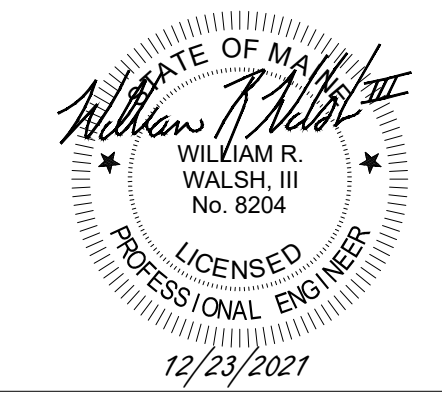


EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS.
2. THE CONTRACTOR SHALL COMPLY WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPs MANUAL AS PUBLISHED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BUREAU OF LAND AND WATER QUALITY, MARCH 2003 OR LATEST EDITION.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING. ALL DISTURBED AREAS ON SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED, OR BY OTHER METHODS AS REQUIRED BY THE WRITTEN EROSION CONTROL PLAN.
4. DISTURBED AREAS SHALL BE LIMITED TO ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION. FOR DISTURBED AREAS THAT ARE NOT UNDER ACTIVE CONSTRUCTION AND THAT CAN NOT YET UNDERGO FINAL GRADING, INSTALL TEMPORARY SEEDING AND MULCHING (REFER TO WRITTEN EROSION CONTROL PLAN).
5. PERMANENT SEEDING OR STABILIZATION SHALL BE CARRIED OUT IMMEDIATELY AFTER FINAL GRADING IS COMPLETED, OR TEMPORARY MEASURES SHALL BE APPLIED SUCH AS MULCHING OR SEEDING UNTIL PERMANENT STABILIZATION MEASURES ARE IN PLACE.
6. TOPSOIL SHALL BE STOCKPILED IN AREAS AWAY FROM PROTECTED NATURAL RESOURCES AND IN AREAS WHICH HAVE A MINIMAL POTENTIAL FOR EROSION; REFER TO OWNER FOR LOCATION OF MATERIAL STOCKPILE.
7. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED AND REPAIRED IN ACCORDANCE WITH THE WRITTEN EROSION CONTROL PLAN FOR THE DURATION OF THE PROJECT UNTIL ALL AREAS ARE STABILIZED. REMOVE ACCUMULATED SILT AND SEDIMENT AS NEEDED AND MAINTAIN SILT FENCE IN GOOD, OPERABLE CONDITION.



DATE PLOTTED: 12/21/21 10:00 AM



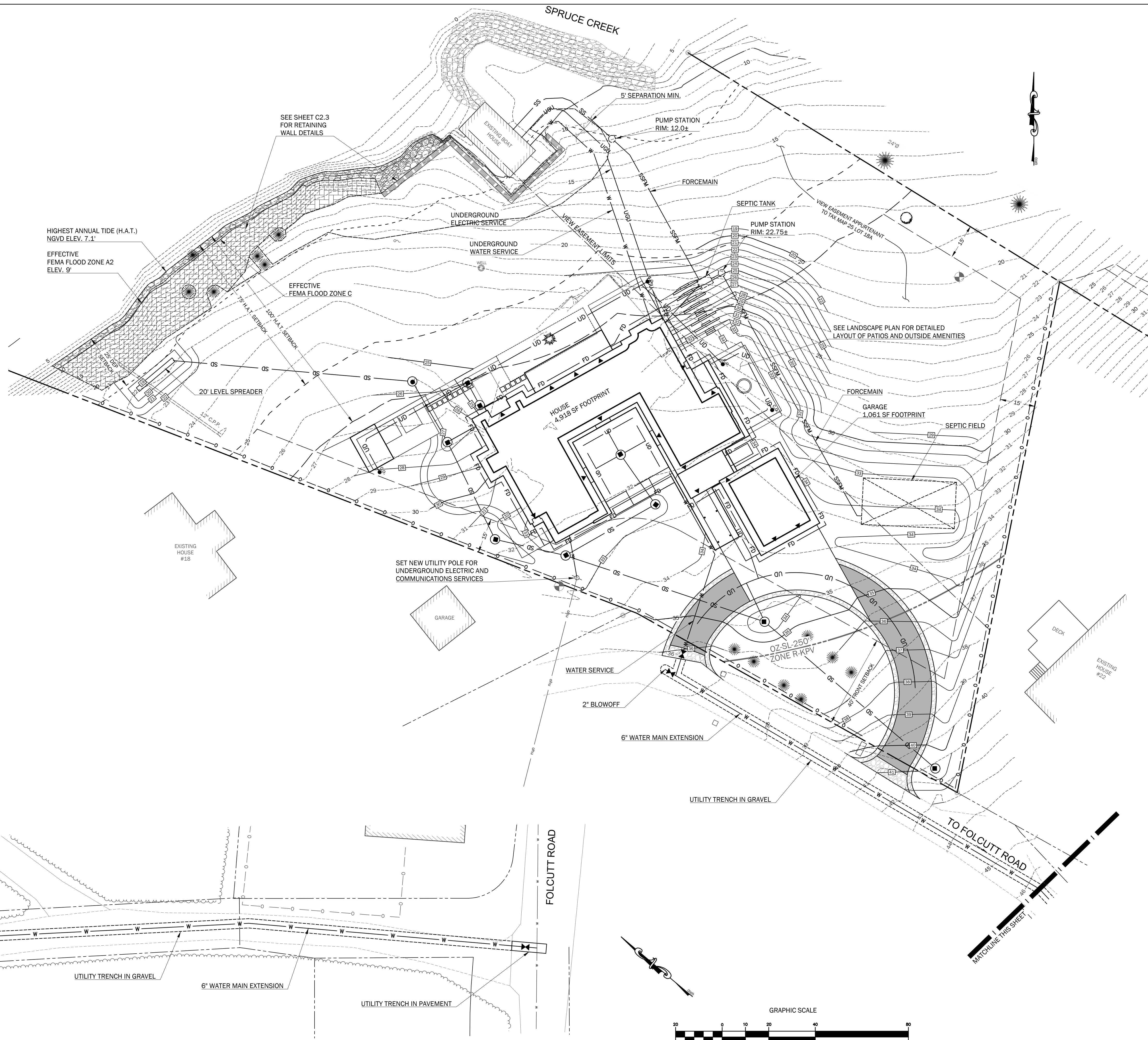
SPRUCE CREEK RESIDENCE

20 FOLCUTT ROAD
KITTERY POINT, MAINE 03805

OWNER:
WLADISLAW REALTY TRUST
748 HUMPHREY STREET
SQUAMSCOTT, MASSACHUSETTS 01907

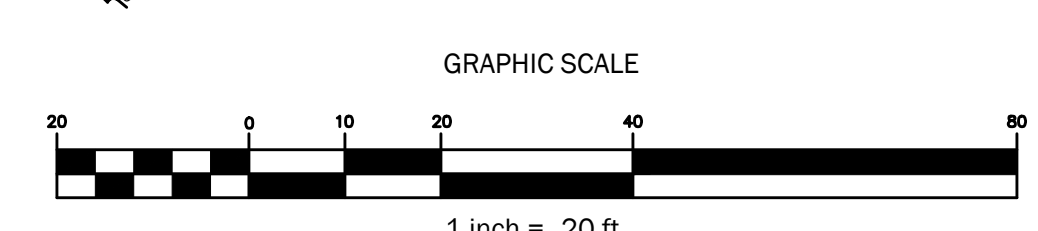
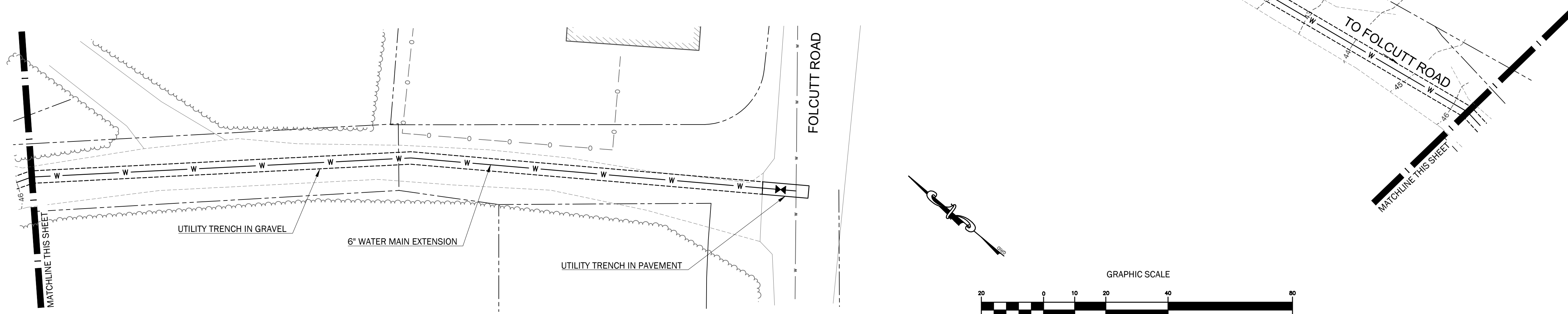
LEGEND

EXISTING	PROPOSED
ROAD	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ABUTTERS PROPERTY LINE
	EASEMENT
	PROPERTY SETBACK
	IRON ROD OR PIN FOUND
	WETLANDS
	25' DEP DISCHARGE SETBACK FROM H.A.T.
	75' H.A.T. SETBACK
	100' H.A.T. SETBACK
	EDGE OF WATER
	FLOOD ZONE
	HIGHEST ANNUAL TIDE (H.A.T.)
100	INDEX CONTOUR
101	INTERMEDIATE CONTOUR
+ 99.00	SPOT GRADE
	BUILDING
	FENCE
	BUSH/SHRUB
	CL OF LANDSCAPING
	TREE
	EDGE OF LAWN PATH
	GRANITE COBBLE
	GRANITE CHIP AND SEAL
	GRANITE PAVING
	STORM DRAIN STRUCTURE
	STORM DRAIN LINE
	UNDERDRAIN
	FOUNDATION DRAIN
	STORMDRAIN CLEANOUT
	WATERLINE
	OVERHEAD UTILITY
	UNDERGROUND UTILITY
	UTILITY POLE
	SANITARY SEWER LINE
	SANITARY FORCE MAIN



GRADING, DRAINAGE AND UTILITIES NOTES:

- SEE SHEET C1.1 FOR GENERAL NOTES, PLAN REFERENCES, AND ZONING INFORMATION.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL VERIFY ALL AFFECTED GRADES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL NOT DISTURB THESE AREAS AND PRESERVE EXISTING VEGETATION.
- GRADE ALL NEW WORK FOR POSITIVE DRAINAGE AND NO PUDDLING. MATCH EXISTING GRADES SMOOTHLY AND CONTINUOUSLY.
- DRAINAGE AT TERMINUS OF CURBING SHALL BE RIP-RAPPED UNLESS OTHERWISE SPECIFIED OR NOTED ON THE PLANS, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- OWNER AND PROJECT ENGINEER WILL BE CLOSELY MONITORING FINISH GRADING IN THE FIELD. CONTRACTOR SHALL PERFORM FINISH WORK AS DIRECTED BY THE OWNER OR PROJECT ENGINEER TO ACHIEVE THE FINISH GRADE CONDITIONS SHOWN ON THE PLANS.
- ALL SITE IMPROVEMENTS INCLUDING UTILITIES MUST CONFORM TO THE TOWN OF KITTERY'S TECHNICAL GUIDELINES AND STANDARDS.



DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

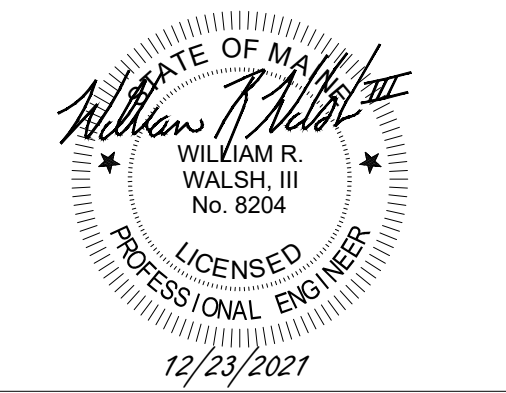
Rev.	Date	Description	Drawn	Check
1	12/21/21	DD ISSUE	JWG	WRW
2	12/23/21	Issued for Permitting	JWG	WRW

Sheet Title:
Utility Plan

Job No.: 726 Sheet No.:
Date: 12/21/21
Scale: AS SHOWN
Drawn: JWG
Checked: WRW

C2.1

MAP 25 / LOT 18



SPRUCE CREEK RESIDENCE

20 FOLCUTT ROAD
KITTERY POINT, MAINE 03905

OWNER:
WLADISLAW REALTY TRUST
748 HUMPHREY STREET
SQUAMSCOTT, MASSACHUSETTS 01907

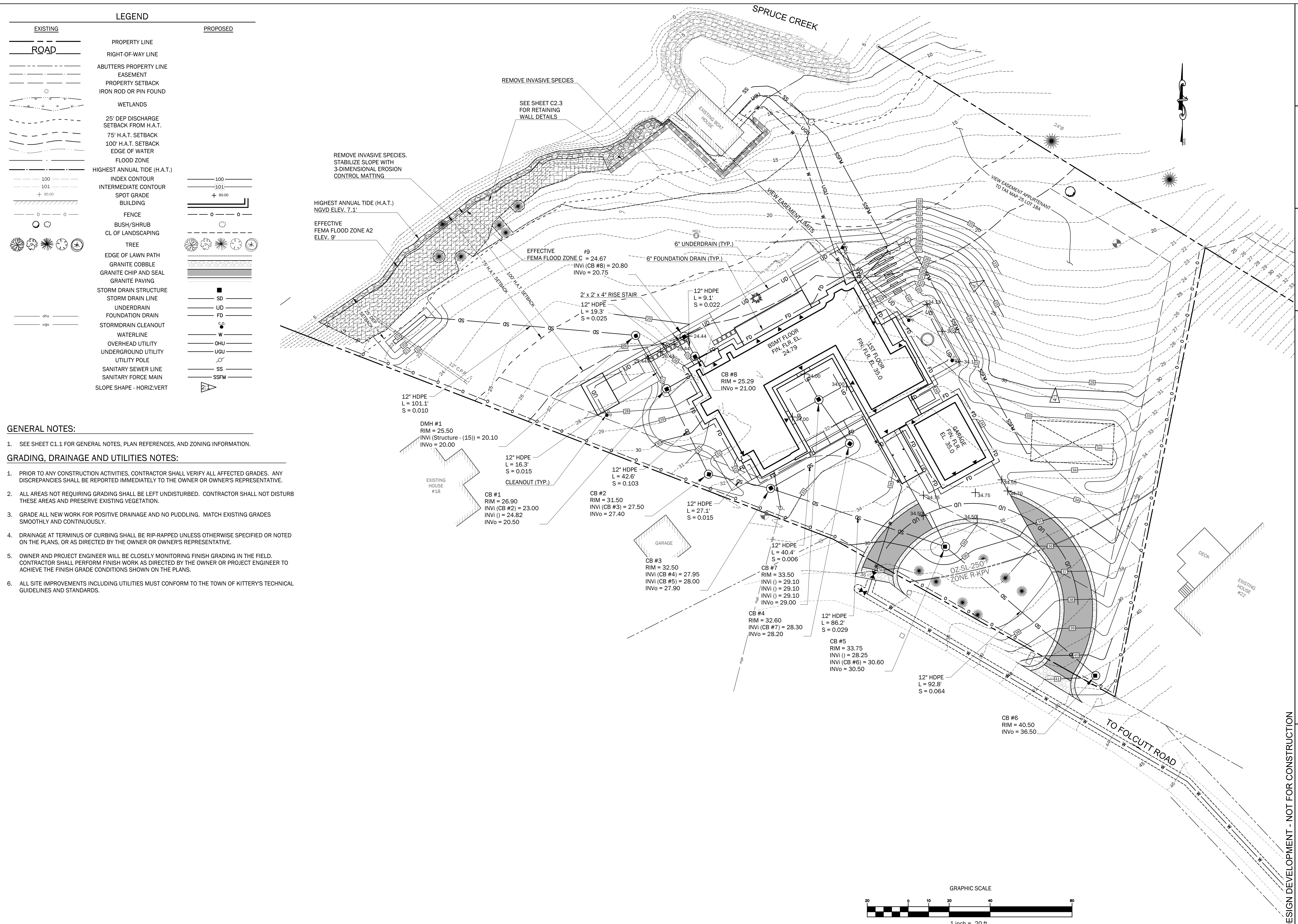
DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

Rev.	Date	Description	Drawn	Check
1	12/21/21	DD ISSUE	JWG	WRW
2	12/23/21	Issued for Permitting	JWG	WRW

Sheet Title:
Grading & Drainage Plan

Job No.:	726	Sheet No.:	
Date:	12/21/21	Scale:	AS SHOWN
Drawn:	JWG	Checked:	WRW
Checked:	WRW	MAP 25 / LOT 18	

