

Town of Kittery
Planning Board Meeting
November 18, 2021

ITEM 1—134 Whipple Road—Shoreland Development Plan Review

Action: Continue the agenda item to a subsequent meeting, or approve or deny plan: Pursuant to §16.10.3.2 Shoreland Development Review and Article III Nonconformance of §16.7 *General Development Requirements* of the Town of Kittery Land Use and Development Code, owners Nicolas and Amy Mercier and agent Altus Engineering, Inc. requests approval to reconstruct, relocate and expand a legally non-conforming structure on a legally non-conforming lot within the base zone setback of the Shoreland Overlay Zone located on real property with the address of 134 Whipple Road, Tax Map 10, Lot 6A, in the Residential-Urban (R-U) Zone and the Shoreland Overlay Zone (OZ-SL-250).

PROJECT TRACKING

| REQ'D | ACTION | COMMENTS | STATUS |
|-------|-------------------------|-------------------------------------|----------------|
| NO | Sketch Plan | None | NOT APPLICABLE |
| NO | Site Visit | October 1, 2020; August 26, 2021 | HELD |
| YES | Completeness/Acceptance | August 12, 2021 | HELD |
| NO | Public Hearing | Not pursued by the Board | NOT PURSUED |
| YES | Final Plan Approval | TBD; may occur on November 18, 2021 | PENDING |

Applicant: Prior to the signing of the approved Plan any **Conditions of Approval related to the Findings of Fact along with waivers and variances (by the BOA) must be placed on the Final Plan and, when applicable, recorded at the York County Registry of Deeds. PLACE THE MAP AND LOT NUMBER IN 1/4" HIGH LETTERS AT LOWER RIGHT BORDER OF ALL PLAN SHEETS.** As per Section 16.4.4.13 - Grading/Construction Final Plan Required. - Grading or construction of roads, grading of land or lots, or construction of buildings is prohibited until the original copy of the approved final plan endorsed has been duly recorded in the York County registry of deeds when applicable.

Project Introduction

134 Whipple Road ("Property") is located along the bank of the Piscataqua River within the Residential- Urban (R-U) zoning district and Shoreland Overlay Zone (OZ-SL-250). The property is a legally non- conforming lot, containing a legally non-conforming dwelling unit as the lot's area is 13,381-sf (0.30-ac), whereas the Residential-Urban's dimensional standard calls for 20,000-sf (0.45-ac) and the dwelling unit (1,358-sf; 10.2% devegetation) is positioned within the base zone setback (100-ft.) of the Shoreland Overlay Zone along with other accessory structures and impervious surfaces.

At the August 12, 2021, Planning Board meeting, the Board was introduced to the new shoreland development plan that sought to reconstruct and relocate a single-family dwelling unit to become less nonconforming. While there were no major concerns jeopardizing the application, there were a few secondary aspects of the plan that appeared not to comply with Title 16 standards. Specifically, the Board had reservations over the direct approach of the proposed stairway leading from the backyard to the existing pier. The Board requested that the applicant look for alternative routes that would run more parallel to the existing contours. The applicant objected, stating that the proposed layout was the best approach to the pier and made the most sense from a topography perspective. The code provision governing this issue falls under §16.9.1.3.E where, "...development must be designed to fit with the topography and soil of the site. Areas of steep slopes where high cuts and fills may be required are to be avoided wherever possible, and natural contours must be followed as closely as possible..." The issue remained unresolved and there was consensus between the Board and applicant to schedule another site walk for the purpose of gaining a better understanding of the proposed plan and, more specifically, to evaluate the best configuration and approach of the new stairway to the water dependent use in a manner that satisfies the criteria under §16.9.1.3.E.

Staying within the backyard, the Board also questioned the permissibility of the proposed patio. At first, it was unclear of the patio's constitution, which was revealed ultimately by the applicant to comprise of permeable stone-like pavers. Considering this information, the Board dismissed the proposal, citing the code provision under §16.3.2.17.D(2)(b). The issue too remained outstanding, compelling the Board to request from the applicant an alternative plan to resolve the code deviation.

The Board also asked staff to clarify that the proposed expansion was under the permissible rate, as set forth under §16.7.3.3.B(3)(3)[5][a]. After further examination by staff, the existing footprint of the dwelling unit plus other structures totaled 1,611-sf. With a proposed expansion to 1,853-sf, using the parameters under the aforementioned code standard, the maximum expansion that may occur is 483.3-sf. Whereas the proposed relocation/expansion yielded an increase footprint of only 242-sf, which is a 15% footprint expansion, appearing to comply with the standard. As for the relocation provisions under §16.7.3.3.A(2), it is staff's opinion, given the site's physical and zoning conditions, that the proposed relocation appears to be in best position possible and satisfies the criteria under §16.7.3.3.A(2) and §16.7.3.3.C(1).

On August 26, 202, the Planning Board conducted a site walk with the applicant and engineer. At the site walk the Planning Board became reacquainted with the property and was guided around to observe the proposed locations of the planned development. Of primary concern was the proposed path to the pier, stormwater management methods and the revegetation plan. Concerning the path, after a lengthy discussion, there appeared to be general consensus that the proposed path would be the best way to the water dependent use. Reusing the existing path would have potentially cause both more erosion and disturbance to soil. Staying with the proposed walkway, the proposed plan has the existing hickory to the southwest of the dwelling unit removed from the property in order to make space. The applicant provided an opinion from an ISA certified arborist declaring the tree to be at risk of falling onto targets nearby. Planning Board will need to decide whether or not it agrees with the opinion.

In an updated application, a robust landscaping plan was submitted based on the direction the Planning Board gave the applicant at the August 12, 2021 meeting and the August 26, 2021 site walk. The Planning Board should review the plan and provide comments to the applicant. The last concern the Planning Board had was stormwater runoff. It appears that the combination of drip edge, riprap, and a new vegetation layout will help mitigate any stormwater that falls onto the lot or trespasses from Whipple Road. The Planning Board should discuss the adequacy of the revised plan and whether or not any additional measures should be incorporated into the plan to assist in further stormwater mitigation.

Application Review

| Code Ref. | §16.3 Article II Zone Définitions, Uses and Standards | |
|-------------------|--|---|
| | Standard | Comment |
| §16.3.2.4D(2)(b) | Minimum lot size: 20,000-sf. | Lot is 13,381-sf, making it legally nonconforming |
| §16.3.2.4D(2)(c) | Minimum street frontage: 100-ft. | It appears the standard is satisfied. |
| §16.3.2.4D(2)(d) | Minimum front setback: 30-ft. | It appears the standard is satisfied. |
| §16.3.2.4D(2)(e) | Minimum rear and side setbacks: 15-ft. | It appears the standard is satisfied. |
| §16.3.2.4D(2)(f) | Maximum building height: 35-ft. | It appears the standard is satisfied. |
| §16.3.2.4D(2)(g) | Maximum building coverage: 20% | It appears the standard is satisfied. |
| §16.3.2.17D(1)(d) | <p>The total footprint of devegetated area must not exceed 20% of the lot area located within the Shoreland Overlay Zone, except in the following zones:</p> <p>[1] Mixed-Use – Badgers Island (MU-BI) and Mixed-Use – Kittery Foreside (MU-KF) Zones, where the maximum devegetated area is 60%. The Board of Appeals may approve a miscellaneous appeal application to increase allowable devegetated area in the Mixed-Use – Badgers Island (MU-BI) Zone to 70% where it is clearly demonstrated that no practicable alternative exists to accommodate a water-dependent use.</p> <p>[2] Commercial (C1, C-2, C-3), Business – Local (B-L and B-L1) and Industrial (IND) Zones where the maximum devegetated area is 70%.</p> <p>[3] Residential – Urban (R-U) Zone where the lot is equal to or less than 10,000 square feet, the maximum devegetated area is 50%.</p> | Lot has an existing 24.6% devegetation count with a proposed decrease of .2%. Given the lot is above 10,000-sf, the lot is subject to a 20% devegetation rate, or, if higher, the preexisting rate. It appears the standard is satisfied. |
| §16.3.2.17D(2)(b) | Accessory patios or decks no larger than 500 square feet in area must be set back at least 75 feet from the normal high-water line of any water bodies, tributary streams, the upland edge of a coastal wetland, or the upland edge of a freshwater wetland. Other patios and decks must satisfy the normal setback required for principal structures in the Shoreland Overlay Zone. | It appears the standard is satisfied. |
| §16.3.2.17D(1)(g) | <p>Stairways or similar structures may be allowed with a permit from the Code Enforcement Officer to provide shoreline access in areas of steep slopes or unstable soils, provided the:</p> <p>[1] Structure is limited to a maximum of four feet in width;</p> <p>[2] Structure does not extend below or over the normal high-water line of a water body or upland edge of a wetland (unless permitted by the Department of Environmental Protection pursuant to the Natural Resources Protection Act, 38 M.R.S. § 480-C); and</p> <p>[3] Applicant demonstrates that no reasonable access alternative exists on the property.</p> | It appears the standard is satisfied. |

| Code Ref. | §16.7 Article III Nonconformance | |
|-------------------------|--|---|
| | Standard | Comment |
| §16.7.3.3.A(3) | <p>When it is necessary to remove vegetation within the water or wetland setback area to relocate a structure, replanting of native vegetation to compensate for the destroyed vegetation is required. The Planning Board or Board of Appeals may restrict mowing around and pruning of the replanted native vegetation to encourage a more natural state of growth. Tree removal and vegetation replanting is required as follows, effective 2-28-15:</p> <p>(a) Prior to the commencement of on-site construction, areas to remain undisturbed must be clearly marked with stakes and caution tape. All stakes, caution tape, silt fences, and other materials used during construction must remain until all on-site work is completed. Prior to removal, written permission to remove such materials must be given by the Code Enforcement Officer.</p> <p>(b) Trees removed to relocate a structure must be replanted with at least one native tree, six feet in height, for every tree removed. If more than five trees are planted, no one species of tree can be used to make up more than 50% of the number of trees planted. Replaced trees must be planted no farther from the water or wetland than the trees removed.</p> <p>(c) Other woody and herbaceous vegetation and ground cover that is removed, or destroyed, to relocate a structure must be reestablished. An area at least the same size as the area where vegetation and/or ground cover was disturbed, damaged, or removed must be reestablished within the setback area. The vegetation and/or ground cover must consist of native vegetation and/or ground cover similar to that disturbed, destroyed or removed.</p> <p>(d) Where feasible, when a structure is relocated on a parcel, the original location of the structure must be replanted with vegetation consisting of grasses, shrubs, trees or a combination thereof.</p> | After making a final determination on the tree of the path, it appears that these standards have been satisfied. |
| §16.7.3.3.B(3)[e][5][a] | For structures located less than the base zone setback from the normal high-water line of a water body, tributary stream, or upland edge of a coastal or freshwater wetland, the maximum combined total footprint for all structures may not be expanded to a size greater than 1,000 square feet, or 30% larger than the footprint that existed on January 1, 1989, whichever is greater. The maximum height of any portion of a structure that is located within the base zone setback may not be made greater than 20 feet, or the height of the existing structure, whichever is greater. | The proposed expansion (242-sf; 15%) falls well under the 30% percent threshold permitted. Accordingly, it appears the standard is satisfied. |
| §16.7.3.3.C(1) | In the Shoreland or Resource Protection Overlay Zone(s), any nonconforming structure which is located less than the required setback from a water body, tributary stream, or coastal or freshwater wetland and which is removed, damaged or destroyed, by any cause, by more than 50% of the market value of the structure before such damage, destruction or removal, may be reconstructed or replaced provided that a permit is obtained within 18 months of the date of said damage, destruction, or removal, and provided that such reconstruction or replacement is in compliance with the water body, tributary stream or coastal or freshwater wetland setback requirement to the greatest practical extent as determined by the Planning Board. In determining whether the structure reconstruction meets the setback to the greatest practical extent the Planning Board must consider, in addition to the criteria in § 16.7.3.3A(2), Nonconforming structure relocation, the physical condition and type of foundation present, if any. | It appears the standard is satisfied given that the proposed dwelling unit is moving further away from the highest annual tide and that there appears to be, considering the topography of the lot, no other viable location better positioned to host the new dwelling unit. |
| §16.7.3.3.C(5) | In the Shoreland or Resource Protection Overlay Zone(s), if the total footprint of the original structure can be reconstructed beyond the required setback area, no portion of the reconstructed structure may be reconstructed at less than the setback requirement for a new structure. If the reconstructed or replacement structure is less than the required setback, it may not be any larger than the original structure, except as allowed in § 16.7.3.3B, Nonconforming structure repair and expansion. | It appears the standard is satisfied. |

| Code Ref. | §16.10 Article V Preliminary Plan Application Review and Approval Process Phase | |
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| | Standard | Comment |
| §16.10.5.2.B(2) | With scale of the drawings no greater than one-inch equals 30 feet for developments less than 10 acres, and one inch equals 50 feet for all others; | It appears the standard is satisfied. |
| §16.10.5.2.B(3) | Code block in the lower right-hand corner. The block must contain: (a) Name(s) and address(es) of the applicant and owner; (b) Name of the project; (c) Name and address of the preparer of the plan, with professional seal, if applicable; (d) Date of plan preparation/revision, and a unique ID number for the plan and any revisions; | It appears the standard is satisfied. |
| §16.10.5.2.B(4) | Standard boundary survey conducted by a surveyor licensed in the State of Maine, in the manner recommended by the State Board of Registration for Land Surveyors; | It appears the standard is satisfied. |
| §16.10.5.2.B(5) | An arrow showing true North and the magnetic declination, a graphic scale, and signature blocks for the owner(s) and members of the Planning Board; | It appears the standard is satisfied. |
| §16.10.5.2.B(6) | Locus map showing the property in relation to surrounding roads, within 2,000 feet of any property line of the development; | It appears the standard is satisfied. |
| §16.10.5.2.B(7) | Surveyed acreage of the total parcel, of rights-of-way, wetlands, and area to be disturbed and amount of street frontage; | It appears the standard is satisfied. |
| §16.10.5.2.B(8) | Names and addresses of all owners of record of property abutting the development, including those across a street; | It appears the standard is satisfied. |
| §16.10.5.2.B(9) | Locations of essential physical features such as watercourses, forest cover, and outcroppings; | It appears the standard is satisfied. |
| §16.10.5.2.B(10) | Proposed development area conditions including, but not limited to: (a) Structures; their location and description including signs, to be placed on the site, floor plan of exterior walls and accesses located within 100 feet of the property line; (b) Utilities proposed including power, water, sewer, holding tanks, bridges, culverts and drainageways; (c) Sewage facilities type and placement. Test pit locations, at least two of which must meet the State of Maine Plumbing Code requirements, must be shown; (d) Domestic water source; (e) Parks, open space, or conservation easement locations; (f) Lot lines, interior and exterior, right-of-way, and street alignments; (g) Road and other paved ways plans, profiles and typical sections including all relevant data; (h) Setbacks existing and proposed; (i) Machinery permanently installed locations likely to cause appreciable noise at the lot lines; (j) Raw, finished or waste materials to be stored outside the buildings, and any stored material of a toxic or hazardous nature; (k) Topographic contours of existing contours and finished grade elevations within the development; (l) Pedestrian ways/sidewalks, curbs, driveways, fences, retaining walls and other artificial features locations and dimensions proposed; (m) Temporary marker locations adequate to enable the Planning Board to readily locate and appraise the layout of the development; (n) Land proposed to be dedicated to public use and the conditions of such dedication; (o) Natural features or site elements to be preserved. | It appears these standards are satisfied |

| Code Ref. | §16.9.2.2 Clearing or removal of Vegetation for uses other than timber harvesting in the Resource Protection or Shoreland Overlay Zone. | |
|-----------|---|---|
| | Standard | Comment |
| | In a Resource Protection or Shoreland Overlay Zone, cutting of vegetation is prohibited within the strip of land extending 100 feet, horizontal distance, inland from the normal high-water line, except to remove safety hazards. Elsewhere in a Resource Protection or Shoreland Overlay Zone, the cutting or removal of vegetation is limited to that which is necessary for uses expressly authorized in the Resource Protection or Shoreland Overlay Zone. | Planning Board will need to make a determination if it agrees with the opinion of the certified arborist. If so, It appears the standard is satisfied |

Discussion, Next Steps, and Recommendations

Overall, the application appears to conform with the standards outlined in §16.3, §16.7, and §16.10 with minor clarifications needed. Staff is of the opinion that it generally conforms with the code and can move forward with a final vote. The most significant issues are the adequacy of the landscaping plan and stormwater management. Planning Board should discuss these items of the project and direct the applicant to make any changes that are necessary (conditions of approvals). If the Planning Board is comfortable moving forward, a vote on the application should take place as recommended below.

