

**Town of Kittery Maine
 Planning Board Meeting
 August 27, 2020**

ITEM 1— 8 Wentworth Street, Rice Public Library – Preliminary Site Plan Review

Action: Approve or deny plan, or continue public hearing. Owner/applicant, the Town of Kittery, requests consideration of a preliminary site plan approval for a three-story addition and related site improvements to the Rice Public Library located at 8 Wentworth Street (Tax Map 4, Lot 88) in the Mixed Use – Kittery Foreside (MU-KF) Zone. Agents are Ryan Kanteres, Scott Simons Architects and Steve Doe, Sebago Technics, Inc.

PROJECT TRACKING

REQ'D	ACTION	COMMENTS	STATUS
NO	Sketch Plan Review	HELD—1/9/2020	APPROVED
NO	Site Visit	TBD—May hold after opening of public hearing	TBD
YES	Determination of Completeness/Acceptance	HELD— 2/27/20	ACCEPTED
YES	Public Hearing	8/13/20; 8/27/20	ONGOING
YES	Preliminary Plan Review and Decision	TBD	TBD
YES	Final Plan Review and Decision	TBD	TBD

Plan Review Notes reflect comments and recommendations regarding applicability of Town Land Use Development Code, and standard planning and development practices. Only the PB makes final decisions on code compliance and approves, approves with conditions or denies final plans. Prior to the signing of the approved Plan any **Conditions of Approval related to the Findings of Fact along with waivers and variances (by the BOA) must be placed on the Final Plan and recorded at the York County Registry of Deeds. PLACE THE MAP AND LOT NUMBER IN 1/4" HIGH LETTERS AT LOWER RIGHT BORDER OF ALL PLAN SHEETS.** As per Section 16.4.4.L - Grading/Construction Final Plan Required. - Grading or construction of roads, grading of land or lots, or construction of buildings is prohibited until the original copy of the approved final plan endorsed has been duly recorded in the York County registry of deeds when applicable.

Background

This is a preliminary plan application to expand the existing 2.5 -story + full basement Romanesque Revival structure known as the Rice Public Library (listed on the National Register of Historic Places), by adding a three-story expansion to the southeastern corner of the original building. The .8 acre (34,947 sf) lot is located in the Mixed Use – Kittery Foreside Zone.

The existing library building is a nonconforming structure as it exceeds the 40-foot height limit set in the Mixed Use - Kittery Foreside Zone. Given the lot’s nonconforming status, the Town of Kittery (“Applicant”) filed and was granted a miscellaneous variance by the Board of Appeals (“BOA”) at their January 14, 2020 to both expand a nonconforming structure and construct a flat roof located on the south, southwest and southeast sections of the expansion¹. Attached hereto is the BOA’s January 14, 2020 Notice of Decision.

In conjunction with the BOA’s application process, the Planning Board (“Board”) held several meetings as part of their development review process. The Board accepted and approved the sketch plan at their meeting on January 9, 2020, and at their February 27, 2020 meeting accepted the preliminary plan as complete and originally set the public hearing date for March 26, 2020 with the condition that the absent submission requirements, as identified in the February 27, 2020 Planner Review Notes (“PRN”), were included in the ensuing plan submission. Nevertheless, due to the current pandemic, it was decided by the Applicant to postpone the public hearing to a later date. After a few months delay, the Applicant decided to resume the site plan review process and requested the Board at their July 23,2020 meeting to schedule a public hearing

¹ On January 14, 2020, the Board of Appeals heard an application for a miscellaneous variation request to allow the non-conforming library building to be expanded per 16.7.3.3.B *Nonconforming structure repair and expansion* and to allow a portion of the roof to be flat as 16.3.2.15.D.(4).(e) *Roof slope and shapes* does not allow it. The BOA granted both miscellaneous variation requests. The Notice of Decision is included with this PRN.

for August 13, 2020, which was granted. The Board held the public hearing on August 13, 2020 and had the applicant update the Board with the latest revisions. There were a few comments from staff as listed below; however, CMA had not had the chance to review the plan set. Given the importance of this project and the current policy of the Planning Board on public hearings, the Board decided to continue the meeting to the August 27, 2020 meeting. At the August 13, 2020 meeting, there were two public comments on the proposed application. Please see said comments for your review which is included in the meeting packet.

Staff Review

Submission

The preliminary plan submission includes the information required under 16.10.5.2. *Planner Review and confirmation of submittal content for preliminary plan* that would apply to a currently developed lot on which a public building is located. The Applicant with their previous plan rendition omitted the following content for which is now included in the current site plan set and application before the Board:

1. Missing abutter locations and information;
2. Absent Map and Lot information in the title block of the site plans; and
3. Submission of most current deed that reflects the Town of Kittery having the fee interest of the property.

Waiver Request

The Applicant is requesting a waiver from §16.8.4.13.A Sidewalks along Traip Avenue. The Applicant bases their request on the fact that there is insufficient right-of-way space to construct a sidewalk. Moreover, the Applicant states a sidewalk is inappropriate for Traip Avenue as sections of the road are used for parking and the road becomes increasingly narrow and steep in certain sections, rendering the instillation of a sidewalk ill-suited and, if required, cost prohibitive.

This waiver does not include the proposed sidewalk along Wentworth Street, which abuts the frontage proposed development, allowing patrons to access safely the Rice Public Library.

Project Description

A detailed description of the project can be found in Applicant's agent project narrative, dated February 6, 2020. An updated narrative is also provided, dated July 23, 2020 that enumerates the changes made to the application since the Board was last presented the application.

Response to Staff Comments, Dated March 5, 2020

The Applicant provided a response to staff comments that were issued on March 5, 2020 that emanated from the February 27, 2020 meeting. Please see reference response letter provided herein.

Comments on the July 24, 2020 submission and discussed at the August 13, 2020 meeting.

Site Plan Content

1. The Book and Page reference on Map 4 Lot 84 is incorrect. The correct reference should read as follows: 17564 / 144.
2. It is unclear how the tree and its root system located on the corner of Traip and Wentworth shall be preserved during the re-grading of the site. The Applicant should provide an updated site plan illustrating how this will be accomplished along with other trees slated to be preserved or transplanted.
3. It is unclear if there will be enough snow storage capacity located along the eastern edge of the upper parking lot given the type of trees proposed (*Thuja plicata*—spring grove) and whether or not the *Thuja plicata* are salt tolerant. The Applicant should confirm the salt tolerance of the proposed vegetation and whether there will be adequate space for current and future snow storage. In addition, the Applicant should comment on the proposed spacing of the spring grove plants.
4. The Applicant should also consider locations of future bicycle racks to accommodate multiple modes of transportation.

5. The Applicant should confirm whether or not the stormwater management plan will need to be revised that reflects the updated plans.
6. The proposed location of the dumpster on the northeast corner of the upper lot appears to encroach on the side yard setback. The Applicant needs to confirm if this is the case and, if so, propose an alternative location that satisfies the requirement, pursuant to §16.3.2..14.D Standards.
7. As stated in the Applicant's narrative dated July, 23, 2020, a revised floor plan will be submitted to the Fire Chief to confirm the location of the mechanical room and its conformance with Fire Code standards. The Applicant should provide to the Board a timeline for that submission and subsequently submit a letter authored by the Fire Chief to the Board confirming the mechanical room's suitability
8. The "Surveyor's Statement" on Sheet 1 of 1 needs endorsement.
9. While an erosion control plan is provided by the Applicant there appears a construction sequencing plan has not been furnished. The Applicant should provide a construction sequencing plan to the Board for review and approval.
10. The Applicant appears not to have provided information on construction staging, which should be furnish for review and approval.

Peer Review and TRC Comments

CMA Engineers, Inc. review the application and found few issues with the plans. Specifically, a note of concern was raised in regard to the parking calculation and the justification for 29 spaces. In addition, while CMA was not overly concern about the stormwater design, a suggestion was made for it to be updated to reflect the revised conditions. In addition to the CMA review, the Technical Review Committee ("TRC") took another look at the plans. Comments emanating from the meeting were of the following:

1. All proposed granite curbing shall be sloped in order to accommodate the fire trucks.
2. The 6" water lines coming off of Traip Avenue must be verified to be adequate to support the proposed sprinkler system. Applicant should contact the Fire Department to confirm adequacy.
3. Maintenance on the basement floor of the proposed expansion shall be in a location that permits immediate access for fire/rescue staff.
4. Determination letter from Maine Historical should be provided prior to commencement of work.
5. Revised elevations need to be provided prior to final approval
6. Prior to construction, the applicant needs to contact the Department of Public Works to review the construction sequencing plans so as to ensure the proposed utilities that intersect the corner of Traip Avenue and Wentworth Street are compatible.

Recommendation

The preliminary site plan appears ready to proceed to final plan review. The Board should provide additional comments to the applicant, or any other suggestions and considerations that assist the application. Thereafter, the Board should entertain a motion to close the public hearing or continue the public hearing to the September 10, 2020 meeting if more time is need by the Board. If the Board closes the public hearing, a vote to approve or deny the preliminary site plan should occur. If the Board decides to vote for approval, the following conditions are recommend to be appended to the vote:

Recommended motions

Below are recommended motions based on how the Board would like to proceed. Again, procedurally, the Board needs to vote to continue or close the public hearing. If the Board decides to close the public hearing, a vote to approve or deny the preliminary site plan should occur.

Continuing the public hearing

Move to continue the public hearing to the September 10, 2020, Planning Board meeting for a preliminary site plan application, dated February 20, 2020, and last revised on July 23, 2020 from owner/applicant the Town of Kittery for a three-story addition and related site improvements to the Rice Public Library located at 8 Wentworth Street (Tax Map 4, Lot 88) in the Mixed Use – Kittery Foreside (MU-KF) Zone.

Closing the public hearing

Move to close the public hearing for a preliminary site plan application, dated February 20, 2020, and last revised on July 23, 2020 from owner/applicant the Town of Kittery for a three-story addition and related site improvements to the Rice Public Library located at 8 Wentworth Street (Tax Map 4, Lot 88) in the Mixed Use – Kittery Foreside (MU-KF) Zone.

Vote to approve

Move to approve the preliminary site plan application, dated February 20, 2020 and last revised on July 23, 2020 from owner/applicant the Town of Kittery for a three-story addition and related site improvements to the Rice Public Library located at 8 Wentworth Street (Tax Map 4, Lot 88) in the Mixed Use – Kittery Foreside (MU-KF) Zone with the condition that the next plan submission shall address all comments made by the Planning Board’s peer reviewer and Town staff.

Vote to deny

Move to deny the preliminary site plan application, dated February 20, 2020 and last revised on July 23, 2020 from owner/applicant the Town of Kittery for a three-story addition and related site improvements to the Rice Public Library located at 8 Wentworth Street (Tax Map 4, Lot 88) in the Mixed Use – Kittery Foreside (MU-KF) Zone.



August 19, 2020

Bart McDonough, Town Planner
Town of Kittery
200 Rogers Road
Kittery, Maine 03904

**RE: Town of Kittery, Planning Board Services
Site Plan Review
Rice Public Library (8 Wentworth Street) Tax Map 4, Lot 88
CMA #591.132**

Dear Bart:

CMA Engineers has received the following information for Assignment #132 for the site plan review for the proposed Rice Public Library at 8 Wentworth Street in Kittery (Tax Map 4, Lot 88).

- 1) Rice Public Library, 8 Wentworth Street, Kittery, Maine 03904, prepared by Sebago Technics of South Portland, ME dated January 10, 2019 and revised July 23, 2020.
- 2) Supplemental Submission – Site Plan Review Application, Rice Public Library, 8 Wentworth Street, prepared by Sebago Technics of South Portland, ME dated July 23, 2020.

We have reviewed the information submitted for conformance with the Kittery Land Use and Development Code (LUDC) and general engineering practices and offer the comments below that correspond directly to the Town's Ordinances.

General

The project includes an addition to the existing Rice Public Library and construction of two parking areas. There are no wetlands on the site. The existing entrance will remain and there are concrete public sidewalks that will be constructed on Wentworth Street by others. There is also a new sidewalk connection proposed to connect with Traip Avenue. The applicant has requested a waiver for a sidewalk on Traip Avenue.

16.3 Land Use Zone Regulations

Article II. Zone Definitions, Uses, Standards

The property is located in the Mixed Use - Kittery Foreside Zone.

16.3.2.15 Mixed Use – Kittery Foreside (MU-KF) Zone

16.3.2.15.B. 3. Institution of education nature is listed as an allowed use in the MU-KF zone.

16.3.2.15.D.4.e.2. The applicant has requested miscellaneous variations with respect to the roof and maximum building height. The Zoning Board has determined that these sections are applicable to an existing, non-conforming historic building and has approved these variations.

16.8 Design and Performance Standards-Built Environment

Article IV. Street and Pedestrian Ways/Sidewalks Site Design Standards

The applicant is maintaining the existing walkway from Traip Avenue to the upper parking lot. The applicant has also requested a waiver for installation of a sidewalk on Traip Avenue because there is not adequate right-of-way width to accommodate a sidewalk and on street parking is in the way. A new sidewalk (by others) is proposed on Wentworth Street. The Planning Board should determine if this waiver is appropriate.

Article VI. Water Supply

The applicant is proposing to connect the addition to the Kittery Water District water supply for domestic and fire services. KWD should provide certification that there is adequate supply for the project and review components of the design.

Article VII. Sewage Disposal

The applicant is proposing to connect the addition to public sewer. Kittery Department of Public Works should review components of the design.

Article VIII. Surface Drainage

The applicant has presented a Stormwater Management Plan for the project. Stormwater management and treatment are accomplished through the use of closed drainage that ties into existing drainage on Traip Avenue.

The applicant has made changes to the site plans (grading, decrease in the amount of impervious surface area and elimination of some drainage structures) since the stormwater analysis in February of 2020. We note that the changes have likely improved stormwater conditions on site, which were decreased for the 2 and 25-year storms previously. The planning board should decide if an updated stormwater management report is necessary to reflect the current design plans noting that performance is likely satisfactory.

Article IX. Parking, Loading and Traffic

The applicant has provided upper and lower parking lots but there are no specific minimum off-street parking requirements for library use. The applicant is providing 27 on site spaces and 2 short term spaces. They have suggested applicable parking demand based on the size of the facility and equivalent full-time employees. The applicant should present these calculations with comparison to the 27 spaces.

The applicant has not provided any accessible spaces. The ordinance requires a minimum of one accessible space for every 1-25 spaces in each lot. We recommend that at least one accessible space be provided for each of the upper and lower lots.

Due to concerns by the Fire Chief and public works, the existing roadway on Traip Ave will not be encroached on with site work.

Article X. Signs

The applicant has no proposed changes to on-site signage.

Article XVII. Utilities

All utilities to the site are proposed to be underground.

Article XVIII. Landscaping

The applicant has modified the landscaping plan and type of trees based on comments. Are the modifications acceptable to the board?

Article XXIV. Exterior Lighting

The applicant has proposed a lighting plan that meets the ordinance.

Should you have any questions, please do not hesitate to call.

Very truly yours,

CMA ENGINEERS, INC.



Jodie Bray Strickland, P.E.
Project Engineer

cc: Stephen Doe, P.E., Sebago Technics

TOWN OF KITTERY, MAINE

200 Rogers Road -Kittery, ME 03904

Phone: 207-439-6806 Fax: 207-439-6806

www.kitteryme.gov



KITTERY BOARD OF APPEALS

January 21, 2020

Scott Simons Architects

C/O Ryan Kanteres 75
York Street Portland,
ME 04101

Mr. Kanteres,

Your application requesting a Miscellaneous Variation Request to expand a non-conforming structure at 8 Wentworth Street in the Mixed Use -Kittery Foreside (MU-KF) zone was heard by the Board of Appeals on Tuesday, January 14, 2020.

The following motion was made:

Motion by Mr. Fitzpatrick to approve the Miscellaneous Variation Request to expand a non-conforming structure at 8 Wentworth Street in the Mixed Use- Kittery Foreside zone to allow for both the expansion of the non-conforming structure and a flat roof on the South, Southwest and Southeast portions of the building. Motion was seconded by Mr. Brake. Motion passed 5-0-0 [Yes: Gardner, Brake, Fitzpatrick, Leontakianakos, Timko; No: --; Abstain: --]

FINDINGS OF FACT

- (1) The Board heard from Scott Simon, representing the applicant Ryan Kanteres to request a Miscellaneous Variation to expand a non-conforming structure at 8 Wentworth Street in the Mixed Use - Kittery Foreside zone per Section 16.6.4.C(1) and 16.7.3.3.B of the Town Code.
- (2) The Board heard from the Code Enforcement Officer and the Kittery Town Manager.
- (3) The Board used the Basis for Decision.
- (4) The existing building exceeds the allowable height in the Mixed Use -Kittery Foreside zone.
- (5) The height will remain unchanged as part of the project.
- (6) The existing structure will remain the highest point of the structure.
- (7) The proposed building increases the footprint by more than 30%.