C2.2



LEGEND

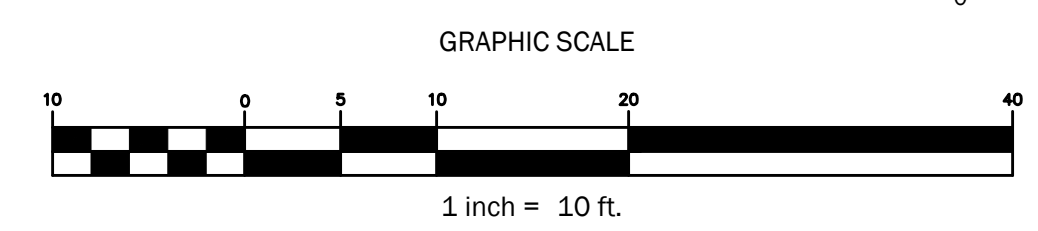
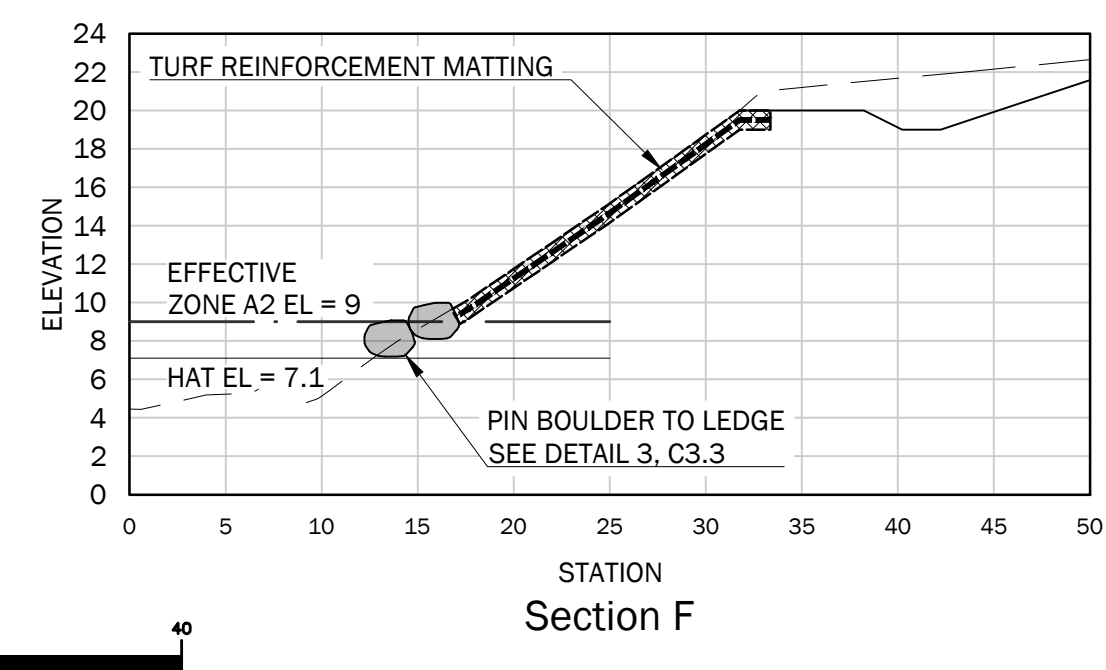
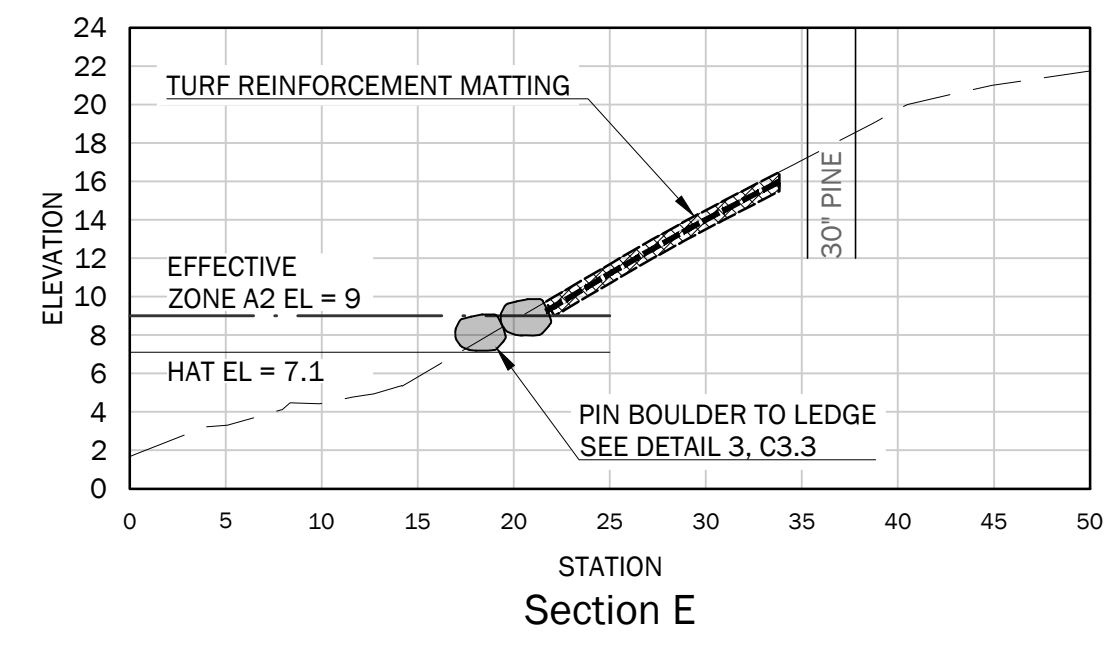
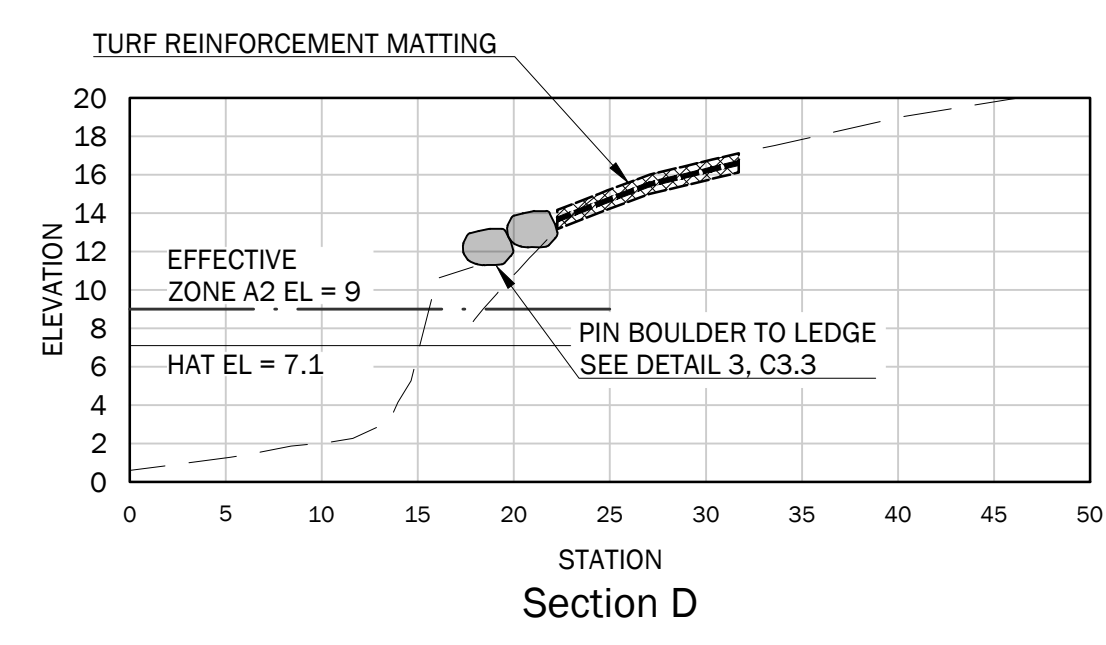
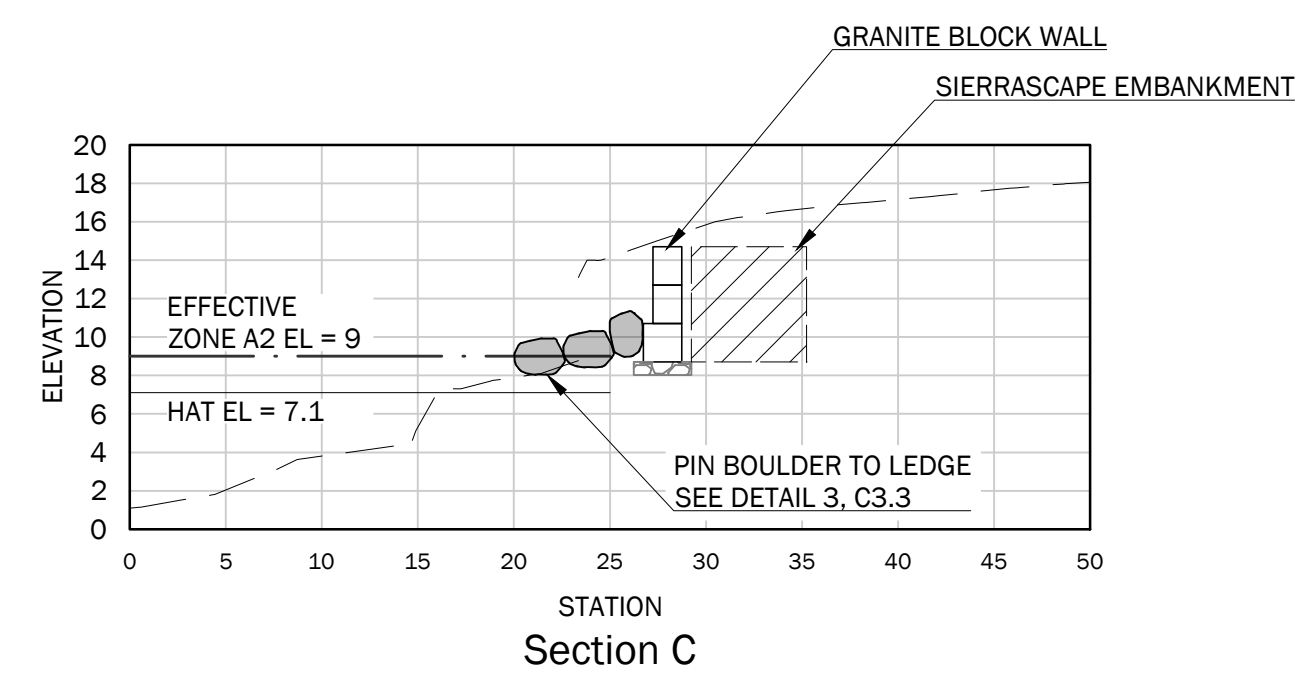
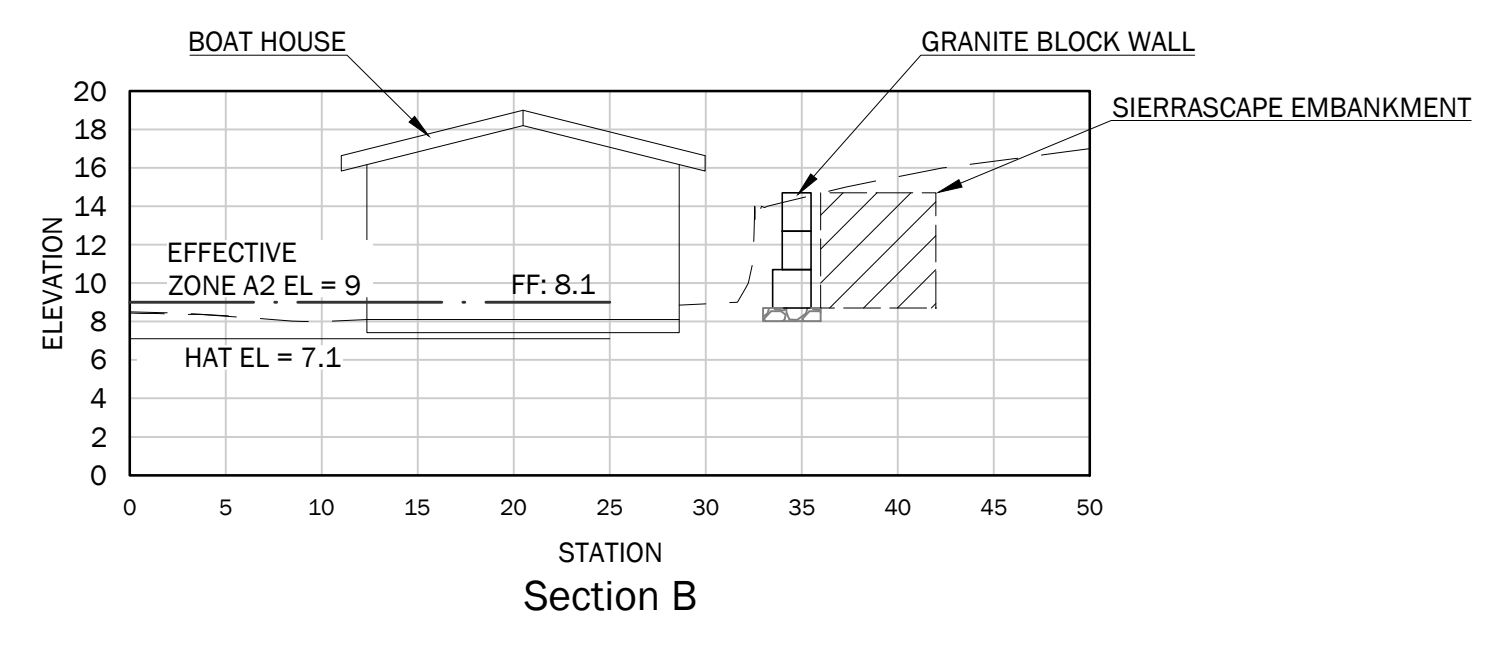
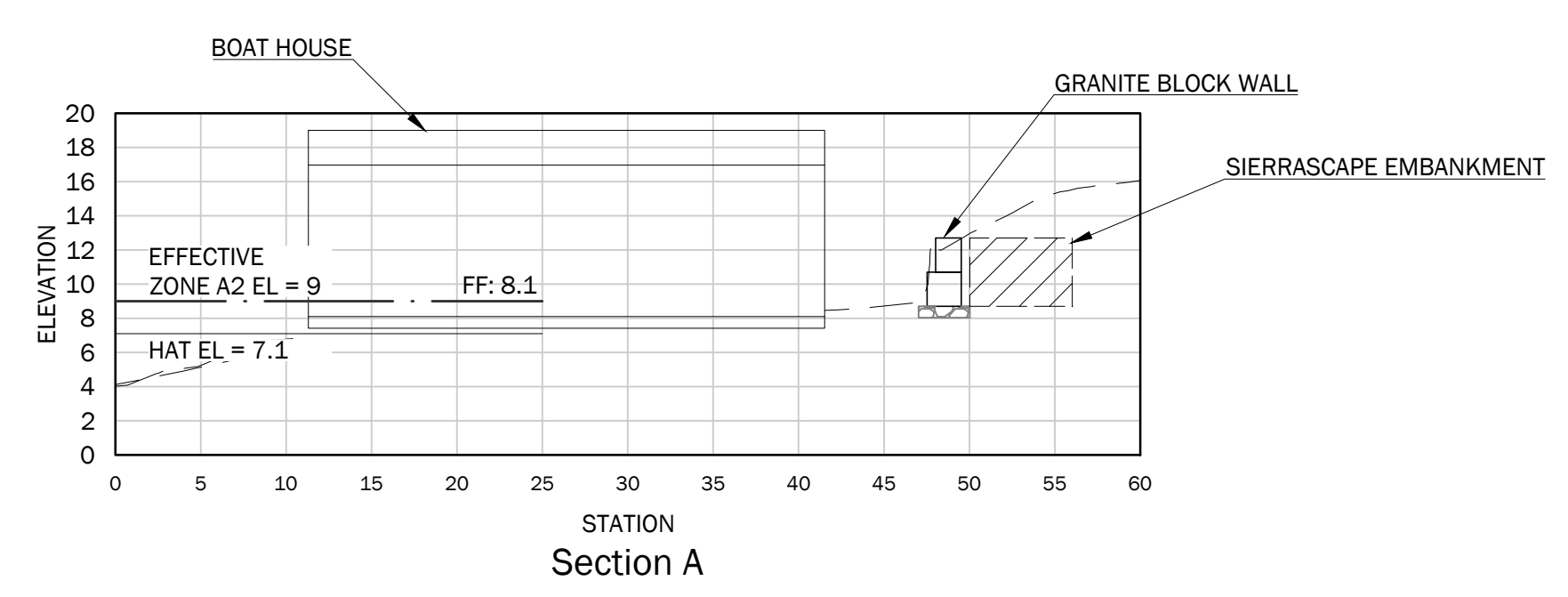
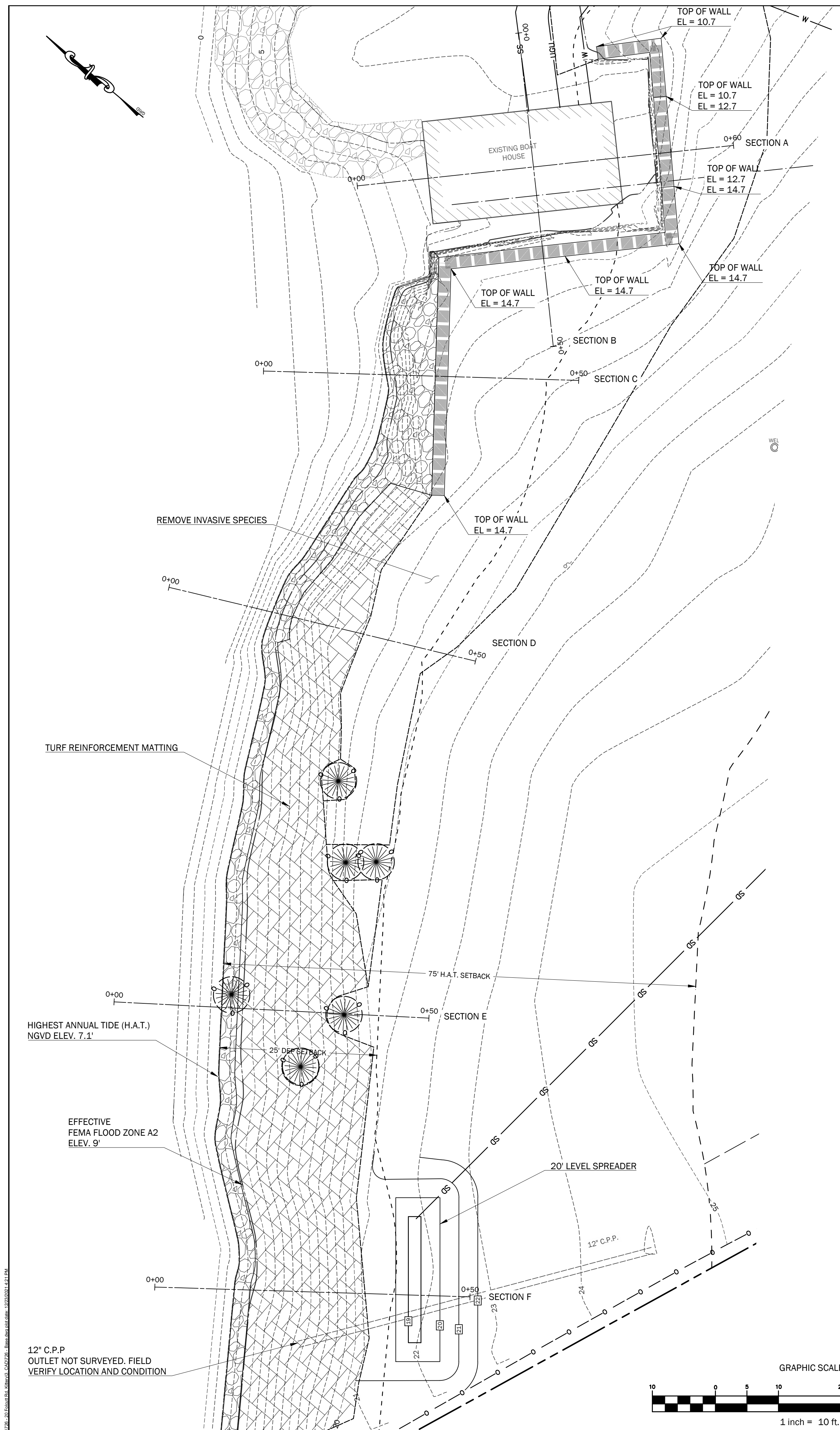
EXISTING	PROPOSED
ROAD	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ABUTTERS PROPERTY LINE
	EASEMENT
	PROPERTY SETBACK
	IRON ROD OR PIN FOUND
	WETLANDS
	25' DEP DISCHARGE SETBACK FROM H.A.T.
	75' H.A.T. SETBACK
	100' H.A.T. SETBACK
	EDGE OF WATER
	FLOOD ZONE
	HIGHEST ANNUAL TIDE (H.A.T.)
	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	SPOT GRADE
	BUILDING
	FENCE
	BUSH/SHRUB
	CL OF LANDSCAPING
	TREE
	EDGE OF LAWN PATH
	GRANITE COBBLE
	GRANITE CHIP AND SEAL
	GRANITE PAVING
	STORM DRAIN STRUCTURE
	STORM DRAIN LINE
	UNDERDRAIN
	FOUNDATION DRAIN
	STORMDRAIN CLEANOUT
	WATERLINE
	OVERHEAD UTILITY
	UNDERGROUND UTILITY
	UTILITY POLE
	SANITARY SEWER LINE
	SANITARY FORCE MAIN
	SLOPE SHAPE - HORIZ:VERT

GENERAL NOTES:

- SEE SHEET C1.1 FOR GENERAL NOTES, PLAN REFERENCES, AND ZONING INFORMATION.

GRADING, DRAINAGE AND UTILITIES NOTES:

- PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL VERIFY ALL AFFECTED GRADES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL NOT DISTURB THESE AREAS AND PRESERVE EXISTING VEGETATION.
- GRADE ALL NEW WORK FOR POSITIVE DRAINAGE AND NO PUDDLING. MATCH EXISTING GRADES SMOOTHLY AND CONTINUOUSLY.
- DRAINAGE AT TERMINUS OF CURBING SHALL BE RIP-RAPPED UNLESS OTHERWISE SPECIFIED OR NOTED ON THE PLANS, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- OWNER AND PROJECT ENGINEER WILL BE CLOSELY MONITORING FINISH GRADING IN THE FIELD. CONTRACTOR SHALL PERFORM FINISH WORK AS DIRECTED BY THE OWNER OR PROJECT ENGINEER TO ACHIEVE THE FINISH GRADE CONDITIONS SHOWN ON THE PLANS.
- ALL SITE IMPROVEMENTS INCLUDING UTILITIES MUST CONFORM TO THE TOWN OF KITTEERY'S TECHNICAL GUIDELINES AND STANDARDS.



GENERAL NOTES:
 1. SEE SHEET C1.1 FOR GENERAL NOTES, PLAN REFERENCES, AND ZONING INFORMATION.

WALSH
 ENGINEERING ASSOCIATES, INC.
 One Karen Dr., Suite 2A | Westbrook, Maine 04092
 ph: 207.553.9898 | www.walsh-eng.com
 Copyright © 2021

STATE OF MAINE
 WILLIAM R. WALSH, III
 No. 8204
 LICENSED PROFESSIONAL ENGINEER
 12/23/2021

SPRUCE CREEK RESIDENCE
 20 FOLCOTT ROAD
 KITTEERY POINT, MAINE 03805
 OWNER:
WLADISLAW REALTY TRUST
 748 HUMPHREY STREET
 SQUAMSCOTT, MASSACHUSETTS 01907

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

Rev.	Date	Description	Drawn	Check
1	12/21/21	DD ISSUE	JWG	WRW
2	12/23/21	Issued for Permitting	JWG	WRW

Sheet Title:
Retaining Wall Plan & Sections

Job No.: 726 Sheet No.:
 Date: 12/21/21
 Scale: AS SHOWN
 Drawn: JWG
 Checked: WRW

C2.3
 MAP 25 / LOT 18

EROSION AND SEDIMENTATION CONTROL NOTES:

INTRODUCTION

THE FOLLOWING PLAN FOR CONTROLLING SEDIMENTATION AND EROSION IN THIS PROJECT IS BASED ON CONSERVATION PRACTICES FOUND IN THE MAINE EROSION & SEDIMENT CONTROL BMPS MANUAL, OCTOBER 2016, AND MAINE EROSION AND SEDIMENT CONTROL PRACTICE FIELD GUIDE FOR CONTRACTORS, REVISED 2014, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION. THE CONTRACTOR WHO IMPLEMENTS THIS PLAN SHALL BE FAMILIAR WITH THESE PUBLICATIONS AND ADHERE TO THEM AND THE PRACTICES PRESENTED HEREIN

REFERENCE IS MADE TO THE GRADING AND DRAINAGE PLANS WITHIN THE PLAN SET, SHOWING THE LOCATIONS AND TYPES OF PROPOSED MEASURES TO BE IMPLEMENTED.

GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES

THE FOLLOWING IS A LIST OF GENERAL EROSION CONTROL PRACTICES THAT WILL BE USED TO PREVENT EROSION AND SEDIMENTATION BEFORE, DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. IN ADDITION, SPECIAL CARE SHALL BE GIVEN AT ALL TIMES TO LIMIT DISTURBANCE AND, HENCE, EROSION

- 1) CORRECT ANY EROSION PROBLEMS IMMEDIATELY
2) REGULARLY MONITOR THE IMPLEMENTED PRACTICES, ESPECIALLY AFTER EVERY RAINFALL
3) REVEGETATE DISTURBED AREAS AS SOON AS POSSIBLE AFTER CONSTRUCTION
4) CONFORM TO ALL REQUIREMENTS/STANDARDS OF THE STATE'S MAINE DEP EROSION & SEDIMENT CONTROL BMP MANUAL.

SILT FENCE AND/OR EROSION CONTROL MIX SEDIMENT BARRIERS

SILT FENCE AND/OR EROSION CONTROL MIX SEDIMENT BARRIERS WILL BE INSTALLED ALONG THE DOWN GRADIENT SIDE OF THE PROPOSED MAINTENANCE AREAS PRIOR TO ANY CONSTRUCTION ACTIVITIES WHERE SLOPES EXCEED 5% OR THERE IS FLOWING WATER BOTH SILT FENCE AND EROSION CONTROL MATTING BERMS SHALL BE USED.

CATCH BASIN PROTECTION

CATCH BASIN PROTECTION WILL BE INSTALLED AT THE FIRST DOWNGRADIENT CATCH BASIN IN STREET ADJACENT TO ANY CONSTRUCTION ACTIVITIES AND IN ALL ONSITE CATCH BASINS UNTIL SITE HAS BEEN COMPLETELY STABILIZED.

CONSTRUCTION PHASE

THE FOLLOWING GENERAL PRACTICES WILL BE IMPLEMENTED TO PREVENT EROSION DURING CONSTRUCTION ON THIS PROJECT:

- 1. EROSION AND SEDIMENTATION CONTROL BMPS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF EARTHWORK ACTIVITIES.
2. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNTREATED OR UNVEGETATED CONDITION.
3. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SILT FENCING SHALL BE INSTALLED ON DOWNGRADIENT PORTIONS OF THE SITE AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION.
4. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM EXISTING DRAINAGE AREAS AND WETLANDS.
5. TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL).
6. SEEDING WITH CONSERVATION MIX AND MULCHED IMMEDIATELY.
7. STOCKPILES SHALL BE EITHER PLACED UPWIND OF AN EXISTING SEDIMENT BARRIER ON THE SITE OR ENCLOSED BY A HAY BALE OR SILT FENCE BARRIER THE FIRST DAY THAT STOCKPILING COMMENCES.
8. ALL DISTURBED AREAS EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE:
9. MONITORED EVERY TWO WEEKS UNTIL SEEDING CAN OCCUR AND REMULCHED AS NEEDED TO PROTECT SLOPES.
10. ALL GRADING WILL BE HELD TO A MAXIMUM 3:1 SLOPE WHERE PRACTICAL. GREATER SLOPES MAY BE USED WHERE THE BANKS ARE PROTECTED WITH SOFT ARMOUR MATTING, EROSION CONTROL MATTING, OR RIPRAP.
11. APPLICATION RATE MUST BE 2 BALES (70-90 LBS.) PER 1000 SQUARE FEET OR 1.5 TO 2 TONS (90-100 BALES) PER ACRE TO COVER 75 TO 90% OF THE GROUND SURFACE.
12. CONSTRUCTION TRAFFIC WILL BE DIRECTED OVER THE EXISTING SITE ENTRANCE. THE ROAD SHALL BE SWEEPED AND VACUUMED DAILY SHOULD SEDIMENT BE TRACKED ONTO IT.
13. ALL AREAS DRAINING TO A STORMWATER FILTER OR BMP SHALL BE STABILIZED PRIOR TO CONSTRUCTION OF FILTER MEDIA TO PREVENT SEDIMENT FROM CLOGGING MEDIA.

DEWATERING

- 1. ALL DEWATERING DISCHARGE LOCATIONS SHALL BE LOCATED ON RELATIVELY FLAT GROUND AT LEAST 75' FROM STREAMS AND 25' FROM WETLANDS.
2. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SOILS - BY SEPTEMBER 15TH THE CONTRACTOR WILL SEED AND MULCH ALL DISTURBED SOILS ON THE SITE.
3. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SOILS - BY SEPTEMBER 15TH THE CONTRACTOR WILL SEED AND MULCH ALL DISTURBED SOILS ON THE SITE.