Recommended motions

Below are recommended motions for the Board's use and consideration:

Motion to continue application

Move to continue the agenda item to the August 26, 2021 Planning Board meeting for a shoreland development application from owners/applicants Nicolas and Amy Mercier and agent Altus Engineering Inc. requesting approval relocate, reconstruct and expand a legally non-conforming structure on a legally non-conforming lot within the base zone setback of the Shoreland Overlay Zone located on real property with the address of 134 Whipple Road, Tax Map 10, Lot 6A, in the Residential-Urban (R-U) Zone and the Shoreland Overlay Zone.

Motion to approve

Move to approve the shoreland development application from owners/applicants Nicolas and Amy Mercier and agent Altus Engineering Inc. requesting approval to relocate, reconstruct and expand a legally non-conforming structure on a legally non-conforming lot within the base zone setback of the Shoreland Overlay Zone located on real property with the address of 134 Whipple Road, Tax Map 10, Lot 6A, in the Residential-Urban (R-U) Zone and the Shoreland Overlay Zone with the following conditions as enumerated in the November 18, 2021 Findings of Fact.

Kittery Planning Board
Findings of Fact
For 134 Whipple Road
Shoreland Development Plan Review

WHEREAS: Owners/Applicants Nicolas and Amy Mercier request approval for a shoreland development plan on a legally non-conforming lot with a legally non-conforming structure proposing to construct a 10.5' retaining wall comprising 259-sf located within the base zone setback of the Shoreland Overlay Zone located on real property with the address of 134 Whipple Road, Tax Map 10, Lot 6A, in the Residential-Urban (R-U) Zone and the Shoreland (SL- OZ-250) Overlay Zone.

| REQ'D | ACTION | COMMENTS | STATUS |
|-------|-------------------------|-------------------------------------|----------------|
| NO | Sketch Plan | None | NOT APPLICABLE |
| NO | Site Visit | October 1, 2020; August 26, 2021 | HELD |
| YES | Completeness/Acceptance | August 12, 2021 | HELD |
| NO | Public Hearing | Not pursued by the Board | NOT PURSUED |
| YES | Final Plan Approval | TBD; may occur on November 18, 2021 | PENDING |

And pursuant to the application and plan and other documents considered to be a part of a plan review decision by the Planning Board in this Finding of Fact consisting of the following (hereinafter the "Plan"):

1. Shoreland Development Plan Application, dated 7/22/21
2. Existing Conditions Plan, Easterly Surveying, Inc., dated 9/29/20, last revised 11/1/21
3. Shoreland Development Plan, Altus Engineering, Inc., dated 7/22/21, last revised 10/28/2021
4. Architectural Elevations, Brendan McNamara, Residential Architecture, dated 4/20/21 & 6/20/21
5. Landscaping Plan, Woodburn & Company, dated November 4, 2021

NOW THEREFORE, based on the entire record before the Planning Board and pursuant to the applicable standards in the Land Use and Development Code, the Planning Board makes the following factual findings and conclusions:

FINDINGS OF FACT

Chapter 16.3 LAND USE ZONE REGULATIONS

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| 16.3.2.17.D(1)(D) |
| <p>Standard: <i>The total footprints of the areas devegetated for structures, parking lots and other impervious surfaces, must not exceed twenty (20) percent of the lot area, including existing development, except in the following zones...</i></p> <p>Finding: 134 Whipple Road had a pre-existing, legally non-conforming devegetation rate of 24.6% and proposes to reduce the rate to 24.4%.</p> <p>Conclusion: The standard appears to be met.</p> |
| Vote: _____ in favor _____ against _____ abstaining |
| 16.3.2.17.D(2)(b) |
| <p>Standard: <i>Accessory patios or decks no larger than 500 square feet in area must be set back at least 75 feet from the normal high-water line of any water bodies, tributary streams, the upland edge of a coastal wetland, or the upland edge of a freshwater wetland. Other patios and decks must satisfy the normal setback required for principal structures in the Shoreland Overlay Zone.</i></p> <p>Finding: The proposed patio is outside the 75-ft setback and will have a gross footprint of 64-sf.</p> <p>Conclusion: The standard appears to be met.</p> |

Vote: ___ in favor ___ against ___ abstaining

**Chapter 16.9 DESIGN AND PERFORMANCE STANDARDS
FOR NATURAL ENVIRONMENT**

§16.9.1.3.B(1)

Standard: *The developer must:*

- (a) Select a site with the right soil properties, including natural drainage and topography, for the intended use;*
- (b) Utilize for open space uses those areas with soil unsuitable for construction;*
- (c) Preserve trees and other vegetation wherever possible;*
- (d) Hold lot grading to a minimum by fitting the development to the natural contour of the land; avoid substantial areas of excessive grade;*
- (e) Spread jute matting, straw or other suitable material during construction in critical areas subject to erosion;*
- (f) Construct sediment basins to trap sediment from runoff waters during development; expose as small an area of subsoil as possible at any one time during development and for as short a period as possible;*
- (g) Provide for disposing of increased runoff caused by changed land formation, paving and construction, and for avoiding sedimentation of runoff channels on or off the site;*
- (h) Plant permanent and, where applicable, indigenous, vegetation and install structures as soon as possible for the purpose of soil stabilization and revegetation;*

Finding: It appears that the proposed design and methods to construct the dwelling unit and other permitted structures will not adversely impact the surrounding landscape and soils, nor increase runoff and soil erosion.

Conclusion: This standard appears to be met.

Vote: ___ in favor ___ against ___ abstaining

§16.9.1.4.B

Standard: *All land uses must be located on soils upon which the proposed uses or structures can be established or maintained without causing adverse environmental effects, including, but not limited to, severe erosion, mass soil movement, improper drainage, and water pollution to surface water and groundwater, whether during or after construction.*

Finding: It appears that the proposed development may be supported by the existing and proposed soils nor will adversely impact the surrounding natural features.

Conclusion: The requirement appears to be met.

Vote: ___ in favor ___ against ___ abstaining

**Chapter 16.7 GENERAL DEVELOPMENT REQUIREMENTS
Article III Nonconformance**

16.7.3.1 Prohibitions and Allowances

Standard: *A. Except as otherwise provided in this Article, a nonconforming condition must not be permitted to become more nonconforming*

Finding: The proposed dwelling unit is becoming more conforming as the distance from the highest annual tide is no closer than previously existed (16.7.3.3.C), the proposed height is not increasing rather is maintaining its preexisting height of 23-ft. (16.7.3.3.B(3)(e)[5][a]), and the expansion (16.7.3.3.B(3)(e)[5][a]), of the dwelling unit (242-ft; or 15%) is under the 30% permitted threshold.

Conclusion: The requirement appears to be met.

Vote: ___ in favor ___ against ___ abstaining

§16.7.3.3.C(1)

Standard: *In the Shoreland or Resource Protection Overlay Zone(s), any nonconforming structure which is located less than the required setback from a water body, tributary stream, or coastal or freshwater wetland and which is removed, damaged or destroyed, by any cause, by more than 50% of the market value of the structure before such damage, destruction or removal, may be reconstructed or replaced provided that a permit is obtained within 18 months of the date of said damage, destruction, or removal, and provided that such reconstruction or replacement is in compliance with the water body, tributary stream or coastal or freshwater wetland setback requirement to the greatest practical extent as determined by the Planning Board. In determining whether the structure reconstruction meets the setback to the greatest practical extent the Planning Board must consider, in addition to the criteria in § 16.7.3.3A(2), Nonconforming structure relocation, the physical condition and type of foundation present, if any.*

Finding: Considering the topography and zoning conditions of the lot, the proposed dwelling unit appears to be relocated in the most ideal location practicable and is not becoming more nonconforming.

Conclusion: The requirement appears to be met.

Vote: in favor against abstaining

Chapter 10 DEVELOPMENT PLAN APPLICATION AND REVIEW

Article 10 Shoreland Development Review

16.10.10.2 Procedure for Administering Permits

D. An application will be approved or approved with conditions if the reviewing authority makes a positive finding based on the information presented. It must be demonstrated the proposed use will:

Standard: 1. Maintain safe and healthful conditions;

Finding: The proposed development as represented in the plans and application does not appear to have an adverse impact.

Conclusion: This requirement appears to be met

Vote: in favor against abstaining

Standard: 2. Not result in water pollution, erosion or sedimentation to surface waters;

Finding: Maine DEP Best Management practices will be followed for erosion and sedimentation control during site preparation and building construction to avoid impact on adjacent surface waters. An existing eroded slope will be revegetated.

Conclusion: This requirement appears to be met

Vote: in favor against abstaining

Standard: 3. Adequately provide for the disposal of all wastewater;

Finding: The proposed development includes a sewer connection.

Conclusion: This requirement appears to be met.

Vote: in favor against abstaining

Standard: 4. Not have an adverse impact on spawning grounds, fish, aquatic life, bird or other wildlife habitat;

Finding: The proposed development does not appear to have an adverse impact on those resources.

Conclusion: This requirement appears to be met.

Vote: in favor against abstaining

Standard: 5. Conserve shore cover and visual, as well as actual points of access to inland and coastal waters;

Finding: The proposed development incorporates a landscaping plan the appears to retain and add more appropriate vegetation for a coastal setting that will help with soil stabilization and promote native habitat.

Conclusion: This requirement appears to be met.

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| Vote: <u> </u> in favor <u> </u> against <u> </u> abstaining) | |
| Standard: 6. <i>Protect archaeological and historic resources;</i> | |
| Finding: There appears to be no archaeological and historical resources on the lot, thereby nothing to protect. | |
| Conclusion: This requirement appears to be met. | |
| Vote: <u> </u> in favor <u> </u> against <u> </u> abstaining | |
| Standard: 7. <i>Not adversely affect existing commercial fishing or maritime activities in a commercial fisheries/maritime activities district;</i> | |
| Finding: The proposed development does not include any activities that would adversely impact existing commercial fishing or maritime activities. | |
| Conclusion: This requirement appears to be met. | |
| Vote: <u> </u> in favor <u> </u> against <u> </u> abstaining | |
| Standard: 8. <i>Avoid problems associated with floodplain development and use;</i> | |
| Finding: The property is designated Zone A2 by FEMA Flood Zone standards and is defined as a Special Flood Hazard Area (SFHA) along the small portions of the lot abutting the highest annual tide. The proposed development is located outside the SFHA, yet future monitoring should take place as climate change affects the waterway and surrounding environment. In short, the proposed application does not appear to have an impact on the current floodplain or flood-prone area. | |
| Conclusion: This requirement appears to be met. | |
| Vote: <u> </u> in favor <u> </u> against <u> </u> abstaining | |
| Standard: 9. <i>Is in conformance with the provisions of this code;</i> | |
| Finding: The proposed development complies with the applicable standards of Title 16. | |
| Conclusion: This requirement appears to be met. | |
| Vote: <u> </u> in favor <u> </u> against <u> </u> abstaining | |
| Standard: 10. <i>Be recorded with the York county Registry of Deeds.</i> | |
| Finding: A plan suitable for recording will be prepared. | |
| Conclusion: As stated in the Notices to Applicant contained herein, Shoreland Development plans must be recorded with the York County Registry of Deeds within 90 days of approval prior to the issuance of a building permit. | |
| Vote: <u> </u> in favor <u> </u> against <u> </u> abstaining | |

NOW THEREFORE, the Kittery Planning Board adopts each of the foregoing Findings of Fact and based on these Findings determines the proposed Development will have no significant detrimental impact, and the Kittery Planning Board hereby grants final approval for the Development at the above referenced property, including any waivers granted or conditions as noted.

Waivers: None.

Conditions of Approval (to be depicted on final plan to be recorded):

1. No changes, erasures, modifications or revisions may be made to any Planning Board approved final plan. (Title 16.10.9.1.2)
2. Applicant/contractor will follow Maine DEP Best Management Practices for all work associated with site and building construction to ensure adequate erosion control and slope stabilization
3. With the exception of the vegetation identified on the plan for removal, no vegetation will be removed without prior approval by the Code Enforcement Officer or the Shoreland Resource Officer. Efforts to protect existing vegetation must be in place prior to grading or construction. The rock fill shall not replace existing vegetation.
4. Prior to the commencement of onsite construction, areas to remain undisturbed must be clearly marked with stakes and caution tape. All stakes, caution tape, silt fences, and other materials used during construction must remain until all onsite work is completed. Prior to removal, written permission to remove such materials must be given by the Code Enforcement Officer.
5. All Notices to Applicant contained herein (Findings of Fact dated 11/18/2021).

Conditions of Approval (not to be depicted on final plan):

1. Incorporate any plan revisions on the final plan as recommended by Staff, Planning Board or Peer Review Engineer, and submit for Staff review prior to presentation on final plan.

The Planning Board authorizes the Planning Board Chair, or Vice Chair, to sign the Final Plan and the Findings of Fact upon confirmation of required plan changes.

Vote: __in favor__ against __abstaining

APPROVED BY THE KITTERY PLANNING BOARD ON _____

Dutch Dunkelberger, Planning Board Chair

Notices to Applicant:

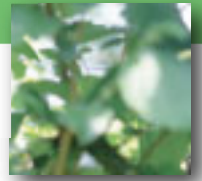
1. Incorporate any plan revisions on the final plan as required by Planning Board and submit for Staff review prior to presentation of final mylar.
2. Prior to the release of the signed plans, the applicant must pay all outstanding fees associated with the permitting, including, but not limited to, Town Attorney fees, peer review, newspaper advertisements and abutter notification.
3. One (1) mylar copy of the final plan and any and all related state/federal permits or legal documents that may be required, must be submitted to the Town Planning Department for signing. Date of Planning Board approval shall be included on the final plan in the Signature Block. After the signed plan is recorded with the York County Registry of Deeds, a mylar copy of the signed original must be submitted to the Town Planning Department.
4. This approval by the Town Planning Board constitutes an agreement between the Town and the Developer, incorporating as elements the Development Plan and supporting documentation, the Findings of Fact, and any Conditions of Approval.

Appeal of Decision:

1. Per Title 16.6.2.A - An aggrieved party with legal standing may appeal a final decision of the Planning Board to the York County Superior Court in accordance with Maine Rules of Civil Procedures Section 80B, within forty-five (45) days from the date the decision by the Planning Board was rendered.