- (8) The project meets the applicable requirements of the code with the exception of the specific provision of Section 16.3.2.15D.4(e)[2].
- (9) The Board considered the statements that the flat roof is required to preserve the historic nature of the building.

Motion to accept the Findings of Fact made by Vice Chair Leontakianakos. Seconded by Mr. Fitzpatrick. Motion passed 5-0-0 by roll call vote [*Yes: Gardner, Brake, Fitzpatrick, Leontakianakos, Timko, - Nay: --, Abstain: --*]

CONCLUSIONS OF LAW

- (1) The Board found it had authority to hear this Miscellaneous Variation Request pursuant to Code Section 16.6.4.C(1).
- (2) The Board determined that meeting the requirements of Section 16.3.2.15D.4(e)[2] would contradict the National Parks Service Technical Brief on recommendations to additions to historic structures.
- (3) The Board approved the Miscellaneous Variation Request.

Motion to accept the Conclusions of Law made by Vice Chair Leontakianakos. Seconded by Mr. Gardner. Motion passed 5-0-0 by roll call vote [*Yes: Gardner, Brake, Fitzpatrick, Leontakianakos, Timko, - Nay: --, Abstain: --*]

The members of the Board of Appeals have 10 in which to request a reconsideration. Any member of the public including the applicant have 45 days in which to appeal this decision to Superior Court.

Signed By:





8 Wentworth Street Preliminary Site Plan Review

Kittery, ME

1 inch = 68 Feet



August 6, 2020



	Cemetery		Shoreland Protection Overlay Zone 250'
	Map - Lot Labels		
	Water-poly		
	AE (100 YEAR- with flood elevations)		
	Commerical Fisheries Overlay Zone		
	Resource Protection Overlay Zone		

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

RICE PUBLIC LIBRARY

8 WENTWORTH STREET
KITTERY, MAINE 03904

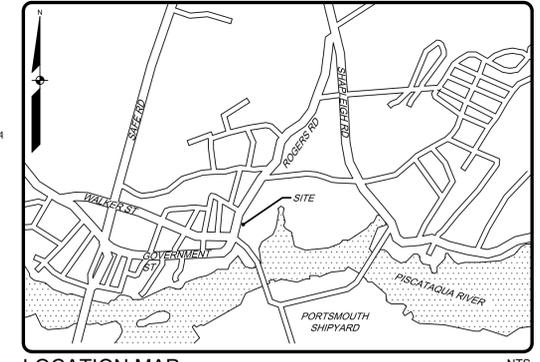
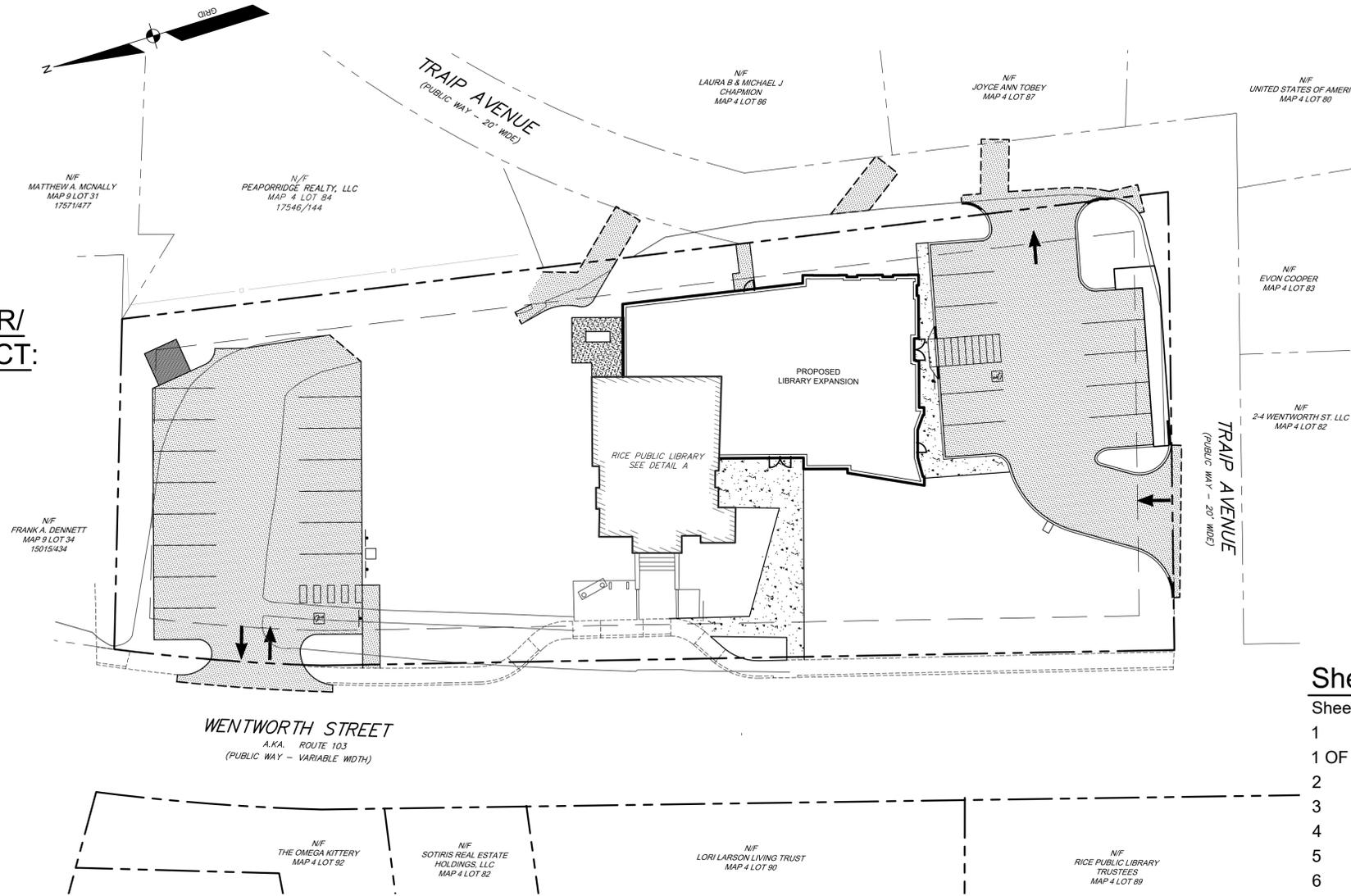
APPLICANT:

LASSEL ARCHITECT
P.O. BOX 370, 370 MAIN STREET
SOUTH BERWICK, MAINE 03908

SCOTT SIMONS ARCHITECTS
75 YORK STREET
PORTLAND, MAINE 04101

**ENGINEER/SURVEYOR/
LANDSCAPE ARCHITECT:**

SEBAGO TECHNICS
WWW.SEAGOTECHNICS.COM
75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

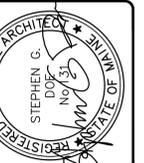


Sheet List Table

Sheet Number	Sheet Title
1	COVER SHEET
1 OF 1	EXISTING CONDITIONS
2	SITE PLAN
3	GRADING AND UTILITY PLAN
4	LANDSCAPE PLAN
5	EROSION CONTROL NOTES AND DETAILS
6	DETAILS
7	DETAILS
8	PHOTOMETRIC PLAN - BY OTHERS

SCALE: 1" = 20'

NOT FOR CONSTRUCTION



REV.	BY	DATE	STATUS
D	SGD	07/23/2020	REVISED FOR VALUE ENGINEER
C	SGD	03/12/2020	REVISED PER STAFF AND CLIENT COMMENTS
B	SGD	02/06/2020	ISSUED FOR SITE PLAN REVIEW
A	SGD	08/27/2019	ISSUED FOR CLIENT USE

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75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

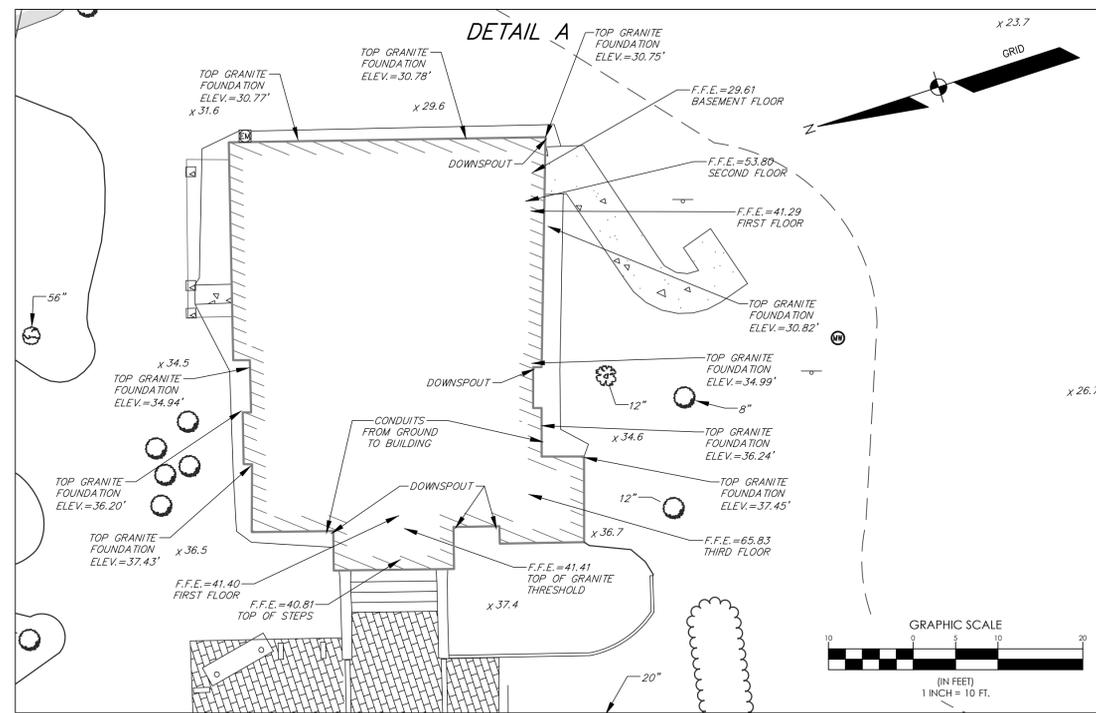
COVER SHEET
OF:
RICE PUBLIC LIBRARY
8 WENTWORTH STREET
KITTERY, MAINE 03904
FOR:
LASSEL ARCHITECTS
P.O. BOX 370, 370 MAIN STREET
SOUTH BERWICK, MAINE 03908

SCOTT SIMONS ARCHITECTS
75 YORK STREET
PORTLAND, MAINE 04101

DESIGNED	SGD
DRAWN	SRC
CHECKED	SGD
DATE	07/23/2020
SCALE	1" = 20'
PROJECT	18438

SHEET 1 OF 8

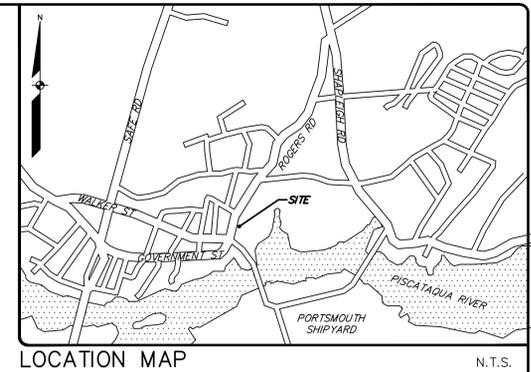
MAP 4 LOT 88



LEGEND

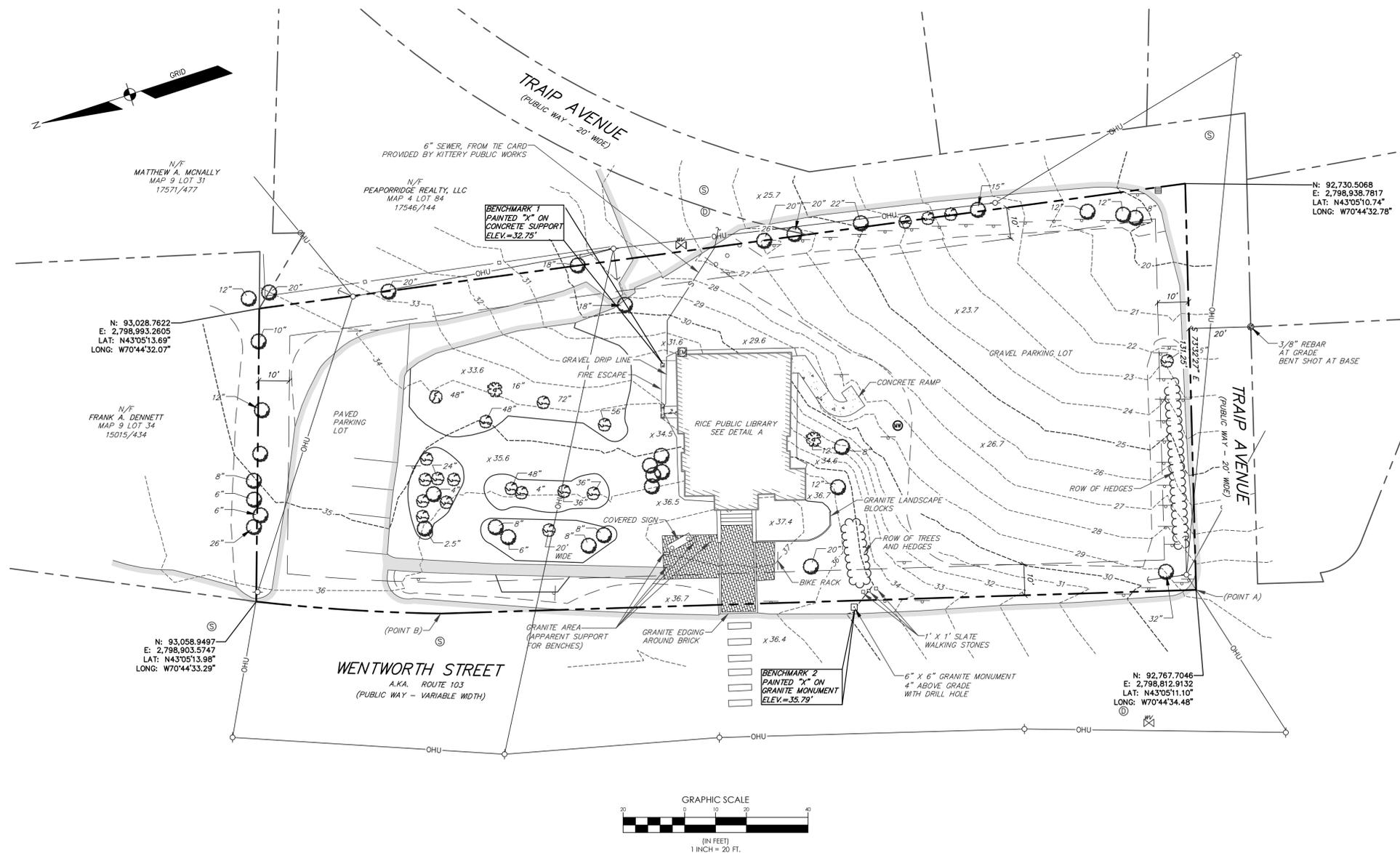
EXISTING

- PROPERTY LINE/R.O.W.
- ABUTTER LINE/R.O.W.
- MONUMENT
- IRON PIPE/ROD
- BENCHMARK
- BUILDING
- DECK/STEPS/OVERHANG
- EDGE PAVEMENT
- EDGE CONCRETE
- EDGE GRAVEL
- LANDSCAPING
- TREELINE/HEDGE CONTOURS
- SPOT GRADE
- STOCKADE FENCE
- DECIDUOUS TREE
- CONIFEROUS TREE
- ORNAMENTAL SHRUB
- BOLLARD
- SIGN
- WATER GATE VALVE
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- OVERHEAD UTILITY
- ELECTRIC METER
- UTILITY POLE
- GUY WIRE
- MONITORING WELL
- SANITARY SEWER



GENERAL NOTES:

- THE RECORD OWNER OF THE PARCEL IS THE INHABITANTS OF THE TOWN OF KITTERY BY DEED DATED JULY 1, 2019 AND RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS (YCRD) IN BOOK 17992, PAGE 618.
- THE PROPERTY IS SHOWN AS LOT 88 ON THE TOWN OF KITTERY TAX MAP 4 AND IS LOCATED IN THE MIXED USE - KITTERY FORESIDE DISTRICT.
- SPACE AND BULK CRITERIA FOR THE MIXED USE - KITTERY FORESIDE DISTRICT ARE AS FOLLOWS:
 - NET RESIDENTIAL DENSITY: 5,000 SQUARE FEET
 - MINIMUM LOT SIZE: 5,000 SQUARE FEET
 - MINIMUM STREET FRONTAGE: NONE
 - MINIMUM FRONT YARD: 0/10 FEET*
 - MINIMUM SIDE YARD: 10 FEET*
 - MINIMUM REAR YARD: 10 FEET*
 - MAXIMUM BUILDING HEIGHT: 40 FEET*
 - MAXIMUM BUILDING COVERAGE: 60%
- * SEE ORDINANCE FOR MORE PARTICULAR INFORMATION.
- TOTAL AREA OF PARCEL IS APPROXIMATELY 34,947 SQUARE FEET OR 0.80 ACRES AS DEPICTED ON PLAN REFERENCE 6A.
- THE BOUNDARY AS DEPICTED HEREON IS BASED SOLELY ON PLAN REFERENCE 6A. TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON A FIELD SURVEY PERFORMED BY SEBAGO TECHNIQS, INC. IN JANUARY 17, 2019.
- PLAN REFERENCES:
 - A. "STANDARD BOUNDARY SURVEY OF THE RICE PUBLIC LIBRARY LOT, WENTWORTH ST. AND TRAP AVE, KITTERY, MAINE" BY EASTERLY SURVEYING DATED JANUARY 18, 1991 AND RECORDED IN THE YCRD IN PLAN BOOK 201, PAGE 11
 - B. "LOT SURVEY FOR THE KITTERY INVESTMENT GROUP IN KITTERY, MAINE" BY BRUCE L. POHOPEK DATED OCTOBER 25, 1989
- PLAN ORIENTATION IS GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802-NAD83, ELEVATIONS DEPICTED HEREON ARE NAVD88, BASED ON DUAL FREQUENCY GPS OBSERVATIONS.
- UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS AND/OR DESIGNERS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- THE LOCUS PROPERTY AS DEPICTED HEREON DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR KITTERY, MAINE, YORK COUNTY, COMMUNITY-PANEL NUMBER 230171-0008-D, HAVING AN EFFECTIVE DATE OF JULY 3, 1996. THE LOCUS FALLS WITHIN AN AREA IDENTIFIED AS ZONE C, AREAS OF MINIMAL FLOODING.
- THE MONUMENTS MARKING THE BOUNDARY PER PLAN REFERENCE 6A WERE NOT FOUND. THE BEST EVIDENCE THAT WAS FIELD LOCATED INCLUDES THE GRANITE MONUMENT, 2.09 FEET OFFSET FROM THE BOUNDARY LINE PER PLAN REFERENCE 6A; FOUND ON WENTWORTH STREET AND THE REBAR FOUND ON TRAP AVENUE. PLAN REFERENCE 6A WAS PLACED BY HOLDING THE SCALED MEASUREMENTS FROM PLAN REFERENCE 6A'S SOUTHWESTERLY "REBAR TO BE SET" (POINT A) TO THE FOUND GRANITE MONUMENT AND THE NORTHERLY "ROW MONUMENT TO BE SET BY THE STATE OF MAINE D.O.T." (POINT B) TO THE FOUND GRANITE MONUMENT. USING THE SCALED MEASUREMENTS AS A BASE POINT THE PLAN WAS ROTATED TO THE 20 FOOT OFFSET FROM THE FOUND REBAR ON TRAP AVENUE.



SURVEYOR'S STATEMENT

THIS SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT WAS DONE IN ACCORDANCE WITH CHAPTER 90, PART 1 (PROFESSIONAL STANDARDS OF PRACTICE) AND PART 2 (TECHNICAL STANDARDS OF PRACTICE) OF THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS.

CHARLES D. MARCHESE, PLS 2009 FEBRUARY 5, 2020

DATE	BY	DESCRIPTION
03-10-20	CDM	CHANGED RECORD OWNER
02-06-20	ISGD	ISSUED FOR SITE PLAN REVIEW
08-27-19	ISGD	ISSUED FOR CLIENT USE
02-20-19	AJS	UPDATED FOR CLIENT USE
01-10-19	AJS	ISSUED FOR CLIENT REVIEW
		STATUS:
		DATE:

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SEBAGO TECHNIQS

WWW.SEBAGOTECHNIQS.COM

75 John Roberts Rd.
Suite 401
South Portland, ME 04106
Tel: 207-200-2100

EXISTING CONDITIONS SURVEY

OF:
RICE PUBLIC LIBRARY
8 WENTWORTH STREET
KITTERY, MAINE 03904

FOR:
SCOTT SIMONS ARCHITECTS
P.O. BOX 370, 370 MAIN STREET
SOUTH BERWICK, MAINE 03908

PROJECT NO.	SCALE
18438	1" = 20'

SHEET 1 OF 1

EROSION CONTROL MEASURES

PRE-CONSTRUCTION PHASE

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, SEDIMENT BARRIERS (SILT FENCE) WILL BE STAKED/INSTALLED ACROSS THE SLOPE(S), ON THE CONTOUR AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. THE PLACEMENT OF SEDIMENT BARRIERS SHALL BE COMPLETED IN ACCORDANCE WITH GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES AND IN ACCORDANCE WITH THIS EROSION CONTROL PLAN AND DETAILS IN THIS PLAN SET. THIS NETWORK IS TO BE MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE AT LEAST 90% VIGOROUS PERENNIAL VEGETATIVE COVER TO PREVENT EROSION. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED.

PRIOR TO ANY CLEARING OR GRUBBING, A CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED AT THE INTERSECTION OF THE PROPOSED ENTRANCES AND EXISTING ROADWAY TO AVOID TRACKING OF MUD, DUST AND DEBRIS FROM THE SITE.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A DETAILED SCHEDULE AND MARKED UP PLAN INDICATING AREAS AND COMPONENTS OF THE WORK AND KEY DATES SHOWING DATE OF DISTURBANCE AND COMPLETION OF THE WORK. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE MUNICIPAL STAFF. THREE COPIES OF THE SCHEDULE AND MARKED UP PLAN SHALL BE PROVIDED TO THE MUNICIPALITY THREE DAYS PRIOR TO THE SCHEDULED PRE-CONSTRUCTION MEETING. SPECIAL ATTENTION SHALL BE GIVEN TO THE 14 DAY LIMIT OF DISTURBANCE IN THE SCHEDULE ADDRESSING TEMPORARY AND PERMANENT VEGETATION MEASURES.

CONSTRUCTION AND POST-CONSTRUCTION PHASE

AREAS UNDERGOING ACTUAL CONSTRUCTION SHALL ONLY EXPOSE THAT AMOUNT OF MINERAL SOIL NECESSARY FOR PROGRESSIVE AND EFFICIENT CONSTRUCTION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVEMENT, VEGETATION, MULCHING, EROSION CONTROL MATS, RIPRAP OR GRAVEL BASE ON A ROAD, SUCH AS ACTIVE EXCAVATION AND ACTIVE GRADING. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS ACTIVELY OCCURRING OR CAN BE MULCHED IN THE SAME DAY. OPEN AREAS SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL AS SHOWN ON THE DESIGN PLANS AND AS DESCRIBED WITHIN THIS EROSION CONTROL PLAN WITHIN SEVEN (7) DAYS OF DISTURBANCE. AREAS LOCATED WITHIN 100 FEET OF STREAMS SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL WITHIN SEVEN (7) DAYS. REFER TO WINTER EROSION CONTROL NOTES FOR THE TREATMENT OF OPEN AREAS AFTER OCTOBER 1ST OF THE CONSTRUCTION YEAR.

THE CONTRACTOR MUST INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

EROSION CONTROL APPLICATIONS & MEASURES
THE PLACEMENT OF EROSION CONTROL MEASURES SHALL BE COMPLETED IN ACCORDANCE WITH GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES AND IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND DETAILS IN THE PLAN SET.

1. TEMPORARY MULCHING:

ALL DISTURBED AREAS SHALL BE MULCHED WITH MATERIALS SPECIFIED BELOW PRIOR TO ANY STORM EVENT. ALL DISTURBED AREAS NOT FINAL GRADED WITHIN 14 DAYS SHALL BE MULCHED. DISTURBED AREAS ADJACENT TO NATURAL RESOURCES THAT ARE NOT GRADED WITHIN SEVEN (7) DAYS SHALL BE MULCHED. ALSO, AREAS, WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDED, SHALL BE MULCHED IMMEDIATELY FOLLOWING SEEDING. EROSION CONTROL BLANKETS ARE RECOMMENDED TO BE USED AT THE BASE OF GRASSED WATERWAYS AND ON SLOPES GREATER THAN 33%. MULCH ANCHORING SHOULD BE USED ON SLOPES GREATER THAN 5% AFTER SEPTEMBER 15TH OF THE CONSTRUCTION YEAR (SEE WINTER EROSION CONTROL NOTES).
TYPES OF MULCH:

HAY OR STRAW: SHALL BE APPLIED AT A RATE OF 75 LBS/1,000 S.F. (1.5 TONS PER ACRE).

EROSION CONTROL MIX: SHALL BE PLACED EVENLY AND MUST PROVIDE 100% SOIL COVERAGE. EROSION CONTROL MIX SHALL BE APPLIED SUCH THAT THE THICKNESS ON SLOPES 3:1 OR LESS IS 2 INCHES PLUS 1/2 INCH PER 20 FEET OF SLOPE UP TO 100 FEET. THE THICKNESS ON SLOPES BETWEEN 3:1 AND 2:1 SHALL BE 4 INCHES PLUS 1/2 INCH PER 20 FEET OF SLOPE UP TO 100 FEET. THIS SHALL NOT BE USED ON SLOPES GREATER THAN 2:1.

EROSION CONTROL BLANKET: SHALL BE INSTALLED SUCH THAT CONTINUOUS CONTACT BETWEEN THE MAT AND THE SOIL IS OBTAINED. INSTALL BLANKETS AND STAPLE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

2. SOIL STOCKPILES:

STOCKPILES OF SOIL OR SUBSOIL SHALL BE MULCHED WITH HAY OR STRAW AT A RATE OF 75 LBS/1,000 S.F. (1.5 TONS PER ACRE) OR WITH A FOUR-INCH LAYER OF WOOD WASTE EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND RE-ESTABLISHED PRIOR TO ANY RAINFALL. ANY SOIL STOCKPILE WILL NOT BE PLACED (EVEN COVERED WITH HAY OR STRAW) WITHIN 100 FEET FROM ANY NATURAL RESOURCES. SEDIMENT BARRIERS SHALL BE INSTALLED DOWNGRADIENT OF STOCKPILES, AND STORMWATER SHALL BE PREVENTED FROM RUNNING ONTO THE STOCKPILE.

3. NATURAL RESOURCES PROTECTION:

ANY AREAS WITHIN 100 FEET FROM ANY NATURAL RESOURCES SHALL BE MULCHED USING TEMPORARY MULCHING (AS DESCRIBED IN PART 1 OF THIS SECTION) WITHIN 7 DAYS OF EXPOSURE OR PRIOR TO ANY STORM EVENT. SEDIMENT BARRIERS (AS DESCRIBED IN PART 4 OF THIS SECTION) SHALL BE PLACED BETWEEN ANY NATURAL RESOURCE AND THE DISTURBED AREA. PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE.

4. SEDIMENT BARRIERS:

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, SEDIMENT BARRIERS SHALL BE STAKED ACROSS THE SLOPE(S), ON THE CONTOUR AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. SEDIMENT BARRIERS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE AT LEAST 90% VIGOROUS PERENNIAL VEGETATIVE COVER TO PREVENT EROSION.

SILT FENCE: SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. THE EFFECTIVE HEIGHT OF THE FENCE SHALL NOT EXCEED 36 INCHES. IT IS RECOMMENDED THAT SILT FENCE BE REMOVED BY CUTTING THE FENCE MATERIALS AT GROUND LEVEL SO AS TO AVOID ADDITIONAL SOIL DISTURBANCE.

HAY BALES: SHALL NOT BE INSTALLED ADJACENT TO WETLAND. INSTALL PER THE DETAIL ON THE PLANS. BALES SHALL BE WIRE-BOUND OR STRING-TIED AND THESE BINDINGS MUST REMAIN PARALLEL WITH THE GROUND SURFACE DURING INSTALLATION TO PREVENT DETERIORATION OF THE BINDINGS. BALES SHALL BE INSTALLED WITHIN A MINIMUM 4 INCH DEEP TRENCH LINE WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.

EROSION CONTROL MIX: SHALL NOT BE USED ADJACENT TO WETLANDS. INSTALL PER THE DETAIL ON THE PLANS. THE MIX SHALL CONSIST PRIMARILY OF ORGANIC MATERIAL AND CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4 INCHES IN DIAMETER. THE MIX COMPOSITION SHALL MEET THE STANDARDS DESCRIBED WITHIN THE MDEP BEST MANAGEMENT PRACTICES. NO TRENCHING IS REQUIRED FOR INSTALLATION OF THIS BARRIER. EROSION CONTROL MIX BERMS SHALL NOT BE USED AT THE BOTTOM OF STEEP SLOPES (8:1) OR SLOPES WITH FLOWING WATER.

CONTINUOUSLY CONTAINED BERM: SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. THIS SEDIMENT BARRIER IS EROSION CONTROL MIX PLACED WITH A SYNTHETIC TUBULAR NETTING AND PERFORMS AS A STURDY SEDIMENT BARRIER THAT WORKS WELL ON HARD GROUND SUCH AS FROZEN CONDITIONS, TRAVELED AREAS OR PAVEMENT. NO TRENCHING IS REQUIRED FOR INSTALLATION OF THIS BARRIER.

5. TEMPORARY CHECK DAMS:

SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. CHECK DAMS ARE TO BE PLACED WITHIN DITCHES/ SWALES AS SPECIFIED ON THE DESIGN PLANS IMMEDIATELY AFTER FINAL GRADING. CHECK DAMS SHALL BE 2 FEET HIGH. TEMPORARY CHECK DAMS MAY BE REMOVED ONLY AFTER THE ROADWAYS ARE PAVED AND THE VEGETATED SWALE ARE ESTABLISHED WITH AT LEAST 90% OF VIGOROUS PERENNIAL GROWTH. THE AREA BENEATH THE CHECK DAM MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER REMOVAL OF THE CHECK DAM.

STONE CHECK DAMS: STONE DAMS SHOULD BE CONSTRUCTED OF 2 TO 3 INCH STONE AND PLACED SUCH THAT COMPLETE COVERAGE OF THE SWALE IS OBTAINED AND THAT THE CENTER OF THE DAM IS 6 INCHES LOWER THAN THE OUTER EDGES.

HAY BALE CHECK DAMS: BALES SHALL BE WIRE-BOUND OR STRING-TIED. BALES SHALL BE INSTALLED WITHIN A MINIMUM 4 INCH DEEP TRENCH LINE WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER. HAY BALES SHALL BE PLACED SUCH THAT COMPLETE COVERAGE OF THE SWALE IS OBTAINED AND THAT THE CENTER OF THE DAM IS 6 INCHES LOWER THAN THE OUTER EDGES.

MANUFACTURED CHECK DAMS: MANUFACTURED CHECK DAMS, AS SPECIFIED IN THE DETAIL ON THE PLANS, MAY BE USED IF AUTHORIZED BY THE PROPER LOCAL, STATE OR FEDERAL REGULATING AGENCIES. THESE UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

6. STORMDRAIN INLET PROTECTION:

INLET PROTECTION SHALL BE PLACED AROUND A STORMDRAIN DROP INLET OR CURB INLET PRIOR TO PERMANENT STABILIZATION OF THE IMMEDIATE AND UPSTREAM DISTURBED AREAS. THEY SHALL BE CONSTRUCTED IN A MANNER THAT WILL FACILITATE CLEAN-OUT AND DISPOSAL OF TRAPPED SEDIMENTS AND MINIMIZE INTERFERENCE WITH CONSTRUCTION ACTIVITIES. ANY RESULTANT PONDING OF WATER FROM THE PROTECTION METHOD MUST NOT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT AREAS OR STRUCTURES.

HAY BALE DROP INLET PROTECTION: WE DO NOT RECOMMEND THE USE OF HAY BALES AS INLET PROTECTION.

CONCRETE BLOCK AND STONE INLET SEDIMENT FILTER (DROP OR CURB INLET): SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. THE HEIGHT OF THE CONCRETE BLOCK BARRIER CAN VARY BUT MUST BE BETWEEN 12 AND 24 INCHES TALL. A MINIMUM OF 1 INCH CRUSHED STONE SHALL BE USED.