POST CONSTRUCTION REVEGETATION

THE FOLLOWING GENERAL PRACTICES WILL BE IMPLEMENTED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING:

- 1. A MINIMUM OF 6" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE.
2. LAWN AREAS: "PARK MIX" GRASS SEED BY ALLEN, STERLING & LOTHROP (FALMOUTH, MAINE), OR APPROVED EQUAL.
3. MULCH SHALL BE HAY OR STRAW MULCHES THAT ARE DRY AND FREE FROM UNDESIRABLE SEEDS AND COURSE MATERIALS.
4. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF ASPHALT, WOOD FIBRE OR PAPER FIBRE AND WATER, WHICH IS SPRAYED OVER A SEEDED AREA.
5. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN OCTOBER 1ST AND APRIL 15TH.
6. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 90% COVER HAS BEEN ESTABLISHED.
7. MONITORING SCHEDULE
8. STANDARDS FOR STABILIZING SITES FOR THE WINTER

EROSION CONTROL REMOVAL

AN AREA IS CONSIDERED STABLE IF IT IS PAVED OR IF 90% GROWTH OF PLANTED SEEDS IS ESTABLISHED. ONCE AN AREA IS CONSIDERED STABLE, THE EROSION CONTROL MEASURES CAN BE REMOVED AS FOLLOWS:

- 1. SILT FENCE: SILT FENCE SHALL BE DISPOSED OF LEGALLY AND PROPERLY OFF-SITE.
2. STABILIZED CONSTRUCTION ENTRANCE: THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED ONCE THE COMPACTED ROADWAY BASE IS IN PLACE.
3. MISCELLANEOUS: ONCE ALL THE TRAPPED SEDIMENTS HAVE BEEN REMOVED FROM THE TEMPORARY SEDIMENTATION DEVICES

THE ABOVE EROSION CONTROLS MUST BE REMOVED WITHIN 30 DAYS OF FINAL STABILIZATION OF THE SITE. CONFORMANCE WITH THIS PLAN AND FOLLOWING THESE PRACTICES WILL RESULT IN A PROJECT THAT COMPLIES WITH THE STATE REGULATIONS AND THE STANDARDS OF THE NATURAL RESOURCES PROTECTION ACT.

MAINE CONSTRUCTION GENERAL PERMIT REQUIRED

SUBMISSION OF A MAINE CONSTRUCTION GENERAL PERMIT (MCGP) IS REQUIRED PRIOR TO COMMENCEMENT OF ANY EXCAVATION ACTIVITIES.

INSPECTION AND MAINTENANCE (APPENDIX B)

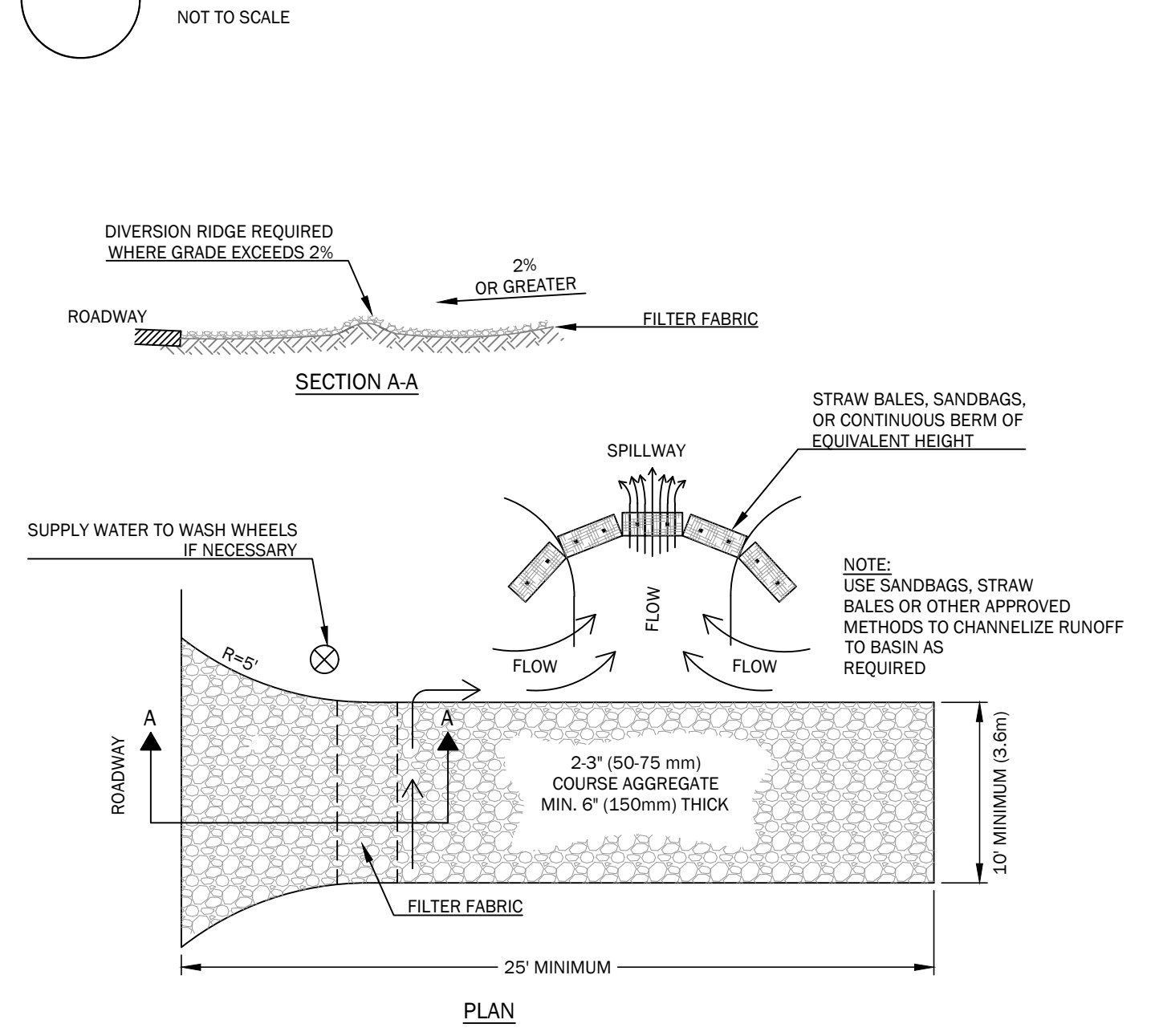
- 1. INSPECTION AND MAINTENANCE REQUIREMENTS: INSPECT DISTURBED AND IMPERVIOUS AREAS, EROSION AND STORMWATER CONTROL MEASURES, AREAS USED FOR STORAGE THAT ARE EXPOSED TO PRECIPITATION, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.
2. INSPECTION LOG (REPORT): A LOG (REPORT) MUST BE KEPT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF THE PERSONNEL MAKING THE INSPECTION, THE DATES OF THE INSPECTION, AND MAJOR OBSERVATIONS RELATING TO OPERATION OF EROSION AND SEDIMENTATION CONTROLS AND POLLUTION PREVENTION MEASURES.

HOUSEKEEPING (APPENDIX C)

- 1. SPILL PREVENTION: CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM CONSTRUCTION AND WASTE MATERIALS STORED ON SITE TO ENTER STORMWATER, WHICH INCLUDES STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORMWATER.

NOTE: ANY SPILL OR RELEASE OF TOXIC OR HAZARDOUS SUBSTANCES MUST BE REPORTED TO THE DEPARTMENT. FOR OIL SPILLS, CALL 1-800-452-0777 WHICH IS AVAILABLE 24 HOURS A DAY.

1 EROSION AND SEDIMENTATION CONTROL NOTES



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS ONTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

2 STABILIZED CONSTRUCTION ENTRANCE

2 CONCEPTUAL BUILDING SITE EROSION CONTROL



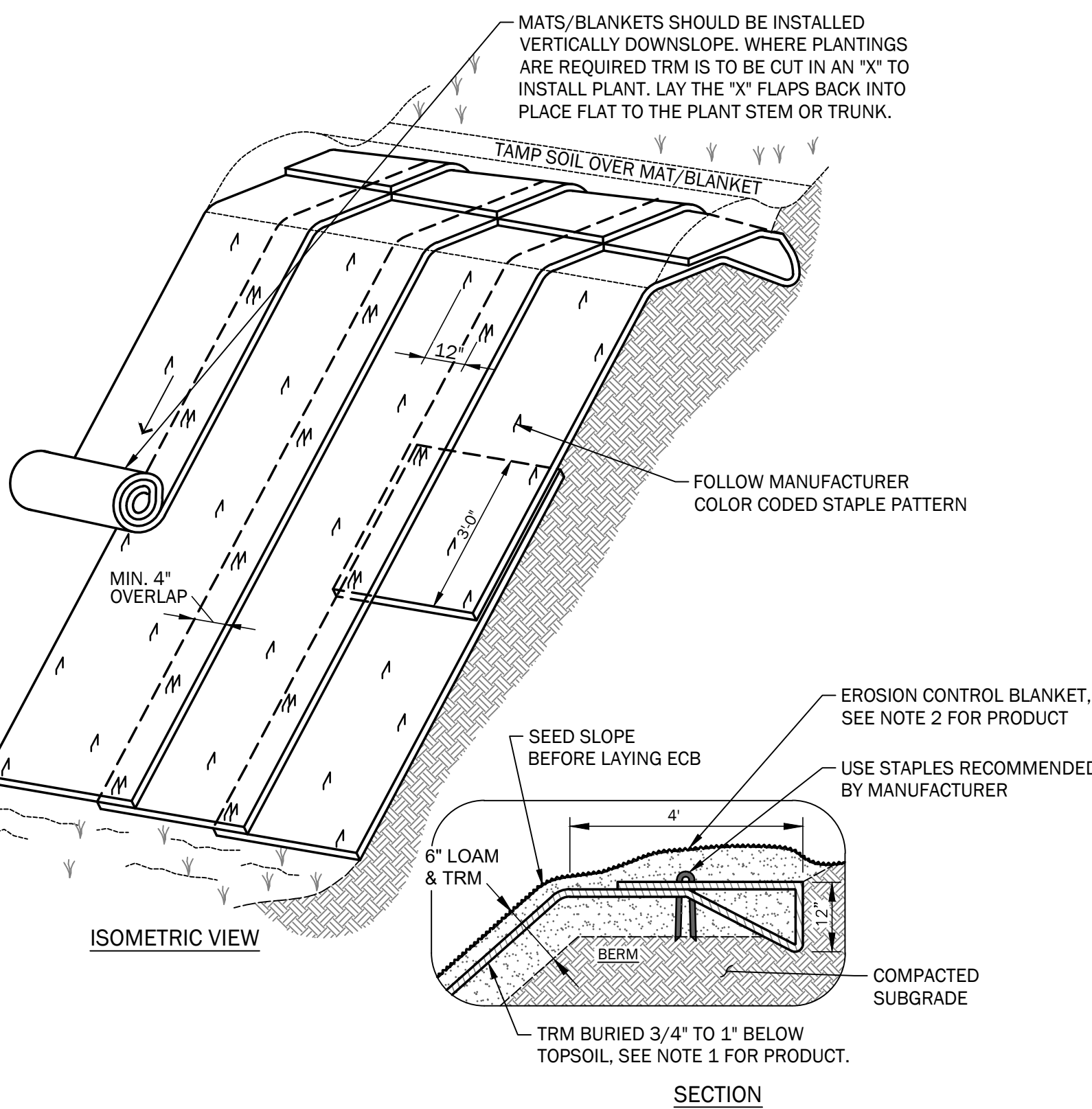
- NOTES:
1. THIS SKETCH IS INDICATING THE INTENT OF THE SOIL EROSION MEASURES.
2. BUILDING CONTRACTORS MUST COMPLY WITH THE EROSION CONTROL NOTES SHOWN ON THESE DRAWINGS AND WITH "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES".
3. PLAN NOTES:
A - CONSTRUCT DIVERSION DITCH TO KEEP UPSLOPE DRAINAGE FROM ENTERING SITE.
B - INSTALL SILT FENCE OF EROSION CONTROL BERM BELOW ALL DISTURBED AREAS.
C - KEEP CLEARING TO A MINIMUM.
D - SEED ALL DISTURBED AREAS, SEE SEEDING NOTES.

3 STRAW MATTING (ECB) & TURF REINFORCEMENT MAT (TRM) FOR SLOPE EROSION CONTROL



INSTALLATION INSTRUCTIONS:

- 1. TURF REINFORCEMENT MAT (TRM) MATERIAL SHALL BE ENKAMAT 7020, OR APPROVED EQUAL.
2. EROSION CONTROL BLANKET (ECB) SHALL BE BIONET 575BN SINGLE NET STRAW BLANKET BY NORTH AMERICAN GREEN OR APPROVED EQUAL.
3. FOR TRM INSTALLATION ONLY:
3.1. APPLY 4" OF LOAM ONTO THE GROUND SURFACE.
3.2. OVER TOP THE 4" OF LOAM, UNROLL MAT IN THE DIRECTION OF WATER FLOW.
4. MAT SHOULD LIE FLAT. DO NOT STRETCH MAT OVER GROUND.
5. BURY TRANSVERSE TERMINAL ENDS OF MAT TO SECURE AND PREVENT EROSION UNDERNEATH.
6. SECURE MAT SNUGLY INTO ALL TRANSVERSE CHECK SLOTS.
7. BACKFILL AND COMPACT TRENCHES AND CHECK SLOTS AFTER STAKING THE MAT IN BOTTOM OF TRENCH.
8. OVERLAP ROLL ENDS BY THREE (3) FEET (MIN.) WITH UPSLOPE MAT ON TOP TO PREVENT UPLIFT OF MAT END BY WATER FLOW.
9. OVERLAP ADJACENT EDGES OF MAT BY 4 INCHES (MIN.) AND STAKE.
10. USE WOOD STAKES OR STAPLES FOR PINNING MAT TO THE GROUND SURFACE, PER MANUFACTURER'S RECOMMENDATIONS.
11. IN ALL TRANSVERSE TERMINAL TRENCHES AND CHECK SLOTS, STAKE EACH MAT AT ITS CENTER AND OVERLAP EDGES BEFORE BACKFILLING AND COMPACTING.
12. STAKE OVERLAPS LONGITUDINALLY AT 3 TO 5 FOOT INTERVALS.
13. WORK ADDITIONAL LOAM INTO THE MAT AND COVER THE MAT SURFACE WITH 3/4" TO 1" OF LOAM, THEN SEED AND COVER WITH ECB.



WALSH ENGINEERING ASSOCIATES, INC. One Karen Dr., Suite 2A | Westbrook, Maine 04092 ph: 207.553.9898 | www.walsh-eng.com

STATE OF MAINE WILLIAM R. WALSH, III No. 8204 LICENSED PROFESSIONAL ENGINEER 12/23/2021

SPRUCE CREEK RESIDENCE 20 FOLCUTT ROAD KITTERY POINT, MAINE 03905

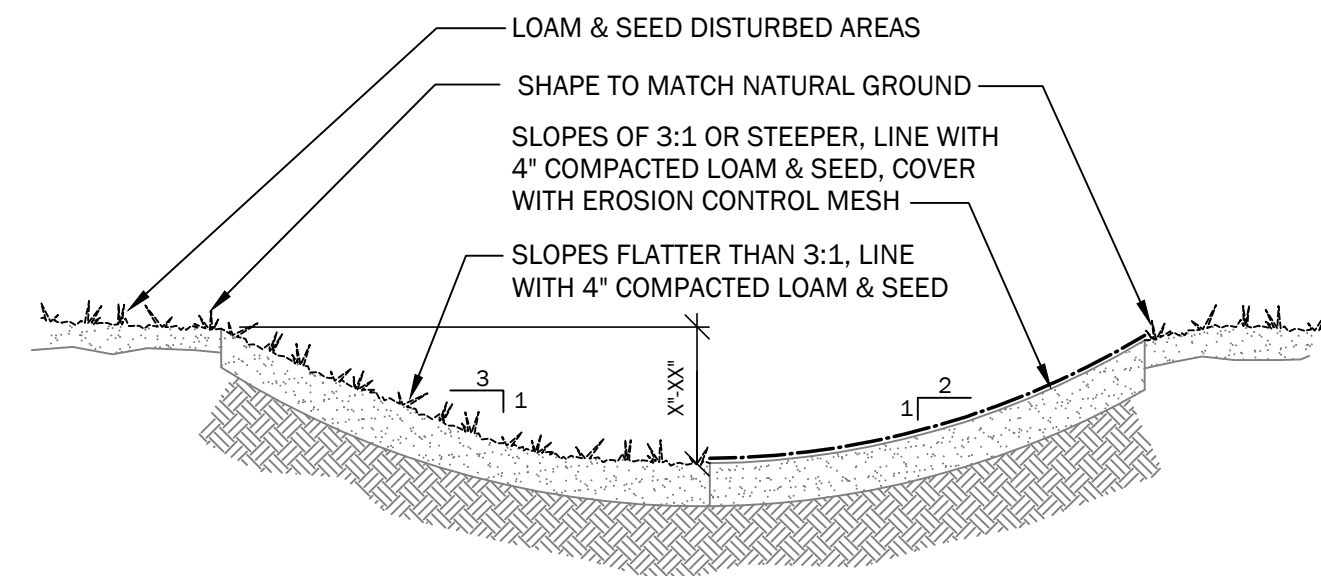
WŁADISŁAW REALTY TRUST 748 HUMPHREY STREET SQUAMSCOTT, MASSACHUSETTS 01907

Table with 5 columns: Rev, Date, Description, Drawn, Check. Contains revision history for DD ISSUE and Issued for Permitting.

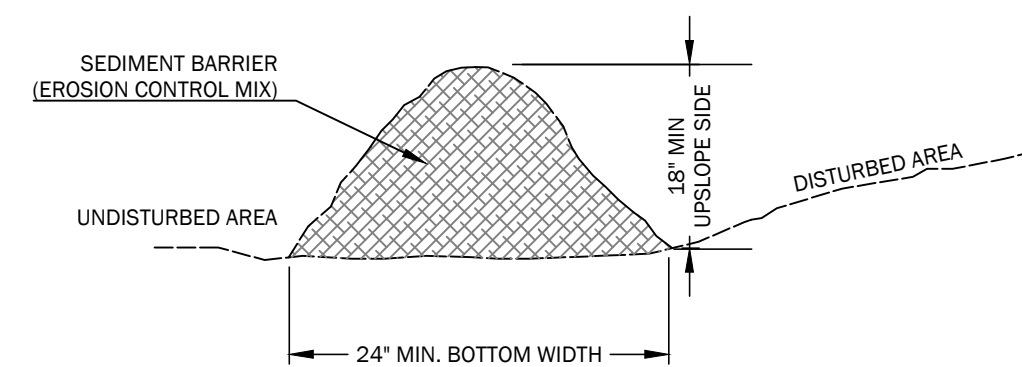
SHEET TITLE: SITE DETAILS

Job No.: 726 Sheet No.: C3.1 Date: 12/21/21 Scale: AS SHOWN Drawn: JWG Checked: WRW MAP 25 / LOT 18

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION



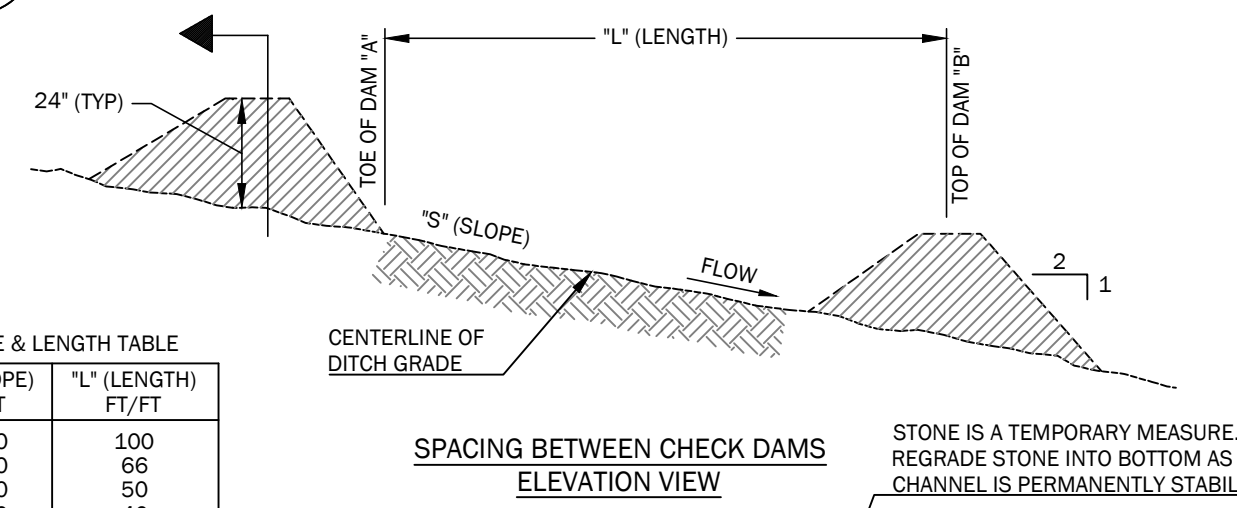
1 TYPICAL GRASS SWALE SECTION
NOT TO SCALE



NOTES:

- THE EROSION CONTROL MIX SHALL CONTAIN A WELL GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" DIAMETER. EROSION CONTROL MIX MUST BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH.
- MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS:
 - A. THE ORGANIC CONTENT SHALL BE BETWEEN 80 AND 100% DRY WEIGHT BASIS
 - B. PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN AND A MAXIMUM OF 85% PASSING A 0.75" SCREEN
 - C. THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED
 - D. LARGE PORTIONS OF SILTS, CLAYS, OR FINE SANDS ARE NOT ACCEPTABLE IN THE MIX
 - E. SOLUBLE SALTS CONTENT SHALL BE <4.0 MMHOS/CM
 - F. THE pH SHOULD FALL BETWEEN 5.0 AND 8.0
- PLACE BARRIER ALONG A RELATIVELY FLAT CONTOUR. CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES WHERE FINES CAN WASH UNDER THE BARRIER THROUGH GRASS BLADES AND BRANCHES.
- PLACEMENT OF BARRIER SHOULD BE:
 - AT TOE OF THE SLOPE.
 - FROZEN GROUND, BEDROCK OR ROOTED FORESTED AREAS.
 - THE EDGE OF GRAVEL AND AREAS UNDER CONSTRUCTION.
- BARRIER SHALL NOT BE USED ADJACENT TO WETLANDS
- REMOVE SEDIMENT DEPOSITS WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- WHEN BARRIER IS DECOMPOSED, CLOGGED WITH SEDIMENT, ERODED OR INEFFECTIVE, IT MUST BE REPLACED OR REPAIRED. THE BARRIER SHOULD BE RESHAPED AS NECESSARY.
- IF ECM BERMS ARE USED AS A SILT BARRIER, THEY ARE PROHIBITED AT THE BASE OF A SLOPE STEEPER THAN 8% OR WHERE THERE IS FLOWING WATER WITHOUT THE SUPPORT OF ADDITIONAL MEASURES, SUCH AS A SILT FENCE.