Celebrating beauty since 1979



www.piscataqualandscaping.com

26 Maclellan Lane, Eliot, ME 03903
TEL 207.439.2241 FAX 207.439.6661

Hello Nick,

I wanted to respond to your request for an assessment to the sugar maple growing along the embankment in your backyard. My initial concern with the tree in 2019 was the tree was beginning to show significant signs of stress and decline. The foliage was sparse, there was a significant amount of dead branches and the leaves were turning fall colors very early. I also observed roots at the base of the tree to be girdling the trunk. We used our air compressor and an air spade wand to work on removing some of the soil to expose the compromised roots. What we discovered was the root structure to be very tangled and it appeared to have major roots girdling the lower trunk. There were too many girdling roots to be removed. We did a major prune to the tree to remove the large dead limbs, but it appears more of the tree has declined. I had recommended the tree to be removed because it appears to be in an irreversible decline. The tree is at "risk" of failing and there are clear targets close to the tree.

Please let me know if you have any questions regarding this email.

Thank you,

Chris Kemp.

Chris Kemp
Plant Healthcare Manager
ISA Certified Arborist
(603) 396-0760



Mercier Residence Shoreland Development Plan

134 Whipple Road
Kittery, Maine

Assessor's Parcel 10, Lot 6A

Issued for Planning Board

Plan Issue Date:

October 28, 2021

Owner/Applicant:

Amy L. & Nicholas E. Mercier

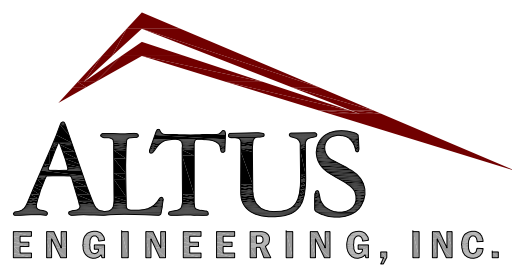
35 Goffstown Road
Hooksett, NH 03106-2400
(603) 674-8239

Residential Designer:

Brendan McNamara

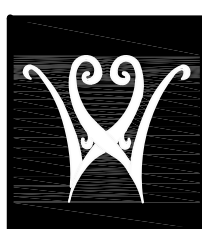
19 Doe Drive
Eliot, Maine 03903
(207) 439-3521

Civil Engineer:



133 Court Street
(603) 433-2335
Portsmouth, NH 03801
www.altus-eng.com

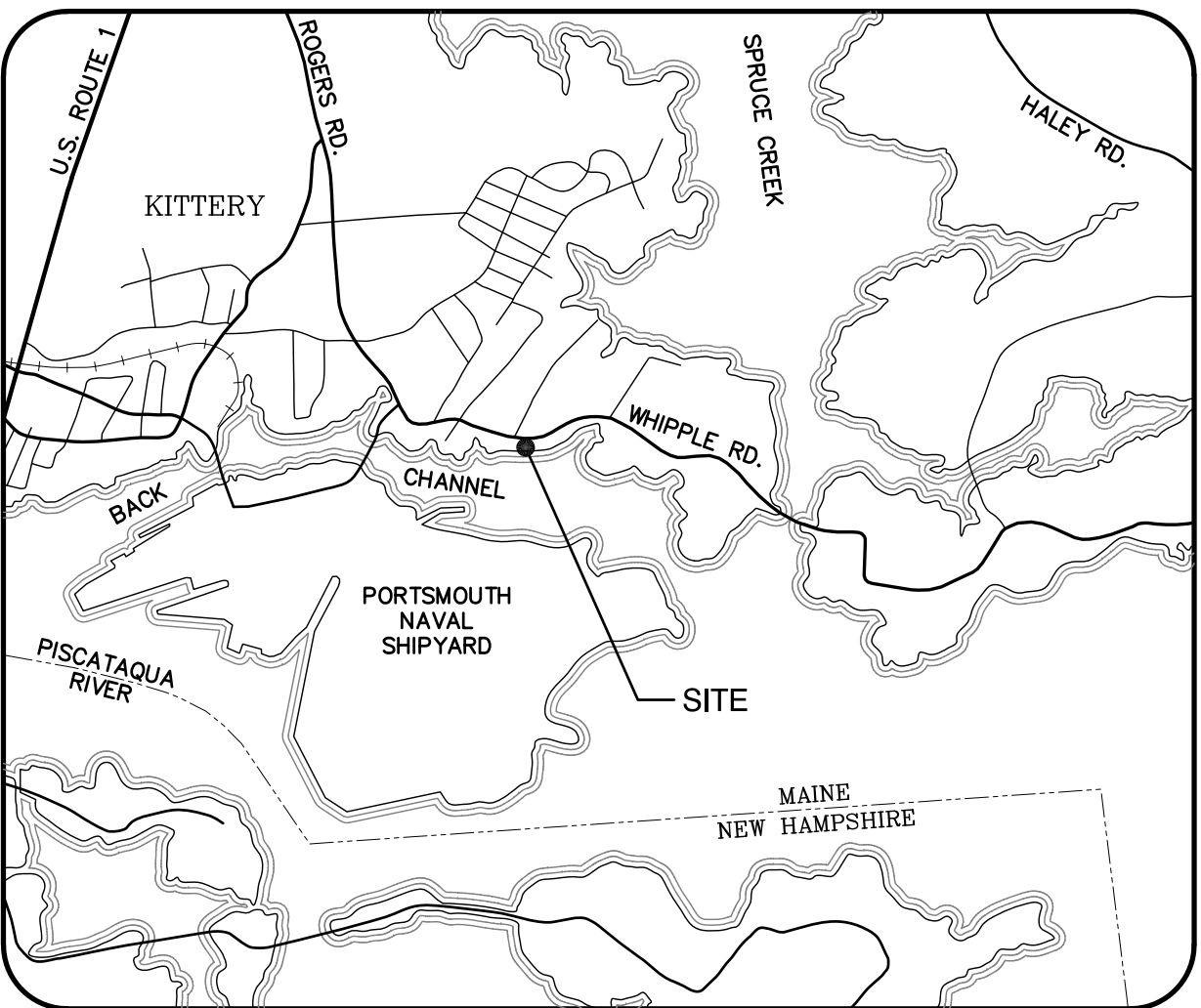
Landscape Architect:



woodburn
& company

LANDSCAPE ARCHITECTURE
103 Kent Place Newmarket, New Hampshire Phone: 603.659.5949

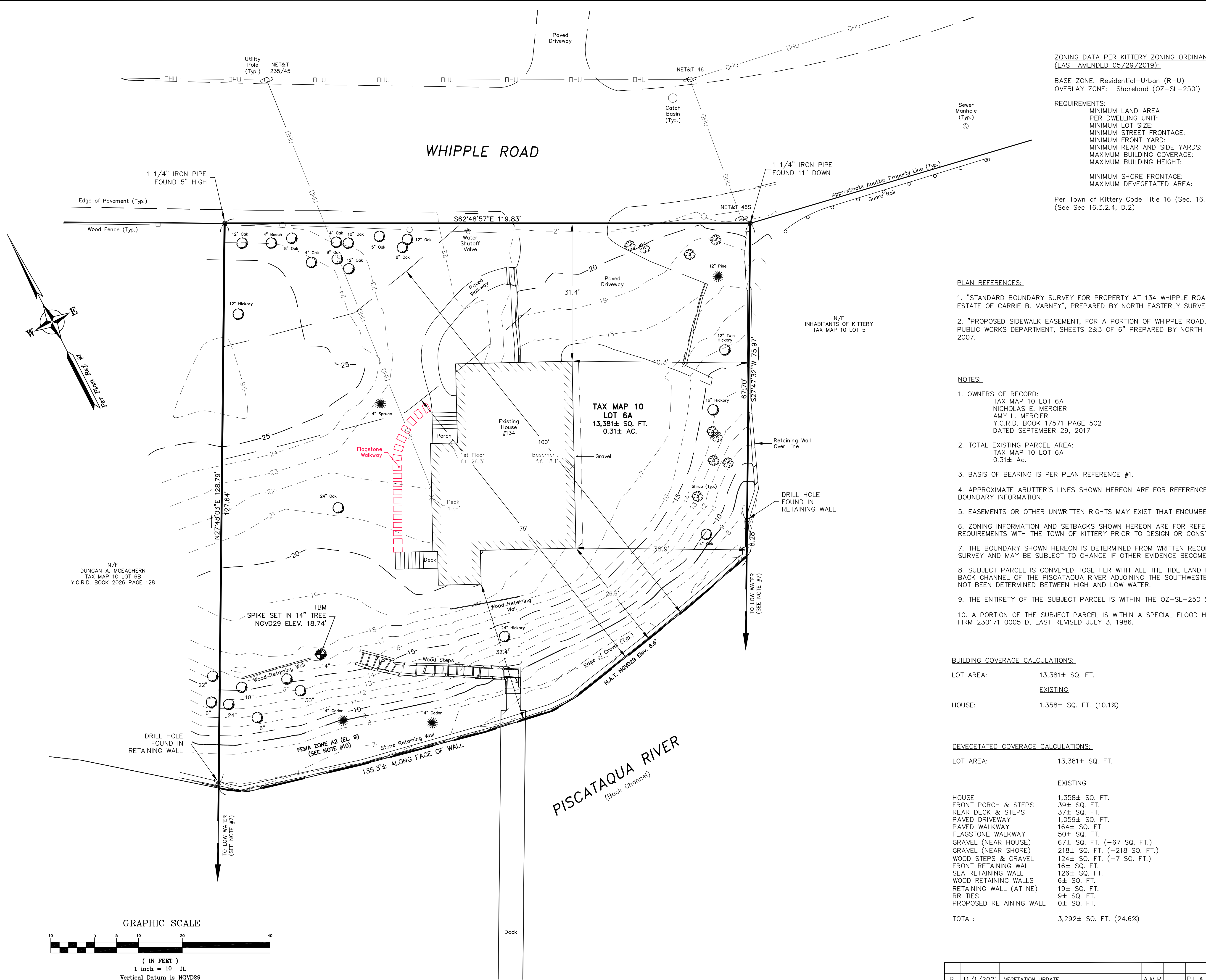
Surveyor:



LOCUS

NOT TO SCALE

| Sheet Index Title | Sheet No.: | Rev. | Date |
|--|---------------|------|----------|
| Existing Conditions Plan | 1 of 1 | A | 09/29/20 |
| Shoreland Development Plan | C-1 | 1 | 10/28/21 |
| Stormwater Management and Utilities Plan | C-2 | 0 | 10/28/21 |
| Landscaping Plan | L-1 | 0 | 10/28/21 |
| Detail Sheet | D-1 | 0 | 10/28/21 |
| Detail Sheet | D-2 | 0 | 10/28/21 |
| Proposed First Floor Plan | Page 1 | 0 | 06/20/21 |
| Proposed Basement Floor Plan | Page 2 | 0 | 06/20/21 |
| East Elevation | Page 3 | 0 | 06/20/21 |
| South Elevation | Page 4 | 0 | 06/20/21 |
| West Elevation | Page 5 | 0 | 06/20/21 |
| North Elevation | Page 6 | 0 | 06/20/21 |



ZONING DATA PER KITTERY ZONING ORDINANCE
(LAST AMENDED 05/29/2019):

BASE ZONE: Residential-Urban (R-U)
OVERLAY ZONE: Shoreland (OZ-SL-250')

REQUIREMENTS:

| | |
|------------------------------|--------------|
| MINIMUM LAND AREA | 20,000 Sq Ft |
| PER DWELLING UNIT: | 20,000 Sq Ft |
| MINIMUM LOT SIZE: | 100 Ft |
| MINIMUM STREET FRONTAGE: | 30 Ft |
| MINIMUM FRONT YARD: | 15 Ft* |
| MINIMUM REAR AND SIDE YARDS: | 20% |
| MAXIMUM BUILDING COVERAGE: | 35 Ft* |
| MINIMUM SHORE FRONTAGE: | 50 Ft |
| MAXIMUM DEVEGETATED AREA: | 20% |

Per Town of Kittery Code Title 16 (Sec. 16.3.2.4)
(See Sec 16.3.2.4, D.2)

- PLAN REFERENCES:**
- "STANDARD BOUNDARY SURVEY FOR PROPERTY AT 134 WHIPPLE ROAD, KITTERY, YORK COUNTY, MAINE, OWNED BY ESTATE OF CARRIE B. VARNEY", PREPARED BY NORTH EASTERLY SURVEYING, INC., DATED AUGUST 10, 2017.
 - "PROPOSED SIDEWALK EASEMENT, FOR A PORTION OF WHIPPLE ROAD, KITTERY, YORK COUNTY, MAINE, CLIENT, KITTERY PUBLIC WORKS DEPARTMENT, SHEETS 2&3 OF 6" PREPARED BY NORTH EASTERLY SURVEYING, INC., DATED AUGUST 20, 2007.

- NOTES:**
- OWNERS OF RECORD:
TAX MAP 10 LOT 6A
NICHOLAS E. MERCIER
AMY L. MERCIER
Y.C.R.D. BOOK 17571 PAGE 502
DATED SEPTEMBER 29, 2017
 - TOTAL EXISTING PARCEL AREA:
TAX MAP 10 LOT 6A
0.31± AC.
 - BASIS OF BEARING IS PER PLAN REFERENCE #1.
 - APPROXIMATE ABUTTER'S LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE RELIED UPON AS BOUNDARY INFORMATION.
 - EASEMENTS OR OTHER UNWRITTEN RIGHTS MAY EXIST THAT ENCUMBER OR BENEFIT THE PROPERTY NOT SHOWN HEREON.
 - ZONING INFORMATION AND SETBACKS SHOWN HEREON ARE FOR REFERENCE PURPOSES. CONFIRM CURRENT ZONING REQUIREMENTS WITH THE TOWN OF KITTERY PRIOR TO DESIGN OR CONSTRUCTION.
 - THE BOUNDARY SHOWN HEREON IS DETERMINED FROM WRITTEN RECORDS AND FIELD EVIDENCE RECOVERED AT THE TIME OF SURVEY AND MAY BE SUBJECT TO CHANGE IF OTHER EVIDENCE BECOMES AVAILABLE.
 - SUBJECT PARCEL IS CONVEYED TOGETHER WITH ALL THE TIDE LAND LYING BETWEEN HIGH AND LOW WATER MARK ON THE BACK CHANNEL OF THE PISCATAQUA RIVER ADJOINING THE SOUTHWESTERLY SIDE OF SAID LOT. RIPARIAN BOUNDARIES HAVE NOT BEEN DETERMINED BETWEEN HIGH AND LOW WATER.
 - THE ENTIRETY OF THE SUBJECT PARCEL IS WITHIN THE OZ-SL-250 SHORELAND ZONE.
 - A PORTION OF THE SUBJECT PARCEL IS WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA). REFERENCE IS MADE TO FEMA FIRM 230171 0005 D, LAST REVISED JULY 3, 1986.