MANUFACTURED SEDIMENT BARRIERS AND FILTER (DROP OR CURB INLET): MANUFACTURED FILTERS, AS SPECIFIED IN THE DETAIL ON THE PLANS, MAY BE USED IF INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

7. STABILIZED CONSTRUCTION ENTRANCE/EXIT:

PRIOR TO CLEARING AND/OR GRUBBING THE SITE A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED WHEREVER TRAFFIC WILL EXIT THE CONSTRUCTION SITE ONTO A PAVED ROADWAY IN ORDER TO MINIMIZE THE TRACKING OF SEDIMENT AND DEBRIS FROM THE CONSTRUCTION SITE ONTO PUBLIC ROADWAYS. THE ENTRANCES AND ADJACENT ROADWAY SHALL BE PERIODICALLY SWEEPED TO FURTHER MINIMIZE THE TRACKING OF MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. THE TERM "SWEEP" IS UNDERSTOOD TO MEAN REMOVAL AND RECOVERY OF TRACKED SEDIMENT WITH A STREET SWEEPER, NOT BRUSHING THE MATERIAL INTO SWALES OR STRUCTURES WITH A MECHANICAL BROOM. STABILIZED CONSTRUCTION EXITS SHALL BE CONSTRUCTED IN AREAS SPECIFIED ON THE PLANS AND AS DETAILED ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN THE STABILIZED CONSTRUCTION ENTRANCE UNTIL ALL DISTURBED AREAS ARE STABILIZED.

DUST CONTROL:

DUST CONTROL DURING CONSTRUCTION SHALL BE ACHIEVED BY THE USE OF A WATERING TRUCK TO PERIODICALLY SPRINKLE THE EXPOSED ROADWAY AREAS AS NECESSARY TO REDUCE DUST DURING THE DRY MONTHS. APPLYING OTHER DUST CONTROL PRODUCTS SUCH AS CALCIUM CHLORIDE OR OTHER MANUFACTURED PRODUCTS ARE ALLOWED IF AUTHORIZED BY THE PROPER LOCAL, STATE AND/OR FEDERAL REGULATING AGENCIES. HOWEVER, IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO MITIGATE DUST AND SOIL LOSS FROM THE SITE. IF OFFSITE TRACKING OCCURS, PUBLIC ROADS SHOULD BE SWEEPED IMMEDIATELY AND NOT LESS THAN ONCE A WEEK AND PRIOR TO SIGNIFICANT STORM EVENTS.

TEMPORARY VEGETATION:

TEMPORARY VEGETATION SHALL BE APPLIED TO DISTURBED AREAS THAT WILL NOT RECEIVE FINAL GRADING FOR PERIODS UP TO 12 MONTHS. THIS PROCEDURE SHOULD BE USED EXTENSIVELY IN AREAS ADJACENT TO NATURAL RESOURCES. SEEDED PREPARATION AND APPLICATION OF SEED SHALL BE CONDUCTED AS INDICATED IN THE PERMANENT VEGETATION SECTION OF THIS NARRATIVE. SPECIFIC TYPES OF FAST GROWING AND SHORT LIVING) SHALL BE SELECTED FROM THE MAINE EROSION AND SEDIMENT CONTROL BMP MANUALS FOR CONTRACTORS AND ENGINEERS. 2016 OR LATEST REVISION. ALTERNATIVE EROSION CONTROL MEASURES SHOULD BE USED IF SEEDING CAN NOT BE DONE BEFORE SEPTEMBER 15TH OF THE CONSTRUCTION YEAR.

PERMANENT VEGETATION:

REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON COMPLETION OF FINAL GRADING OF AREAS TO BE LOAMED AND SEEDED. THE APPLICATION OF SEED SHALL BE CONDUCTED BETWEEN APRIL 1ST AND OCTOBER 1ST OF THE CONSTRUCTION YEAR. PLEASE REFER TO THE WINTER EROSION CONTROL NOTES FOR MORE DETAIL. REVEGETATION MEASURES SHALL CONSIST OF THE FOLLOWING:

SEEDED PREPARATION:

- FOUR (4) INCHES OF LOAM SHALL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE. LOAM SHALL BE FREE OF SUBSOIL, CLAY LUMPS, STONES AND OTHER OBJECTS OVER 2 INCHES OR LARGER IN ANY DIMENSION, AND WITHOUT WEEDS, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- SOILS TESTS SHALL BE TAKEN AT THE TIME OF SOIL STRIPPING TO DETERMINE FERTILIZATION REQUIREMENTS. SOILS TESTS SHALL BE TAKEN PROMPTLY AS TO NOT INTERFERE WITH THE 14-DAY LIMIT ON SOIL EXPOSURE. BASED UPON TEST RESULTS, SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING. IN LIEU OF SOIL TESTS, SOIL AMENDMENTS MAY BE APPLIED AS FOLLOWS:

ITEM	APPLICATION RATE
10-20-20 FERTILIZER (N-P205-K20 OR EQUIV.)	18.4 LBS./1,000 S.F.
GROUND LIMESTONE (50% CALCIUM & MAGNESIUM OXIDE)	138 LBS./1,000 S.F.

- WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH PROPER EQUIPMENT. ROLL THE AREA TO FIRM THE SEEDED EXCEPT ON CLAY OR SILTY SOILS OR COARSE SAND.

APPLICATION OF SEED:

- SEEDING SHALL BE CONDUCTED BETWEEN APRIL 1ST AND OCTOBER 1ST OF THE CONSTRUCTION YEAR. GENERALLY A SEED MIXTURE MAY BE APPLIED AS FOLLOWS: (MDEP SEED MIX 2 IS DISPLAYED)

SEED TYPE	APPLICATION RATE
CREeping RED FESCUE	0.46 LBS/1,000 S.F. (20 LBS/ACRE)
REDTOP	0.05 LBS/1,000 S.F. (2 LBS/ACRE)
TALL FESCUE	0.46 LBS/1,000 S.F. (20 LBS/ACRE)
TOTAL:	0.97 LBS/1,000 S.F. (42 LBS/ACRE)

NOTE: A SPECIFIC SEED MIXTURE SHOULD BE CHOSEN TO MATCH THE SOILS CONDITION OF THE SITE. VARIOUS AGENCIES CAN RECOMMEND SEED MIXTURES. MDEP RECOMMENDED SEED MIXTURES ARE IN THE EROSION AND SEDIMENT CONTROL BMP MANUAL DATED 2016 OR LATEST REVISION.

- HYDROSEEDING SHALL BE CONDUCTED ON PREPARED AREAS WITH SLOPES LESS THAN 2:1. LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED. RECOMMENDED SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.

- MULCHING SHALL COMMENCE IMMEDIATELY AFTER SEED IS APPLIED. REFER TO THE TEMPORARY MULCHING SECTION OF THIS NARRATIVE FOR DETAILS.

SODDING:

FOLLOWING SEEDED PREPARATION, SOD CAN BE APPLIED IN LIEU OF SEEDING IN AREAS WHERE IMMEDIATE VEGETATION IS MOST BENEFICIAL, SUCH AS DITCHES, AROUND STORMWATER DROP INLETS AND AREAS OF AESTHETIC VALUE. SOD SHOULD BE LAID AT RIGHT ANGLES TO THE DIRECTION OF FLOW, STARTING AT THE LOWEST ELEVATION. SOD SHOULD BE ROLLED OR TAMPED DOWN TO EVEN OUT THE JOINTS ONCE LAID DOWN. WHERE FLOW IS PREVALENT THE SOD MUST BE PROPERLY ANCHORED DOWN. IRRIGATE THE SOD IMMEDIATELY AFTER INSTALLATION. IN MOST CASES, SOD CAN BE ESTABLISHED BETWEEN APRIL 1ST AND NOVEMBER 15TH OF THE CONSTRUCTION YEAR, HOWEVER, REFER TO THE WINTER EROSION CONTROL NOTES FOR ANY ACTIVITIES AFTER OCTOBER 1ST.

STANDARDS FOR TIMELY STABILIZATION:

STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SLOPES – THE CONTRACTOR WILL CONSTRUCT AND STABILIZE STONE-COVERED SLOPES BY NOVEMBER 15. THE CONTRACTOR WILL SEED AND MULCH ALL SLOPES TO BE VEGETATED BY SEPTEMBER 15. THE MDEP WILL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 15% (10:1) TO BE A SLOPE. IF THE CONTRACTOR FAILS TO STABILIZE ANY SLOPE TO BE VEGETATED BY SEPTEMBER 15, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.

- STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS** – BY OCTOBER 1 THE CONTRACTOR WILL SEED THE DISTURBED SLOPE WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET AND APPLY EROSION CONTROL MATS OVER THE MULCHED SLOPE. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SLOPE BY NOVEMBER 1, THEN THE APPLICANT WILL COVER THE SLOPE WITH A LAYER OF WOOD WASTE COMPOST AS DESCRIBED IN ITEM 2(C), OF THIS STANDARD OR WITH STONE RIPRAP AS DESCRIBED IN ITEM 2(D), OF THIS STANDARD.
- STABILIZE THE SLOPE WITH SOD** – THE CONTRACTOR WILL STABILIZE THE DISTURBED SLOPE WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE APPLICANT PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.
- STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (2H:1V)** – THE CONTRACTOR WILL PLACE A SIX-INCH LAYER OF WOOD WASTE COMPOST ON THE SLOPE BY NOVEMBER 15. PRIOR TO PLACING THE WOOD WASTE COMPOST, THE APPLICANT WILL REMOVE ANY SNOW ACCUMULATION ON THE DISTURBED SLOPE. THE APPLICANT WILL NOT USE WOOD WASTE COMPOST TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% (2H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
- STABILIZE THE SLOPE WITH STONE RIPRAP** – THE CONTRACTOR WILL PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15. THE APPLICANT WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.

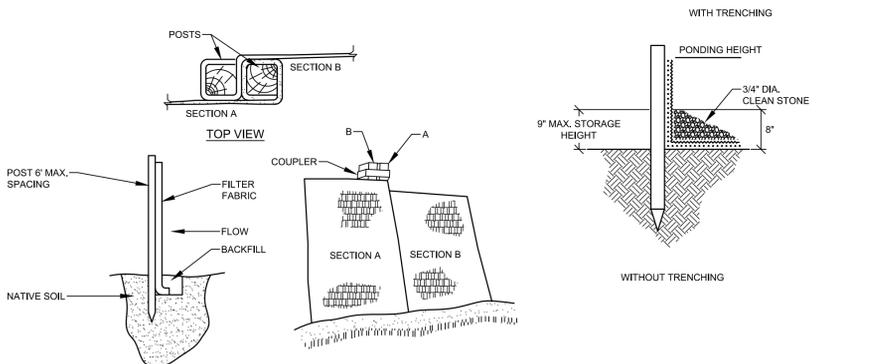
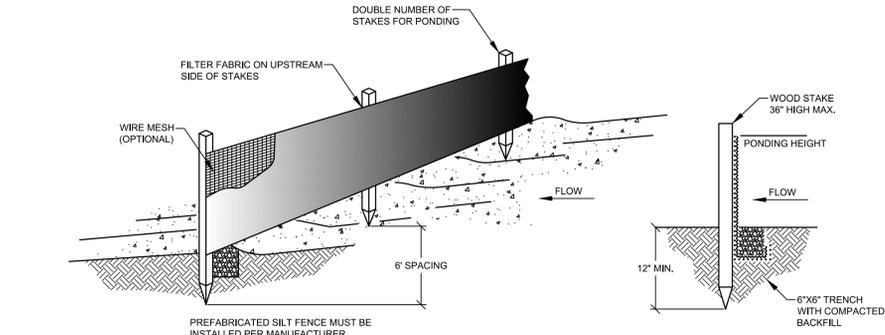
STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SOILS – BY SEPTEMBER 15 THE CONTRACTOR WILL SEED AND MULCH ALL DISTURBED SOILS ON AREAS HAVING A SLOPE LESS THAN 15%. IF THE CONTRACTOR FAILS TO STABILIZE THESE SOILS BY THIS DATE, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SOIL FOR LATE FALL AND WINTER.

- STABILIZE THE SOIL WITH TEMPORARY VEGETATION** – BY OCTOBER 1 THE CONTRACTOR WILL SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1000 SQUARE FEET. LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. THE APPLICANT WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 15, THEN THE APPLICANT WILL MULCH THE AREA FOR OVER-WINTER PROTECTION AS DESCRIBED IN ITEM 3(C), OF THIS STANDARD.
- STABILIZE THE SOIL WITH SOD** – THE APPLICANT WILL STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE APPLICANT PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.
- STABILIZE THE SOIL WITH MULCH** – BY NOVEMBER 15 THE APPLICANT WILL MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 POUNDS PER 1000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. PRIOR TO APPLYING THE MULCH, THE APPLICANT WILL REMOVE ANY SNOW ACCUMULATION ON THE DISTURBED AREA. IMMEDIATELY AFTER APPLYING THE MULCH, THE APPLICANT WILL ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

- MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, AND AT LEAST EVERY SEVEN (7) DAYS, THE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES. THE CONTRACTOR SHALL PERFORM REPAIRS NO LATER THAN THE END OF THE NEXT WORKDAY. TO ALLOW CONTINUED PROPER FUNCTIONING OF THE EROSION CONTROL MEASURE, THE CONTRACTOR SHALL PROVIDE THE NECESSARY REGULATING AGENCIES WITH WRITTEN DOCUMENTATION DESCRIBING DATES OF INSPECTIONS AND NECESSARY FOLLOW-UP WORK TO MAINTAIN EROSION CONTROL MEASURES MEETING THE REQUIREMENTS OF THIS PLAN WITHIN SEVEN (7) DAYS.
- FOLLOWING THE TEMPORARY AND/OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMIMONTHLY UNTIL THE SEEDINGS HAVE BEEN ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 90% OF AREAS VEGETATED WITH VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW-UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.

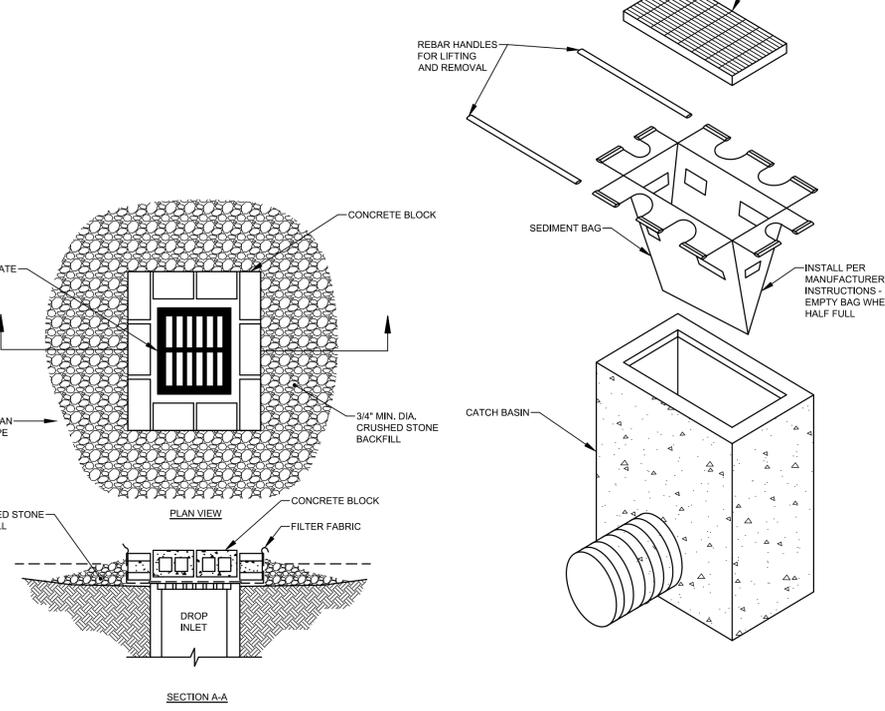
HOUSEKEEPING:

- SPILL PREVENTION, CONTROLS** MUST BE USED TO PREVENT POLLUTANTS FROM CONSTRUCTION AND WASTE MATERIALS STORED ON SITE TO ENTER STORMWATER, WHICH INCLUDES STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORMWATER. THE SITE CONTRACTOR OR OPERATOR MUST DEVELOP, AND IMPLEMENT AS NECESSARY, APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING MEASURES.
- GROUNDWATER PROTECTION**, DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN "INFILTRATION AREA" IS ANY AREA OF THE SITE THAT BY DESIGN OR AS A RESULT OF SOIL ACCUMULATION OR OTHER RELEVANT FACTORS, TRANSMITS OR FILTERS INTO THE SOIL, DIKES, BERMS, SHELTERS, SUMPS, AND OTHER FORMS OF SECONDARY CONTAINMENT THAT PREVENT DISCHARGE TO GROUNDWATER MAY BE USED TO ISOLATE PORTIONS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE MATERIALS. ANY PROJECT PROPOSING INFILTRATION OF STORMWATER MUST PROVIDE ADEQUATE PRE-TREATMENT OF STORMWATER PRIOR TO DISCHARGE TO THE INFILTRATION AREA, OR PROVIDE FOR TREATMENT WITHIN THE INFILTRATION AREA IN ORDER TO PREVENT THE ACCUMULATION OF FINES, REDUCTION IN INFILTRATION RATE, AND CONSEQUENTIAL FLOODING AND DESTABILIZATION.
- FUGITIVE SEDIMENT AND DUST**, ACTIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. OIL MAY NOT BE USED FOR DUST CONTROL, BUT OTHER WATER ADDITIVES MAY BE CONSIDERED AS NEEDED. A STABILIZED CONSTRUCTION ENTRANCE (SCE) SHOULD BE INCLUDED TO MINIMIZE TRACKING OF MUD AND SEDIMENT. IF OFF-SITE TRACKING OCCURS, PUBLIC ROADS SHOULD BE SWEEP IMMEDIATELY AND NO LESS THAN ONCE A WEEK AND PRIOR TO SIGNIFICANT STORM EVENTS, OPERATIONS DURING DRY MONTHS, THAT EXPERIENCE FUGITIVE DUST PROBLEMS, SHOULD WET DOWN UNPAVED ACCESS ROADS ONCE A WEEK OR MORE FREQUENTLY AS NEEDED WITH A WATER ADDITIVE TO SUPPRESS FUGITIVE SEDIMENT AND DUST.
- DEBRIS AND OTHER MATERIALS**, MINIMIZE THE EXPOSURE OF CONSTRUCTION DEBRIS, BUILDING AND LANDSCAPING MATERIALS, TRASH, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS TO PRECIPITATION AND STORMWATER RUNOFF. THESE MATERIALS MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
- EXCAVATION DE-WATERING**, EXCAVATION DE-WATERING IS THE REMOVAL OF WATER FROM TRENCHES, FOUNDATIONS, COFFER DAMS, PONDS, AND OTHER AREAS WITHIN THE CONSTRUCTION AREA THAT RETAIN WATER AFTER EXCAVATION. IN MOST CASES THE COLLECTED WATER IS HEAVILY SILTED AND HINDERS CORRECT AND SAFE CONSTRUCTION PRACTICES. THE COLLECTED WATER REMOVED FROM THE PONDED AREA, EITHER THROUGH GRAVITY OR PUMPING, MUST BE SPREAD THROUGH NATURAL WOODED BUFFERS OR REMOVED TO AREAS THAT ARE SPECIFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A COFFERDAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE. EQUIVALENT MEASURES MAY BE TAKEN IF APPROVED BY THE DEPARTMENT.
- AUTHORIZED NON-STORMWATER DISCHARGES**, IDENTIFY AND PREVENT CONTAMINATION BY NON-STORMWATER DISCHARGES, WHERE ALLOWED NON-STORMWATER DISCHARGES EXIST. THEY MUST BE IDENTIFIED AND STEPS SHOULD BE TAKEN TO ENSURE THE IMPLEMENTATION OF POLLUTION PREVENTION MEASURES FOR THE NON-STORMWATER COMPONENT(S) OF THE DISCHARGE. AUTHORIZED NON-STORMWATER DISCHARGES ARE:
 - DISCHARGES FROM FIRE FIGHTING ACTIVITY;
 - FIRE HYDRANT DISCHARGES;
 - VEHICLE WASHWATER IF DETERGENTS ARE NOT USED AND WASHING IS LIMITED TO THE EXTERIOR OF VEHICLES (ENGINE, UNDERCARRIAGE AND TRANSMISSION WASHING IS PROHIBITED);
 - DUST CONTROL RUNOFF IN ACCORDANCE WITH PERMIT CONDITIONS;
 - ROUTINE EXTERNAL BUILDINGS WASHING/DOWN, NOT INCLUDING SURFACE PAINT REMOVAL, THAT DOES NOT INVOLVE DETERGENTS;
 - PAVEMENT WASHWATER (WHERE SPILLS/LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED, UNLESS ALL SPILLED MATERIAL HAD BEEN REMOVED) IF DETERGENTS ARE NOT USED;
 - UNCONTAMINATED AIR CONDITIONING OR COMPRESSOR CONDENSATE;
 - UNCONTAMINATED GROUNDWATER OR SPRING WATER;
 - FOUNDATION OR FOOTER DRAIN-WATER WHERE FLOWS ARE NOT CONTAMINATED;
 - UNCONTAMINATED EXCAVATION DEWATERING;
 - POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS; AND
 - LANDSCAPE IRRIGATION.
- UNAUTHORIZED NON-STORMWATER DISCHARGES**, THE DEPARTMENT'S APPROVAL DOES NOT AUTHORIZE A DISCHARGE THAT IS MIXED WITH A SOURCE OF NON-STORMWATER OTHER THAN THOSE DISCHARGES SPECIFICALLY LISTED. THE DEPARTMENT'S APPROVAL DOES NOT AUTHORIZE DISCHARGES OF THE FOLLOWING:
 - WASTEWATER FROM THE WASHOUT OR CLEAN OUT OF CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS OR OTHER CONSTRUCTION MATERIALS;
 - FUELS, OILS OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE;
 - SOAPS, SOLVENTS, OR DETERGENTS USED IN VEHICLE AND EQUIPMENT WASHING; AND
 - TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE.



- INSTALLATION:**
- EXCAVATE A 6" x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 - DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
 - JOIN SECTION AS SHOWN ABOVE.
 - BARRIER SHALL BE MIRRI SILT FENCE OR EQUAL.
 - THE FENCE SHOULD BE ANCHORED TO RESIST PULL-OUT AND BE STRETCHED TIGHTLY BETWEEN STAKES TO PREVENT SAGGING.
 - IN AREAS WHERE FLAP CANNOT BE KEYED PROPERLY DUE TO FROZEN GROUND, BEDROCK, STONY SOILS, ROOTS NEAR A PROTECTED NATURAL RESOURCE, ETC., THE SILT FENCE SHOULD BE ANCHORED WITH AGGREGATE, CRUSHED STONE, EROSION CONTROL MIX OR OTHER MATERIAL.
 - FILTER BARRIER NEEDS TO BE REMOVED WHEN THE AREA IS STABILIZED.

FILTER BARRIER NOT TO SCALE



CATCH BASIN INSERTS OR FILTER SACKS MADE OF WOVEN GEOTEXTILE ARE REUSABLE. USE SHOULD FOLLOW THE MANUFACTURER'S GUIDELINES. THEY ARE PLACED UNDER THE GRATE AND HAVE A BUILT-IN OVERFLOW FOR LARGE STORM FLOWS. THE INSERT SHOULD BE REMOVED AND THE CATCH BASIN CLEANED AT THE END OF THE CONSTRUCTION PROJECT. CONCRETE BLOCKS PLACED ON THEIR SIDE AROUND THE INLET AND WRAPPED IN GEOTEXTILE FABRIC SHOULD BE SURROUNDED WITH CRUSHED STONE (1/2 INCH DIAMETER AND CLEAN). SAND-FILLED BAGS BUTTED TOGETHER AROUND THE PERIMETER OF A STORM DRAIN MAY BE USED IF THE BAGS ARE STAGGERED TO MAKE A STABLE BARRIER. THE BERM SHOULD HAVE A MINIMUM HEIGHT OF 12 INCHES. SILT FENCE WITH GRAVEL MAY BE PLACED AROUND THE PERIMETER OF A CATCH BASIN AND SURROUNDED WITH GRAVEL.

CATCH BASIN PROTECTION DETAIL (FOR PAVED AREAS) NOT TO SCALE

NOT FOR CONSTRUCTION



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B	SGD	02/06/2020	ISSUED FOR SITE PLAN REVIEW
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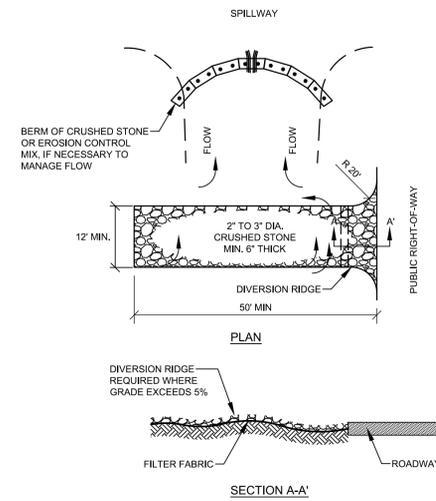
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75 John Roberts Rd., Suite 4A
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Tel. 207-260-2100

EROSION CONTROL NOTES AND DETAILS
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8 WENTWORTH STREET
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FOR: **LASSEL ARCHITECTS**
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SOUTH BERRICK, MAINE 03908

SCOTT SIMONS ARCHITECTS
75 YORK STREET
PORTLAND, MAINE 04101

DESIGNED	SGD
DRAWN	SRC
CHECKED	SGD
DATE	07/23/2020
SCALE	1" = 20'
PROJECT	18438

SHEET 5 OF 8

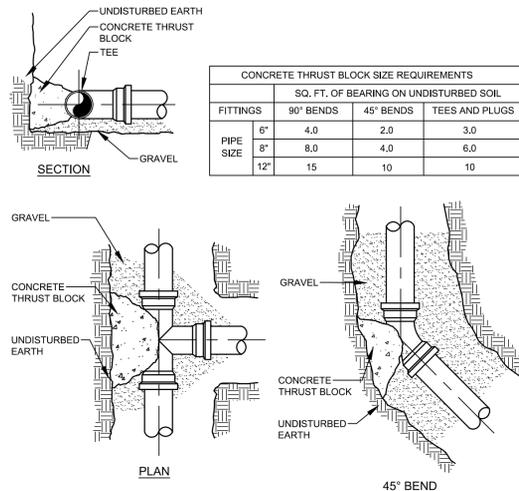


- NOTES:**
- STONE SIZE- AASHTO DESIGNATION M43, SIZE NO. 2 (1/2" TO 1 1/2"). USE CRUSHED STONE.
 - LENGTH- AS SHOWN ON PLANS, MIN. 50 FEET.
 - THICKNESS- NOT LESS THAN EIGHT (8) INCHES.
 - WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
 - MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

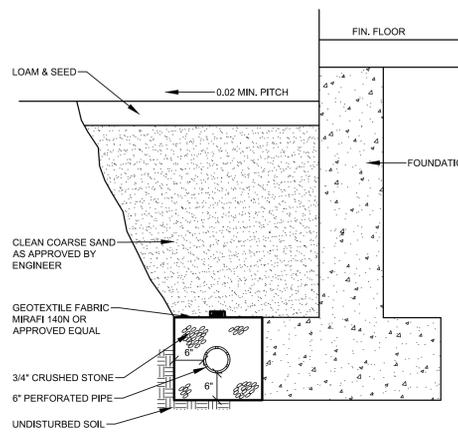
- CONSTRUCTION SPECIFICATIONS:**
- THE ENTRANCE/EXIT PAD SHOULD HAVE A LENGTH OF 50 FEET OR MORE AND A 12 FOOT MINIMUM WIDTH (OR AS APPROPRIATE TO CONTAIN THE WHEEL BASE OF CONSTRUCTION VEHICLES PLUS 3 FEET ON EITHER SIDE).
 - THE PAD SHOULD BE 3 INCHES OR MORE THICK WITH ANGULAR AGGREGATE (2-3 INCH DIAMETER), APPROPRIATE RECLAIMED CONCRETE MATERIAL MAY BE USED.
 - THE AGGREGATE SHOULD BE PLACED OVER A GEOTEXTILE FILTER TO PREVENT THE STONES FROM PUSHING INTO THE NATIVE SOIL.
 - AT THE BOTTOM OF SLOPES, A DIVERSION RIDGE SHOULD BE PROVIDED TO INTERCEPT RUNOFF.
 - BERMS MAY BE NECESSARY TO DIVERT WATER AROUND ANY EXPOSED SOIL, AND RUNOFF SHOULD BE DIRECTED TO A SEDIMENT TRAP.
 - THE WHEELS OF CONSTRUCTION EQUIPMENT MAY BE WASHED PRIOR TO EXITING THE SITE. WASHING SHOULD BE PERFORMED IN AN AREA THAT DRAINS TO A SEDIMENT TRAP OR BASIN.
 - THE PAD SHOULD BE INSPECTED WEEKLY, AND BEFORE AND AFTER EACH STORM. THE PAD MAY HAVE TO BE REPLACED IF THE VOIDS BECOME FILLED WITH SEDIMENT.
 - ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

A PAD OF COURSE AGGREGATE AT THE CONSTRUCTION ENTRANCE/EXIT WILL REDUCE THE TRACKING OF SOIL FROM CONSTRUCTION TRAFFIC ONTO A PUBLIC STREET. SEDIMENTS FROM THE TIRE TREADS ARE KNOCKED LOOSE BY THE ANGULAR STONES AND ARE TRAPPED IN THE VOIDS BETWEEN THE STONES.

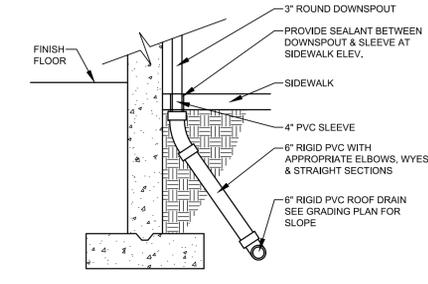


FITTINGS	SQ. FT. OF BEARING ON UNDISTURBED SOIL		
	90° BENDS	45° BENDS	TEES AND PLUGS
PIPE SIZE 6"	4.0	2.0	3.0
PIPE SIZE 8"	8.0	4.0	6.0
PIPE SIZE 12"	15	10	10

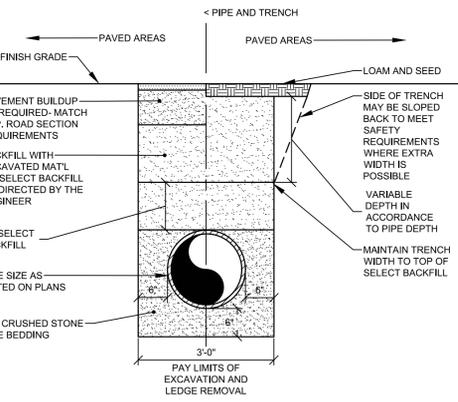
TEE & BEND DETAIL
NOT TO SCALE



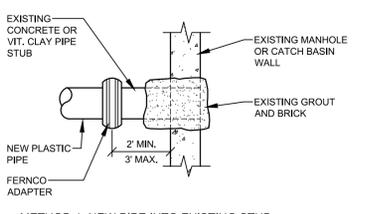
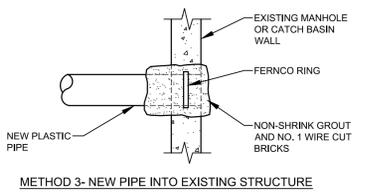
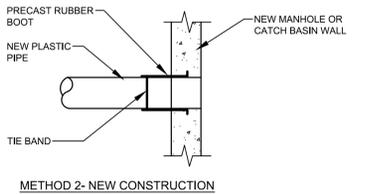
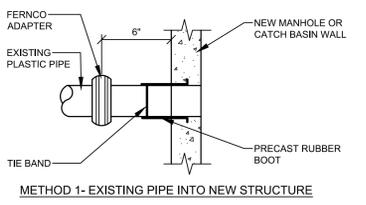
FOUNDATION DRAIN SECTION
NOT TO SCALE



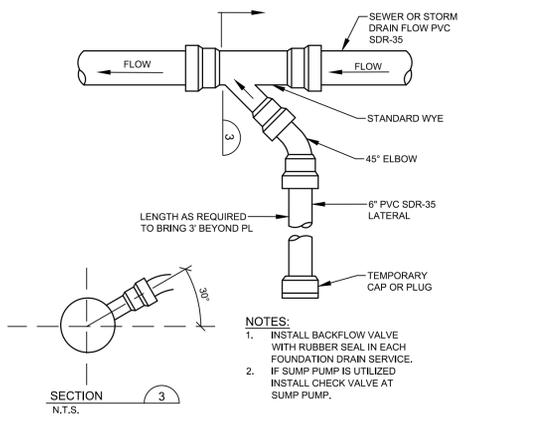
ROOF DRAIN CONNECTOR
NOT TO SCALE



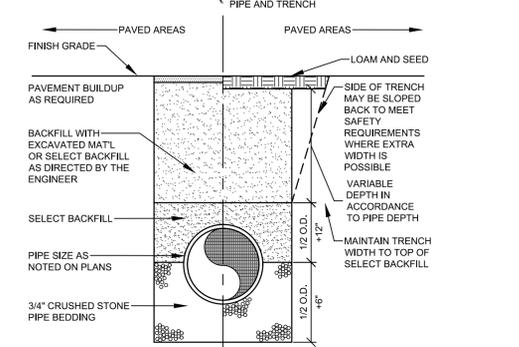
TRENCH SECTION WITHIN CITY R.O.W.
NOT TO SCALE



PLASTIC PIPE CONNECTIONS
NOT TO SCALE



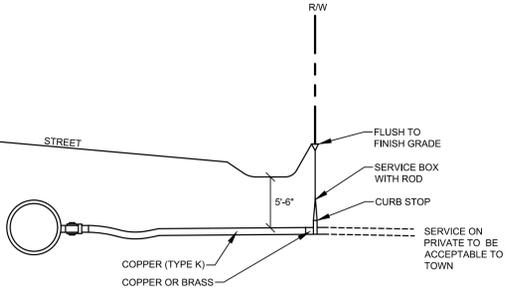
SEWER / FOUNDATION DRAIN SERVICE CONNECTION
NOT TO SCALE



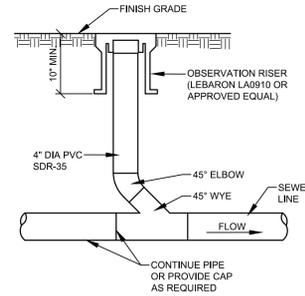
PIPE TYPE	PIPE BEDDING MATERIAL	SELECT BACKFILL
CORRUGATED METAL	MDOT 703.22 TYPE B UD BACKFILL	MDOT 703.22 TYPE B UD BACKFILL
DUCTILE IRON	MDOT 703.22 TYPE C 3/4" CRUSHED STONE	MDOT 703.22 TYPE C 3/4" CRUSHED STONE
PVC-SDR 35 HDPE	MDOT 703.22 TYPE C 3/4" CRUSHED STONE	MDOT 703.22 TYPE C 3/4" CRUSHED STONE
PERFORATED PVC-SDR 35 HDPE	MDOT 703.22 TYPE C 3/4" CRUSHED STONE	MDOT 703.22 TYPE C 3/4" CRUSHED STONE

NOTE: ALL BRACING AND SHEETING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL MEET ALL STATE AND O.S.H.A. SAFETY STANDARDS.