2 SEDIMENT BARRIER (EROSION CONTROL MIX)
NOT TO SCALE



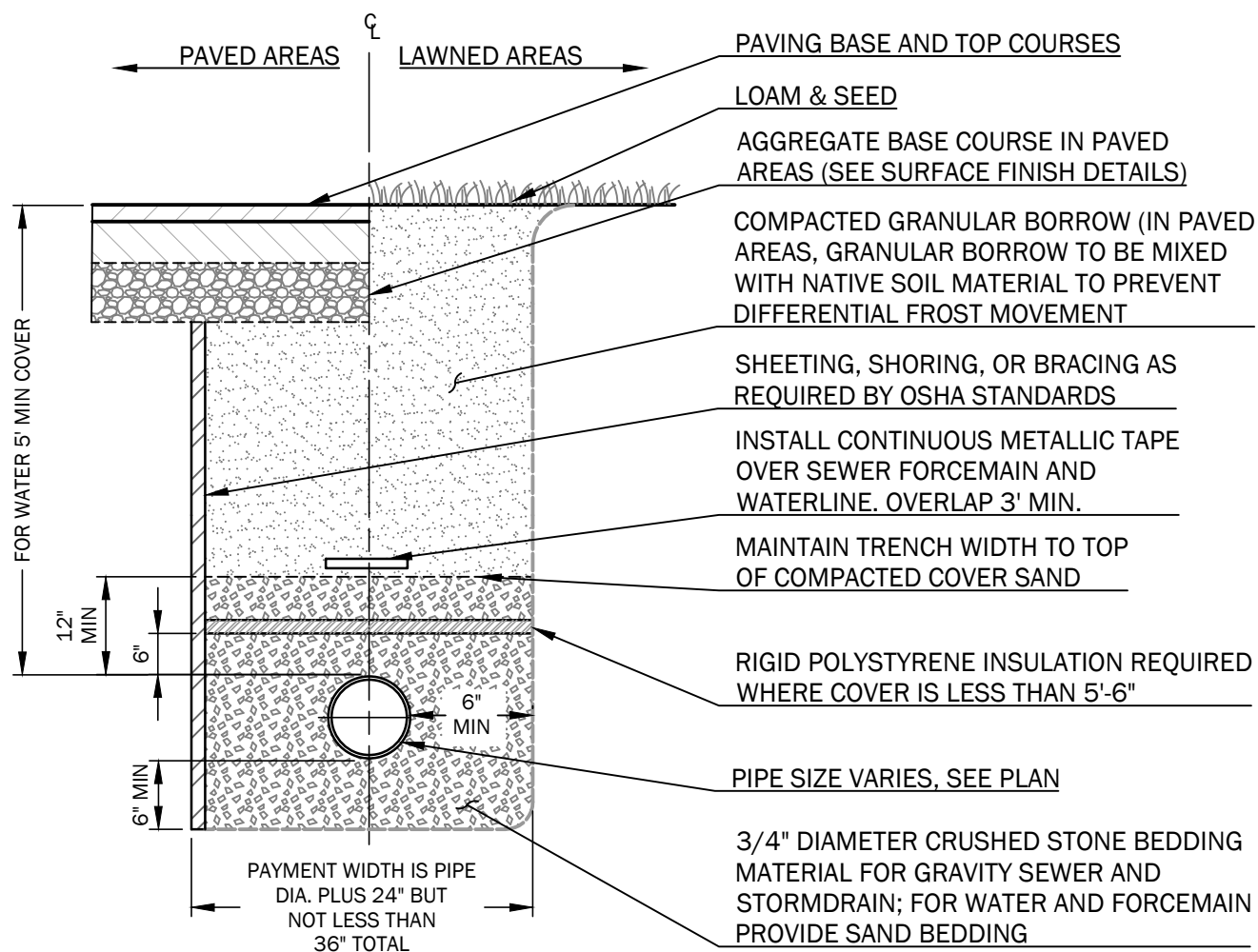
S' (SLOPE) FT/FT	L' (LENGTH) FT/FT
0.020	100
0.030	66
0.040	50
0.050	40
0.080	25
0.100	20
0.120	17
0.150	13

L=THE DISTANCE SUCH THAT POINTS A AND B ARE EQUAL ELEVATION.

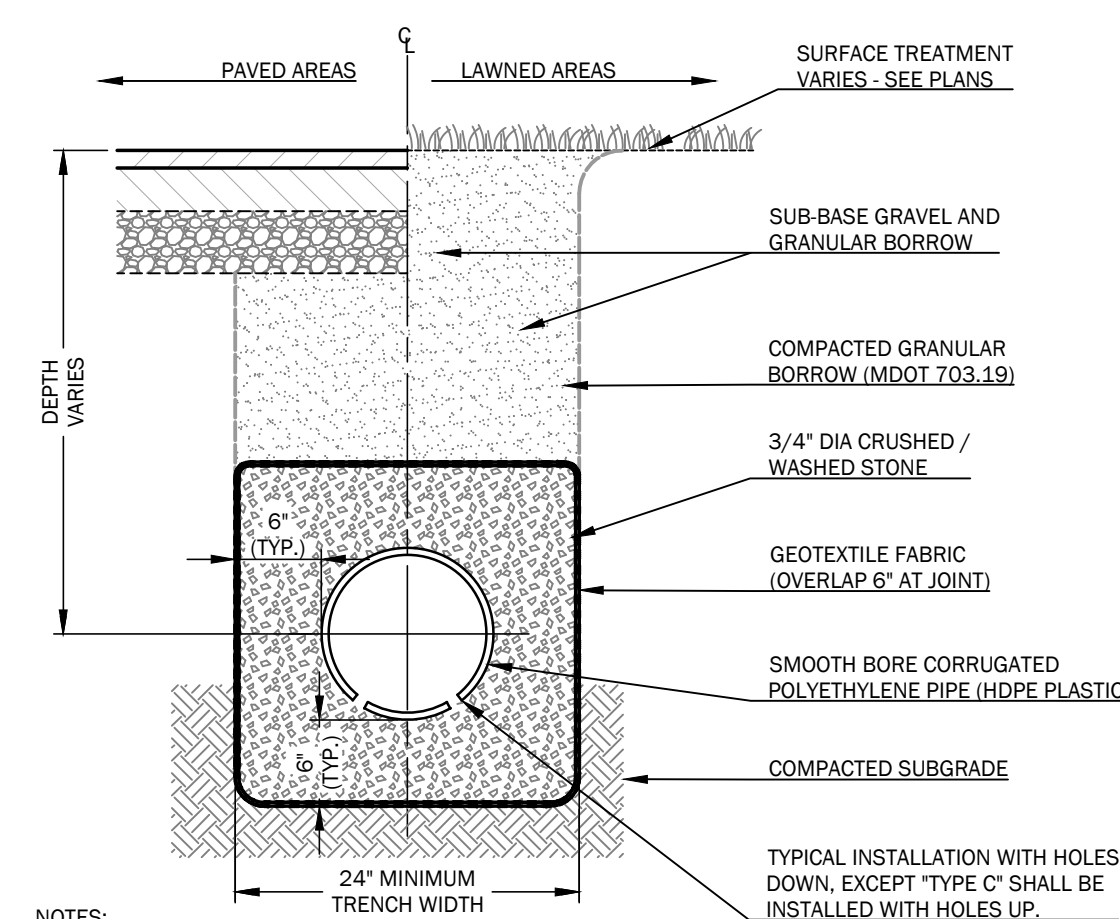
NOTES:

- STONE CHECK DAMS ARE NOT REQ'D IN PROPOSED RIPRAP DITCHES. USE IN UNLINED DITCHES DURING CONSTRUCTION.
- CHECK DAMS ARE NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING. SOME SEDIMENT WILL ACCUMULATE BEHIND DAMS. SEDIMENT SHOULD BE REMOVED FROM BEHIND DAMS WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE DAM
- STONE: 2"-3" CRUSHED STONE (MDO 703.31)
- KEY STONE INTO CHANNEL BANKS AND EXTEND IT BEYOND THE ABUTMENTS A MINIMUM OF 18" (0.5m) TO PREVENT FLOW AROUND DAM.

3 STONE CHECK DAM DETAIL
NOT TO SCALE



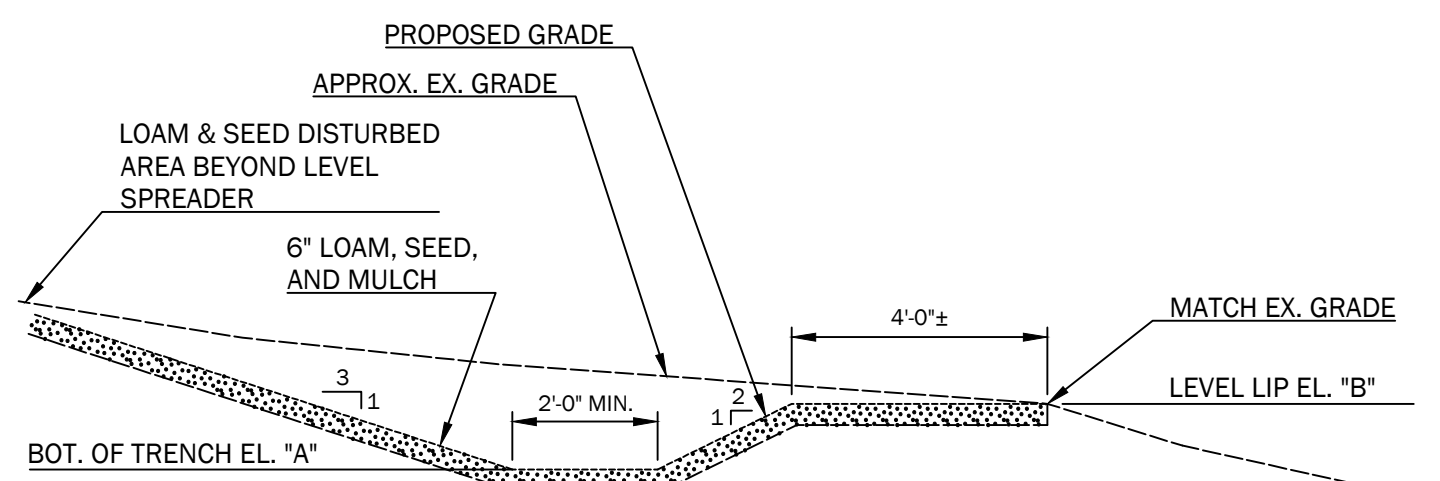
4 TYPICAL PIPE TRENCHING DETAIL
NOT TO SCALE



NOTES:

- BACKFILL MATERIAL WITHIN TRENCH BEYOND UNDERDRAIN LATERAL LIMITS SHALL, AS A MINIMUM, CONFORM TO THE REQUIREMENTS OF GRANULAR BORROW.
- UNDERDRAIN SHALL CONFORM TO THE REQUIREMENTS OF MDO 605.04, TYPE "B", EXCEPT AS NOTED.
- OUTLETS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM AS SHOWN ON THE PLANS, OR GRADED BY GRAVITY TO A SUITABLE DISCHARGE POINT. FREE DRAINING OUTLET TO BE METAL AS REQUIRED BY MDO 605.05.

5 UNDERDRAIN TRENCH DETAIL
NOT TO SCALE

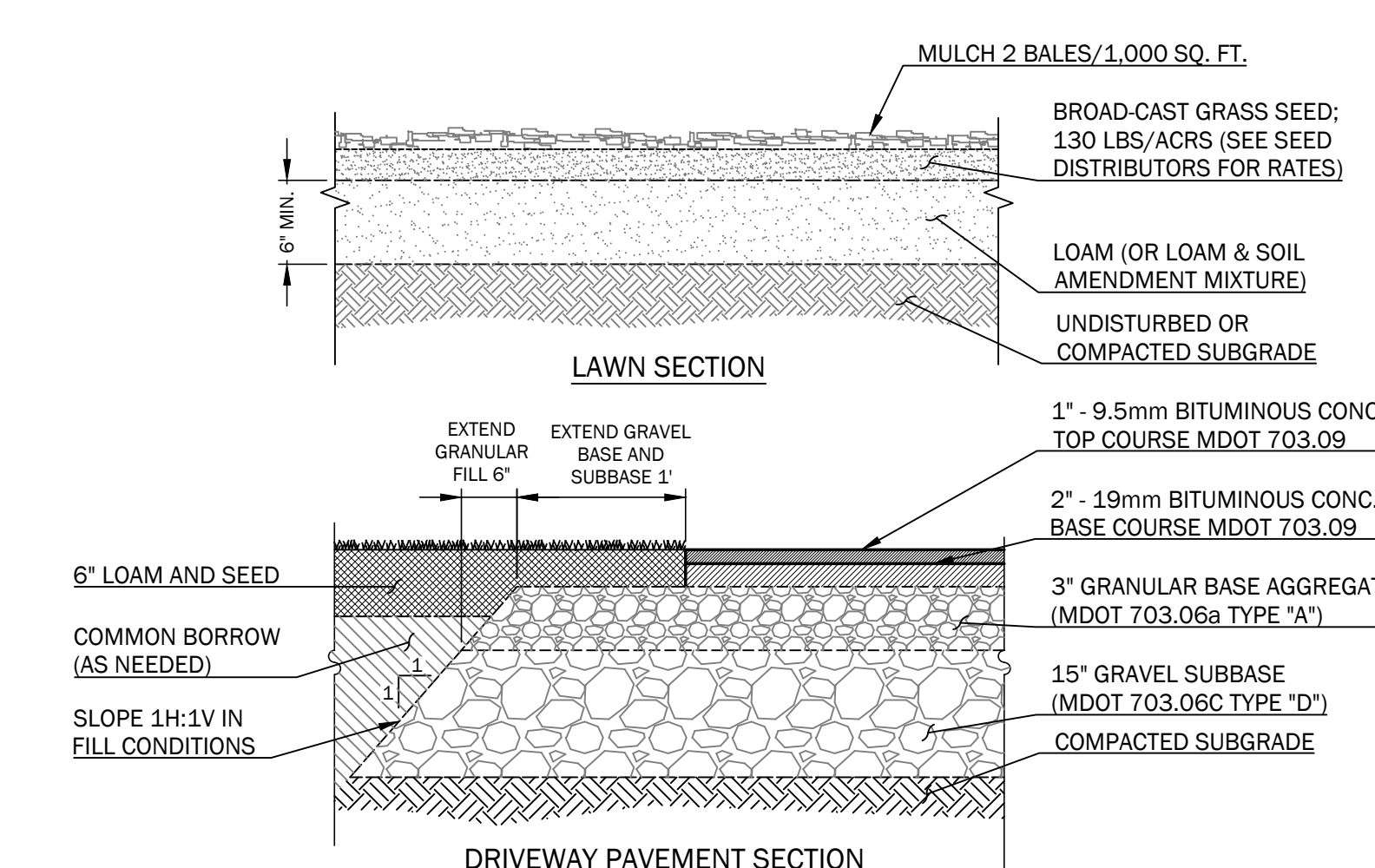


ID	A	B	LENGTH
LS #1	19.0	20.0	20'

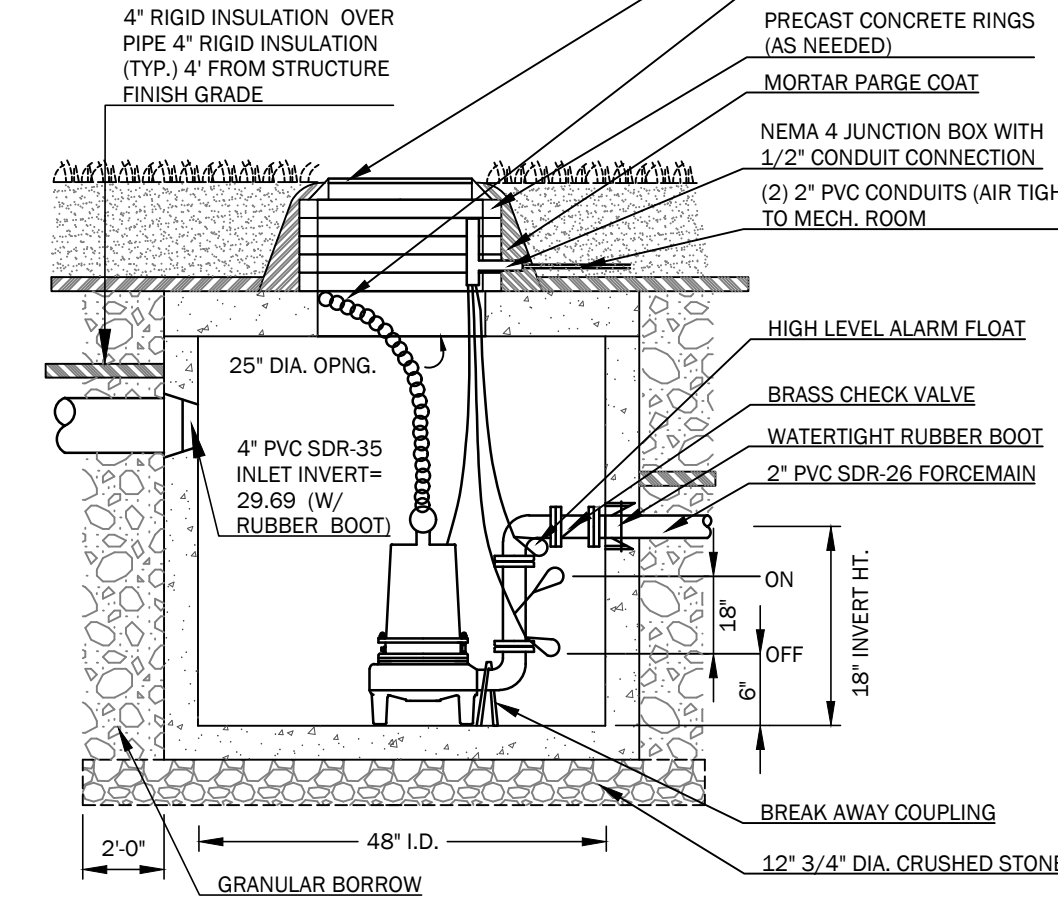
NOTES:

- CONSTRUCT LEVEL LIP AND SPREADER ON ZERO PERCENT GRADE.
- DO NOT CONSTRUCT LEVEL SPREADER ON FILL.
- STORM RUNOFF CONVERTED TO SHEET FLOW SHALL OUTLET ONTO STABILIZED AREA. WATER SHALL NOT BE CHANNELIZED IMMEDIATELY BELOW POINT OF DISCHARGE.

6 LEVEL SPREADER DETAIL
NOT TO SCALE



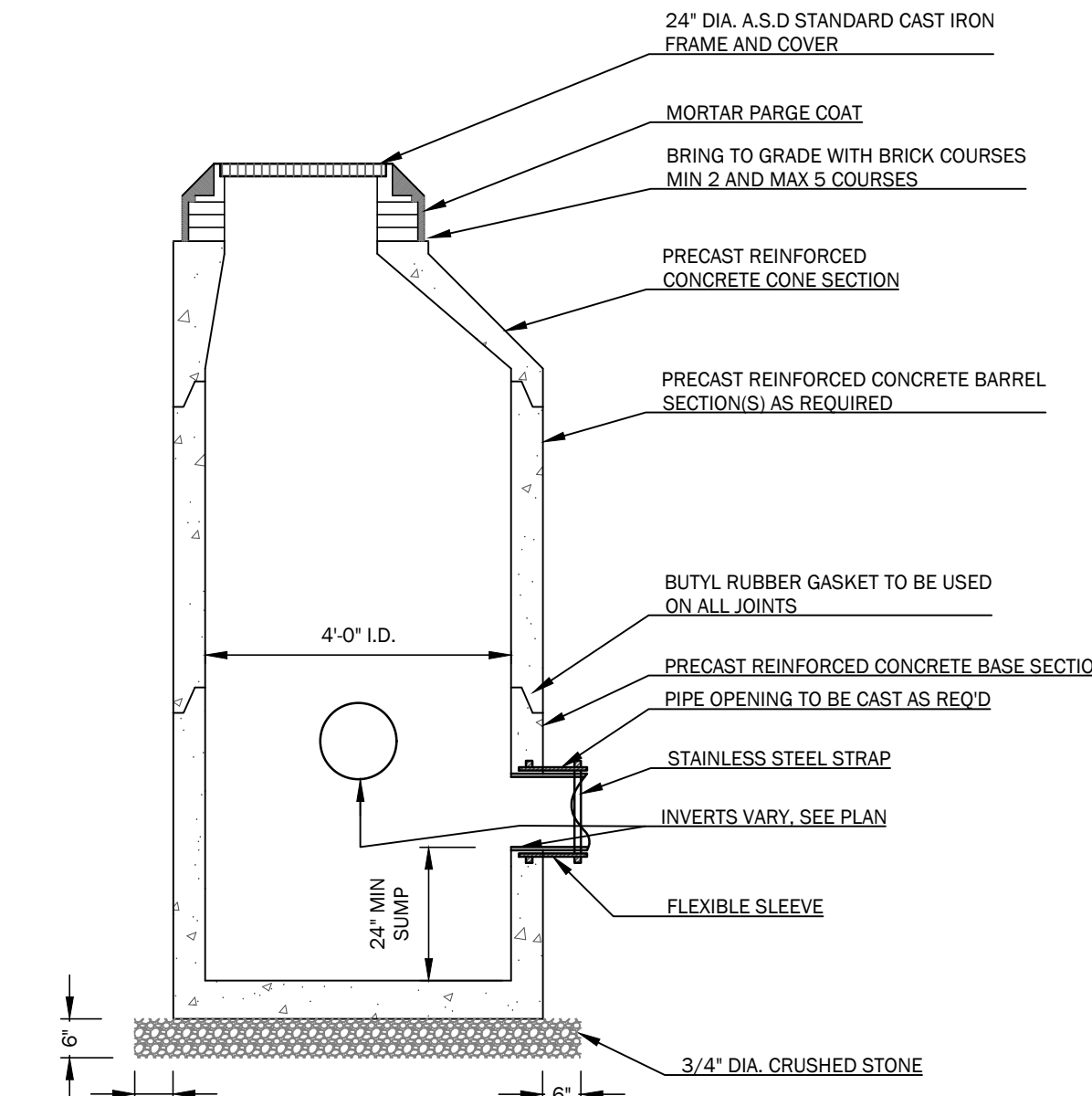
7 SURFACE FINISH SECTIONS AND DETAILS
NOT TO SCALE



NOTES:

- PROVIDE ALARM CABLE TO MECHANICAL ROOM.
- PROVIDE HIGH WATER ALARM WITH RED LIGHT, BUZZER AND ONE MERCURY FLOAT SWITCH.
- ADJUST LEVEL CONTROL AS INDICATED, + 100 GALLON DOSE.
- CONCRETE 4000 PSI AFTER 28 DAYS.
- PROVIDE WATER TIGHT AND AIR TIGHT CONNECTION AT JUNCTION BOX.
- CONCRETE 4000 PSI AFTER 28 DAYS

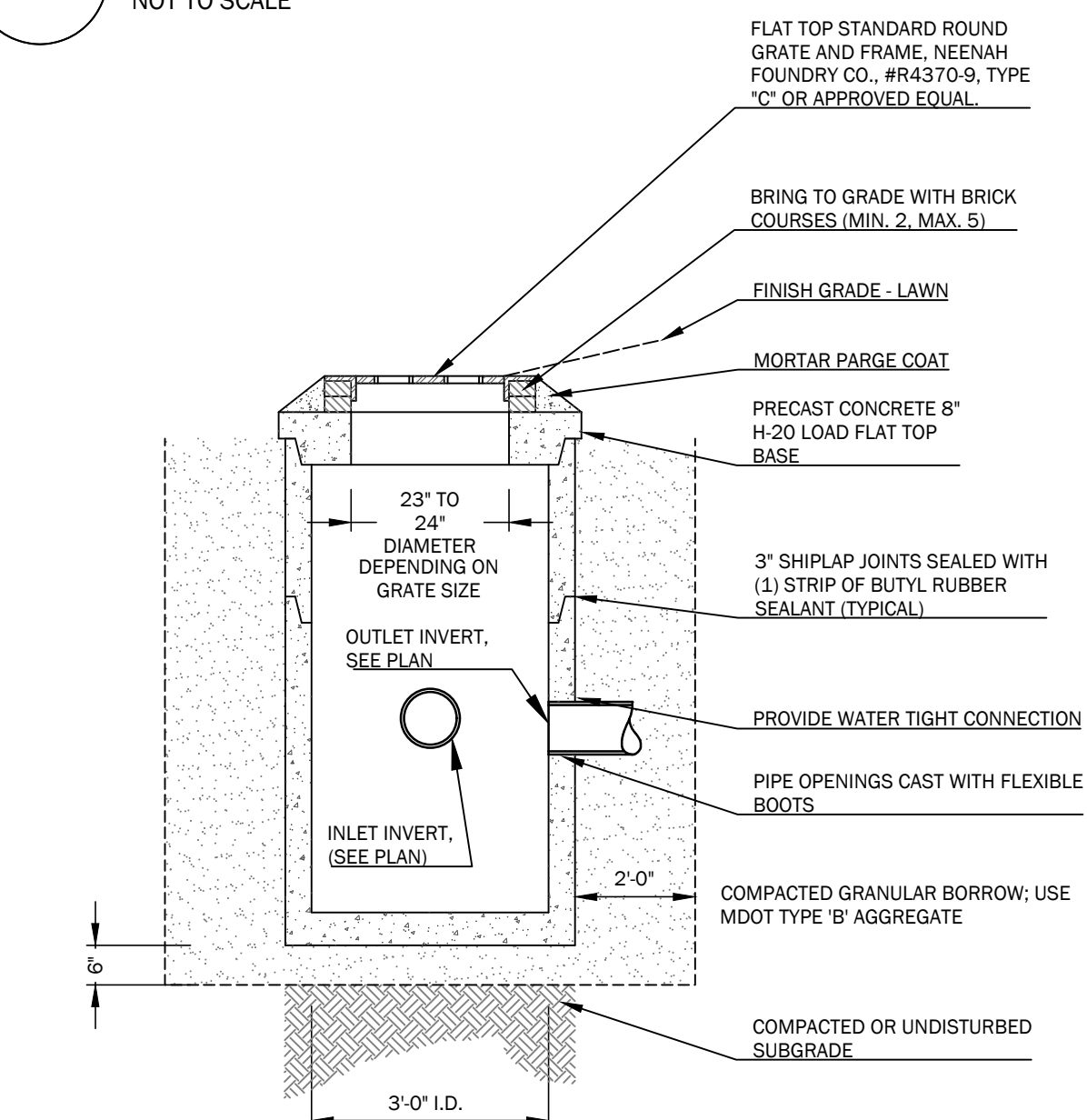
8 PRE-CAST CONCRETE PUMP STATION
NOT TO SCALE



NOTES:

- CONCRETE 4000 PSI AFTER 28 DAYS.
- REINFORCING H-20 LOADING 4#4 / 4#4 W/M. SLAB TOP - NO. 5 BARS.
- EACH CASTING TO HAVE LIFTING HOLES TO BE FILLED WITH NON-SHRINK MORTAR.
- STRUCTURES AND INSTALLATION IN ACCORDANCE WITH LOCAL SANITARY DISTRICT STANDARDS.