BUILDING COVERAGE CALCULATIONS:

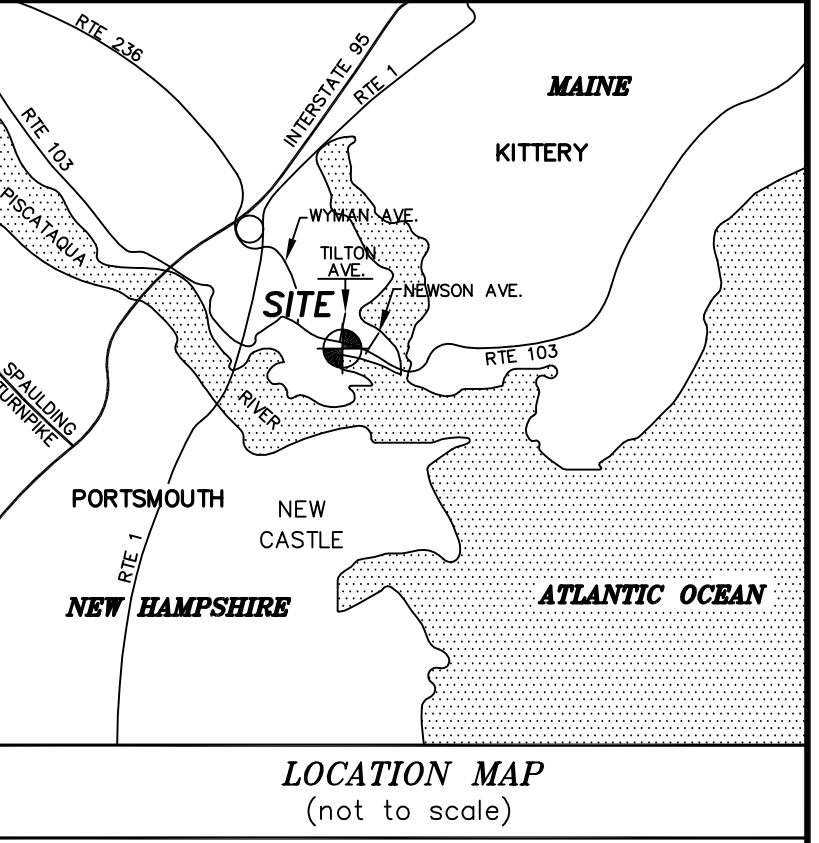
| | |
|-----------------|------------------------|
| LOT AREA: | 13,381± SQ. FT. |
| EXISTING | |
| HOUSE: | 1,358± SQ. FT. (10.1%) |

DEVEGETATED COVERAGE CALCULATIONS:

| | |
|-----------|-----------------|
| LOT AREA: | 13,381± SQ. FT. |
|-----------|-----------------|

EXISTING

| | |
|-------------------------|-----------------------------|
| HOUSE | 1,358± SQ. FT. |
| FRONT PORCH & STEPS | 39± SQ. FT. |
| REAR DECK & STEPS | 37± SQ. FT. |
| PAVED DRIVEWAY | 1,059± SQ. FT. |
| PAVED WALKWAY | 164± SQ. FT. |
| FLAGSTONE WALKWAY | 50± SQ. FT. |
| GRAVEL (NEAR HOUSE) | 67± SQ. FT. (-67 SQ. FT.) |
| GRAVEL (NEAR SHORE) | 218± SQ. FT. (-218 SQ. FT.) |
| WOOD STEPS & GRAVEL | 124± SQ. FT. (-7 SQ. FT.) |
| FRONT RETAINING WALL | 16± SQ. FT. |
| SEA RETAINING WALL | 126± SQ. FT. |
| WOOD RETAINING WALLS | 6± SQ. FT. |
| RETAINING WALL (AT NE) | 19± SQ. FT. |
| RR TIES | 9± SQ. FT. |
| PROPOSED RETAINING WALL | 0± SQ. FT. |
| TOTAL: | 3,292± SQ. FT. (24.6%) |



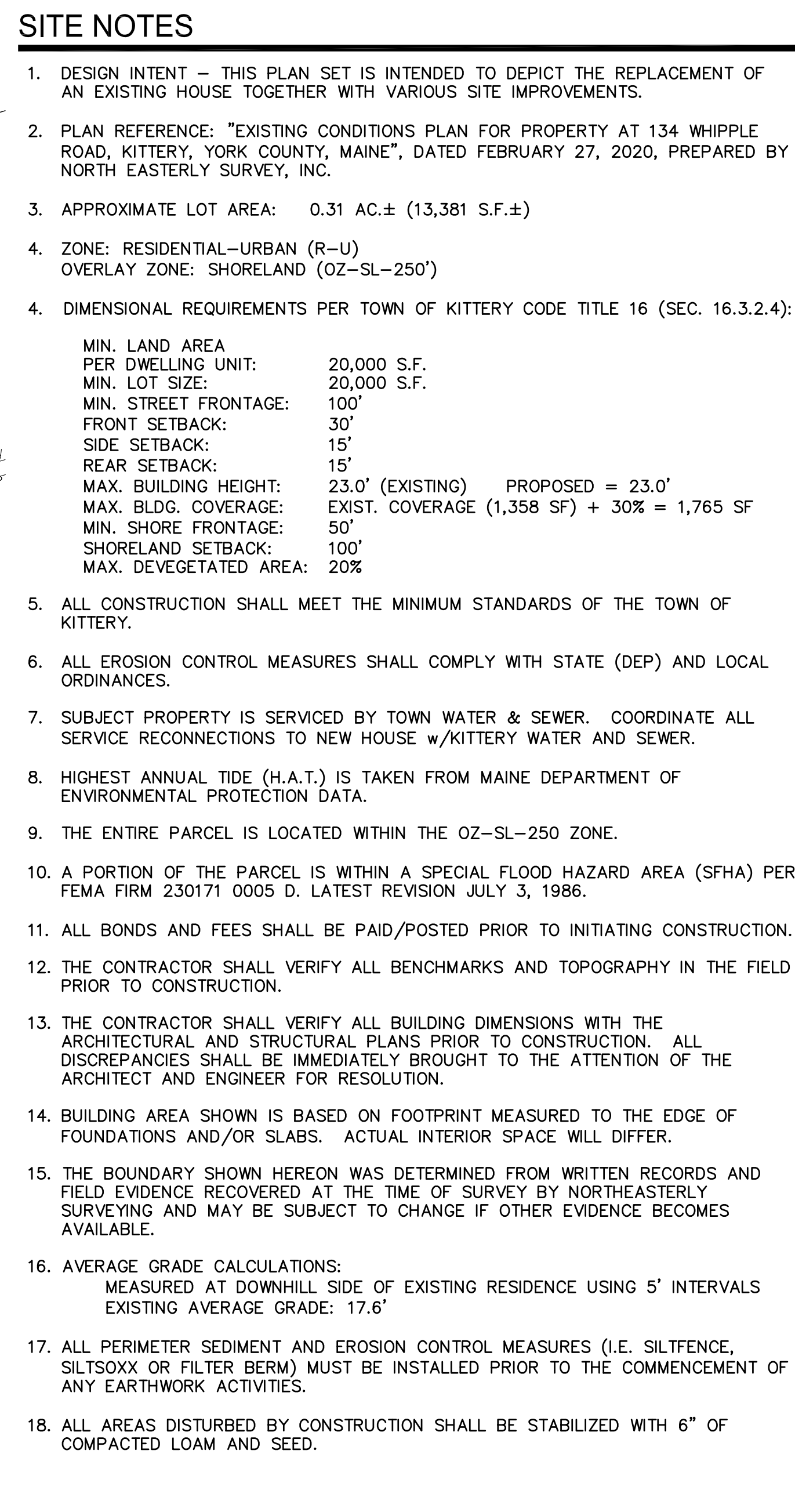
EXISTING CONDITIONS PLAN

FOR PROPERTY AT
134 Whipple Road
Kittery, York County, Maine
OWNED BY
Nicholas E. Mercier
Amy L. Mercier
35 Goffstown Road, Hookset, NH 03106

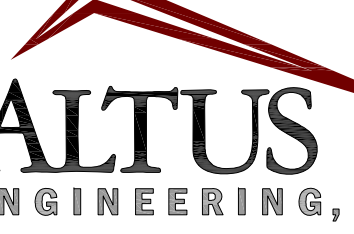
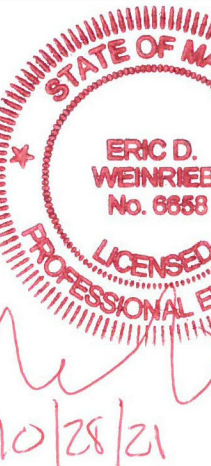
North
EASTERLY
SURVEYING, Inc.

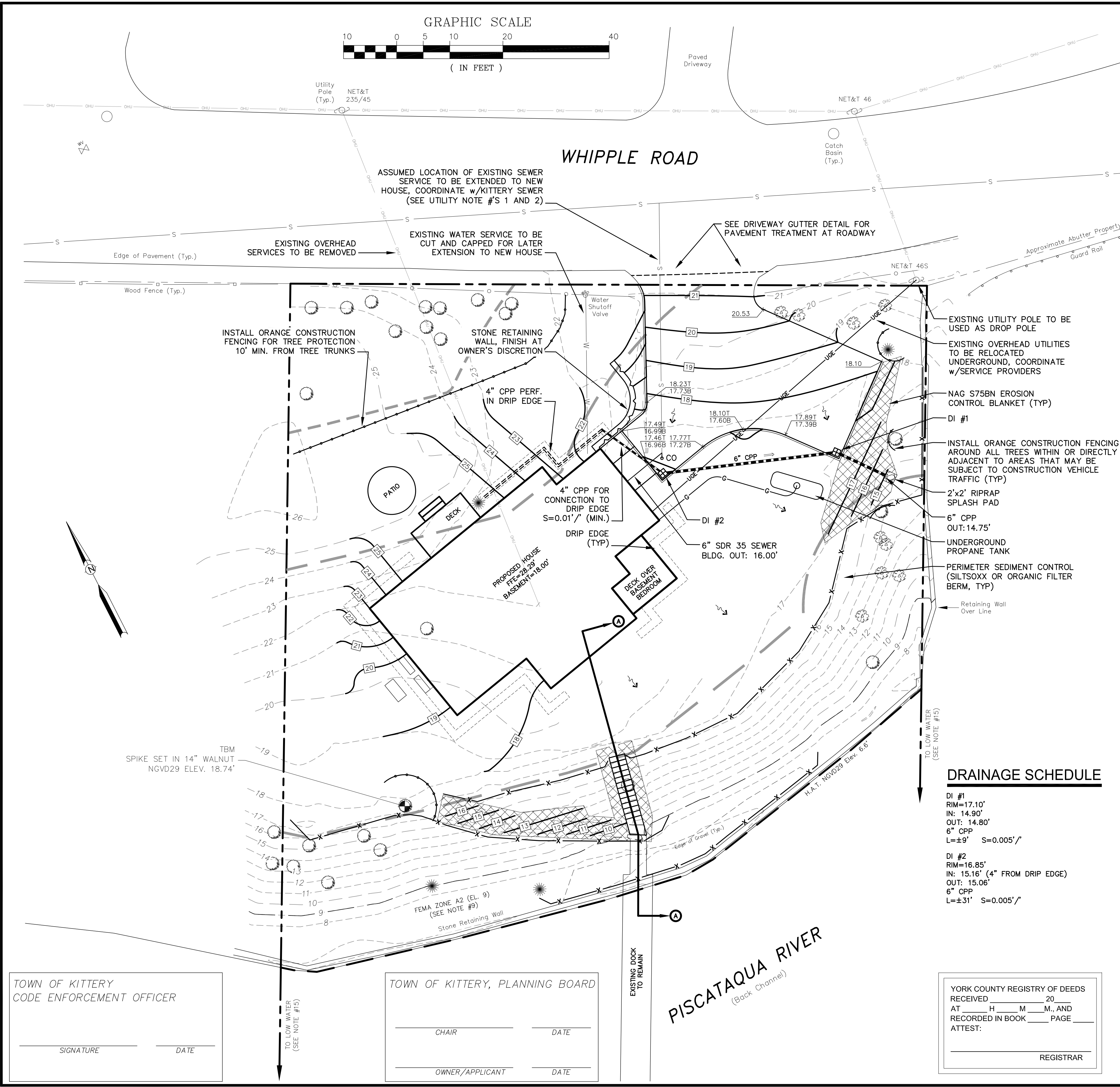
SURVEYORS IN N.H. & MAINE (207) 439-6333 191 STATE ROAD, SUITE #1 KITTERY, MAINE 03904

| | | | | | |
|--|-------------------|-----------------|---------------|------------------|--------------------|
| SCALE: 1" = 10' | PROJECT NO. 20612 | DATE: 2/27/2020 | SHEET: 1 OF 1 | DRAWN BY: A.H.P. | CHECKED BY: A.M.P. |
| DRAWING No: 20612 EXISTING CONDITIONS REV. A FIELD BOOK No: "Kittery #38" | | | | | |
| Tax Map 10 Lot 6A | | | | | |



| <u>BUILDING COVERAGE / DEVEGETATION CALCULATIONS</u> | | | |
|---|------------------|--------------------|-------------------|
| | <u>0' – 100'</u> | <u>100' – 250'</u> | <u>ENTIRE LOT</u> |
| EXISTING BUILDING COVERAGE: | ±1,358 SF | ±0 SF | ±1,358 SF (10.1%) |
| PROPOSED BUILDING COVERAGE | ±1,608 SF | ±0 SF | ±1,608 SF (12.0%) |
| EXISTING DEVEGETATION CALC: | ±3,292 SF | ±0 SF | ±3,292 SF (24.6%) |
| PROPOSED DEVEGETATION CALC: | ±3,297 SF | ±0 SF | ±3,268 SF (24.4%) |
| * AREAS AND HEIGHT LIMITATIONS ARE PER KITTY LAND USE AND DEVELOPMENT CODE (TITLE 16) SECTION 16.7.3.3.B(3)(e)[5][e] / SECTION 16.3.2.17.D(1)(d) | | | |
| <u>EXISTING DEVEGETATION CALC.:</u> HOUSE, PORCH, DECK & STAIRS (1,434 SF) + PAVED DRIVEWAY (1,059 SF) + PAVED WALKWAY (164 SF) + FLAGSTONE WALKWAY (50 SF) + GRAVEL ADJ. TO HOUSE (67 SF) + GRAVEL AT SEAWALL (218 SF) + WOOD STEPS AND GRAVEL (124 SF) + FRONT RETAINING WALL (16 SF) + SEAWALL (126 SF) + WOOD RETAINING WALLS (16 SF) + RETAINING WALL AT NE (19 SF) + RR TIES (9 SF) = ±3,292 SF (24.6%) | | | |
| <u>PROPOSED DEVEGETATION CALC.:</u> PROPOSED HOUSE (1,524) + DECK & STAIRS (82 SF) + STEPS TO DOCK (46 SF) + SEAWALL (126 SF) + FRONT WALKWAY (32 SF) + PATIO (64 SF) + PAVED DRIVE (1,099 SF) + TOP OF CURB (32 SF) + TOP OF RETAINING WALL (21 SF) + DRIP EDGE (222) + MECHANICAL PADS (16 SF) = ±3,264 SF (24.4% OF LOT, 28 SF LESS THAN EXISTING AREA) | | | |
| SUMMARY NOTE: THE HOMEOWNER HAS INTENTIONALLY REDUCED LARGE AREAS OF DEVEGETATED AREAS IN ORDER TO MITIGATE THE MODEST INCREASE IN THE SIZE OF THE RESIDENCE. THE REPLACEMENT HOUSE HAS BEEN PLACED FURTHER FROM THE RESOURCE (PISCATAQUA RIVER) AND AN OVERWHELMING MAJORITY OF THE EXISTING TREES WILL BE RETAINED. | | | |

| | | | |
|---|----------------|---|----------|
|  ALTUS ENGINEERING, INC. | | | |
| 133 Court Street (603) 433-2335 | | Portsmouth, NH 03801 www.altus-eng.com | |
|  | | | |
| NOT FOR CONSTRUCTION | | | |
| <u>ISSUED FOR:</u> <div style="text-align: center; border: 1px solid black; padding: 5px;">PLANNING BOARD</div> | | | |
| <u>ISSUE DATE:</u> <div style="text-align: center; border: 1px solid black; padding: 5px;">OCTOBER 28, 2021</div> | | | |
| <u>REVISIONS</u> | | | |
| NO. | DESCRIPTION | BY | DATE |
| 0 | PLANNING BOARD | EBS | 07/22/21 |
| 1 | PLANNING BOARD | EBS | 10/28/21 |
| | | | |
| <u>DRAWN BY:</u> _____ | | | RLH |
| <u>APPROVED BY:</u> _____ | | | EBS |
| <u>DRAWING FILE:</u> _____ | | | 5186.dwg |
| <u>SCALE:</u> | | | |
| 22" x 34" - 1" = 10' | | | |
| 11" x 17" - 1" = 20' | | | |
| <u>OWNER/APPLICANT:</u> | | | |
| AMY L. & NICHOLAS E. MERCIER 35 GOFFSTOWN ROAD HOOKSETT, NH 03106-2400 | | | |
| | | | |
| <u>PROJECT:</u> | | | |
| MERCIER RESIDENCE SHORELAND DEVELOPMENT PLAN | | | |
| TAX MAP 10, LOT 6A 134 WHIPPLE ROAD KITTERY, MAINE | | | |
| <u>TITLE:</u> | | | |
| SHORELAND DEVELOPMENT PLAN | | | |
| <u>SHEET NUMBER:</u> | | | |
| C-1 | | | |