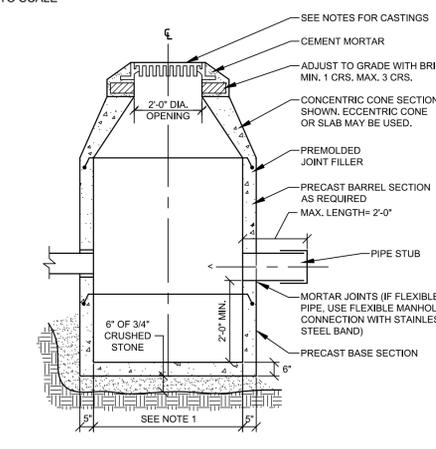
TRENCH SECTION
NOT TO SCALE



WATER SERVICE CONNECTION
NOT TO SCALE

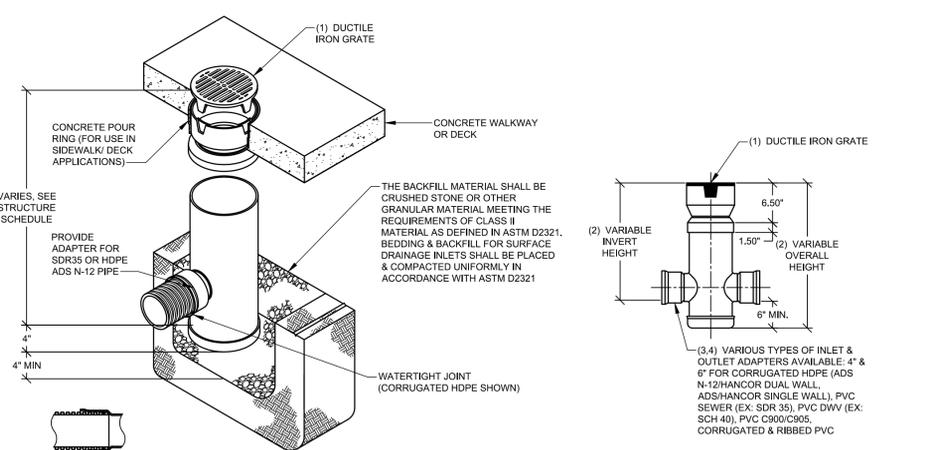


STORMTRAIN CLEANOUT
NOT TO SCALE



- NOTES:**
- 4'-0" I.D. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER I.D. PROVIDE SHOP DRAWINGS.
 - DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
 - PIPE SIZES AND INVERTS AS NOTED ON PLANS.
 - CATCH BASIN FRAME AND GRATE TO BE NEENAH FOUNDRY R-2554, OR APPROVED EQUAL.

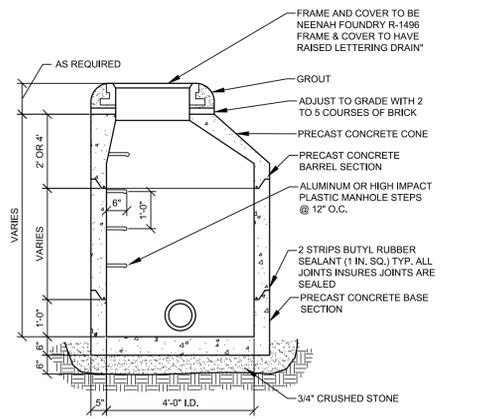
CATCH BASIN
NOT TO SCALE



GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PRECAST STANDARD	LIGHT DUTY	1099238	7001-110-188
SOLID COVER	LIGHT DUTY	1099239	7001-110-189
BRONZE	LIGHT DUTY	1099238	7001-110-200
DOSE	NA	1099252	7001-110-201
DROP IN GRATE	LIGHT DUTY	10001	7001-110-020

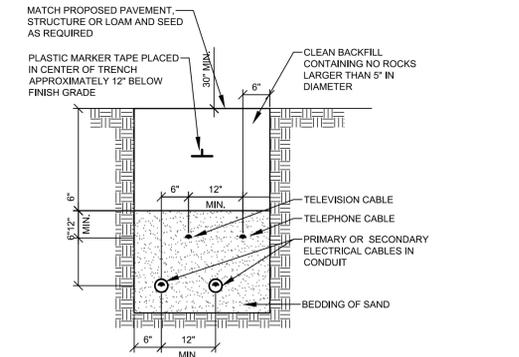
- NOTES:**
- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
 - CUSTOM DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS.
 - ANDRAD DRAIN BASIN HAS FIXED ADAPTER LOCATIONS OF 0° & 180°.
 - CUSTOM DRAIN BASIN ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°.
 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12) HANCOR DUAL WALL & PVC SEWER (4" - 24").

NYLOPLAST 10" DRAIN BASIN
NOT TO SCALE



- NOTES:**
- DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
 - PIPE SIZES AND INVERTS AS NOTED ON PLANS.
 - PIPE CONNECTIONS SHALL BE WATERTIGHT FLEXIBLE BOOT CONNECTORS.

PRECAST MANHOLE
NOT TO SCALE



- NOTES:**
- CABLES TO BE ENCASED IN SCHEDULE 40 PVC CONDUIT.

UNDERGROUND CABLE INSTALLATION
NOT TO SCALE

NOT FOR CONSTRUCTION



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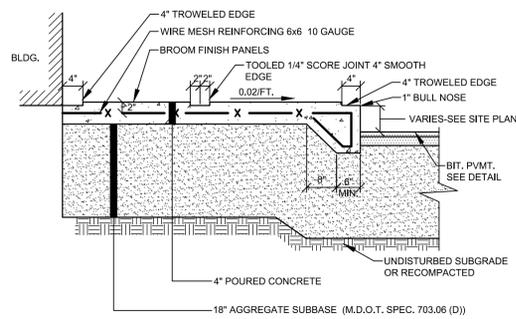
DETAILS

RICE PUBLIC LIBRARY
8 WENTWORTH STREET
KITTEERY, MAINE 03904

FOR:
LASSEL ARCHITECTS
P.O. BOX 370, 370 MAIN STREET
SOUTH BERWICK, MAINE 03908

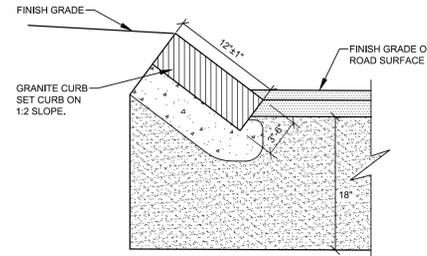
SCOTT SIMONS ARCHITECTS
75 YORK STREET
PORTLAND, MAINE 04101

DESIGNED	SGD
DRAWN	SRC
CHECKED	SGD
DATE	07/23/2020
SCALE	1" = 20"
PROJECT	18438



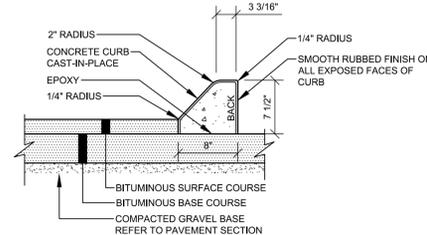
NOTE:
INSTALL 9'-0" SQUARE AREA BY 4" DEEP OF FROST-FREE MATERIAL
BELOW ALL HANDICAP RAMPS AND ENTRY POINTS AT BUILDING.

CONCRETE SIDEWALK
NOT TO SCALE



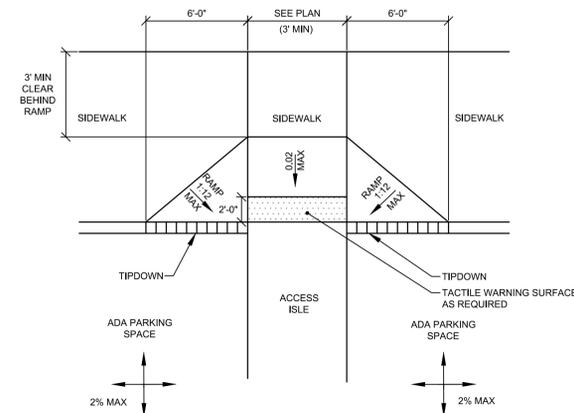
NOTE: REUSE EXISTING GRANITE CURB WHEN POSSIBLE

SLOPED GRANITE CURB (ALT #1)
NOT TO SCALE

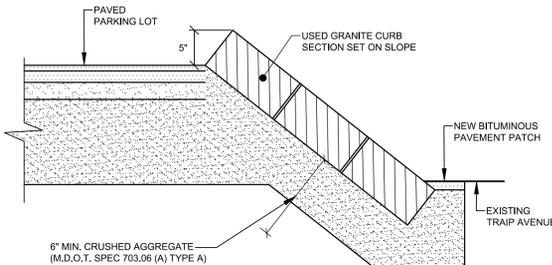


NOTES:
CONCRETE SHALL BE FIBER REINFORCED, 4000 PSI STRENGTH WITH 5% TO 7% AIR
ENTRAINMENT 1" TO 2" SLUMP.

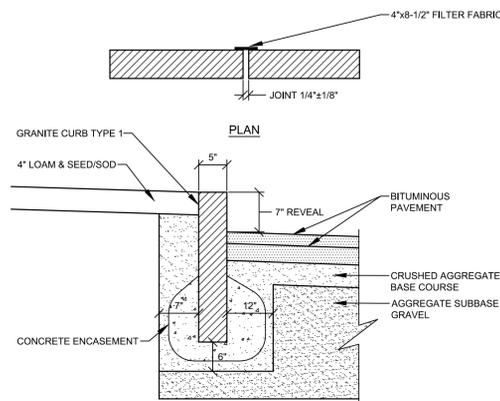
SLIPFORM CONCRETE CURB
NOT TO SCALE



STRAIGHT ADA RAMP
NOT TO SCALE

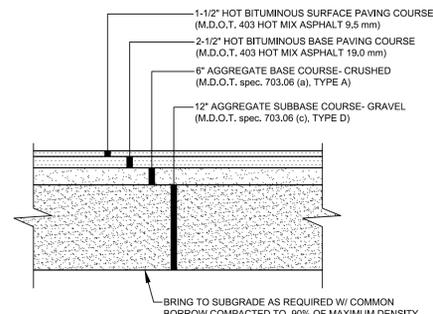


GRANITE CURB SLOPE
NOT TO SCALE



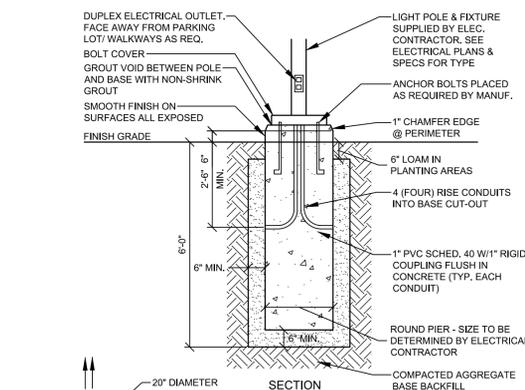
NOTES:
1. EXCAVATION INCIDENTAL TO COST OF CURB
SUBBASE SHALL BE COMPACTED TO A FIRM EVEN
SURFACE PRIOR TO SETTING OF CURB

VERTICAL GRANITE CURB IN TOWN R.O.W. (ALT #2)
NOT TO SCALE



NOTES:
1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING
HEAVY ROLLER COMPACTION
2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE
ELEVATIONS FOR CONSTRUCTION REFERENCE.
3. CONTRACTOR MAY REPLACE BITUMINOUS PAVING SECTION WITH TWO (2) 1-3/4" LIFTS OF
12.5mm SUPERPAVE MIX. SUBMIT PAVEMENT MIX DESIGN PRIOR TO CONSTRUCTION.

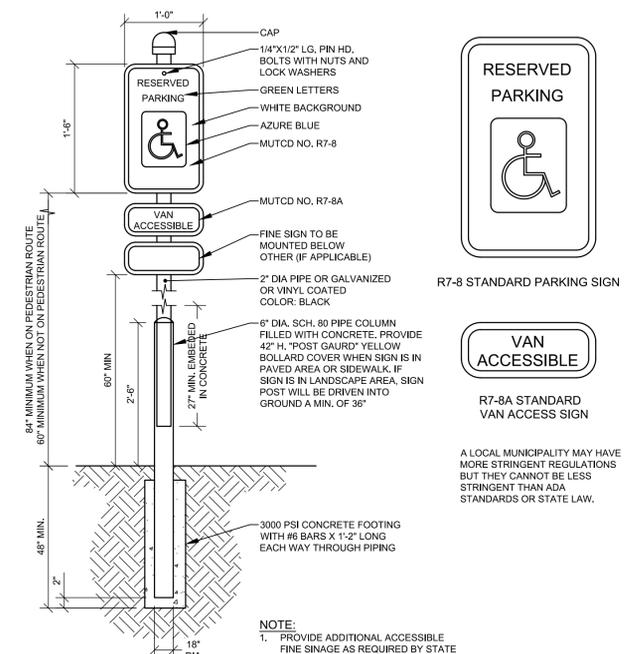
PAVED PARKING LOT SECTION
NOT TO SCALE



NOTES:
1. CONCRETE f_c=5000 psi. @ 28 DAYS WITH STEEL REINFORCEMENT
2. CONDUIT AND ANCHOR BOLTS PLACED AS REQUIRED PROVIDED BY ELECTRICAL CONTRACTOR
3. PROVIDE 2 COATS BITUMINOUS DAMPROOFING FOR ALL CONCRETE BELOW GRADE.
4. INSTALL BASE 3'-0" ABOVE FINISH GRADE IN LOCATIONS WHERE POLES ARE IN PARKING LOT PAVEMENT.
5. LIGHT POLE BASE AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL

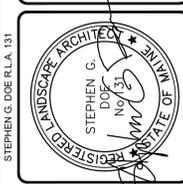
20" ROUND LIGHT POLE BASE
NOT TO SCALE

ADA ACCESSIBLE SIGNS
NOT TO SCALE



RESERVED PARKING SIGN (POLE MOUNTED)
NOT TO SCALE

NOT FOR CONSTRUCTION



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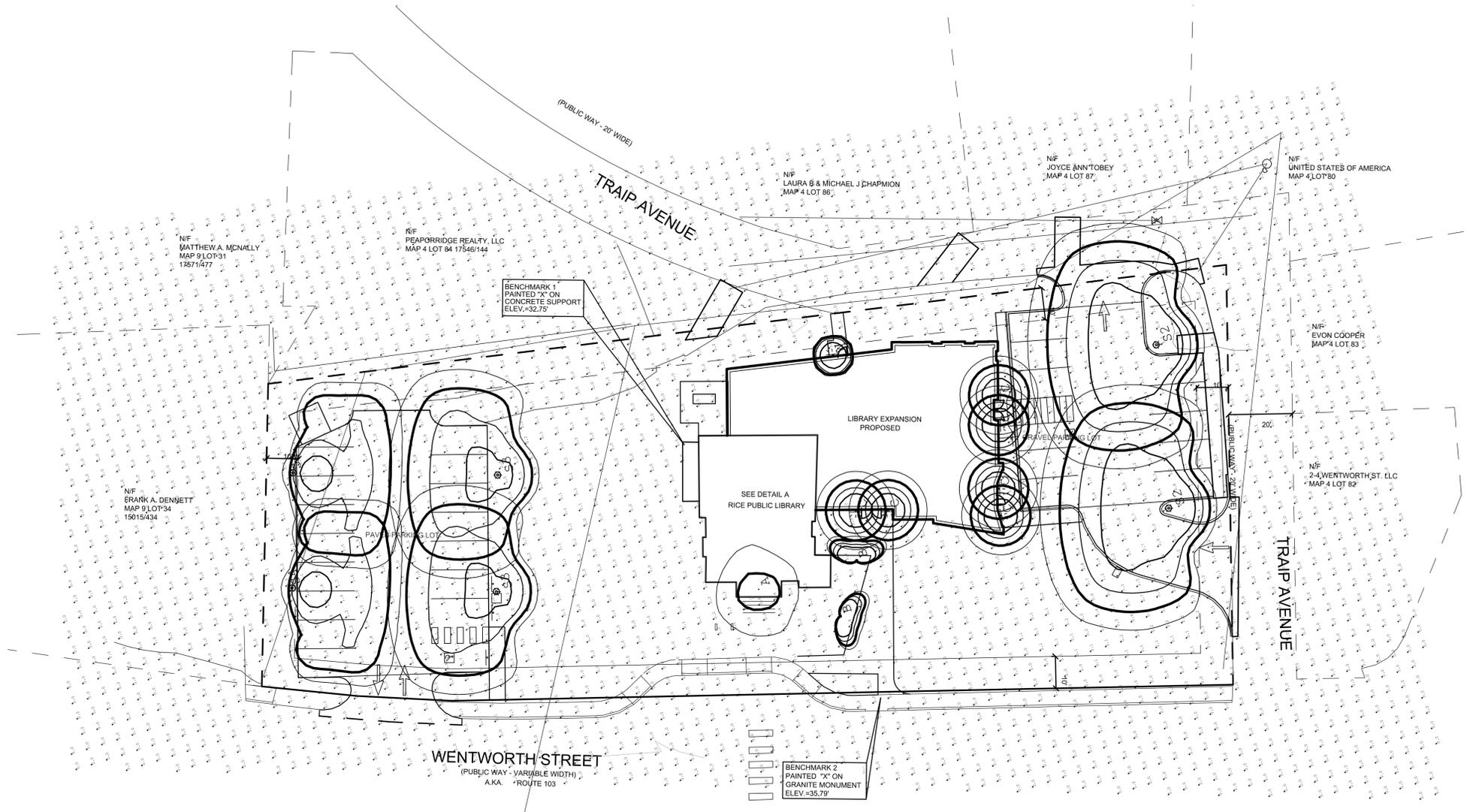
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DRAWN	SRC
CHECKED	SGD
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NOT FOR CONSTRUCTION



StatArea_1
 NORTHERN REMOTE PARKING LOT
 Illuminance (Fc)
 Average = 1.35
 Maximum = 2.9
 Minimum = 0.4
 Avg/Min Ratio = 3.38
 Max/Min Ratio = 7.25

StatArea_2
 SOUTH PARKING LOT
 Illuminance (Fc)
 Average = 1.77
 Maximum = 4.7
 Minimum = 0.2
 Avg/Min Ratio = 8.85
 Max/Min Ratio = 23.50

Symbol	Qty	Label	Arrangement	Description	[MANUFAC]
☐	1	A	SINGLE	PENDENT LIGHT WITH LED BULB	Verbatim Americas
○	2	B	SINGLE	FLINDT 31.5 15W LED/4000K 120-277 NPA POST W/ANCHORAGE UNIT DIM 0-10V	Louis Poulsen Lighting
○	6	C	SINGLE	55943	BEGA Converted by LUMCat V 19.09.2014 / H.R.
⊕	2	S2	SINGLE	ICS-E02-LED-E1-T4-XX/RSS4A12S-1NX (12' POLE)	EATON - INVUE (FORMER COOPER LIGHTING)
⊕	2	S3	SINGLE	ICS-E01-LED-E1-T4-XX/ RSS4A12S-N1X (12' POLE)	EATON - INVUE (FORMER COOPER LIGHTING)
⊕	2	S4	SINGLE	ICS-E01-LED-E1-SL4-HSS-XX/RSS4A12S-N1X (12' POLE)	EATON - INVUE (FORMER COOPER LIGHTING)
☐	1	W	SINGLE	33580	BEGA Converted by LUMCat V 22.04.2016 / H.R.

REV.	BY	DATE	STATUS
D	SGD	07/23/2020	REVISED FOR VALUE ENGINEER
C	SGD	03/12/2020	REVISED PER STAFF AND CLIENT COMMENTS
B	SGD	02/06/2020	ISSUED FOR SITE PLAN REVIEW
A	BY	08/27/2019	ISSUED FOR CLIENT USE

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIQS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC.

SEBAGO
 TECHNICS
 WWW.SEAGOTECHNIQS.COM
 75 John Roberts Rd.
 Suite 1A
 South Portland, ME 04106
 Tel: 207-200-2100

PHOTOMETRIC PLAN - BY OTHERS
 OF:
RICE PUBLIC LIBRARY
 8 WENTWORTH STREET
 KITTERY, MAINE 03904
 FOR:
LASSEL ARCHITECTS
 P.O. BOX 370, 370 MAIN STREET
 SOUTH BERWICK, MAINE 03908

SCOTT SIMONS ARCHITECTS
 75 YORK STREET
 PORTLAND, MAINE 04101

DESIGNED	BY OTHERS
DRAWN	BY OTHERS
CHECKED	BY OTHERS
DATE	07/23/2020
SCALE	1" = 20'
PROJECT	18438

NOTE: LIGHTING PLAN DONE BY CHARRON INC.



July 23, 2020
18438

Mr. Bart McDonough, Town Planner
Town of Kittery
200 Rogers Rd.
Kittery, ME 03904

Supplemental Submission - Site Plan Review Application
Rice Public Library, 8 Wentworth Street

Dear Bart:

On behalf of Rice Public Library (applicant) I am providing the attached supplemental plan set and supportive information to share with the Planning Board and staff. This package includes a revised site plan set and responses to staff comments made back in February of this year.

Since this project was last in front of the Board, the design and construction management team has been refining the building and site plans and have made advancements in project cost. Based on this refinement we have incorporated several design changes to the project to reduce cost. The attached plan set incorporates the changes made to the site. These changes are as noted:

1. The walkway, stairs and drainage system from the lower parking lot to the front entry have been eliminated. Visitors at the lower level can enter the building through the lower level. In addition, the walkway that angled across the front lawn to the main entry has been eliminated. Pedestrians can continue up the new public sidewalk on Wentworth Street to the main entry walk.
2. The existing library entry paving and signage will remain. The proposed new signs and walks have been eliminated.
3. The existing gardens to the north of the existing library building will remain as is at this time. Some plant removal will be required on the northern end to accommodate the larger parking lot. The long-term plan will be to install the children's gardens and walkways, as previously designed, at a later date. In the interim, visitors parking in the upper lot can access the main entry via the new public sidewalk on Wentworth Street.
4. The existing walkway, that traverses from Traip Avenue to the upper parking lot, will remain as a pedestrian path. This path will continue to serve as a surface drainage way for stormwater from the upper parking lot to drain to down to Traip Avenue. The proposed catchbasin at the bottom of the slope will collect this runoff before entering the street.
5. The main walkway to the front entry has been reduced in width and benches have been eliminated. These benches can be added at a later date as funds permit.
6. The building addition footprint has been simplified and reduced slightly in area.
7. To address concerns, raised by the Fire Chief and public works, for emergency vehicle turning movements, at the bottom of Traip Avenue, we will not be encroaching into the existing roadway with site work. Instead we have eliminated the retaining wall, at the lower parking lot, we have

placed reclaimed granite curbs on this slope in order to maintain the existing road width. This design will be more attractive than the retaining wall.

8. A dumpster enclosure has been added to the upper parking lot.

The following are responses to Staff comments received from Kathy Conner in her email dated March 5, 2020. Her comments are noted below with our responses shown in ***Bold Italics***.

- There were concerns from the Fire Chief as to fire vehicles being able to negotiate the back corner on Traip Ave if the boundary line as shown on the plans is used (currently that corner is paved and seems part of the road)

See item # 7 above.

- Curbing should be built on a concrete base (embedded in concrete).

This detail has been revised. See Sheet 7 of 8.

- Sloped curbing is necessary along Traip Avenue – it is narrow so fire vehicles may need to run up on the curb.

No curbing is proposed along Traip Avenue. The existing asphalt drainage swale will remain.

- No trees over 10 feet tall at maturity should be located along the back of the library (currently have Acer freemanii or Autumn Blaze maple on landscaping plan in that location which get large) to ensure fire equipment access to roof.

The trees have been replaced with Malus Camelot. This is dwarf crabapple tree with a mature height of 8 to 10 feet.

- Where asphalt walkways and the concrete sidewalk meet, the joint should be squared off.

Walkways have been revised.

- Fire Chief wants to see floor plans to ensure mechanical room is located properly.

Floorplans will be provided to the Fire chief by the Architect via separate cover.

- The kiosk/sign near the sidewalk should be mounted in concrete

The existing sign will remain. This item is not applicable.

- A dumpster still needs to be located somewhere on the site.

The dumpster enclosure has been added to the upper parking lot.

- The retaining wall is still in play and may be contingent on what we learn about the corner/fire equipment issue.

See item # 7 above.

- We'll also need to have you request a waiver for a sidewalk along Traip Avenue (the Library is on a corner lot) as well but that is a procedural issue and can be handled with a waiver request form available from the Town's website.

Waiver request is attached.

We have also made additional plan corrections and provided additional information in response to Staff Review from the Planning Board Meeting Agenda for Item 3 dated February 27th, 2020. These items include the following:

1. All abutters, including those across the street, are added to the plan along with map and lot numbers.
2. The Map and Lot is shown on the plan and title block.
3. The record owner has been changed and new deed is provided.
4. Simons Architects have provided a narrative to clarify the miscellaneous variation request for the Rice Library as they relate to the Zoning Board of Appeals meeting from January 20, 2020

I trust this supplemental packet addresses staff comments and that the review of this project can continue on the next available Planning Board agenda. If you or Town staff require additional information, please contact me.

Sincerely,

SEBAGO TECHNICS, INC.



Stephen G. Doe, RLA, LEED-AP
Landscape Architect

SGD: llg
Enc.

cc: Kendra Amaral, Town Manager
Ryan Kanteres, Scott Simons Architects



QUITCLAIM DEED WITH COVENANT

KNOW ALL PERSONS BY THESE PRESENTS, That RICE PUBLIC LIBRARY, a nonprofit corporation duly organized and existing under the laws of the State of Maine with a principal place of business at Kittery, County of York and State of Maine, for consideration paid, grants to THE INHABITANTS OF THE TOWN OF KITTERY, a body politic and incorporated subdivision of the State of Maine, whose mailing address is 200 Rogers Road, Kittery, Maine 03904, with QUITCLAIM COVENANT, two (2) certain lots or parcels of land, together with the buildings and any improvements located thereon, situated at 8 Wentworth Street and 2 Walker Street, respectively, in the Town of Kittery, County of York and State of Maine, and being more specifically bounded and described as follows:

See attached EXHIBIT A for a more specific description of the premises herein conveyed, which description is hereby incorporated herein by this reference.

Meaning and intending to convey and hereby conveying the same premises conveyed to Rice Public Library as follows:

1. As to 8 Wentworth Street, by release deed from Lester W. Frisbee, Elizabeth B. Brewster and Judith Maby, Trustees under the Will of Arabella Rice, dated October 6, 1975 and recorded in the York County Registry of Deeds at Book 2099, Page 425; and,
2. As to 2 Walker Street, by municipal trust deed from L. Charles Chase, Norman Cook, Cecil J. Rhodes, Dorothy Kraft and Bishop L. Buckley, Jr., Trustees of the Mary Safford Wildes Trust, dated September 30, 1998 and recorded in said Registry at Book 4861, Page 026.

IN WITNESS WHEREOF, RICE PUBLIC LIBRARY has caused this instrument to be executed by the President of its Board of Directors this 1st day of July 2019.

RICE PUBLIC LIBRARY



Witness

By: 

Rachel J. Dennis, Its President, duly authorized

NO R.E. TRANSFER TAX PAID

4p → Town of Kittery
200 Rogers Rd
Kittery Me 03904

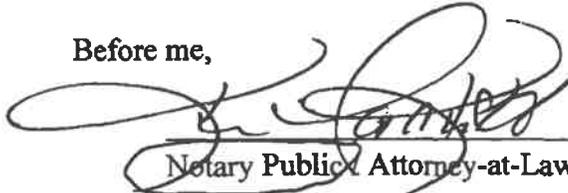
STATE OF MAINE

COUNTY OF YORK

07 01, 2019

Personally appeared the above-named **Rachel J. Dennis**, President of the Board of Directors of Rice Public Library, and acknowledged her execution of the foregoing instrument to be her voluntary act and deed in her said capacity, and the voluntary act and deed of said Rice Public Library.

Before me,



Notary Public & Attorney-at-Law

Print Name: Kim TACKETT

My Commission expires: _____

KIM R. TACKETT, Notary Public
My Commission Expires November 26, 2020

EXHIBIT A

8 Wentworth Street:

A certain lot or parcel of land together with the buildings and improvements thereon situated on the southeasterly side of Wentworth Street in the Town of Kittery, County of York and State of Maine, bounded and described as follows:

Beginning at a point in the southeasterly sideline of Wentworth Street and at the southwesterly corner of a lot now or formerly owned by William E. Dennett; thence proceeding in a southwesterly direction by said Wentworth street for a distance of three hundred (300) feet, more or less, to the intersection of Traip Avenue with Wentworth Street; thence turning and running southeasterly along the sideline of Traip Avenue, one hundred twenty (120) feet, more or less; thence turning and running northeasterly along the sideline of Traip Avenue to a point at the southwesterly corner of a lot now or formerly owned by Richard E. Leary and Mildred M. Leary; thence continuing by the westerly sideline of land now or formerly owned by said Richard E. Leary and Mildred M. Leary, ninety-eight (98) feet, more or less, to land now or formerly of said William E. Dennett; thence turning and running in a northwesterly direction along land now or formerly of said William E. Dennett, eighty-eight (88) feet, more or less, to the point of beginning.

Excepting from the above-described premises that portion conveyed to John F. Mathews by deed dated May 23, 1891 and recorded in York County Registry of Deeds in Book 446, Page 30.

See also "Standard Boundary Survey of the Rice Public Library Lot", dated 1/18/91, by Easterly Surveying, recorded in the York County Registry of Deeds at Plan Book 201, Page 11.

2 Walker Street:

All the land, together with the buildings and other improvements located thereon, situate at the intersection of Walker Street and Wentworth Street, so-called, in the Town of Kittery, County of York, and State of Maine, and being further bounded and described as follows:

A certain lot or parcel of land with the buildings thereon situate in Kittery, County of York, State of Maine, and bounded Southerly by Wentworth Street; Westerly by Walker Street; Northerly by the land now or formerly of Wheeler; Easterly by the land formerly of Dr. Paul Taylor and now or formerly of Bruce Piche.

Also excepting from both of the above-described premises any portions taken by the State of Maine. See "State of Maine Department of Transportation Bureau of Highways Right of Way Map State Highway '100'", dated May 1981, recorded at the York County Registry of Deeds at Plan Book 139, Page 57.