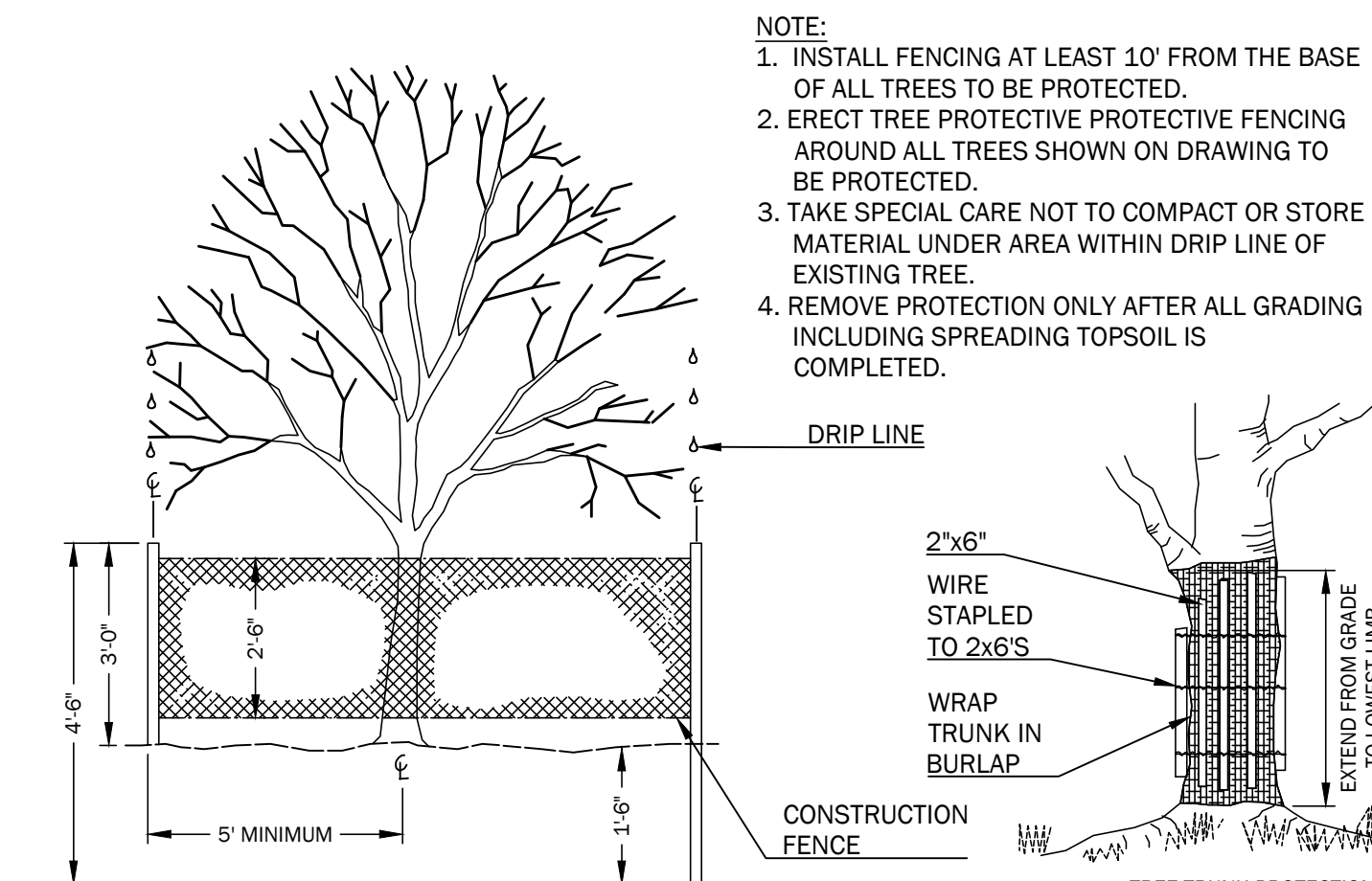
9 PRE-CAST CONCRETE CATCH BASIN-CONE TOP
NOT TO SCALE



NOTES:

- CONCRETE 4000 PSI AFTER 28 DAYS.
- REINFORCING H-20 LOADING 4#4x18 GA. W.W.M.
- EACH CASTING TO HAVE LIFTING HOLES TO BE FILLED WITH NON-SHRINK NON-METALLIC GROUT.

10 FIELD INLET DETAIL
NOT TO SCALE



11 EXISTING TREE PROTECTION
NOT TO SCALE

WALSH
ENGINEERING ASSOCIATES, INC.
One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9898 | www.walsh-eng.com
Copyright © 2021

STATE OF MAINE
WILLIAM R. WALSH, III
No. 8204
LICENSED PROFESSIONAL ENGINEER
12/23/2021

SPRUCE CREEK RESIDENCE
20 FOLCUTT ROAD
KITTY POINT, MAINE 03805
OWNER:
WLADISLAW REALTY TRUST
748 HUMPHREY STREET
SQUAMSCOTT, MASSACHUSETTS 01907

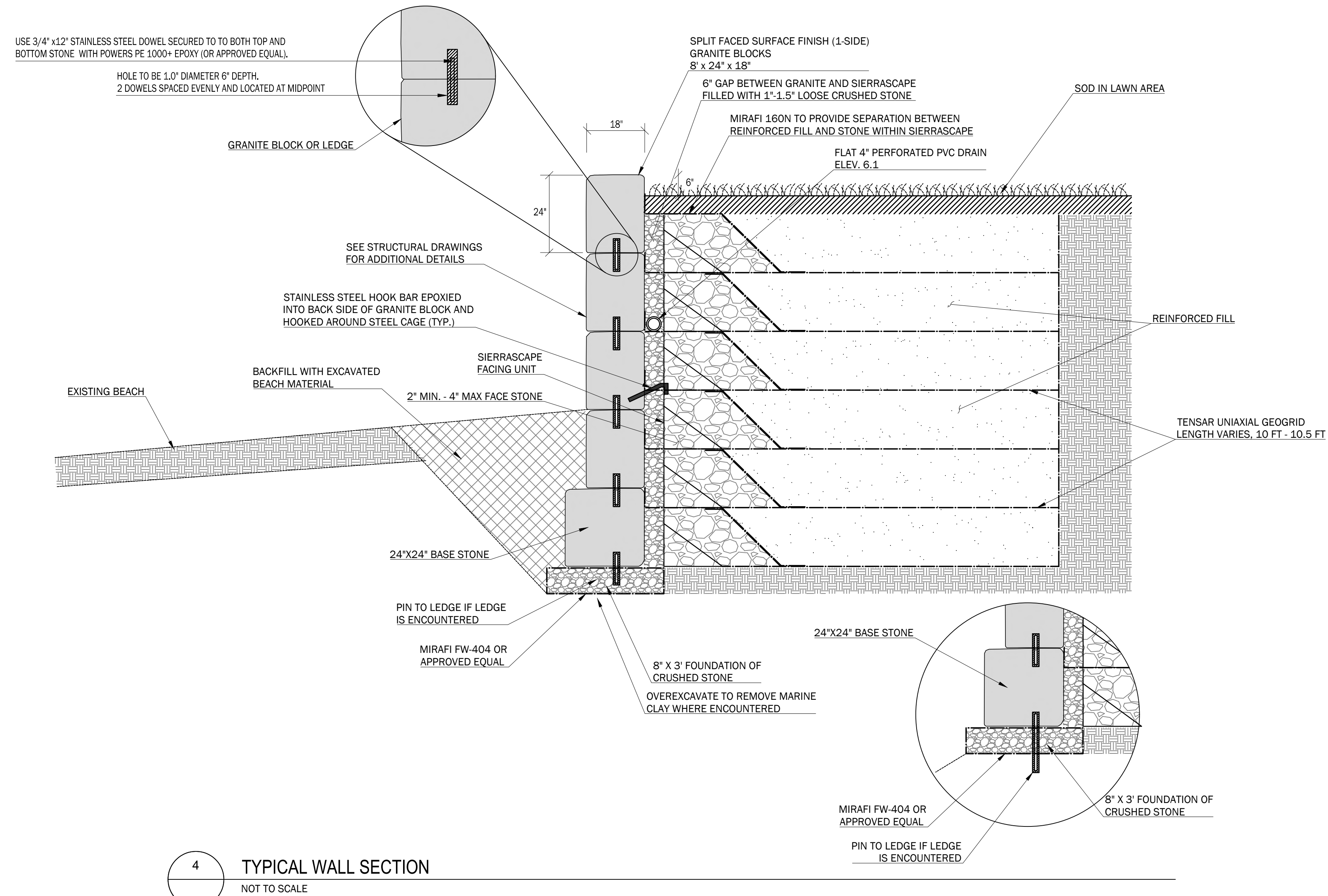
DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

Rev.	Date	Description	Drawn	Check
1	12/21/21	DD ISSUE	JWG	WRW
2	12/23/21	Issued for Permitting	JWG	WRW

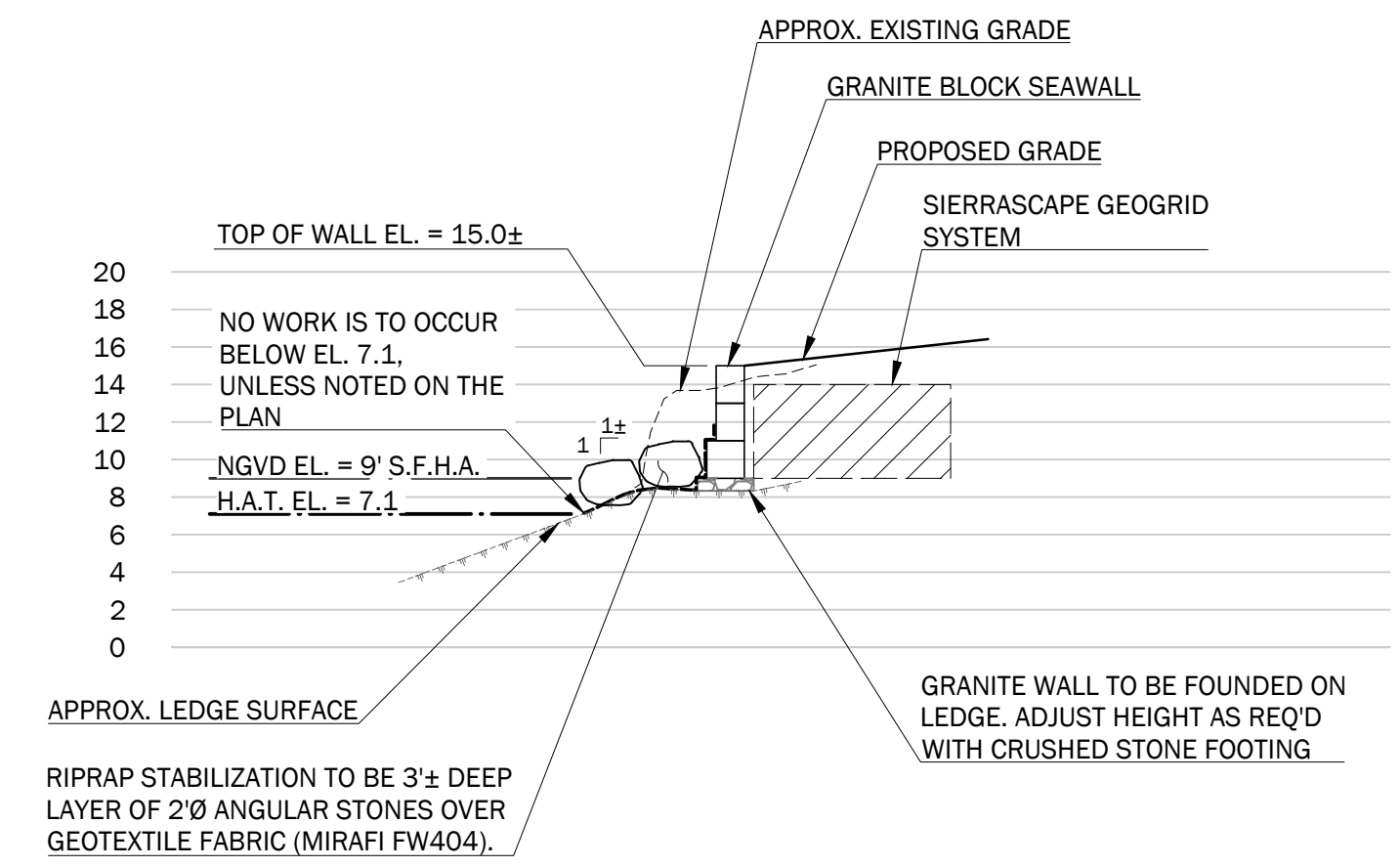
Sheet Title: **SITE DETAILS**

Job No.: 726 Sheet No.:
Date: 12/21/21
Scale: AS SHOWN
Drawn: JWG
Checked: WRW

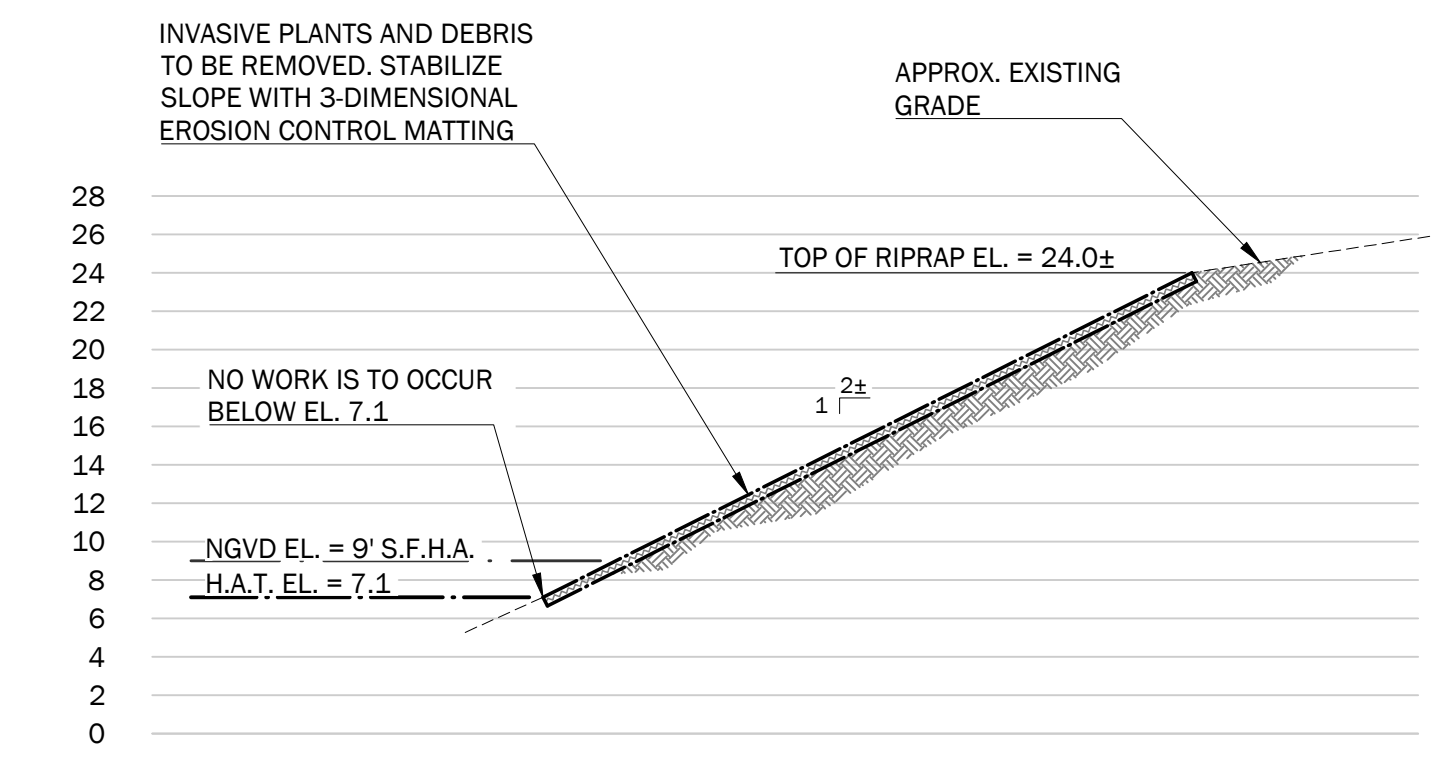
C3.2
MAP 25 / LOT 18



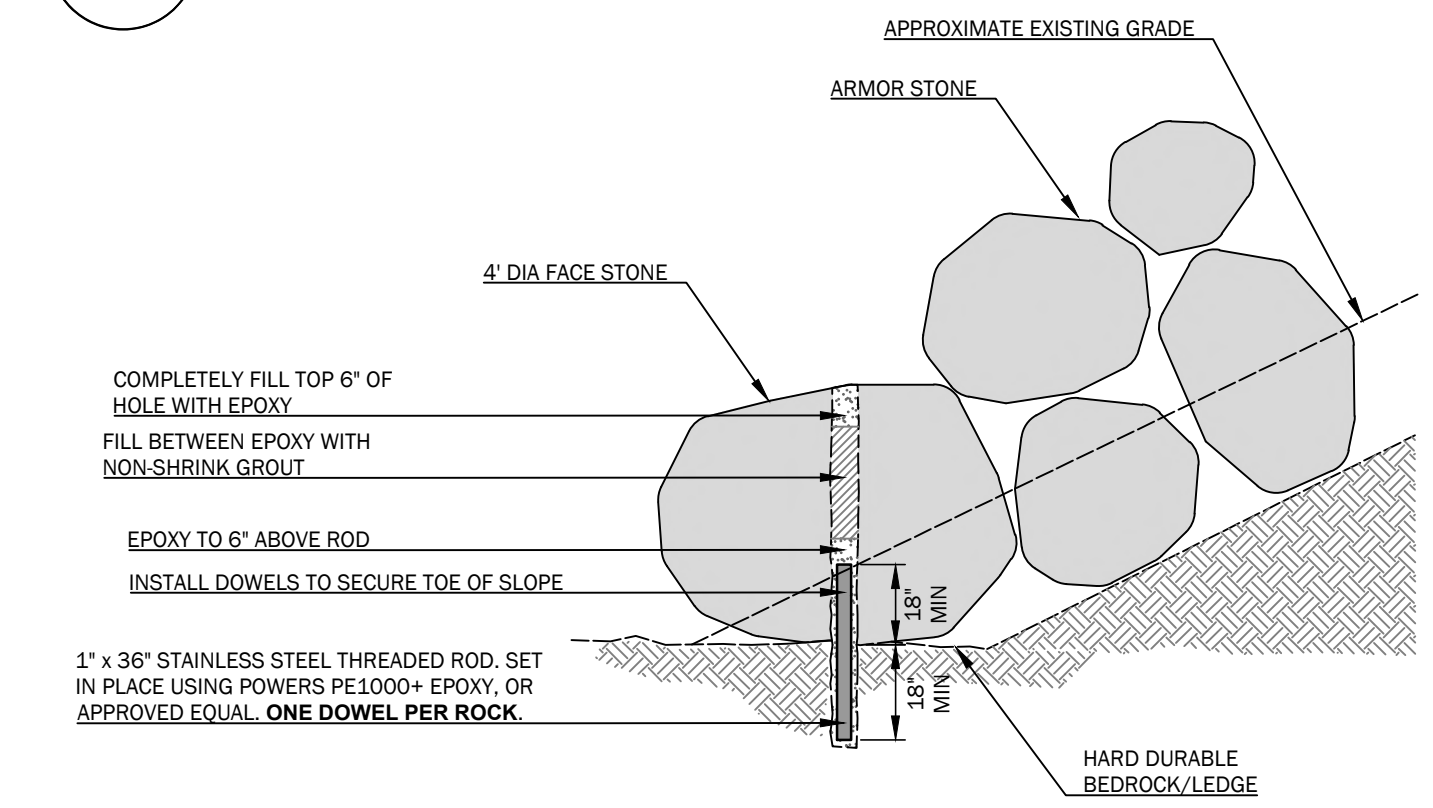
4 TYPICAL WALL SECTION
NOT TO SCALE



1 STABILIZATION SECTION AT RETAINING WALL
NOT TO SCALE



2 STABILIZATION SECTION AT LAWN
NOT TO SCALE



3 TYPICAL DOWEL TO LEDGE DETAIL
NOT TO SCALE

SPRUCE CREEK RESIDENCE
20 FOLCUTT ROAD
KITTEERY POINT, MAINE 03805

OWNER:
WLADISLAW REALTY TRUST
748 HUMPHREY STREET
SQUAMSCOTT, MASSACHUSETTS 01907

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

Rev.	Date	Description	Drawn	Check
1	12/21/21	DD ISSUE	JWG	WRW
2	12/23/21	Issued for Permitting	JWG	WRW