GRADING AND DRAINAGE NOTES

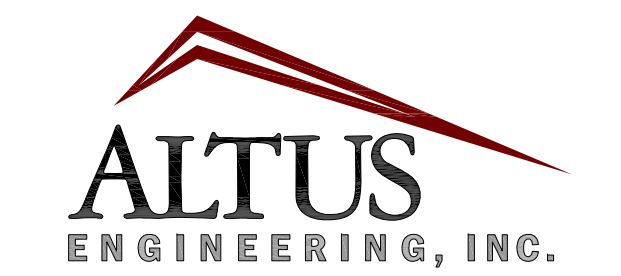
1. ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE TOWN OF KITTERY AND MDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
2. UNLESS OTHERWISE AGREED IN WRITING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING TEMPORARY BENCHMARKS (TBM) AND PERFORMING ALL CONSTRUCTION SURVEY LAYOUT.
3. PRIOR TO CONSTRUCTION, FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING STORMWATER AND UTILITY LINES. PRESERVE AND PROTECT LINES TO BE RETAINED.
4. ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION.
5. ALL CATCH BASIN, MANHOLE AND OTHER DRAINAGE RIMS SHALL BE SET FLUSH WITH OR NO LESS THAN 0.1' BELOW FINISH GRADE. ANY RIM ABOVE SURROUNDING FINISH GRADE SHALL NOT BE ACCEPTED.
6. ALL SPOT GRADES ARE AT FINISH GRADE AND BOTTOM OF CURB WHERE APPLICABLE.
7. ALL CPP PIPE SHALL BE DUAL-WALL ADS N-12 OR HANCOR OR APPROVED EQUAL.
8. IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS, DRAINAGE AND OTHER UTILITY STRUCTURES MAY NOT BE DRAWN TO SCALE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZING AND LOCATION OF ALL STRUCTURES AND IS DIRECTED TO RESOLVE ANY POTENTIAL DISCREPANCY WITH THE ENGINEER PRIOR TO CONSTRUCTION.

EROSION AND SEDIMENT CONTROL NOTES

1. DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE AND LOCAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
2. PERIMETER SEDIMENT CONTROLS SHALL BE INSTALLED AFTER TREE CLEARING OPERATIONS HAVE CEASED AND BEFORE ANY STUMPING, GRUBBING OR OTHER EARTH DISTURBANCE.
3. NO EARTHWORK SHALL COMMENCE UNTIL ALL APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROPERLY MAINTAINED IN GOOD WORKING ORDER FOR THE DURATION OF CONSTRUCTION AND THE SITE IS STABILIZED.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN STANDARDS AND SPECIFICATIONS SET FORTH BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
5. THE CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO PREVENT EROSION, PREVENT SEDIMENT FROM LEAVING THE SITE AND/OR ENTERING WETLANDS AND ENSURE PERMANENT SOIL STABILIZATION.
6. ALL CATCH BASINS AND CULVERTS SHALL BE PROVIDED APPROPRIATE TEMPORARY INLET PROTECTION (SEE DETAILS).
7. ALL EROSION CONTROL BLANKETS AND FASTENERS SHALL BE BIODEGRADABLE.
8. ALL EROSION CONTROL BLANKETS SHALL BE BY NORTH AMERICAN GREEN ("NAG") OR EQUAL AS APPROVED IN WRITING BY THE ENGINEER.
9. ALL SWALES, STORMWATER PONDS AND THEIR CONTRIBUTING AREAS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
10. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE SIX (6") INCHES OF LOAM, LIMESTONE, FERTILIZER, SEED, AND MULCH USING APPROPRIATE SOIL STABILIZATION TECHNIQUES. SEE DETAILS FOR ADDITIONAL INFORMATION.
11. ALL EROSION CONTROL BLANKETS AND FASTENERS SHALL BE BIODEGRADABLE.
12. ALL EROSION CONTROL BLANKETS SHALL BE BY NORTH AMERICAN GREEN OR EQUAL AS APPROVED IN WRITING BY THE ENGINEER.
13. CONTRACTOR TO INSTALL STONE DRIP EDGE AT ALL ROOF DRIP LINES WHERE GUTTERS ARE NOT PROPOSED. COORDINATE WITH ARCHITECTURAL PLANS.
14. UPON COMPLETION OF CONSTRUCTION, ALL DRAINAGE INFRASTRUCTURE SHALL BE CLEANED OF ALL DEBRIS AND SEDIMENT.
15. UPON COMPLETION OF CONSTRUCTION, ALL TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE REMOVED AND ANY AREAS DISTURBED BY THE REMOVAL SMOOTHED AND REVEGETATED.

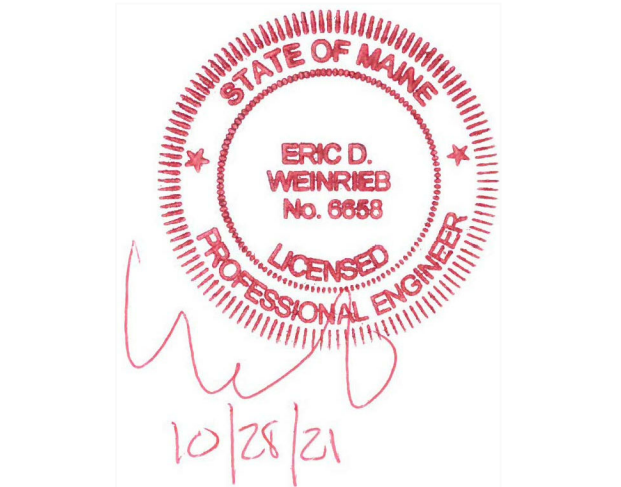
UTILITY NOTES

1. THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE. CATCH BASINS, MANHOLES, WATER GATES, ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY PROVIDERS AND GOVERNMENTAL AGENCIES. AS SUCH, THEY ARE NOT INCLUSIVE AS OTHER UTILITIES AND UNDERGROUND STRUCTURES THAT ARE NOT SHOWN ON THE PLANS MAY EXIST. THE ENGINEER, SURVEYOR AND OWNER ACCEPT NO RESPONSIBILITY FOR POTENTIAL INACCURACIES IN THE PLAN AND/OR UNFORESEEN CONDITIONS. THE CONTRACTOR SHALL NOTIFY, IN WRITING, SAID AGENCIES, UTILITY PROVIDERS, TOWN OF KITTERY DPW AND OWNER'S AUTHORIZED REPRESENTATIVE AND CALL DIG SAFE AT 1 (800) DIG-SAFE (344-7233) AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION WORK.
2. PRIOR TO CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING AND PROPOSED STORMWATER AND UTILITY LINES. CONFLICTS SHALL BE ANTICIPATED AND ALL EXISTING LINES TO BE RETAINED SHALL BE PROTECTED. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED AND, IF NECESSARY, EXISTING UTILITIES SHALL BE RELOCATED AT NO EXTRA COST TO THE OWNER. ALL CONFLICTS SHALL BE RESOLVED WITH THE INVOLVEMENT OF THE ENGINEER, DPW AND APPROPRIATE UTILITIES.
3. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND LOCAL REGULATIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING, BEDDING, BACKFILL & COMPACTION FOR ALL UTILITY TRENCHING IN ADDITION TO ALL CONDUIT INSTALLATION AND COORDINATION OF ALL REQUIRED INSPECTIONS.
5. DETECTABLE WARNING TAPE SHALL BE PLACED OVER THE ENTIRE LENGTH OF ALL BURIED UTILITIES, COLORS PER THE RESPECTIVE UTILITY PROVIDERS.
6. SEE ARCHITECTURAL/MECHANICAL DRAWINGS FOR EXACT LOCATIONS & ELEVATIONS OF UTILITY CONNECTIONS AT BUILDING. COORDINATE ALL WORK WITHIN FIVE (5) FEET OF BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL/MECHANICAL DRAWINGS. ALL CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY AND PRIOR TO COMMENCING RELATED WORK.
7. CONTRACTOR TO EXTEND UNDERGROUND SEASONAL WATER AND ELECTRICAL SERVICES TO DOCK. COORDINATE WITH SIZES AND LOCATIONS MEP PLANS.



133 Court Street
(603) 433-2335

Portsmouth, NH 03801
www.altus-eng.com



NOT FOR CONSTRUCTION

ISSUED FOR:

PLANNING BOARD

ISSUE DATE:

OCTOBER 28, 2021

REVISIONS

| NO. | DESCRIPTION | BY | DATE |
|-----|----------------|-----|----------|
| 0 | PLANNING BOARD | EBS | 10/28/21 |

DRAWN BY: RLH

APPROVED BY: EBS

DRAWING FILE: 5186.dwg

SCALE:

22" x 34" - 1" = 10'

11" x 17" - 1" = 20'

OWNER/APPLICANT:

AMY L.
& NICHOLAS E. MERCIER

35 GOFFSTOWN ROAD
HOOKSETT, NH 03106-2400

PROJECT:

MERCIER
RESIDENCE
SHORELAND
DEVELOPMENT
PLAN

TAX MAP 10, LOT 6A

134 WHIPPLE ROAD
KITTERY, MAINE

TITLE:

STORMWATER
MANAGMENT AND
UTILITIES PLAN

SHEET NUMBER:

C-2

SEDIMENT AND EROSION CONTROL NOTES

PROJECT NAME AND LOCATION

MERCIR RESIDENCE
134 WHIPPLE ROAD
KITTERY, MAINE
TAX MAP 10 LOT 6A

LATITUDE: 43° 05' 07" N
LONGITUDE: 70° 43' 45" W

OWNER/APPLICANT:

AMY L. AND NICHOLAS E. MERCIER
35 GOFFSTOWN ROAD
HOOKSETT, NH 03106-2400

DESCRIPTION

The project consists of the replacement of of a single family residence with a new house & associated site improvements.

DISTURBED AREA

The total area to be disturbed for the development is approximately ±7,200 S.F. (±0.17 acres). Maine CGP compliance not required.

PROJECT PHASING

The proposed building, driveway and associated improvements will be completed in one phase.

NAME OF RECEIVING WATER

The site drains over land to the Back Channel of the Piscataqua River.

SEQUENCE OF MAJOR ACTIVITIES

1. Install temporary erosion control measures including perimeter controls as noted on the plan. All temporary erosion control measures shall be maintained in good working condition for the duration of the project.
2. Remove vegetation from work limits. Strip loam and stockpile.
3. Demolish existing structures.
4. Begin building construction.
5. Demolish pavement to be removed.
6. Rough grade site including placement of borrow materials.
7. Construct drainage structures and pavement base course materials.
8. Install paving.
9. Loom (6" min) and seed all disturbed areas not paved or otherwise stabilized.
10. Install landscaping.
11. When all construction activity is complete and site is stabilized, remove all temporary erosion control measures and any sediment that has been trapped by these devices.

TEMPORARY EROSION & SEDIMENT CONTROL AND STABILIZATION PRACTICES

Installation or construction of erosion control measures shall conform to the practices described in the "2014 Revision to the 2003 Maine Erosion and Sediment Control Field Guide for Contractors, published by the Maine Department of Environmental Protection.

As indicated in the sequence of Major Activities, perimeter controls shall be installed prior to commencing any clearing or grading of the site. Structural controls shall be installed concurrently with the applicable activity. Once construction activity ceases permanently in an area and permanent measures are established, perimeter controls shall be removed.

During construction, runoff will be diverted around the site with stabilized channels where possible. Sheet runoff from the site shall be filtered through appropriate perimeter controls. All storm drain inlets shall be provided with inlet protection measures.

Temporary and permanent vegetation and mulching is an integral component of the erosion and sedimentation control plan. All areas shall be inspected and maintained until vegetative cover is established. These control measures are essential to erosion prevention and also reduce costly rework of graded and shaped areas.

Temporary vegetation shall be maintained in these areas until permanent seeding is applied. Additionally, erosion and sediment control measures shall be maintained until permanent vegetation is established.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

A. GENERAL

These are general inspection and maintenance practices that shall be used to implement the plan:

1. The smallest practical portion of the site shall be denuded at one time.
2. All control measures shall be inspected at least once each week and following any storm event of 0.5 inches or greater.
3. All measures shall be maintained in good working order; if a repair is necessary, it will be initiated within 24 hours.
4. Built-up sediment shall be removed from perimeter barriers when it has reached one-third the height of the barrier or when "bulges" occur.
5. All diversion dikes shall be inspected and any breaches promptly repaired.
6. Temporary seeding and planting shall be inspected for bare spots, washouts, and unhealthy growth.
7. The owner's authorized engineer shall inspect the site on a periodic basis to review compliance with the Plans.
8. An area shall be considered stable if one of the following has occurred:
 - a. Base coarse gravels have been installed in areas to be paved;
 - b. A minimum of 85% vegetated growth as been established;
 - c. A minimum of 3 inches of non-erosive material such as stone of riprap has been installed; - or -
 - d. Erosion control blankets have been properly installed.
9. The length of time of exposure of area disturbed during construction shall not exceed 45 days.

B. MULCHING

Mulch shall be used on highly erodible soils, on critically eroding areas, on areas where conservation of moisture will facilitate plant establishment, and where shown on the plans.

1. Timing – In order for mulch to be effective, it must be in place prior to major storm events. There are two (2) types of standards which shall be used to assure this:
 - a. Apply mulch prior to any storm event. This is applicable when working within 100 feet of wetlands. It will be necessary to closely monitor weather predictions, usually by contacting the National Weather Service in Concord, to have adequate warning of significant storms.
 - b. Required Mulching within a specified time period. The time period can range from 21 to 28 days of inactivity on a area, the length of time varying with site conditions. Professional judgment shall be used to evaluate the interaction of site conditions (soil erodibility, season of year, extent of disturbance, proximity to sensitive resources, etc.) and the potential impact of erosion on adjacent areas to choose an appropriate time restriction.

2. Guidelines for Winter Mulch Application –

| Type | Rate per 1,000 s.f. | Use and Comments |
|--------------------------|---------------------|---|
| Hay or Straw | 70 to 90 lbs. | Must be dry and free from mold. May be used with plantings. |
| Wood Chips or Bark Mulch | 460 to 920 lbs. | Used mostly with trees and shrub plantings. |

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (CONTINUED)

| | | |
|--|------------------------------------|---|
| Jute and Fibrous Matting (Erosion Blanket) | As per manufacturer Specifications | Used in slope areas, water courses and other Control areas. |
| Crushed Stone 1/4" to 1-1/2" dia. | Spread more than 1/2" thick | Effective in controlling wind and water erosion. |
| Erosion Control Mix | 2" thick (min) | |

- * The organic matter content is between 80 and 100%, dry weight basis.
- * Particle size by weight is 100% passing a 6" screen and a minimum of 70 % maximum of 85%, passing a 0.75" screen.
- * The organic portion needs to be fibrous and elongated.
- * Large portions of silts, clays or fine sands are not acceptable in the mix.
- * Soluble salts content is less than 4.0 mmhos/cm.
- * The pH should fall between 5.0 and 8.0.