TOWN OF KITTERY ~ MAINE

PLANNING OFFICE

200 Rogers Road, Kittery, Maine 03904
 PHONE: (207) 475-1323
 Fax: (207) 439-6806
www.kittery.org

APPLICATION: REQUEST FOR WAIVER

THIS REVIEW PROCESS REQUIRES APPROVAL FROM BOTH THE TOWN PLANNER AND THE CODE ENFORCEMENT OFFICER

PROPERTY DESCRIPTION	Parcel ID	Map	4	Lot	88	Zone Base Overlay	MU-KF	Total Land Area	34,947 S.F. .8 AC
	Physical Address: 8 WENTWORTH STREET								

PROPERTY OWNER'S INFORMATION	Name	TOWN OF KITTERY			Mailing Address	200 ROGERS ROAD KITTERY, ME 03904			
	Phone	207.475-1323							
	Fax	207.439-6806							
	Email								

APPLICANT'S AGENT INFORMATION	Name	STEVE DOE			Mailing Address	SEBAGO TECHNICS, INC 75 JOHN ROBERTS ROAD SUITE 4A SOUTH PORTLAND, ME 04106-			
	Phone	207.200.2056							
	Fax								
	Email	sdoe@sebagotechnics.com							

	Ordinance Section	Describe why this request is being made.
DESCRIPTION	***EXAMPLE*** 16.32.560 (B)- OFFSTREET PARKING.	***EXAMPLE*** Requesting a waiver of this ordinance since the proposed professional offices have a written agreement with the abutting Church owned property to share parking.
	16.8.4.13 (A) SIDEWALKS	REQUESTING WAIVER OF PUBLIC 6' FT WIDE SIDEWALK ON TRAIPI AVE. THE LIBRARY IS A CORNER LOT WITH TRAIPI ON TWO SIDES. A NEW SIDEWALK IS PROPOSED ON WENTWORTH. THERE IS NOT ADEQUATE ROW WIDTH IN TRAIPI AVE TO PLACE A SIDEWALK. ROAD IS NARROW, STEEP AND/OR HAS ON STREET PARKING WHICH PROHIBITS SIDEWALK PLACEMENT.

I certify that, to the best of my knowledge, the information provided in this application is true and correct and will not deviate from the plans submitted without notifying the Kittery Planning Department of any changes.

Applicant's Signature:		Owner's Signature:	
Date:	7/22/20	Date:	



75 York Street
Portland, Maine 04101
phone 207 772 4656
fax 207 828 4656
www.simonsarchitects.com

date: 02.19.2020
project: RICE PUBLIC LIBRARY
to: The Town of Kittery
200 Rogers Road
Kittery, Maine 03904

phone: (207) 475-1305

subject: Narrative on the Miscellaneous Variation Requests for Rice Public Library

The application requested two miscellaneous variations be considered for an addition to a non-conforming historic structure. The first request regarded the need for a project specific review of the applicability of section 16.3.2.15.D.4.e.2. of the town ordinance. The second request was for a clarification of the definition of maximum allowable building height for additions to non-conforming historic structures.

The proposed Rice Public Library project consolidates the library operations to one building and addresses the current facilities accessibility and life safety code deficiencies. The project is designed to the requirements of the MU-KF zone, however it is an addition to an existing historic, public, non-conforming building, it required the pursuit of these miscellaneous variation requests.

The proposed design maintains the current use and meets the requirements of the zone's minimum; lot size, street frontage, front yard, rear and side yards, separation distances, and set-backs, as well as the maximum lot coverage requirements.

The existing building currently exceeds the allowable height in the MU-KF zone and this will remain unchanged as a part of this project, the existing structure will remain the highest part of the building. The proposed building increases the footprint by more than 30%. (existing footprint is 1,700 square feet, the proposed total footprint is 5,170 square feet) 16.3.2.15.D.4 requires the project meet the additional requirements (a through h). The project meets the applicable requirements of this section, with the exception with the specific provision of 16.3.2.15.D.4.e.2. Implementing the requirements of section e.2 on this project would detrimentally impact the historic structure by requiring the removal of dormers and portions of the historic slate roof, as well as requiring more of the building be built to a non-conforming height. This application of the requirements of section 16.3.2.15.D.4.e.2. appear to contradict the National Park Service technical brief on recommendations for additions to historic structures on the national Historic Register.

The two requests for miscellaneous variations were heard at the Zoning Board of Appeals meeting on January 20th, 2020 and approved.

project: Rice Public Library

date: 2/19/20



TOWN OF KITTERY MAINE

TOWN PLANNING AND DEVELOPMENT DEPARTMENT

200 Rogers Road, Kittery, Maine 03904

Phone: (207) 475-1323

Fax: (207) 439-6806

www.kittery.org

APPLICATION: SITE OR SUBDIVISION-SKETCH PLAN REVIEW

Application Fee:		<input type="checkbox"/> \$200.00		Amount Paid:\$		Date:	
PROPERTY DESCRIPTION	Parcel ID	Map Map 4	Zone(s)-Base: MU-KF	Total Land Area 0.80 Acres			
	Lot Lot 88	Overlay: None	MS4		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		
	Physical Address	8 Wentworth Street, Kittery, Maine 03904					
PROPERTY OWNER'S INFORMATION	Name	Kendra Amaral		Mailing Address	200 Rogers Road Kittery, ME 03904		
	Phone	207.475.1329					
	Fax						
	Email	kamara@kitterymaine.org					
APPLICANT'S AGENT INFORMATION	Name	Ryan Kanteres		Name of Business	Scott Simons Architects		
	Phone	207.772.4656 x104		Mailing Address	75 York Street Portland, ME 04101		
	Fax						
	Email	ryan@simonsarchitects.com					
PROJECT DESCRIPTION	<i>See reverse side regarding information to be provided.</i>						
	Existing Land Use(s):						
	Town Library						
	Proposed Land Use(s) and Development:						
	Town Library						
	Please describe any construction constraints (wetlands, shoreland overlay zone, flood plain, non-conformance, etc.)						
The proposed projects is designed to the requirements of the MU-KF zone, however it is an addition to an existng historic, public, non-conforming building which will require the pursuit of a miscellaneous variation request.							
There is no specific minimum off-street parking requirement for library use established within the Kittery town ordinance. Working from research on comparable projects, the proposed project applies a standard of one parking space for every 350 square feet of public floor area, and 1 parking space for every 2.0 FFE employees. In addition to the 27 off-street parking space there will be 2 dedicated short term spaces on the Wentworth street side of the property. The combined 29 space represents a 16 space increase from the 13 spaces currently available at the Rice Public Library, and a 5 space increase from the combined total from both the Rice and Taylor properties							
I certify, to the best of my knowledge, this application information is true and correct and I will not deviate from the Plan submitted without notifying the Town Planning and Development Department of any changes.							
Applicant's Signature:	_____			Owner's Signature:	_____		
Date:	_____			Date:	_____		

MINIMUM PLAN SUBMITTAL REQUIREMENTS

- 15 Copies of this Application, Vicinity Map, and the Sketch Plan - 5 of which must be 24"X 36"

Sketch Plan format and content:

- A) Paper Size; no less than 11" X 17" or greater than 24" X 36"
- B) Plan Scale
 - Under 10 acres: no greater than 1" = 30'
 - 10 + acres: 1" = 50'
- C) Title Block
 - Applicant's name and address
 - Name of preparer of plan with professional information
 - Parcel's Kittery tax map identification (map – lot) in bottom right corner

NOTE TO APPLICANT: PRIOR TO A PLANNING BOARD SITE WALK, TEMPORARY MARKERS MUST BE ADEQUATELY PLACED THAT ENABLE THE PLANNING BOARD TO READILY LOCATE AND EVALUATE THE DEVELOPMENT'S DESIGN.

Vicinity Map – map or aerial photo showing 1,000 feet around the site.

Sketch Plan must include the following existing and proposed information:

Existing:

- Land Use Zone and boundary
- Topographic map (optional)
- Wetlands and flood plains
- Water bodies and water courses
- Parcel area
- Lot dimensions
- Utilities (Sewer/septic, water, electric, phone)
- Streets, driveways and rights-of-way
- Structures

Proposed: (Plan must show the lightened existing topography under the proposed plan for comparison.)

- Recreation areas and open space
- Number of lots and lot areas
- Setback lines and building envelopes
- Lot dimensions
- Utilities (Sewer/septic, water, electric, phone)
- Streets, driveways and rights-of-way
- Structures

Distance to:

- Nearest driveways and intersections
- Nearest fire hydrant
- Nearest significant water body

AN APPLICATION THE TOWN PLANNER DEEMS SUFFICIENTLY LACKING IN CONTENT WILL NOT BE SCHEDULED FOR PLANNING BOARD REVIEW.



TOWN OF KITTERY
CODE ENFORCEMENT OFFICE
 200 ROGERS ROAD, KITTERY, MAINE 03904
 PHONE: (207) 475-1305
 FAX: (207) 439-6806

DATE SUBMITTED	12 / 23 / 2019
MAP & LOT	MAP 4 LOT 88
ASA FEE	WAIVED
DATE PAID	12 / 23 / 2019
DATE COMPLETE	12 / 23 / 2019
HEARING DATE	1 / 14 / 2020

Application to the
BOARD OF APPEALS

MISCELLANEOUS VARIATION REQUEST

I have reviewed Town Code Title 16, Board of Appeals By-Laws, and the Ordinance(s) pertinent to this application. My request is based on Title 16 Section 6.4.C, Miscellaneous Variation Request and:

- Nonconformity (16.7.3);
- Nonconforming Residential Use in Commercial Zones Expansion (16.7.3.3.B(3)(c));
- Nonconforming Lots of Record (16.7.3.5.A);
- Sign Violation and Appeal Standards (16.8.10.13);
- Parking, Loading and Traffic Standards (16.8.9);
- Accessory Dwelling Units Standards (16.8.25.4.C).

IN ORDER FOR AN APPLICATION TO BE DETERMINED COMPLETE AND SCHEDULED FOR A PUBLIC HEARING: APPLICATIONS FORMS MUST BE COMPLETE; 10 SETS OF DOCUMENTATION PROVIDED; & ALL FEE(S) PAID

PROPERTY INFORMATION					
ADDRESS	Rice Public Library - 8 Wentworth Street, Kittery, Maine 03904				
MAP	4	LOT #	88	LOT SIZE	0.80 ACRES
BASE ZONE(S):	MU-KF		OVERLAY ZONE(S):	NONE	
The subject property:					
[is / is not] in a Shoreland overlay or Resource Protection zone; [is / is not] in a floodplain; AND [does / does not] have outstanding code violations; and, if so, granting this appeal provides resolution.					
PROPERTY OWNER: I have right, title or interest in the affected property, or issue, as shown by:					
NAME(S)	Town of Kittery				
MAILING ADDRESS	200 Rogers Road, Kittery, ME 03904				
CITY	Kittery	STATE	Maine	ZIP CODE	03904
PHONE No.	207.475.1329		e-MAIL:	kamaral@kitterymaine.org	

NOTE: You may have an attorney represent you, but such representation is not necessary. You may also be represented by a designated agent (e.g. family member, neighbor, engineer, contractor) as you so desire.

APPLICANT (if different) I am an agent of the applicant with standing, as shown by:					
NAME(S)	Ryan Kanteres - Scott Simons Architects				
MAILING ADDRESS	75 York St				
CITY	Portland	STATE	Maine	ZIP CODE	04101
PHONE No.	(207) 772-4656		e-MAIL:	ryan@simonsarchitects.co1 n	

To the best of my knowledge, all information submitted on and with this application is true and correct.

Date: 12 / 23 / 2019

By:

(Signature)

Ryan Kanteres

(Print Name)

AFFIRMATIONS (Please read and check all the boxes to confirm)											
Identify relevant Town code sections:											
TITLE	16	CHAPTER	3	SECTION	2	15	D	4	e.2	PAGE	
TITLE	16	CHAPTER	2	SECTION	2					PAGE	
TITLE	16	CHAPTER	3	SECTION	2	15		2	g	PAGE	

I understand that the Board of Appeals:

- May hear and decide on a miscellaneous variation request within the limitations set forth on page 1 of this application.
- Appears to have jurisdiction to hear this request; hearing must be held within 30 days of this request filing; application must be complete; and, public and abutter notice must be made no less than seven days prior to the scheduled hearing.
- Will conduct this hearing De Novo (meaning the Board acts if it were considering the question for the first time, affording no deference to the preceding agency decisions; may receive new evidence and testimony consistent with this Town Code Title 16 and the Board rules; and, conduct additional hearings and receive additional evidence and testimony).
- Will determine my Burden of Proof:
 - 1) What does the ordinance/statute require the applicant to prove?
 - 2) Does the ordinance/statute prohibit or limit the type of use being proposed?
 - 3) What factors must be considered under ordinance/statutes to decide whether to grant the request?
 - 4) Is the evidence presented substantial? Is it credible? Is it outweighed by conflicting evidence?
- Requires substantial evidence as the Standard of Review for this request, meaning:

"More than a mere scintilla". It means such relevant evidence as a reasonable mind might accept as adequate to support a conclusion. The preponderance of evidence standard is met if the proposition is more likely to be true than not true. The standard is satisfied if there is greater than fifty percent chance that the proposition is true.
- May hear, decide, and approve variations in accordance with the criteria listed in Town Code Title 16, Sections 6.6, Basis for Decision; and may consider other Title 16 standards.
- Approval may not be granted for an application involving a structure if the structure would be located in an unapproved subdivision or would violate any other local ordinance or regulation or any state law which the municipality is responsible for enforcing.
- Is only legally authorized to deal with issues arising from the list above, and do not include such matters as constitutionality, civil rights, criminal acts, property disputes, surliness, etc.
- Will not even hear my appeal unless I can show that I have "standing" to have my complaint heard;
- Purpose of establishing my case for "standing" is to limit appeals on an issue to those who are directly involved and/or affected.
- Will try to decide my case based only on the factual information presented and what is written in the pertinent Town ordinance/regulation, State statute(s)/regulation(s) and the rulings of the State Supreme Judicial Court.
- Tries to make decisions it believes would be upheld if appealed to Superior Court.

Additional Information

1. Please complete this application in its entirety. You may add other information as may be needed to adequately describe the purpose of seeking relief from the Board of Appeals.
2. A detailed plot plan or diagram must be provided showing dimensions and shape of the lot, the size and locations of existing buildings, the locations and dimensions of proposed buildings or alterations, and any natural or topographic features (wetlands, streams, etc) of the lot in question. This plot plan should also include the distances to the nearest structures on abutting properties and show the detail of any rights-of-way, easements, or other encumbrances.
3. Blueprints, surveys, photos and other documents may be helpful in explaining your request and should be included.

STATEMENT:

Describe the general nature of the request:

This application requests two miscellaneous variations be considered for an addition to a non-conforming historic structure. The first request is regarding the need for a project specific review of the applicability of section 16.3.2.15.D.4.e.2. of the town ordinance. The second request is for a clarification of the definition of maximum allowable building height for additions to non-conforming historic structures.

The proposed Rice Public Library project consolidates the library operations to one building and addresses the current facilities accessibility and life safety code deficiencies. The project is designed to the requirements of the MU-KF zone, however it is an addition to an existing historic, public, non-conforming building which will require the pursuit of these miscellaneous variation requests.

The proposed design maintains the current use and meets the requirements of the zone's minimum; lot size, street frontage, front yard, rear and side yards, separation distances, and setbacks, as well as the maximum lot coverage requirements.

The existing building currently exceeds the allowable height in the MU-KF zone and this will remain unchanged as a part of this project, the existing structure will remain the highest part of the building. The proposed building increases the footprint by more than 30%. (existing footprint is 1,700 square feet, the proposed total footprint is 5,170 square feet) 16.3.2.15.D.4 requires the project meet the additional requirements (a through h). The project meets the applicable requirements of this section, with the exception with the specific provision of 16.3.2.15.D.4.e.2. Implementing the requirements of section e.2 on this project would detrimentally impact the historic structure by requiring the removal of dormers and portions of the historic slate roof, as well as requiring more of the building be built to a non-conforming height. This application of the requirements of section 16.3.2.15.D.4.e.2. appear to contradict the National Park Service technical brief on recommendations for additions to historic structures on the national Historic Register.

The proposed project is the result of a transparent process and has been supported through public voting. The project does not adversely effect adjacent properties, and the use is consistent with public desire and zoning requirements. The proposed project directly contributes to the safety, health, and welfare of the Kittery foreshore.



TOWN OF KITTERY, MAINE
BOARD OF APPEALS
APPLICATION CHECKLIST

APPLICANT: RICE PUBLIC LIBRARY

DATE SUBMITTED	12/23/2019
MAP & LOT	MAP 4 Lot 88
ASA FEE	_____
DATE PAID	_____
DATE COMPLETE	12/23/2019
HEARING DATE	1/14/2020

APPLICATION FORM FILLED OUT COMPLETELY & SIGNED

YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>
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Supporting Documents provided:

- Citations of pertinent ordinance(s)
- Deed(s)
- Map(s)
- Blueprint(s)
- Survey(s)
- Photo(s)
- Other: _____

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Detailed plot plan or diagram showing:

- Dimensions and shape of the lot
- Size and locations of existing buildings
- Locations and dimensions of proposed buildings or alterations
- Natural or topographic features (wetlands, streams, etc) of the lot
- Distances to the nearest structures on abutting properties
- Detail of any rights-of-way, easements, or other encumbrances.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Administrative Appeal Information:

- Detailed description of decision appealed
- Date on which the decision was made and by whom
- Facts surrounding the appeal
- Statement of what is wrong about the decision appealed
- Relief action requested to be taken in the matter
- Statement of how the decision will affect applicant/property

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Date: 12/23/2019

By: _____
(Signature)
RYAN KANTARES
(Print Name)