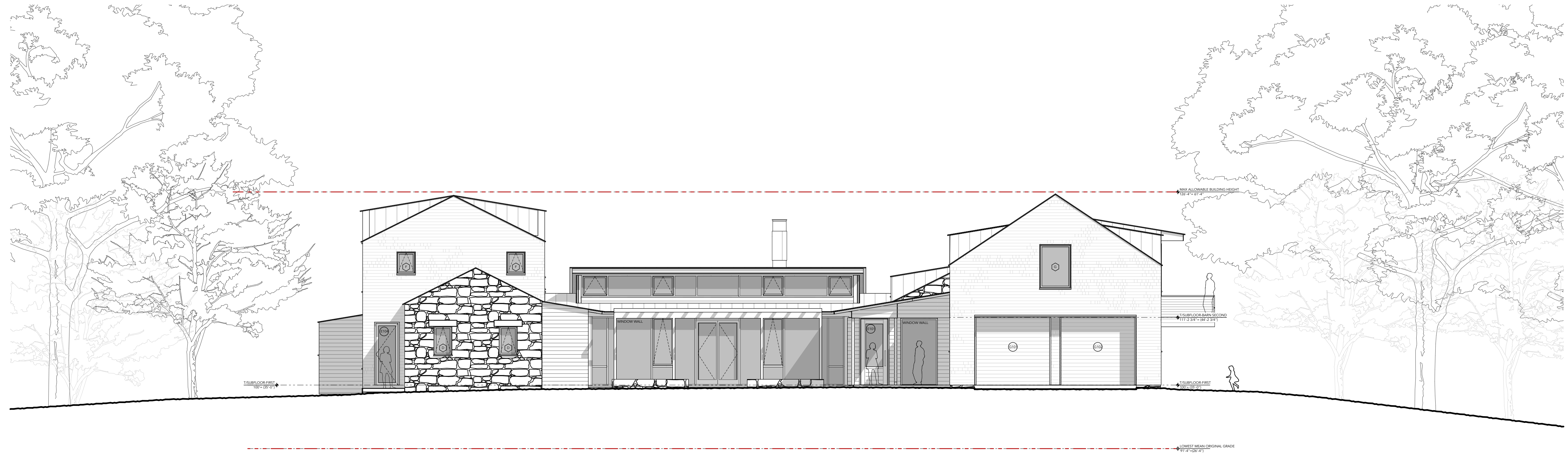
Sheet Title:
SITE DETAILS

Job No.: 726
Date: 12/21/21
Scale: AS SHOWN
Drawn: JWG
Checked: WRW

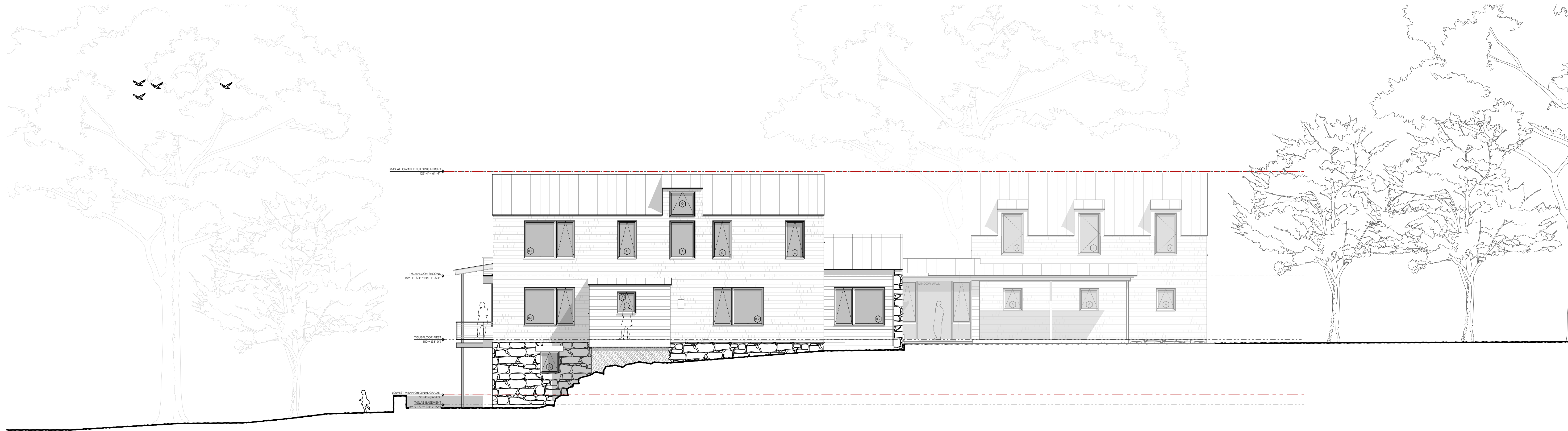
Sheet No.:
C3.3
MAP 25 / LOT 18

20 Folcutt Rd
Kittery
Maine

Notes



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

Whitten Architects
37 Silver Street
Portland, Maine 04101
Phone: 207-774-0111
www.whittenarchitects.com

Interior Designer
Found Design Studio
67 Main Street
Essex, Mass 01929
Phone: 978-890-7180

Landscape Architect
Soren deNiord Design Studio
43 Wellwood Road
Portland, Maine 04103
Phone: 207-400-2450

Structural Engineer
Albert Putnam Associates
183 Park Row
Brunswick, Maine 04011
Phone: 207-729-6230

Mechanical Engineer
Ripcord Engineering
PO Box 4175
Portland, Maine 04101
Phone: 207-832-4060

General Contractor
Bowley Builders
86 York St
Kennebunk, Maine 04043
Phone: 207-985-3646

Drawing
Exterior Elevations

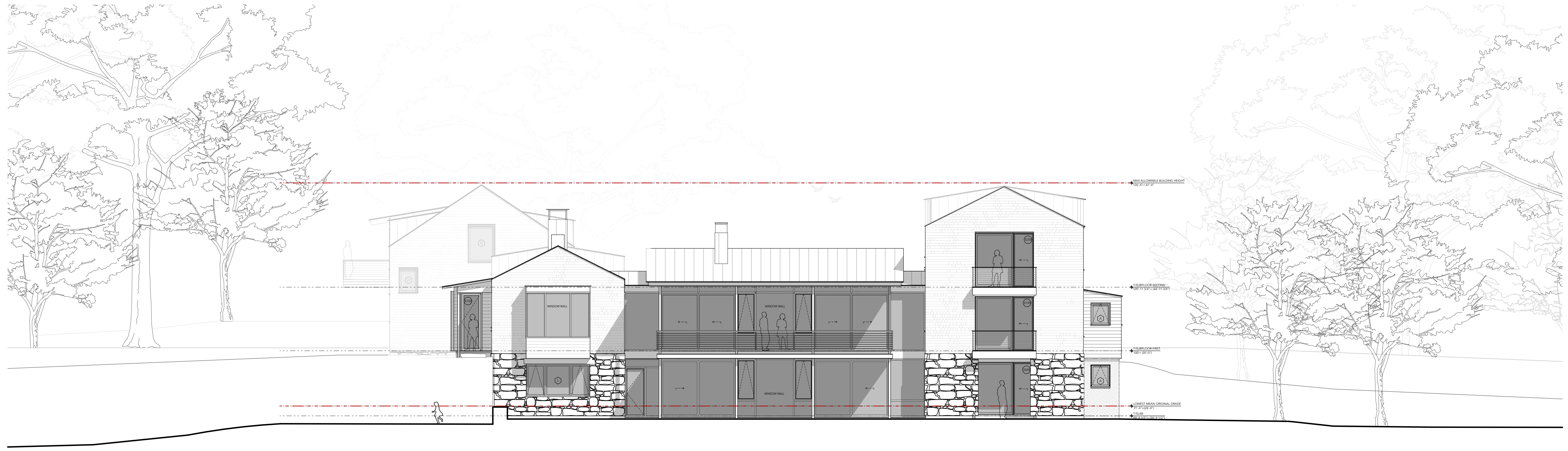
Date
December 21, 2021

Issue
Design Development
(NOT FOR CONSTRUCTION)

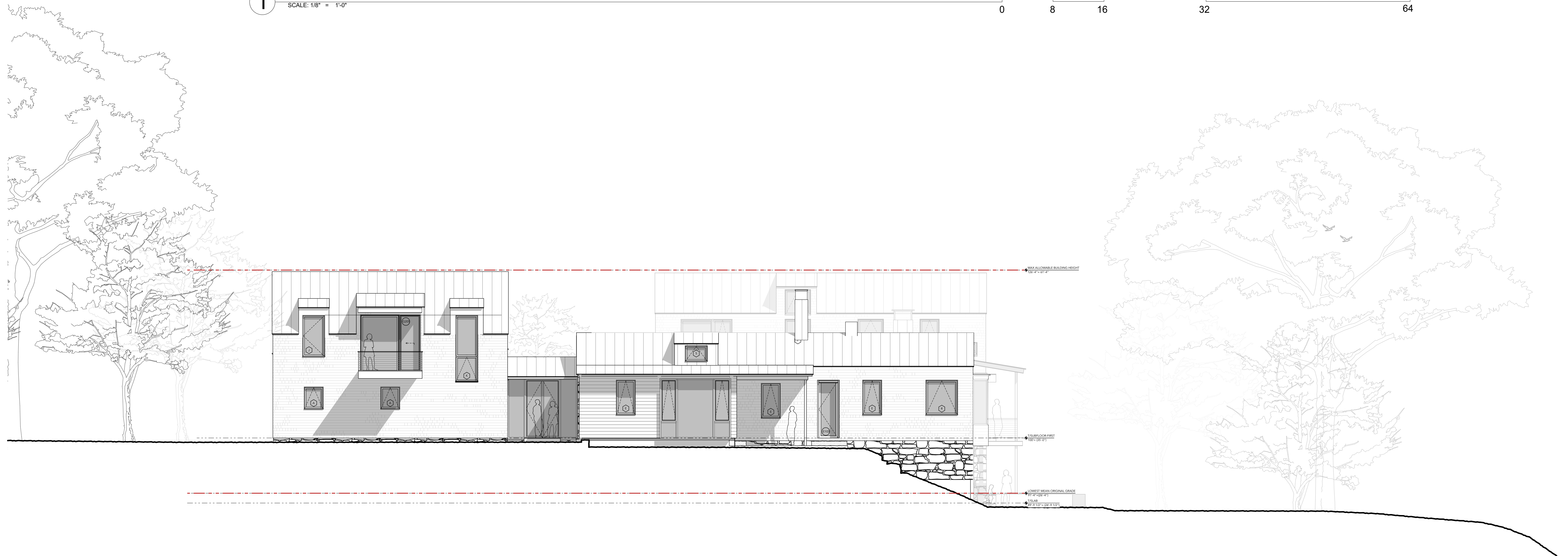
A201

20 Folcutt Rd
Kittery
Maine

Notes



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

Whitten Architects
37 Silver Street
Portland, Maine 04101
Phone: 207-774-0111
www.whittenarchitects.com

Interior Designer
Found Design Studio
67 Main Street
Essex, Mass 01929
Phone: 978-890-7180

Landscape Architect
Soren deNiord Design Studio
43 Wellwood Road
Portland, Maine 04103
Phone: 207-400-2450

Structural Engineer
Albert Putnam Associates
183 Park Row
Brunswick, Maine 04011
Phone: 207-729-6230

Mechanical Engineer
Ripcord Engineering
PO Box 4175
Portland, Maine 04101
Phone: 207-832-4060

General Contractor
Bowley Builders
86 York St
Kennebunk, Maine 04043
Phone: 207-985-3646

Drawing
Exterior Elevations

Date
December 21, 2021

Issue
Design Development
(NOT FOR CONSTRUCTION)

A202



- SYMBOLS LEGEND**
- HARDSCAPE**
- IMPORTED BOULDER (SDDS TO SELECT)
 - CUT GRANITE STEPS (THERMAL FINISH) 'BLACK NUBBLE' OR EQUAL.
 - CUT GRANITE PAVING STONE (AUTOCOURT)
 - CUT GRANITE PAVING STONE (AUTOCOURT)
 - BIT CONC. DRIVEWAY
 - MASONRY WALL
 - LANDSCAPE STEP
 - COBBLE APRON
 - PRIVACY FENCE
- PLANTS**
- SEEDED MEADOW (2,600 SF) CONSERVATION MIX W/ WILDFLOWER PLUGS
 - SOD LAWN
 - SHORELAND STABILIZATION PLANTINGS TBD
 - PLANTED PERENNIAL BEDS FOR PRICING, ASSUME 1 GAL. POTS 18" O.C. (OSTERICH FERN)
 - PROPOSED DECIDUOUS TREE 10' RIVER BIRCH
 - PROPOSED SHRUB 5 GAL. SHRUB (CLETHRA)
 - PROPOSED EVERGREEN TREE 10' BALSAM FIR

- 7 (L5.0) SITE WALL (24" TALL MAX)
- MOWN PATH
- 7 (L5.0) PRIVACY FENCE (+/-380 LINEAR FEET)
- 1 (L5.1) WATER FEATURE
- 1 (L5.0) ENTRY WALKWAY GRANITE PAVING (PED)
- 3 (L5.0) GRANITE PAVING 1.035 SF (AUTO)
- 2 (L5.0) CHIP AND SEAL DRIVEWAY
- 5 (L5.0) GRANITE COBBLE APRON
- 4 (L5.0) GRANITE COBBLE BORDER
- 7 (L5.0) 4' TALL GRANITE WALL | ADDRESS ELEMENT

- X (L5.1) FUTURE PIER
- X (L5.1) FUTURE BOARDWALK
- X (L5.1) PALO FORM GAS FIREPIT
- 7 (L5.0) SEAT-WALL (18" TALL)
- 2 (L5.1) OUTDOOR COOK STATION
- 6 (L5.0) GRANITE STEPS
- 7 (L5.0) LANDSCAPE WALL (2' TALL)
- X (L5.1) WATER FEATURE (DESIGN TBD)

Soren deNiord Design Studio
 43 Wellwood Road
 Portland, ME
 04103
 T: 207-400-2450
 E: soren@sorendenliord.com

SPRUCE CREEK RESIDENCE
 44 FOLCUTT ROAD
 KITTERY POINT, MAINE

No: Revision Date:

revisions:
 date: NOVEMBER 15, 2021
 scale: As Noted
 drawn: XX
 checked: XX

L2.0
 LANDSCAPE MATERIALS PLAN

0 10 20 40 N
 PRICING SET
 NOT FOR CONSTRUCTION



November 18, 2021

Town of Kittery Planning Board
c/o Adam Causey, Director of Planning & Development
200 Rogers Road
Kittery, ME 03904

**RE: Shoreland Development Plan Application
20 Folcutt Road**

Dear Planning Board Members,

On behalf of Wladislaw Realty Trust, LLC (Applicant), Walsh Engineering Associates, Inc. (WEA) is pleased to submit the enclosed Shoreland Development Application for the planned development located at 20 Folcutt Road, identified on the Town of Kittery Tax Map 25, Lot 18. The project site resides in the Residential Kittery Point Village (R-KPV) zoning district, with both Resource Protection (OZ-RP) and Shoreland Water Body/Wetland Protection Area (OZ-SL-250') overlays.

Walsh Engineering is partnering with the applicant, along with Whitten Architects of Portland and Soren deNiord Design Studio, to develop the project in a thoughtful and sensitive manner. WEA will be responsible for the permitting and site development; Whitten Architects will be responsible for architectural design; and Soren deNiord will be designing the landscape features.

Existing Conditions

The project location is a 1.74-acre parcel adjacent to Folcutt Road with approximately 335± feet of shoreline frontage along Spruce Creek. The property abuts residential uses to the north, east and southerly boundaries and Spruce Creek is to the west.

Currently a 3,318 square foot, three-bedroom single-family residence with associated patios, steps, and a driveway are located on the property. The northwester portion of the existing building is located within the 100-foot Highest Annual Tide (HAT) setback totaling 1,171 sq. ft. Additionally, existing patios and a retaining wall account for 534 sq. ft. within the 100-foot setback.

There is an existing boat house located at the shoreline of Spruce Creek and a small shed located in the southeastern portion of the parcel. The lot is largely cleared with some existing mature vegetation located in the southeastern portion of the parcel. The property is currently serviced by a potable drinking water well, with no records found regarding the existing septic system. For the lot area residing within the shoreland zoning overlay, lot coverage including structures, impervious surfaces, and an existing retaining wall account for approximately 14.5% of the project parcel. Within the 100-foot setback, there is both the existing structure (impervious area and volume) and patio (impervious area).

Proposed Development

The proposed project consists of demolition and reconstruction of the existing single-family residence. The work within the 100-ft shoreline setback of Spruce Creek includes the following:

- Removal of the existing structure within 100-feet of the HAT, partially replaced with a patio and a seat wall
- Replacement of the existing wood retaining wall around the boat house with a granite wall
- Riprap revetment in areas where erosion is occurring at the shoreline
- Removal of invasive species along the shoreline and stabilization of the steeper sections of the shoreline with Turf Reinforced Matting (TRM) and native vegetation
- Storm drainage improvements on the site with a discharge into a level spreader and a vegetated buffer strip
- Upgrading utility services to the boathouse, including a sewer pump station, water and electric
- Boathouse maintenance

More specifically the improvements are as follows:

Removal of House from within 100-ft HAT Setback

Presently the existing house and patio are 81.7 feet away from the HAT of Spruce Creek and would be considered grandfathered non-conforming. The total area of the house and patio within the 100-foot setback is 1,663 sq. ft. The proposed plan will reconstruct the building to a conforming structure within the 100-foot setback. The patio and a seat wall on the western side of the new structure will be brought further from the water from 81.8 ft to 89.6 ft. Its size will also be reduced by 551 sq. ft. (1,705 sq. ft. to 1,154 sq. ft.). Therefore, by relocating the structure behind the 100-ft setback and increasing the patio setback, the property becomes more conforming with existing zoning setbacks.

Replacement of the Boathouse Retaining Wall

Two sides of the boathouse and part of the shoreline are retained by a dilapidated wood retaining wall which has not been maintained and is failing in some places. The installation of a granite block wall supplemented by geotextile system (Sierra-Scape) is proposed. This wall will stabilize the slope and is designed to retain the soil and withstand the natural forces of Spruce Creek. The wall will be constructed in the same location as the existing wood retaining wall around the boathouse and will be pulled further away from the HAT as it faces Spruce Creek.

Riprap Revetment

Riprapped revetment will be used to stabilize the shoreline west of the proposed granite wall and to provide resiliency for future sea level rise. The revetment will continue in a southwestern direction to provide additional stabilization along the shoreline of Spruce Creek.

Removal of Invasive Plant Species and Slope Stabilization

Presently there are invasive species along the shoreline that include bittersweet, honeysuckle, and poison ivy. The proposed plan calls for the removal of these species, the installation of a Turf Reinforced Matting (TRM) on the steeper grades to provide for erosion protection and resiliency,

and plantings of native species like Virginia Rose, Winterberry Holly, and Bayberry. All existing trees, 4 inches and larger, will remain on the slope.

Storm Drain Outfall

A stormwater system will be installed from the site driveway extending along the southwesterly property border and discharging to a proposed level spreader and vegetated buffer. The natural buffer will serve to filter the stormwater prior to discharge into Spruce Creek.

Boat House Utilities

Utilities will be upgraded/replaced and extended from the proposed house to the boat house. These will be underground systems and will include a sewer pump station and force main, potable water service, and underground electrical service.

Boathouse Restoration

The existing boat house requires maintenance to remain usable. The project proposes repairs including leveling of the existing floor deck, structural repairs to the floor and roof system, installation of a sink and toilet, and maintenance to the outside including new asphalt shingles, door replacement, and painting of the structure.

We have included the following information for your review:

Shoreland Development Application including:

- Application
- Agent Authorization
- Deed of Sale – Bk 17831, Pg 664
- 250 ft Abutters Report
- 5,000 ft Vicinity Map
- HHE-200 report by Albert Frick Associates dated 11/16/21
- Existing conditions survey by Easterly Surveying, Inc. dated 4/1/19
- Site plans by Walsh Engineering dated 11/16/21 including:
 - Sheet C1.1 – Site Plan
 - Sheet C1.2 – Existing Conditions and Removals Plan
 - Sheet C2.1 – Utilities Plan
 - Sheet C2.2 – Grading and Drainage Plan
 - Sheet C2.3 – Retaining Wall Plan and Sections
 - Sheet C3.1 – Site Details
 - Sheet C3.2 – Site Details
 - Sheet C3.3 – Site Details
- Landscape Plan by Soren Deniord Design Studio dated 11/15/21
- Proposed shoreland revegetation species by Soren Deniord Design Studio dated 11/17/21
- House architectural plans by Whitten Architects dated 10/26/21
- Boat house architectural plans by Whitten Architects dated 3/19/21

We trust this information is sufficient for your review and we look forward to working with the Planning Board to make this project successful.

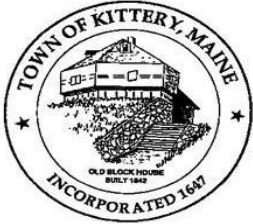
Respectfully,

A handwritten signature in black ink, appearing to read "William R. Walsh, III". The signature is fluid and cursive, with the first name "William" being the most prominent.

William R. Walsh, III, P.E., LEED AP
Walsh Engineering Associates, Inc.

cc. Wladislaw Realty Trust – c/o William Mosakowski
Whitten Architects – c/o Rob Whitten
Soren deNiord Design Studios

SHORELAND DEVELOPMENT PLAN APPLICATION

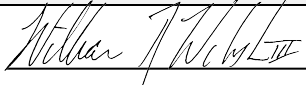
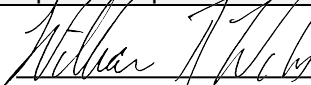


TOWN OF KITTERY
Planning & Development Department
 200 Rogers Road, Kittery, ME 03904
 Telephone: 207-475-1323 Fax: 207-439-6806

MAP ___ LOT ___
DATE: _____
FEE: \$ <u>200.00</u>
ASA*: _____

PROPERTY DESCRIPTION	Physical Address	20 Folcutt Road		
	Base Zone	R-KPV	Overlay Zone (s)	OZ-RP & OZ-SL-250'
OWNER INFORMATION	Name	Wladislaw Realty Trust LLC		Mailing Address 748 Humphrey Street Swampscott, MA 01907
	Phone	(617) 360-1399		
	Email	wmosakowski@pcgus.com		
AGENT INFORMATION	Name	William R. Walsh, III, P.E.		Company Walsh Engineering Associates, Inc.
	Phone	(207) 553-9898		Mailing Address 1 Karen Drive, Suite 2A Westbrook, Maine 04046
	Email	bill@walsh-eng.com		
	Fax			
APPLICANT INFORMATION	Name	William Mosakowski		Mailing Address 748 Humphrey Street Swampscott, MA 01907
	Phone	(617) 360-1399		
	Email	wmosakowski@pcgus.com		

PROJECT DESCRIPTION	<p><u>Existing Use:</u></p> <p>The parcel is currently occupied by a single-story, approximately 3,300± square foot residence. Outbuildings include a boathouse along the shoreline of Spruce Creek and a shed.</p>
	<p><u>Proposed Use (describe in detail):</u></p> <p>The applicant intends to raise and reconstruct the existing single-family residence on site with intent to make the structure more conforming with the 100-ft setback. The existing paver patios will also be removed and replaced with a better conforming design as it relates to the 100-ft setback. Work within the 100-ft setback will include the replacement of a failing retaining wall behind the existing boathouse with a granite wall, stabilizing the shoreline adjacent to Spruce Creek with rip-rap based revetment, and the removal of existing invasive species along the shoreline. Maintenance will be performed on the boat house including the restoration of both the interior and exterior of the structure, as well as upgrading existing utilities including water, sewer, and electric. A stormwater system will be implemented on site that discharges to a level spreader with an associated vegetated buffer. Please refer to the provided cover letter dated November 18, 2021, for a more in-depth explanation of the proposed development.</p>

PROJECT DESCRIPTION	Please describe any construction constraints (wetlands, shoreland overlay zone, flood plain, non-conformance, etc.)		
	The main constraints of the project are the open water wetlands (Spruce Creek), as well as both the Resource Protection and Shoreland Zoning overlays and Floodplain. The boat house is also a grandfathered non-conforming structure due to the proximity of the HAT. Conformance will be achieved for the residential structure and impervious coverage will be made more conforming.		
I certify I have provided, to the best of my knowledge, information requested for this application that is true and correct and I will not deviate from the Plan submitted without notifying the Planning and Development Department of any changes.			
Applicant's Signature:	 (agent)	Owner's Signature:	 (agent)
Date:	11-18-21	Date:	11-18-21

*Applicant Service Accounts: Fees to pay other direct costs necessary to complete the application process, not including application fees. Title 3, Chapter 3.3.