3. Maintenance – All mulches must be inspected periodically, in particular after rainstorms, to check for rill erosion. If less than 90% of the soil surface is covered by mulch, additional mulch shall be immediately applied.

C. PERMANENT SEEDING –

1. Bedding – stones larger than 1 1/2", trash, roots, and other debris that will interfere with seeding and future maintenance of the area should be removed. Where feasible, the soil should be tilled to a depth of 5" to prepare a seedbed and mix fertilizer into the soil.

2. Fertilizer – lime and fertilizer should be applied evenly over the area prior to or at the time of seeding and incorporated into the soil. Kinds and amounts of lime and organic fertilizer should be based on an evaluation of soil tests. When a soil test is not available, the following minimum amounts should be applied:

| | | |
|---------------------|--|-----------------|
| | Agricultural Limestone @ 100 lbs. per 1,000 s.f. | |
| | 10–20–20 organic fertilizer @ 12 lbs. per 1,000 s.f. | |
| | | |
| Type | Lbs. / Acre | Lbs. / 1,000 sf |
| Tall Fescue | 2 | 0.55 |
| Creeping Red Fescue | 24 | 0.55 |
| Total | 48 | 1.10 |

Seed Mixture (For slope embankments):
Grass Seed: Provide fresh, clean, new-crop seed complying with tolerance for purity and germination established by Official Seed Analysts of North America. Provide seed mixture composed of grass species, proportions and minimum percentages of purity, germination, and maximum percentage of weed seed, as specified:

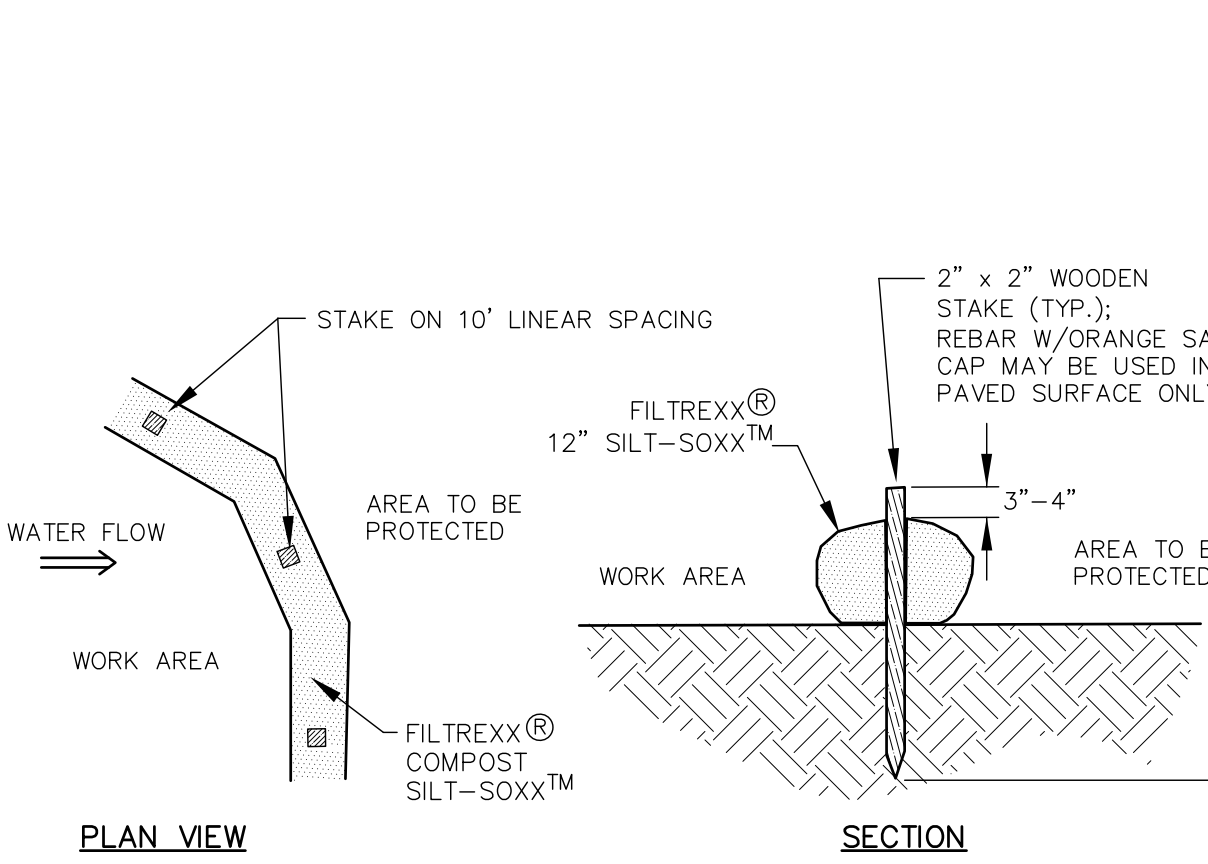
| Type | Min. Purity (%) | Min. Germination (%) | Kg./Hectare (Lbs./Acre) |
|-------------------------|-----------------|----------------------|-------------------------|
| Creeping Red Fescue (c) | 96 | 85 | 45 (40) |
| Perennial Rye Grass (a) | 98 | 90 | 35 (30) |
| Redtop | 95 | 80 | 5 (5) |
| Alsike Clover | 97 | 90(e) | 5 (5) |
| | | | Total 90 (80) |

- a. Ryegrass shall be a certified fine-textured variety such as Pennfine, Fiesta, Yorktown, Diplomat, or equal.
- b. Fescue varieties shall include – Creeping Red and/or Hard Reliant, Scaldis, Koket, or Jamestown.

4. Sodding – sodding is done where it is desirable to rapidly establish cover on a disturbed area. Sodding an area may be substituted for permanent seeding procedures anywhere on site. Bed preparation, fertilizing, and placement of sod shall be performed according to the S.C.S. Handbook. Sodding is recommended for steep sloped areas, areas immediately adjacent to sensitive water courses, easily erodible soils (fine sand/silt), etc.

WINTER CONSTRUCTION NOTES

1. All proposed vegetated areas which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized by seeding and installing erosion control blankets on slopes greater than 3:1, and elsewhere seeding and placing 3 to 4 tons of mulch per acre, secured with anchored netting. The installation of erosion control blankets or mulch and netting shall not occur over accumulated snow or on frozen ground and shall be completed in advance of thaw or spring melt events;
2. All ditches or swales which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized temporarily with stone or erosion control blankets appropriate for the design flow conditions; and
3. After November 15th, incomplete road or parking surfaces where work has stopped for the winter season shall be protected with a minimum of 3 inches of crushed gravel.

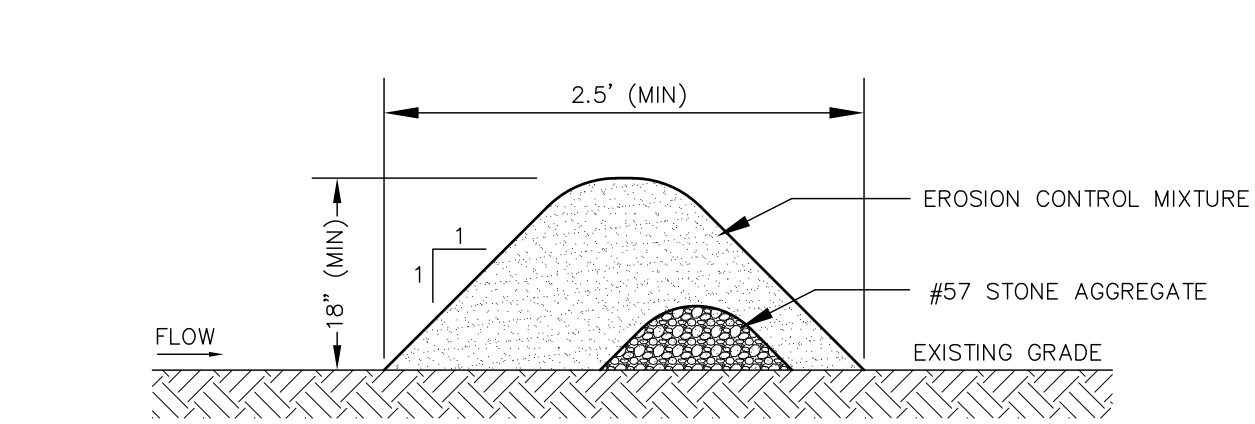


NOTES:

1. SILT-SOXX MAY BE USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
2. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
3. SILT-SOXX COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
4. ALL SEDIMENT TRAPPED BY SILT-SOXX SHALL BE DISPOSED OF PROPERLY.

TUBULAR SEDIMENT BARRIER

NOT TO SCALE

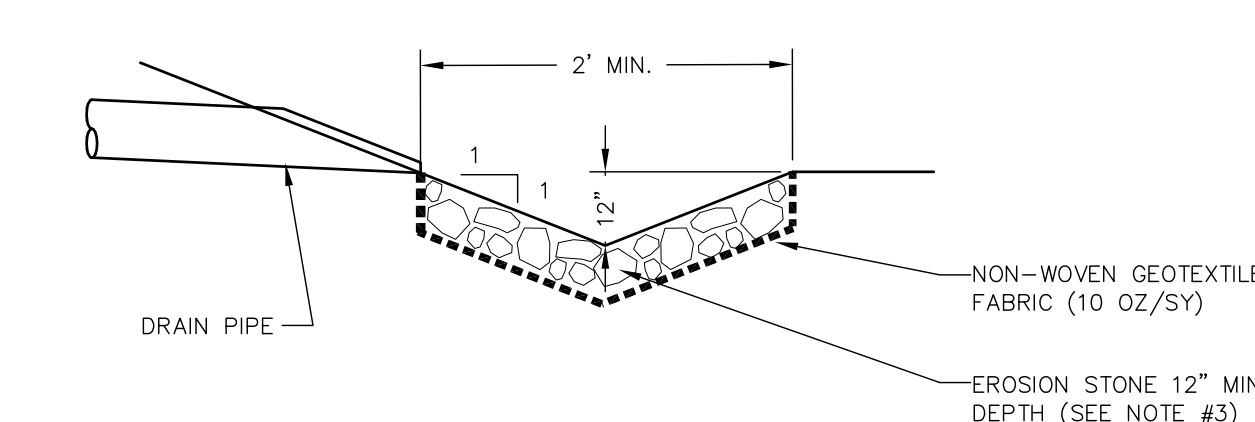


NOTES

1. ORGANIC FILTER BERMS MAY BE UTILIZED IN LIEU OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
2. THE EROSION CONTROL MIXTURE USED IN FILTER BERMS SHALL BE A WELL-GRADED MIX OF PARTICLE SIZES THAT MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER, STUMP GRINDINGS, SHREDDED OR COMPOSTED BARK, AND/OR ACCEPTABLE MANUFACTURED PRODUCTS AND SHALL BE FREE OF REFUSE, PHYSICAL CONTAMINANTS AND MATERIAL TOXIC TO PLANT GROWTH. EROSION CONTROL MIXTURE SHALL MEET THE FOLLOWING STANDARDS:
 - a) THE ORGANIC CONTENT SHALL BE 80–100% OF DRY WEIGHT.
 - b) PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN, AND 70–85% PASSING A 0.75" SCREEN.
 - c) THE ORGANIC PORTION SHALL BE FIBROUS AND ELONGATED.
 - d) LARGE PORTIONS OF SILTS, CLAYS, OR FINE SANDS SHALL NOT BE INCLUDED IN THE MIXTURE.
 - e) SOLUBLE SALTS CONTENT SHALL BE >4.0mmhos/cm.
 - f) THE pH SHALL BE BETWEEN 5.0 AND 8.0.
3. ORGANIC FILTER BERMS SHALL BE INSTALLED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE NECESSARY TO CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES THAT WOULD ENABLE FINES TO WASH UNDER THE BERM.
4. ON SLOPES LESS THAN 5%, OR AT THE BOTTOM OF SLOPES NO STEEPER THAN 3:1 AND UP TO 20' LONG, THE BERM SHALL BE A MINIMUM OF 12" HIGH (AS MEASURED ON THE UPHILL SIDE) AND A MINIMUM OF 36" WIDE. ON LONGER AND/OR STEEPER SLOPES, THE BERM SHALL BE TALLER AND WIDER TO ACCOMMODATE THE POTENTIAL FOR ADDITIONAL RUNOFF (MAXIMUM HEIGHT SHALL NOT EXCEED 2').
5. FROZEN GROUND, OUTCROPS OF BEDROCK, AND VERY ROOTED FORESTED AREAS PRESENT THE MOST PRACTICAL AND EFFECTIVE LOCATIONS FOR ORGANIC FILTER BERMS. OTHER BMP'S SHOULD BE USED AT LOW POINTS OF CONCENTRATED RUNOFF, BELOW CULVERT OUTLET APRONS, AROUND CATCH BASINS, AND AT THE BOTTOM OF STEEP PERIMETER SLOPES THAT HAVE A LARGE CONTRIBUTING AREA.
6. SEDIMENT SHALL BE REMOVED FROM BEHIND THE FILTER BERMS WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE BERM.
7. ORGANIC FILTER BERMS MAY BE LEFT IN PLACE ONCE THE SITE IS STABILIZED PROVIDED ANY SEDIMENT DEPOSITS TRAPPED BY THEM ARE REMOVED AND DISPOSED OF PROPERLY.
8. FILTER BERMS ARE PROHIBITED AT THE BASE OF SLOPES STEEPER THAN 8% OR WHERE THERE IS FLOWING WATER WITHOUT THE SUPPORT OF ADDITIONAL MEASURES SUCH AS SILTENCE.