MINIMUM PLAN SUBMITTAL REQUIREMENTS	
<input checked="" type="checkbox"/> 12 Copies of this Application Form, all supporting documents, and the Development Plan and Vicinity Map 10 plan copies may be half-size (11"x17") and 2 must be full-size (24"x36")	
Shoreland Development Plan format and content:	
A) Paper Size; no less than 11" X 17" or greater than 24" X 36"	
B) Plan Scale	
<input checked="" type="checkbox"/> Under 10 acres: no greater than 1" = 30' <input type="checkbox"/> 10 + acres: 1" = 50'	
C) Title Block	
<input type="checkbox"/> Title: Shoreland Development Plan <input checked="" type="checkbox"/> Applicant's name and address <input checked="" type="checkbox"/> Name of preparer of plan with professional information <input checked="" type="checkbox"/> Parcel's Kittery tax map identification (map – lot) in bottom right corner <input checked="" type="checkbox"/> Vicinity Map or aerial photo showing geographic features 5,000 feet around the site.	
D) Signature Block	
<input checked="" type="checkbox"/> Area for signature by Planning Board Chair and Date of Planning Board Approval	

Development Plan must include the following existing and proposed information:	
Existing: <input checked="" type="checkbox"/> Land Use Zones and boundaries <input checked="" type="checkbox"/> Topographic map (optional) <input checked="" type="checkbox"/> Wetlands and flood plains <input checked="" type="checkbox"/> Water bodies and water courses <input checked="" type="checkbox"/> Parcel area <input checked="" type="checkbox"/> Lot dimensions <input checked="" type="checkbox"/> Utilities (Sewer/septic, water, electric, phone) <input checked="" type="checkbox"/> Streets, driveways and rights-of-way <input checked="" type="checkbox"/> Structures <input checked="" type="checkbox"/> Distance from structure to water body and property lines <input checked="" type="checkbox"/> Floor area, volume, devegetated area, and building coverage	Proposed: (Plan must show the lightened existing topography under the proposed project plan for comparison.) <input type="checkbox"/> Recreation areas and open space - N/A <input checked="" type="checkbox"/> Setback lines and building envelopes <input checked="" type="checkbox"/> Lot dimensions <input checked="" type="checkbox"/> Utilities (Sewer/septic, water, electric, phone) <input checked="" type="checkbox"/> Streets, driveways and rights-of-way <input checked="" type="checkbox"/> Structures <input checked="" type="checkbox"/> Floor area, volume, devegetated area, and building coverage Distance to: <input checked="" type="checkbox"/> Nearest driveways and intersections <input checked="" type="checkbox"/> Nearest fire hydrant <input checked="" type="checkbox"/> Nearest significant water body; ocean, wetland, stream

Expansion/Construction Analysis within the Shoreland Overlay Zone¹
(see Table 16.9)

Size of water body or wetland: <500 sf <501 sf-1 acre >1 acre

Structure distance from water body: 0-81.7 feet

STRUCTURE	Existing	Proposed	% Increase*	
SF (Area)	1,705 sf	1,154 sf	1.7% decrease	
Construction:	New: <input type="checkbox"/> Demo/Rebuild: <input checked="" type="checkbox"/>			Value:
	Maintenance/repair: <input type="checkbox"/>			\$
*Total increase in area may not exceed 30% for any new construction since 1/1/1989.				

PARCEL DE-VEGETATION	% Allowed*	Existing SF	Proposed SF	% Proposed*
Lot Size (sf) 32,684	20 %	1,705 sf	1,154 sf	3.5 %
*See underlying zone standards for de-vegetated area percent allowed within a Shoreland Overlay.				

BUILDING COVERAGE	% Allowed*	Existing SF	Proposed SF	% Proposed*
Lot Size (sf) 32,684	20%	1,171 sf	0 sf	0%
*See underlying zone standards for building coverage percent allowed.				

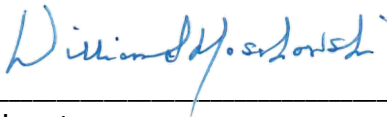
¹Calculations for area, volume, and de-vegetated areas must be included on the final plan and certified by a State of Maine registered architect, landscape architect, engineer, or land surveyor.

Date:

To Whom It May Concern,

By this letter, the undersigned, William M. Mosakowski, authorizes Walsh Engineering Associates, Inc. to act as the agent for the undersigned in the preparation and submission of all Federal, State, and Local City permit applications and relevant documents and correspondence for all necessary permits for the construction/reconstruction of the property at 20 Folcutt Road in Kittery, Maine; to attend meetings and site visits; to appear before all boards, commissions, and committees, and to provide such other services as are necessary and appropriate in furtherance of the aforementioned project.

Sincerely,



Signature

William S. Mosakowski, Owner

Printed Name and Title

10/27/2021

Date

DEED OF SALE BY PERSONAL REPRESENTATIVE

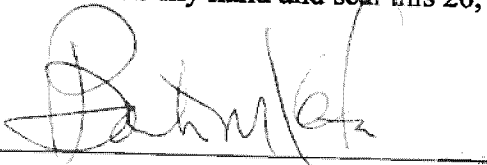
KNOW ALL MEN BY THESE PRESENTS

That Todd J. Stocker of Lancaster, Massachusetts, duly appointed and acting Personal Representative of the Estate of Charles K. Stocker, deceased (testate), as shown by the probate records of the County of York, Maine, Docket No. 2018-0290, and having given notice to each person succeeding to an interest in the real property described below at least ten (10) days prior to the sale, by the power conferred by the Probate Code, and every other power, for consideration paid, grants to WLADISLAW REALTY TRUST, a Massachusetts Limited Liability Company, having a mailing address of 748 Humphrey Street, Swampscott, MA 01907, the real property in Kittery, County of York, State of Maine, described as follows:

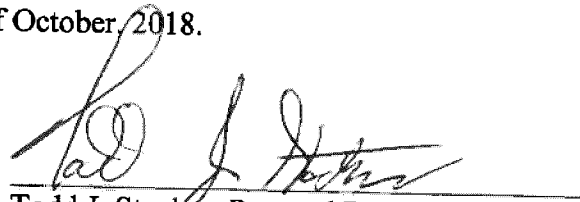
See Exhibit A attached hereto and incorporated herein.

Being the same premises conveyed to Charles K. Stocker and Joan M. Stocker, as joint tenants, by deed of Ruth H. Erlandson dated July 30, 1998 and recorded in the York County Registry of Deeds in Book 8940, Page 195. The said Joan M. Stocker having died on August 13, 2017, leaving Charles K. Stocker as sole owner.

WITNESS my hand and seal this 26, day of October 2018.



Witness



Todd J. Stocker, Personal Representative of
the Estate of Charles K. Stocker

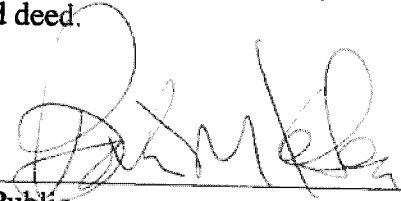
Maine R.E. Transfer Tax Paid

State of Maine
County of York, ss.

October 26, 2018

Then personally appeared the above named Todd J. Stocker in his said capacity and acknowledged the foregoing instrument to be his free act and deed.

Before me,



Notary Public

Print name: _____

My commission expires: _____

SEAL:

BARTON M. KELSEA
NOTARY PUBLIC, MAINE
MY COMMISSION EXPIRES
AUGUST 28, 2023

\probate\stocker dos
20 Folcutt Road
Kittery, ME
25/18

EXHIBIT A

20 Folcutt Road, Kittery, Maine

A certain tract or parcel of land situated at Kittery Point in the Town of Kittery, County of York, State of Maine, shown as Lot A on a plan entitled "Standard Boundary Survey Plan Prepared for Ruth H. Erlandson Off Folcut [sic] Road – Kittery, Maine" by J. Wright, Post Road Surveying, recorded in the York County Registry of Deeds on May 26, 1998, at Plan Book 241, Page 26, more particularly bounded and described as follows:

Beginning at an iron rod on the northerly sideline of a private right-of-way running off said Folcutt Road, which point is the northwesterly corner of Lot B as shown on said plan and the southwestery corner of the lot herein conveyed and running along the northerly sideline of said private right-of-way North $43^{\circ} 29' 16''$ West a distance of 157.66 feet, more or less, to a point;

Thence turning and running along said private right-of-way and land now or formerly of Waddington North $51^{\circ} 38' 16''$ West a distance of 290.27 feet, more or less, to the shoreline of Spruce Creek and a drill hole in a boulder, being the northwesterly corner of the lot herein conveyed;

Thence turning and running along the shoreline of said Spruce Creek in a general easterly direction to an iron rod at the northeasterly corner of the lot herein conveyed and the northwesterly corner of land now or formerly of Sulloway;

Thence turning and running along land now or formerly of Sulloway South $41^{\circ} 07' 14''$ East, passing on line at 145.29 feet, more or less, a concrete bound, and continuing for a total of 186.89 feet, more or less, to an iron rod at the southeasterly corner of the lot herein conveyed and the northerly corner of said Lot B;

Thence turning and running along said Lot B South $28^{\circ} 37' 53''$ West a distance of 223.77 feet, more or less, to the point of beginning, said parcel of land containing 75,501.79 square feet, more or less.

Together with the right and privilege, in common with others similarly entitled, of traveling over a thirty-foot private way adjacent to the line of land of Sadie Picard and as shown on said plan from the granted premises to Folcutt Road, and including utility services, subject to the right to help maintain said way in proportion to the number of users and from the place where they enter it to Folcutt Road.

Excepting and reserving to Ruth H. Erlandson, her heirs, successors and assigns in ownership, as and for an appurtenance to the real property described below and for any part of it, a view easement to receive light, air and an unobstructed view over that part of the above-described real property.

Any obstruction of such view shall be considered an unauthorized interference with such right or easement and shall be removed on demand at the expense of grantees, and their heirs, successors and assigns in the ownership of the above-described real property or any part of it. Said reserved premises is bounded and described as follows:

Beginning on the boundary line between Lots A and B as shown on said plan, which said point is 71.20 feet, more or less, northeasterly of the northwesterly corner of Lot B;

Thence running North 28° 54' 34" West a distance of 330 feet, more or less, to the shoreline of said Spruce Creek;

Thence turning and running along the shoreline of said Spruce Creek in a general easterly direction to the northeasterly corner of the reserved premises and the northwesterly corner of land now or formerly of Sulloway;

Thence turning and running along land now or formerly of Sulloway South 41° 07' 14" East, passing on line at 145.29 feet, more or less, a concrete bound, and continuing for a total distance of 186.89 feet, more or less, to the northerly corner of said Lot B;

Thence turning and running along said Lot B South 28° 37' 53" West a distance of 152.58 feet, more or less, to the point of beginning.



250 foot Abutters List Report

Kittery, ME
November 15, 2021

Subject Property:

Parcel Number: 25-18
CAMA Number: 25-18
Property Address: 20 FOLCUTT ROAD

Mailing Address: WLADISLAW REALTY TRUST LLC
748 HUMPHREY STREET
SWAMPSCOTT, MA 01907

Abutters:

Parcel Number: 25-12
CAMA Number: 25-12
Property Address: 3 FLETCHER LANE

Mailing Address: THOMAS, JOHANNA
3 FLETCHER LANE
KITTERY POINT, ME 03905

Parcel Number: 25-12A
CAMA Number: 25-12A
Property Address: 11 FLETCHER LANE

Mailing Address: MARSHALL, STEPHEN SALARES,
AILEEN
11 FLETCHER LANE
KITTERY POINT, ME 03905

Parcel Number: 25-14
CAMA Number: 25-14
Property Address: 2 FOLCUTT ROAD

Mailing Address: WHITE, JAMES C WHITE, KATHIE A
2 FOLCUTT ROAD
KITTERY POINT, ME 03905-5616

Parcel Number: 25-15
CAMA Number: 25-15
Property Address: 12 FOLCUTT ROAD

Mailing Address: MITCHELL, GERALD W MITCHELL, NITA
M
C/O JOHN MITCHELL 18 SHERMAN
AVENUE
EXETER, NH 03833

Parcel Number: 25-16
CAMA Number: 25-16
Property Address: 16 FOLCUTT ROAD

Mailing Address: BREEN, DANIEL P BURNETT, JAMES R
16 FOLCUTT ROAD
KITTERY POINT, ME 03905

Parcel Number: 25-17
CAMA Number: 25-17
Property Address: 18 FOLCUTT ROAD

Mailing Address: PRICE, DAVID F PRICE, JEANETTE M
18 FOLCUTT ROAD
KITTERY POINT, ME 03905-5616

Parcel Number: 25-18A
CAMA Number: 25-18A
Property Address: 22 FOLCUTT ROAD

Mailing Address: WHITE, ROBERT
22 FOLCUTT ROAD
KITTERY POINT, ME 03905-5616

Parcel Number: 25-19
CAMA Number: 25-19
Property Address: 26 FOLCUTT ROAD

Mailing Address: COUPERTHWAIT, KENNETH W
COUPERTHWAIT, CHRISTINA M
26 FOLCUTT ROAD
KITTERY POINT, ME 03905-5616

Parcel Number: 25-20
CAMA Number: 25-20
Property Address: 28 FOLCUTT ROAD

Mailing Address: LECHNER, MARK W RICHARDS, AMY D
28 FOLCUTT ROAD
KITTERY POINT, ME 03905

Parcel Number: 25-23
CAMA Number: 25-23
Property Address: FOLCUTT ROAD

Mailing Address: MOSAKOWSKI, WILLIAM
748 HUMPHREY STREET
SWAMPSCOTT, MA 01907



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

11/15/2021

Page 1 of 2



250 foot Abutters List Report

Kittery, ME
November 15, 2021

Parcel Number: 25-23C
CAMA Number: 25-23C
Property Address: 36 FOLCUTT ROAD

Mailing Address: CRYSTAL LAKE APTS., LLC C/O DAN &
LOUIS BURKE
PO BOX 348
KITTERY, ME 03904

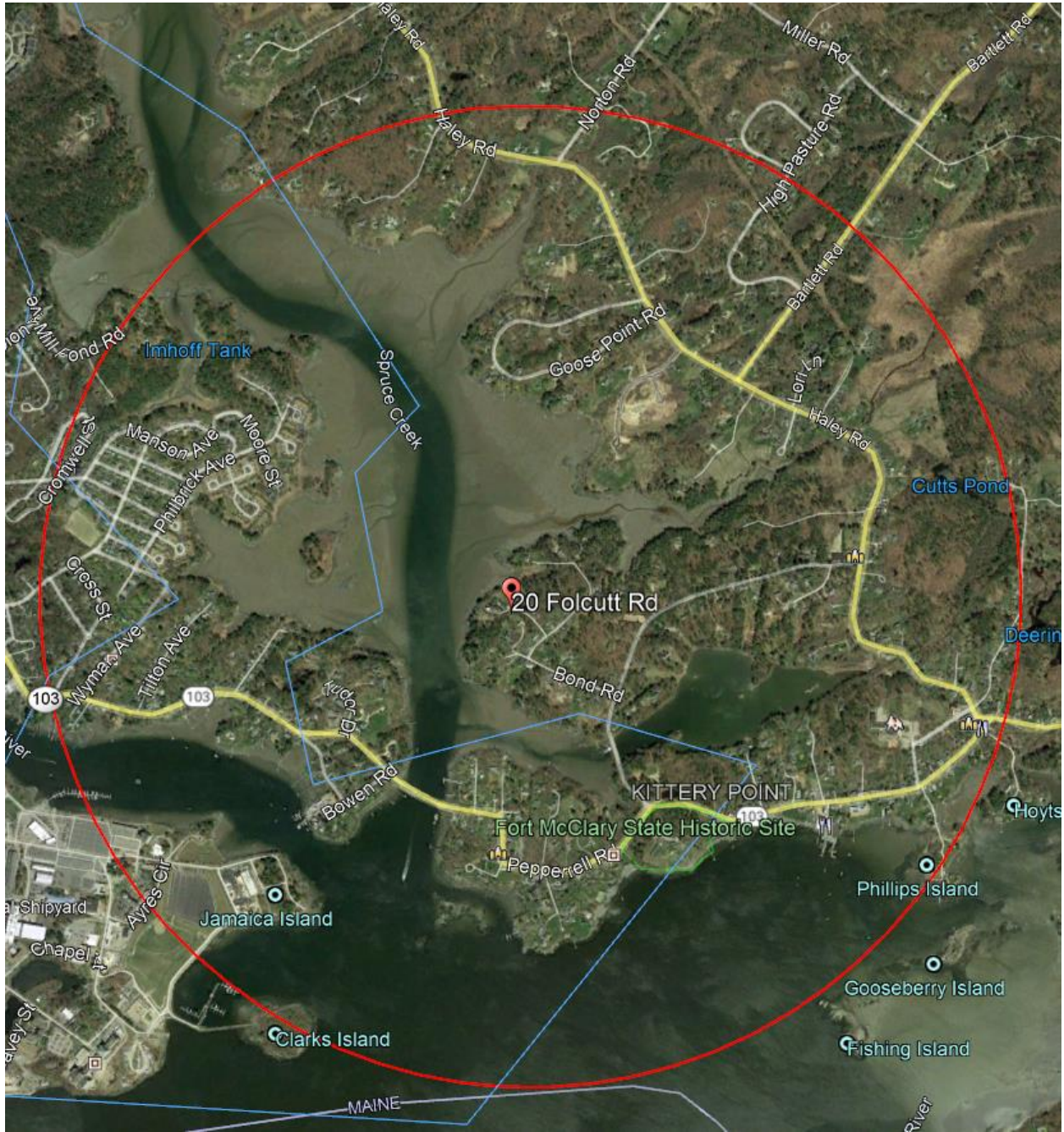


www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

11/15/2021

Page 2 of 2



Vicinity Map (5,000-foot radius)

Shoreland Development Plan Application
20 Folcutt Road, Kittery, Maine

WALSH
ENGINEERING ASSOCIATES, INC.

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. Health & Human Services
Div of Environmental Health, 11 SHS
(207) 287-2070 FAX (207) 287-4172

PROPERTY LOCATION		>>CAUTION: LPI APPROVAL REQUIRED<<	
City, Town, or Plantation	KITTERY	Town/City _____	Permit # _____
Street or Road	20 FOLCUTT ROAD	Date Permit Issued ___/___/___	Fee \$ _____ Double Fee Charged []
Subdivision, Lot #		L.P.I.# _____	
OWNER/APPLICANT INFORMATION		Local Plumbing Inspector Signature _____	
Name (last, first, MI)	WLADISLAW REALTY TRUST	Fee \$ _____ State Fee _____	Fee \$ _____ Locally Adopted Fee _____
Mailing Address of Applicant	c/o WILLIAM MOSAKOWSKI 748 HAMPHREY STREET SQUAMSCOTT, MA 01907	Copy: [] Owner [] Town [] State	
Daytime Tel. #		The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.	
		Municipal Tax Map # <u>25</u> Lot # <u>18</u>	

<p style="text-align: center;">OWNER OR APPLICANT STATEMENT</p> <p>I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a permit.</p> <p>_____ Signature of Owner/Applicant</p>	<p style="text-align: center;">CAUTION: INSPECTION REQUIRED</p> <p>I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.</p> <p>_____ Local Plumbing Inspector Signature</p>
Date _____	(1st) Date Approved _____ (2nd) Date Approved _____

PERMIT INFORMATION		
<p>TYPE OF APPLICATION</p> <p><input type="checkbox"/> 1. First Time System <input checked="" type="checkbox"/> 2. Replacement System</p> <p>Type Replaced: _____ Year Installed: _____</p> <p><input checked="" type="checkbox"/> 3. Expanded System <input type="checkbox"/> a. <25% Expansion <input checked="" type="checkbox"/> b. >25% Expansion <input type="checkbox"/> 4. Experimental System <input type="checkbox"/> 5. Seasonal Conversion</p>	<p>THIS APPLICATION REQUIRES</p> <p><input checked="" type="checkbox"/> 1.No Rule Variance <input type="checkbox"/> 2.First Time System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3.Replacement System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4.Minimum Lot Size Variance <input type="checkbox"/> 5.Seasonal Conversion Permit</p>	<p>DISPOSAL SYSTEM COMPONENTS</p> <p><input checked="" type="checkbox"/> 1. Complete Non-Engineered System <input type="checkbox"/> 2. Primitive System(graywater & alt toilet) <input type="checkbox"/> 3. Alternative Toilet, specify: _____ <input type="checkbox"/> 4. Non-Engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-Engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System(2000gpd+) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input checked="" type="checkbox"/> 11. Pre-treatment, specify: <u>OXY-PRO 1500</u> <input type="checkbox"/> 12. Miscellaneous components ^{OR EQUIVALENT}</p>
<p>SIZE OF PROPERTY</p> <p>+/- <u>2</u> <input type="checkbox"/> SQ. FT. <input checked="" type="checkbox"/> ACRES</p>	<p>DISPOSAL SYSTEM TO SERVE</p> <p><input checked="" type="checkbox"/> 1. Single Family Dwelling Unit, No. of Bedrooms: <u>7</u> <input type="checkbox"/> 2. Multiple Family Dwelling, No of Units: _____ <input type="checkbox"/> 3. Other: _____ (specify)</p> <p>Current Use <input type="checkbox"/> Seasonal <input checked="" type="checkbox"/> Year Round <input type="checkbox"/> Undeveloped</p>	<p>TYPE OF WATER SUPPLY</p> <p><input checked="" type="checkbox"/> 1. Drilled Well <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input checked="" type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other: _____</p>
<p>SHORELAND ZONING</p> <p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>		

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
<p>3 TREATMENT TANKS ^{ASSURE WATERTIGHTNESS}</p> <p><input checked="" type="checkbox"/> 1. Concrete <input checked="" type="checkbox"/> a. Regular <input type="checkbox"/> b. Low Profile <input type="checkbox"/> 2. Plastic <input type="checkbox"/> 3. Other: _____</p> <p>CAPACITY: <u>3-1,000's</u> GAL. SEE NOTE ON PAGE 3</p>	<p>DISPOSAL FIELD TYPE & SIZE</p> <p><input type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input checked="" type="checkbox"/> 3. Proprietary Device <input type="checkbox"/> a. Cluster array <input checked="" type="checkbox"/> c.Linear <input checked="" type="checkbox"/> b. Regular <input type="checkbox"/> d. H-20 loaded <input type="checkbox"/> 4. Other: _____</p> <p>SIZE: <u>3200</u> <input type="checkbox"/> sq. ft. <input checked="" type="checkbox"/> lin. ft. <u>800 LINEAR FEET OF MOUNDBUSTER</u></p>	<p>GARBAGE DISPOSAL UNIT</p> <p><input checked="" type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe</p> <p>If Yes or Maybe, specify one below: <input type="checkbox"/> a. Multi-compartment tank <input type="checkbox"/> b. _____ tanks in series <input type="checkbox"/> c. Increase in tank capacity <input type="checkbox"/> d. Filter on tank outlet</p>	<p>DESIGN FLOW</p> <p><u>630</u> gallons per day BASED ON: <input checked="" type="checkbox"/> 1. Table 4A (dwelling unit(s)) <input type="checkbox"/> 2. Table 4C (other facilities)</p> <p>SHOW CALCULATIONS FOR OTHER FACILITIES EXISTING 3 BEDROOM EXPANDING TO <u>5</u> BEDROOMS AT 90 GALLONS PER DAY EACH = 450 GPD + <u>2</u> BEDROOMS AT 90 GALLONS PER DAY EACH = 180 GPD</p> <p><input type="checkbox"/> 3. Section 4G (meter readings) ATTACH WATER-METER DATA</p>
<p>SOIL DATA & DESIGN CLASS</p> <p>PROFILE CONDITION <u>2 / AIII</u></p> <p>at Observation Hole # <u>TP 2</u> Depth <u>20</u> " of Most Limiting Soil Factor</p>	<p>CALL PATRICK AT 838-5233 FOR MOUNDBUSTER INFO</p> <p>DISPOSAL FIELD SIZING</p> <p><input type="checkbox"/> 1. Medium - 2.6 sq.ft./gpd <input checked="" type="checkbox"/> 2. Medium-Large - 3.3 sq.ft./gpd <input type="checkbox"/> 3. Large - 4.1 sq.ft./gpd <input type="checkbox"/> 4. Extra-Large - 5.0 sq.ft./gpd</p>	<p>EFFLUENT/EJECTOR PUMP ^{ASSURE WATERTIGHTNESS}</p> <p><input type="checkbox"/> 1. Not required <input type="checkbox"/> 2. May be required <input checked="" type="checkbox"/> 3. Required</p> <p>Specify only for engineered systems: SEE NOTES ON PAGE 2 DOSE: _____ gallons</p>	<p>LATITUDE AND LONGITUDE at center of disposal area</p> <p>Lat. <u>N43</u> d <u>5</u> m <u>19.69</u> s Lon. <u>W70</u> d <u>42</u> m <u>53.94</u> s if g.p.s., state margin of error</p>

SITE EVALUATOR STATEMENT		
I certify that on <u>2/12/21</u> (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the Subsurface Wastewater Disposal Rules (10-144A CMR.241).		
Site Evaluator Signature <u>BRADY A. FRICK</u>	SE # <u>352</u>	Date <u>1/16/21</u>
Site Evaluator Name Printed <u>ALBERT FRICK ASSOCIATES - 731 FOSS ROAD, LIMERICK, MAINE 04048 - (207) 839-5563</u>	Telephone Number <u>(207) 839-5563</u>	E-mail Address <u>INFO@ALBERTFRICK.COM</u>

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Health and Human Services
 Division of Environmental Health
 (207) 287-2070 FAX (207) 287-4172

Town, City, Plantation
KITTERY

Street, Road Subdivision
20 FOLCUTT ROAD

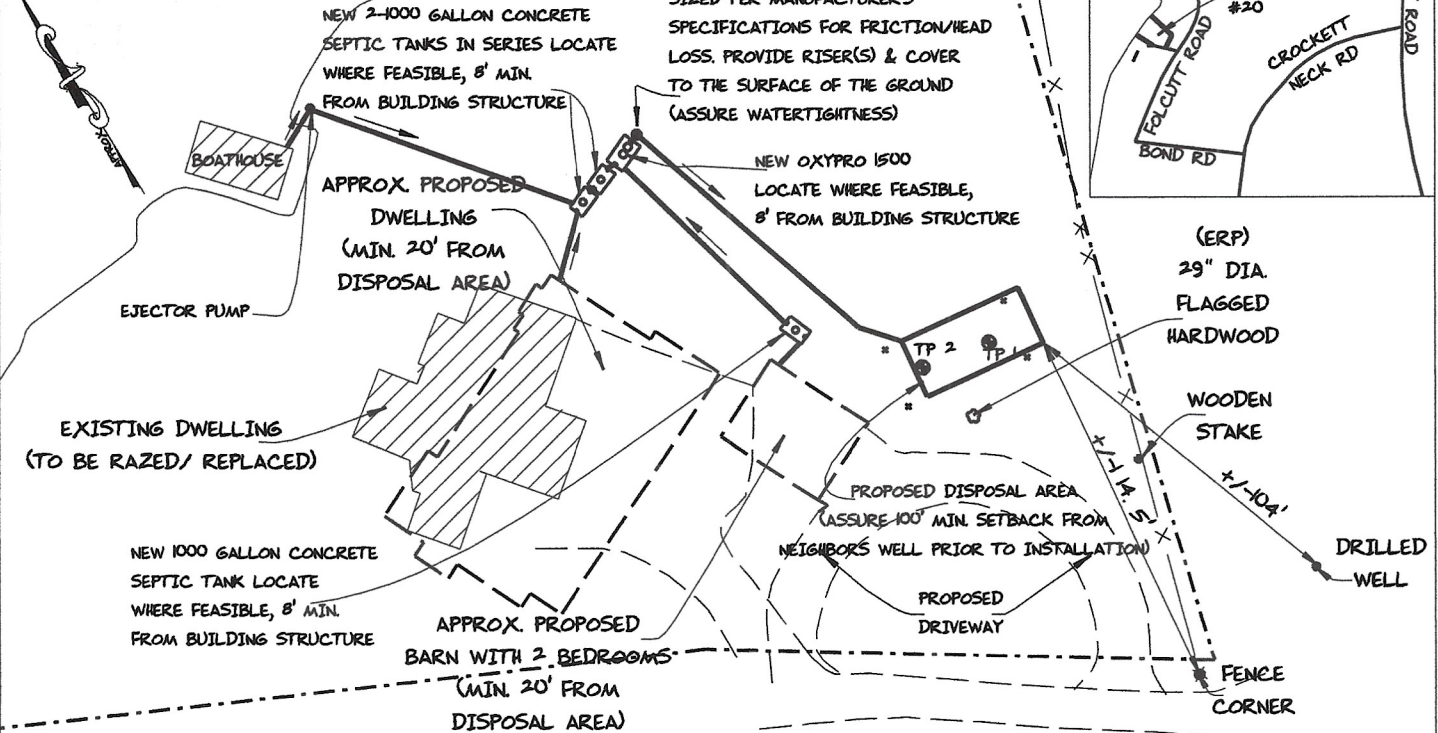
Owner's Name
WLADISLAW REALTY TRUST

****ALBERT FRICK ASSOCIATES ARE NOT SURVEYORS****
 PROPERTY INFORMATION APPROXIMATED PER SURVEY PLAN BY EASTERLY SURVEYING DATED 4/1/19, TOWN TAX MAP AND AERIAL PHOTOGRAPH. VERIFY PROPERTY LINES TO ASSURE ACCURATE LOCATION PRIOR TO SYSTEM INSTALLATION.

SITE PLAN

Scale 1" = 60 Ft.
 or as shown

SITE LOCATION PLAN
 (Attach Map from Maine Atlas Recommended)



SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TP 1 Test Pit Boring
 " Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0	SANDY		BROWN	
0-10	LOAM	FRIABLE		
10			DARK	
10-20			YELLOW	NONE
20-30			BROWN	EVIDENT
30			LIGHT YELLOW	
30-40			BROWN	
30-50	REFUSAL IN LARGE ROCK OR BEDROCK			

Soil Classification: 2 Profile, AIII Condition
 Slope: 0-3 %
 Limiting Factor: 27-30"
 Ground Water
 Restrictive Layer
 Bedrock
 Pit Depth

Observation Hole TP 2 Test Pit Boring
 " Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0			BROWN	
0-10	SANDY			
10	LOAM	FRIABLE	DARK	NONE
10-20			YELLOW	EVIDENT
20-30			BROWN	
30			LIGHT YELLOW	
30-40			BROWN	
30-50	REFUSAL IN LARGE ROCK OR BEDROCK			

Soil Classification: 2 Profile, AIII Condition
 Slope: 0-3 %
 Limiting Factor: 20-26"
 Ground Water
 Restrictive Layer
 Bedrock
 Pit Depth

Site Evaluator Signature

352
 SE *

Date

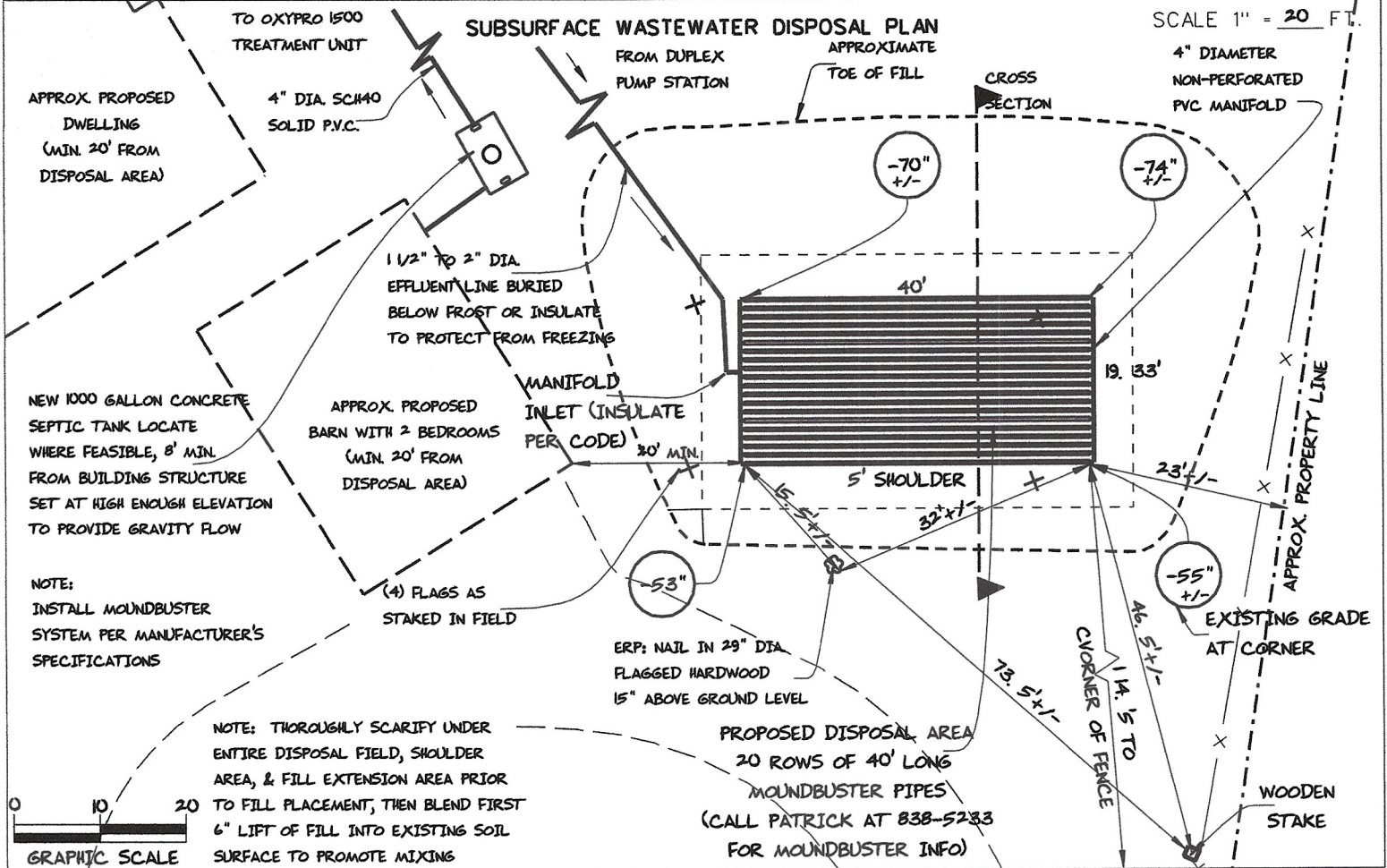
11/16/21

Page 2 of 3
 HHE-200 Rev. 02/11

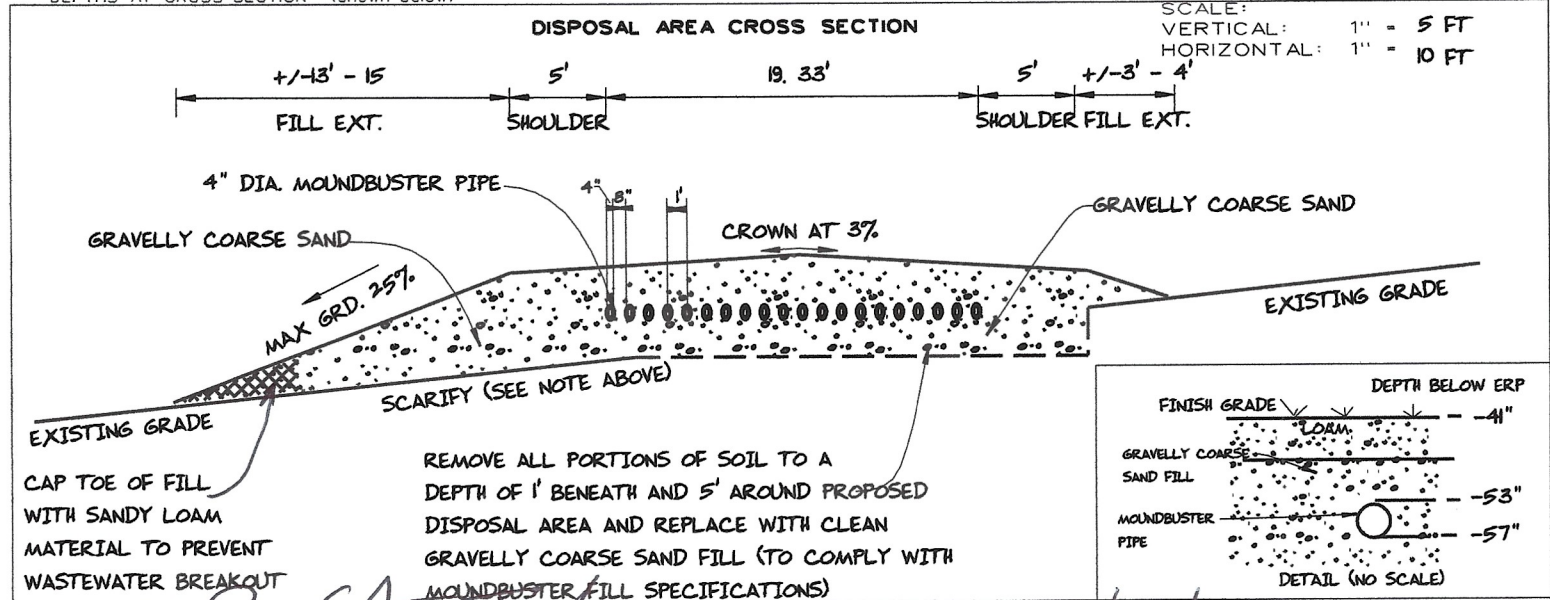
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Health and Human Services
 Division of Environmental Health
 (207) 287-2070 FAX (207) 287-4172

Town, City, Plantation: **KITTERY** Street, Road, Subdivision: **20 FOLCUTT ROAD** Owner's Name: **WLADISLAW REALTY TRUST**



FILL REQUIREMENTS		CONSTRUCTION ELEVATIONS		ELEVATION REFERENCE POINT	
Depth of Fill (Upslope)	: 12" - 14"	Finished Grade Elevation	SEE DETAIL BELOW	Location & Description	29" DIA. FLAGGED HARDWOOD, NAIL 15" ABOVE BASE
Depth of Fill (Downslope)	: 29" - 33"	Top of Distribution Pipe or Proprietary Device	SEE DETAIL BELOW	Reference Elevation is:	0.0" or -----
DEPTHS AT CROSS-SECTION (shown below)		Bottom of Disposal Area			





KITTERY

20 FOLCUTT ROAD

WLADISLAW REALTY TRUST

TOWN

LOCATION

APPLICANT'S NAME

1) The Plumbing and Subsurface Wastewater Disposal Rules adopted by the State of Maine, Division of Health and Human Services pursuant to 22 M.R.S.A. § 42 (the "Rules") are incorporated herein by reference and made a part of this application and shall be consulted by the owner/applicant, the system installer and/or building contractor for further construction details and material specifications. The system Installer should contact Albert Frick Associates, Inc. 839-5563, if there are any questions concerning materials, procedures or designs. The system installer and/or building contractor installing the system shall be solely responsible for compliance with the Rules and with all state and municipal laws and ordinances pertaining to the permitting, inspection and construction of subsurface wastewater disposal systems.

2) This application is intended to represent facts pertinent to the Rules only. It shall be the responsibility of the owner/applicant, system Installer and/or building contractor to determine compliance with and to obtain permits under all applicable local, state and/or federal laws and regulations (including, without limitation, Natural Resources Protection Act, wetland regulations, zoning ordinances, subdivision regulations, Site Location of Development Act and Minimum Lot Size law) before installing this system or considering the property on which the system is to be installed a "buildable" lot. It is recommended that a wetland scientist be consulted regarding wetland regulations. Prior to the commencement of construction/installation, the local plumbing inspector or Code Enforcement Officer shall inform the owner/applicant and Albert Frick Associates, Inc of any local ordinances which are more restrictive than the Rules in order that the design may be amended. All designs are subject to review by local, state and/or federal authorities. Albert Frick Associates, Inc.'s liability shall be limited to revisions required by regulatory agencies pursuant to laws or regulations in effect at the time of preparation of this application.

3) All information shown on this application relating to property lines, well locations, subsurface structures and underground facilities (such as utility lines, drains, septic systems, water lines, etc.) are based upon information provided by the owner/applicant and has been relied upon by Albert Frick Associates, Inc. in preparing this application. The owner/applicant shall review this application prior to the start of construction and confirm this information. Well locations on abutting properties but not readily visible above grade should be confirmed by the owner/applicant prior to system installation to assure minimum setbacks.

4) Installation of a garbage (grinder) disposal is not recommended. If one is installed, an additional 1000 gallon septic tank or a septic tank filter shall be connected in series to the proposed septic tank. Risers and covers should be installed over the septic tank outlet per the "Rules" to allow for easy maintenance of filter.

5) The septic tank should be pumped within two years of installation and subsequently as recommended by the pump service, but in no event should the septic tank be pumped less often than every three years.

The system user shall avoid introducing kitchen grease or fats into this system. Chemicals such as septic tank cleaners and/or chlorine or water treatment backwash and controlled or hazardous substances shall not be disposed of in this system. Additives such as yeast or enzymes are discouraged, since they have not been proven to extend system life.

6) All septic tanks, pump stations and additional treatment tanks shall be installed to prevent ground water and surface water infiltration. Risers and covers should be properly installed to provide access while preventing surface water intrusion to within 6" of a finished ground surface.

Vehicular traffic over disposal system is prohibited unless specifically designed with H-20 rated components.

KITTERY TOWN	20 FOLCUTT ROAD LOCATION	WLADISLAW REALTY TRUST APPLICANT'S NAME
-----------------	-----------------------------	--

- 7) The actual waste water flow or number of bedrooms shall not exceed the design criteria indicated on this application without a re-evaluation of the system as proposed
- 8) The general minimum setbacks between a well (public or private) and septic system serving a single family residence is 100-300 feet, unless the local municipality has a more stringent requirement. A well installed by an abutter within the minimum setback distances prior to the issuance of a permit for the proposed disposal system may void this design.
- 9) When a gravity system is proposed: BEFORE CONSTRUCTION/INSTALLATION BEGINS, the system installer or building contractor shall review the elevations of all points given in this application and the elevation of the existing and/or proposed building drain and septic tank inverts for compatibility to minimum pitch requirements. In gravity systems, the invert of the septic tank(s) outlet(s) should be at least 4 inches above the invert of the distribution box outlet at the disposal area.
- 10) When an effluent pump is required: Pump stations should be sized per manufacturer's specifications to meet lift requirements and friction loss. Provisions shall be made to make certain that surface and ground water does not enter the septic tank or pump station, by sealing/grouting all seams and connections, and by placement of a riser and lid at or above grade. An alarm device warning of a pump failure shall be installed. Also, when pumping is required of a chamber system, install a 'T' connection in the distribution box and place 3 inches of stone or a splash plate in the first chamber. Insulate gravity pipes, pump lines and the distribution box as necessary to prevent freezing.
- 11) On all systems, remove the vegetation, organic duff and old fill material from under the disposal area and any fill extension. Additional fill beyond indicated on plan may be necessary to replace organic matter. On sites where the proposed system is to be installed in natural soil, scarify the bottom and sides of the excavated disposal area with a rake. Do not use wheeled equipment on the scarified soil surface. For systems installed in fill, scarify the native soil by roto-tilling or scarifying with teeth of backhoe to a depth of at least 8 inches over the entire disposal and fill extension area to prevent glazing and to promote fill bonding. Place fill in loose layers no deeper than 8 inches and compact before placing more fill (this ensures that voids and loose pockets are eliminated to minimize the chance of leakage or differential settling). Do not use wheeled equipment on the scarified soil area until after 12 inches of fill is in place. Keep equipment off proprietary devices. Divert the surface water away from the disposal area by ditching or shallow landscape swales.
- 12) Unless noted otherwise, fill shall be gravelly coarse sand, which contains no more than 5% fines (silt and clay). Crushed stone shall be clean and free of any rock dust from the crushing process.
- 13) Do not install systems on loamy, silty, or clayey soils during wet periods since soil smearing/glazing may seal off the soil interface.
- 14) Seed all filled and disturbed surfaces with perennial grass seed, with 4" min. soil or soil amendment mix suitable for growing, then mulch with hay or equivalent material to prevent erosion. Alternatively, bark or permanent landscape mulch may be used to cover system. Woody trees or shrubs are not permitted on the disposal area or fill extensions.
- 15) If an advanced wastewater treatment unit is part of the design, the system shall be operated and maintained per manufacturer's specifications.



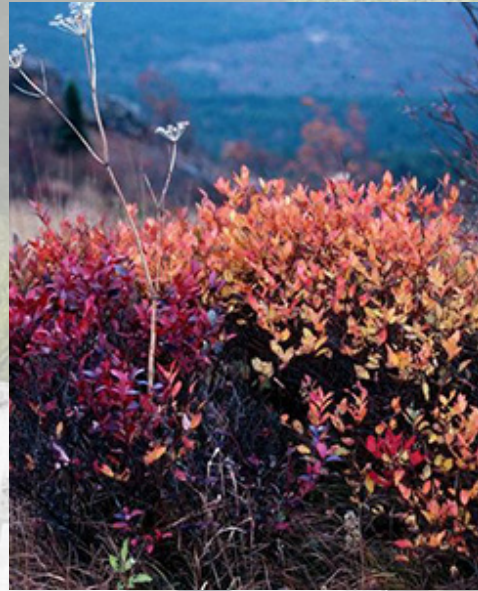
20 FOLCUTT ROAD RESIDENCE:
PROPOSED SHORELAND REVEGETATION | NATIVE PLANT PALETTE



Bearberry



Bayberry



Lowbush Blueberry



Hayscented Fern



Winterberry Holly



Little Bluestem



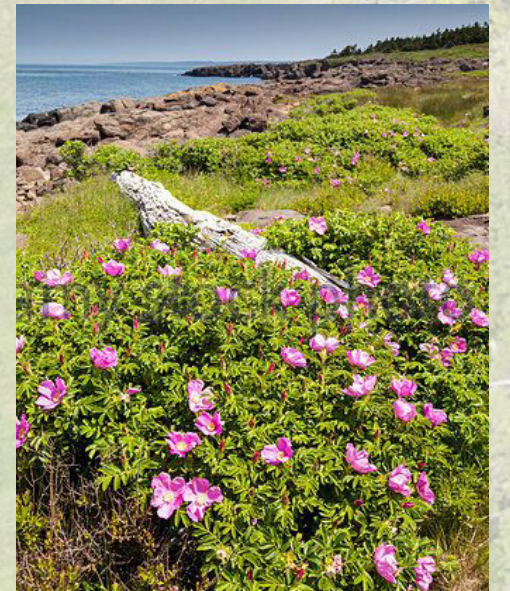
Clethra



Black Chokeberry



Inkberry Holly



Virginia Rose