ORGANIC FILTER BERM

NOT TO SCALE



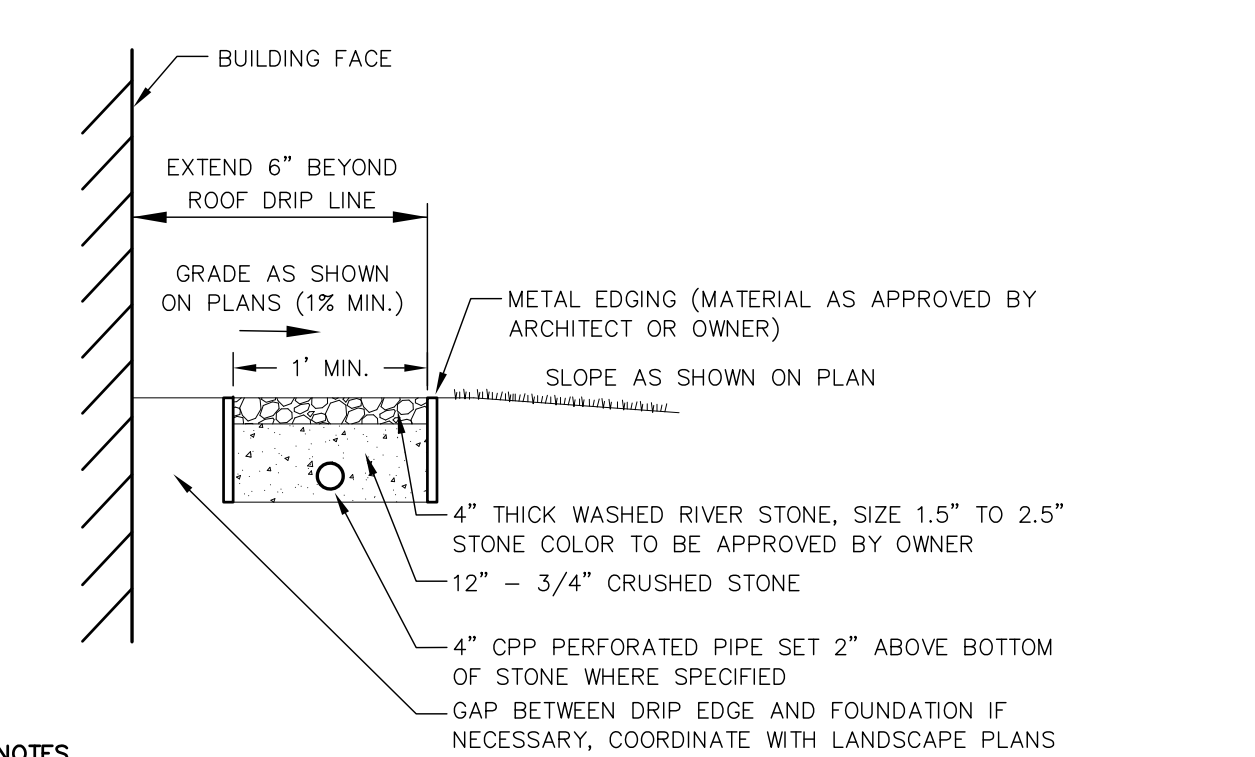
NOTES

1. CONSTRUCT PLUNGE POOL TO THE WIDTHS AND LENGTHS SHOWN ON THE PLAN.
2. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIPRAP SHALL BE PREPARED TO ACCOUNT FOR THE DEPTH OF RIPRAP.
3. THE EROSION STONE USED FOR THE PLUNGE POOL SHALL MEET THE FOLLOWING GRADATION:

| SIZE | PERCENT PASSING BY WEIGHT |
|------|---------------------------|
| 12" | 100 |
| 8" | 90–100 |
| 4" | 0–15 |
4. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE EROSION STONE. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 18".
5. THE EROSION STONE MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

RIPRAP SPLASH PAD

NOT TO SCALE

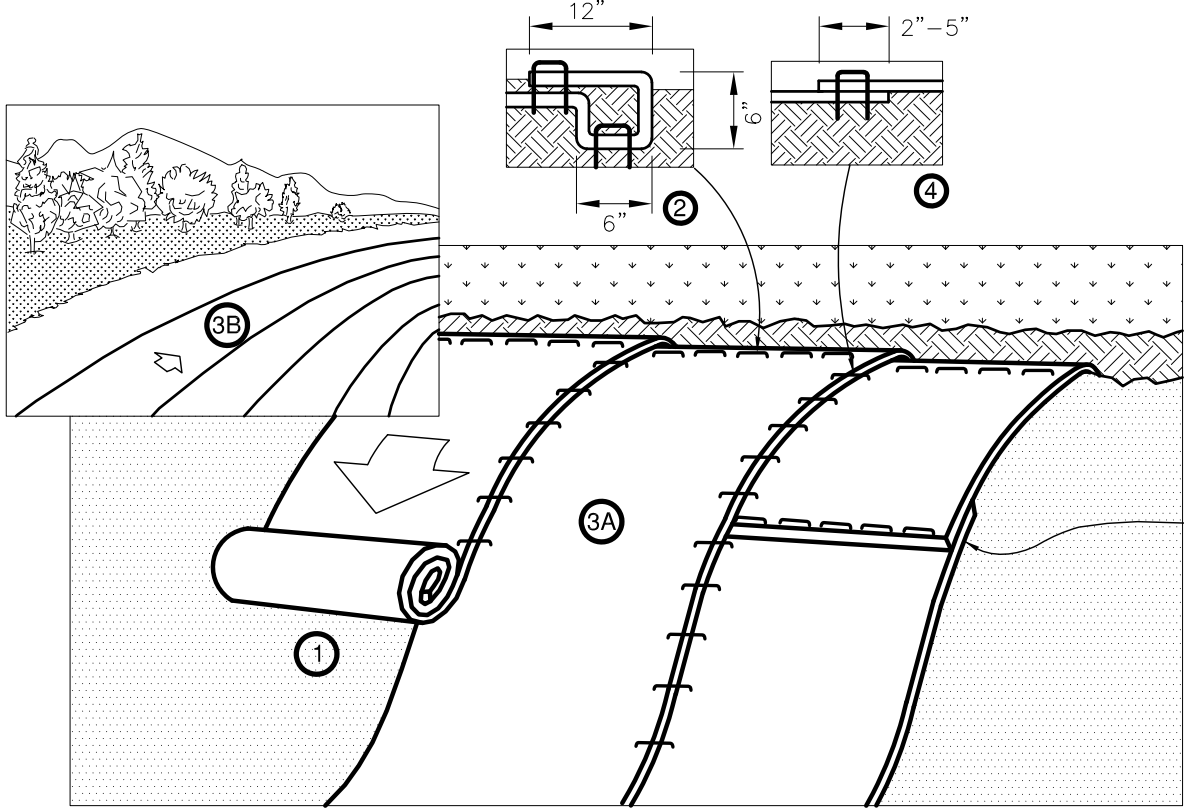


NOTES

1. INSTALL DRIP EDGE AT ALL ROOF DRIP LINES WHERE GUTTERS ARE NOT PROPOSED.

DRIP EDGE DETAIL

NOT TO SCALE

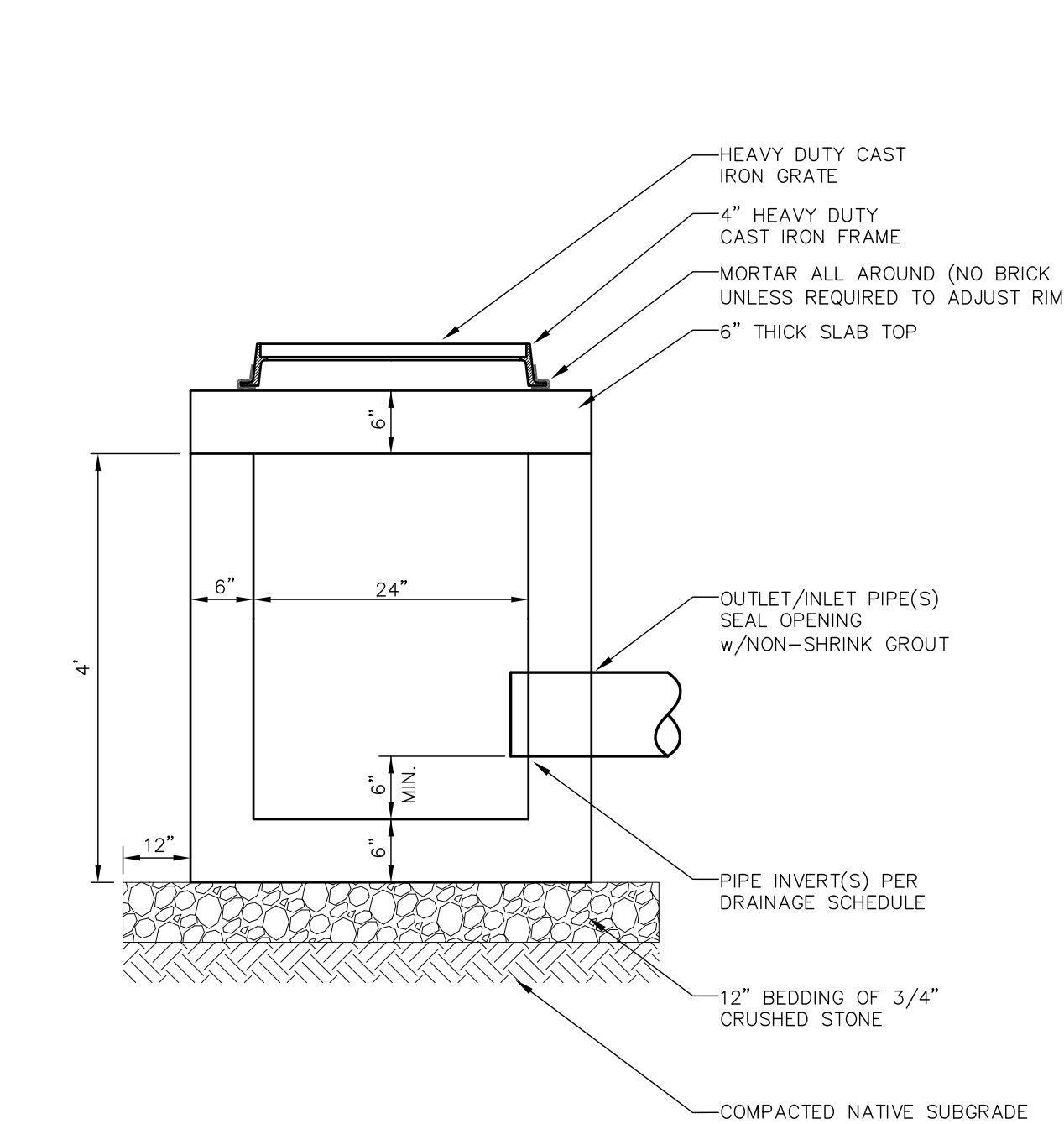


NOTES

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"–5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

EROSION CONTROL BLANKET - SLOPE

NOT TO SCALE



NOTES

1. STRUCTURE SHALL TO ACCOMMODATE HEAVY DUTY 24" SQ. C.I. FRAME AND GRATE.
2. 24" SQUARE AREA DRAIN AVAILABLE FROM PHOENIX PRECAST PRODUCTS (800-639-2199) OR APPROVED EQUAL.
3. CONCRETE: 4,000 PSI AFTER 28 DAYS
4. STRUCTURE SHALL BE STEEL REINFORCED MEET OR EXCEED H-20 LOADING.
5. SEAL ALL TONGUE AND GROOVE JOINTS w/BUTYL RUBBER JOINT COMPOUND.

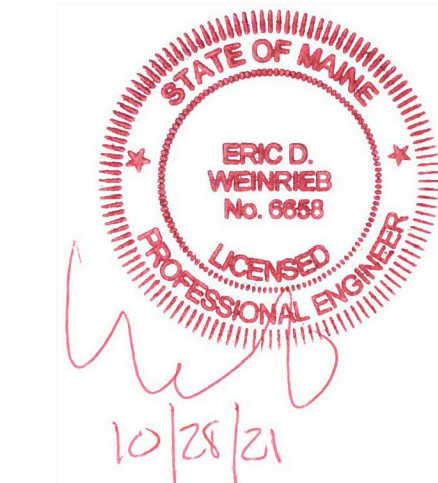
DROP INLET STRUCTURE (DI)

NOT TO SCALE

ALTUS
ENGINEERING, INC.

133 Court Street
(603) 433-2335

Portsmouth, NH 03801
www.altus-eng.com



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ISSUED FOR:

PLANNING BOARD

ISSUE DATE:

OCTOBER 28, 2021

REVISIONS

| NO. | DESCRIPTION | BY | DATE |
|-----|----------------|-----|----------|
| 0 | PLANNING BOARD | EBS | 10/28/21 |

DRAWN BY: _____ RLH

APPROVED BY: _____ EBS

DRAWING FILE: _____ 5186.dwg

SCALE:

22" x 34" – 1" = 10'
11" x 17" – 1" = 20'

OWNER/APPLICANT:

AMY L.
& NICHOLAS E. MERCIER
35 GOFFSTOWN ROAD
HOOKSETT, NH 03106-2400

PROJECT:

MERCIER
RESIDENCE
SHORELAND
DEVELOPMENT
PLAN

TAX MAP 10, LOT 6A

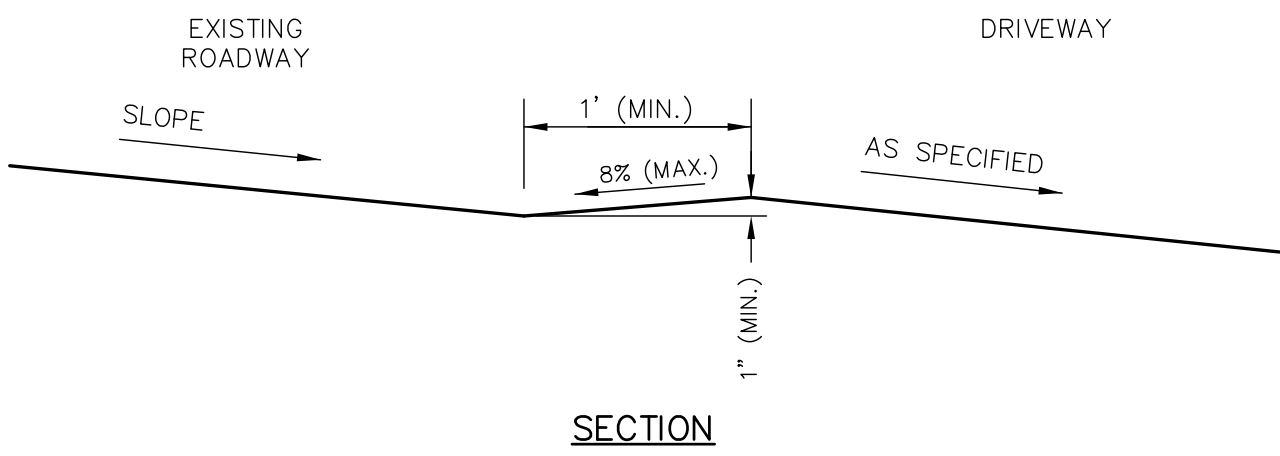
134 WHIPPLE ROAD
KITTERY, MAINE

TITLE:

DETAIL SHEET

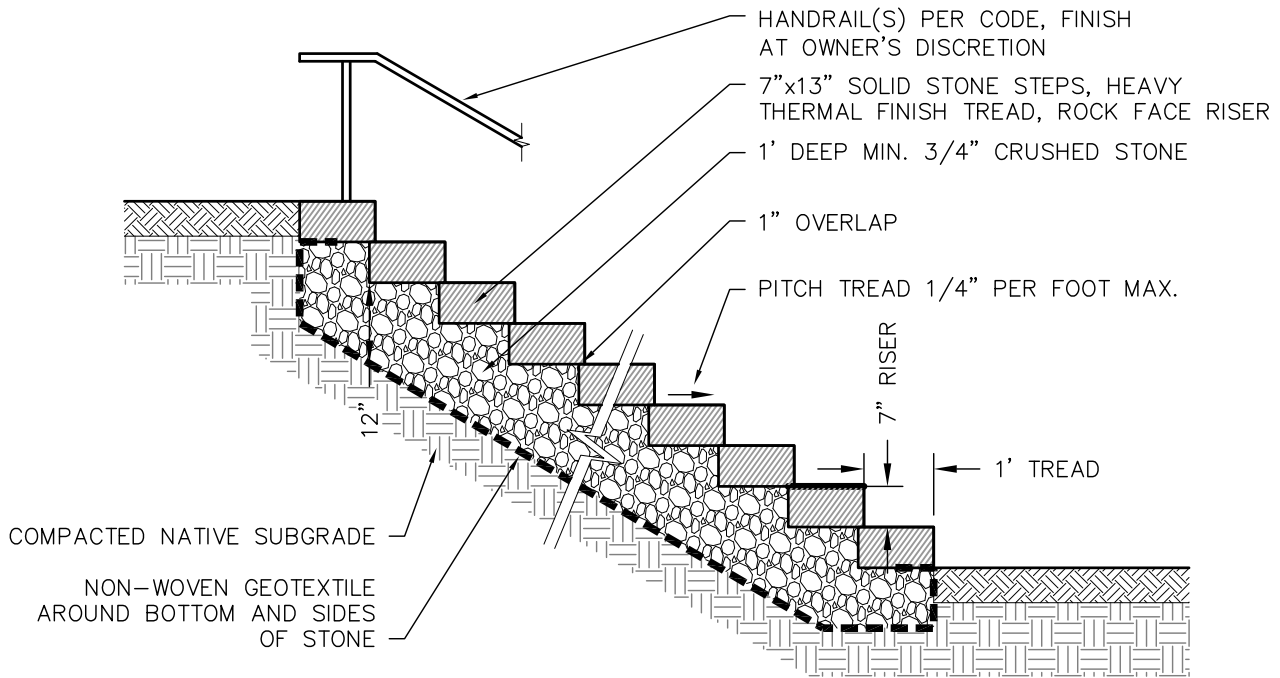
SHEET NUMBER:

D-1

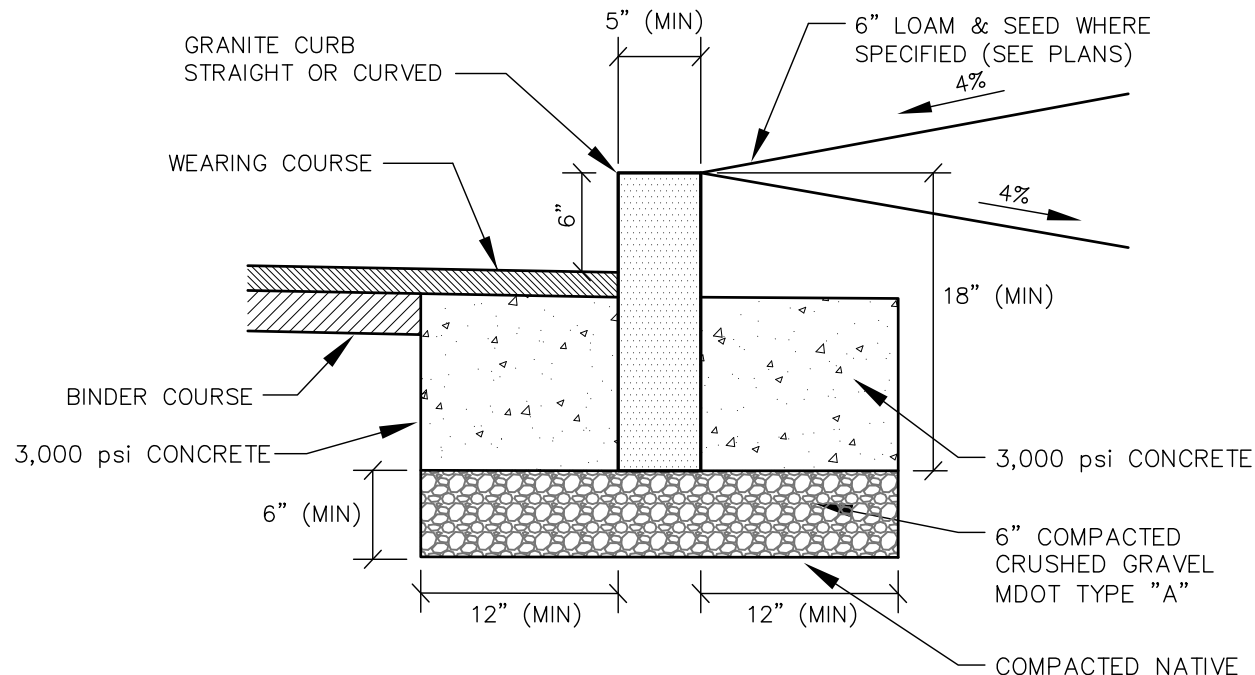


NOTES:
1. WARP DRIVEWAY AS NECESSARY TO CONVEY ROADWAY DRAINAGE ALONG GUTTER LINE AWAY FROM DRIVEWAY DOWN SLOPE.

DRIVEWAY GUTTER NOT TO SCALE



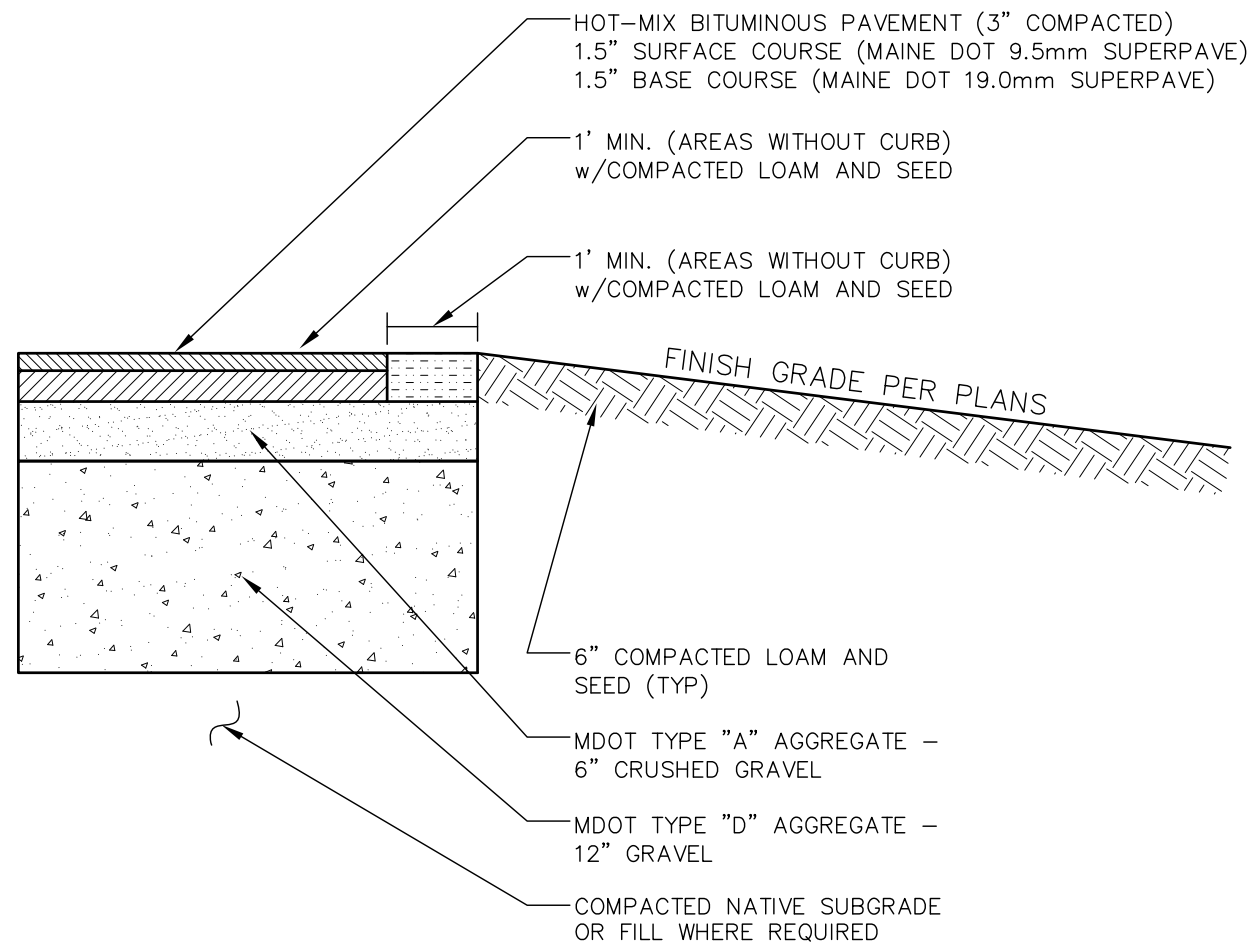
STEP DETAIL NOT TO SCALE



- NOTES:
1. SEE PLANS FOR CURB LOCATION.
 2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 3. MINIMUM LENGTH OF CURB STONES = 3'
 4. MAXIMUM LENGTH OF CURB STONES = 10'
 5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.
 6. CURB ENDS TO ROUNDED AND BATTERED FACES TO BE CUT WHEN CALLED FOR ON THE PLANS.

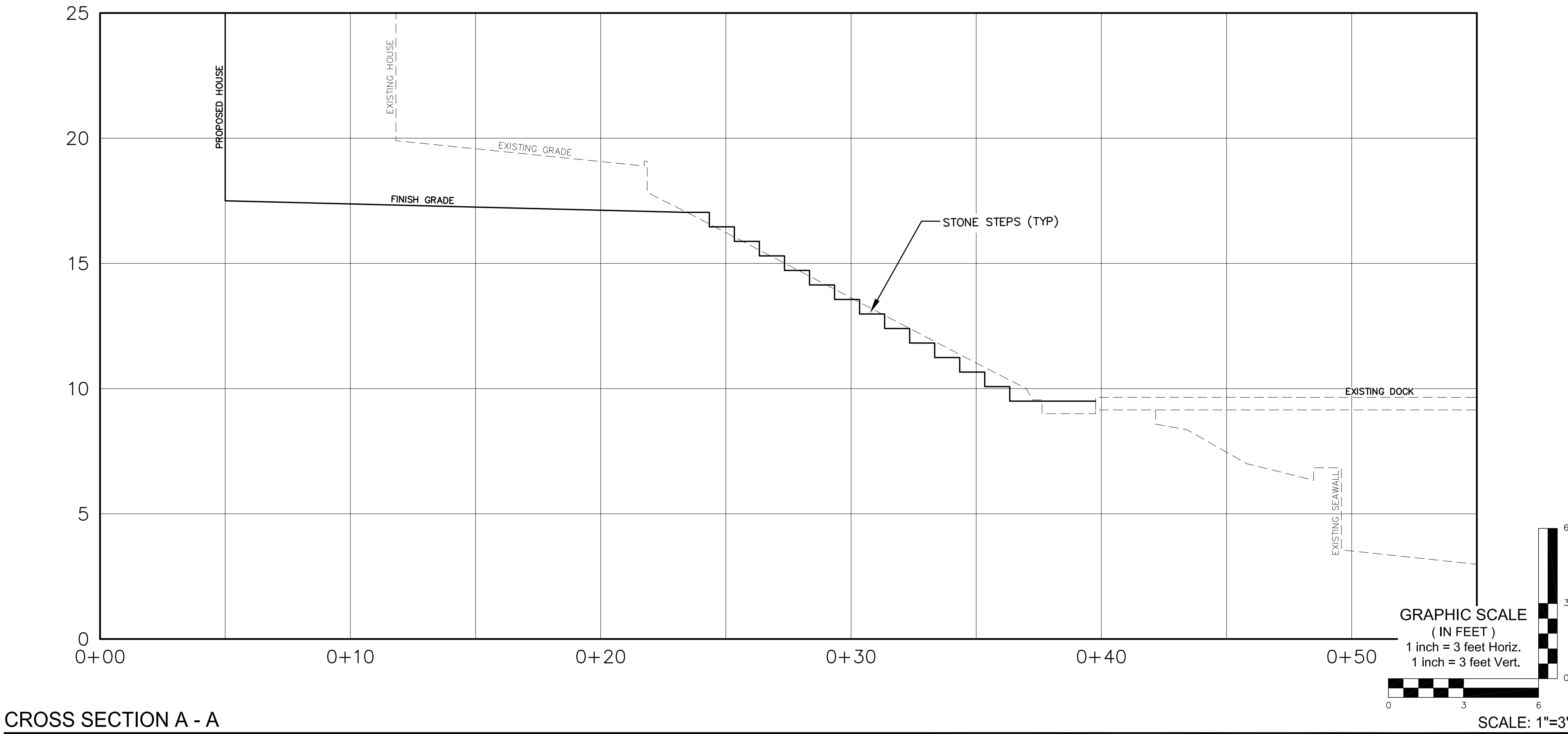
| RADIUS | MAX. LENGTH |
|----------|-------------|
| 21' | 3' |
| 22'-28' | 4' |
| 29'-35' | 5' |
| 36'-42' | 6' |
| 43'-49' | 7' |
| 50'-56' | 8' |
| 57'-60' | 9' |
| OVER 60' | 10' |

VERTICAL GRANITE CURB NOT TO SCALE

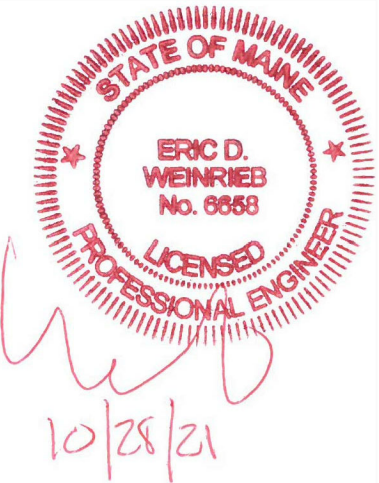


- NOTES
1. ALL EXISTING SUBSTANDARD FILL, BURIED ORGANIC MATTER, CLAY, LOAM, MUCK, AND/OR OTHER QUESTIONABLE MATERIAL SHALL BE REMOVED FROM BELOW ALL PAVEMENT, SHOULDERS AND UNDERGROUND PIPING/UTILITIES TO A MINIMUM DEPTH OF 2' BELOW FINISH GRADE.
 2. SUBGRADE SHALL BE PROOFROLLED A MINIMUM OF 6 PASSES WITH A VIBRATORY COMPACTOR OPERATING AT PEAK RATED FREQUENCY OR BY MEANS APPROVED BY THE ENGINEER.
 3. FILL BELOW PAVEMENT GRADES SHALL BE GRANULAR BORROW COMPACTED PER MDOT REQUIREMENTS.
 4. TACK COAT SHALL BE APPLIED BETWEEN SUCCESSIVE LIFTS OF ASPHALT.
 5. THE BITUMINOUS PAVEMENT SHALL BE COMPACTED TO 92 TO 97 PERCENT OF ITS THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D-2041. THE BASE AND SUBBASE MATERIALS SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THEIR MAXIMUM DRY DENSITIES AS DETERMINED BY ASTM D-1557.

PAVEMENT CROSS SECTION NOT TO SCALE



CROSS SECTION A - A



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ISSUED FOR:
PLANNING BOARD

ISSUE DATE:
OCTOBER 28, 2021

REVISIONS
NO. DESCRIPTION BY DATE
0 PLANNING BOARD EBS 10/28/21

DRAWN BY: _____ RLH
APPROVED BY: _____ EBS
DRAWING FILE: _____ 5186.dwg

SCALE:
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OWNER/APPLICANT:
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PROJECT:
MERCIER
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SHORELAND
DEVELOPMENT
PLAN

TAX MAP 10, LOT 6A
134 WHIPPLE ROAD
KITTERY, MAINE

TITLE:

DETAIL SHEET

SHEET NUMBER:

D-1

Diagram illustrating the planting method for trees less than 3" in caliper. The tree is staked with three stakes per tree, spaced evenly around the trunk with 12 gauge wire. Plastic hose sections shall be used at attachment to trees. Each wire shall be flagged with a visual marker. 5' long min. wooden stakes shall be used to anchor the wires. Stakes shall be driven at least 12" outside the edge of the planting pit into stable soil. Remove all staking NO LATER than the end of the first growing season after planting.

Remove all guying NO LATER than the end of the first growing season after planting.

6" Corrugated PVC tree sock

1'-0"

Each tree must be planted such that the original trunk flare is visible at the top of the root ball. Trees where the original trunk flare is not visible may

4 in. high earth saucer beyond edge
of root ball

Tamp soil around root ball base firmly with foot pressure so that root ball does not shift.

Place root ball on unexcavated or tamped soil.

times the diameter of the root ball - Permeable area in which tree is to be planted shall be no less than a 3' wide radius from the base of the tree

6" Corrugated PVC tree sock

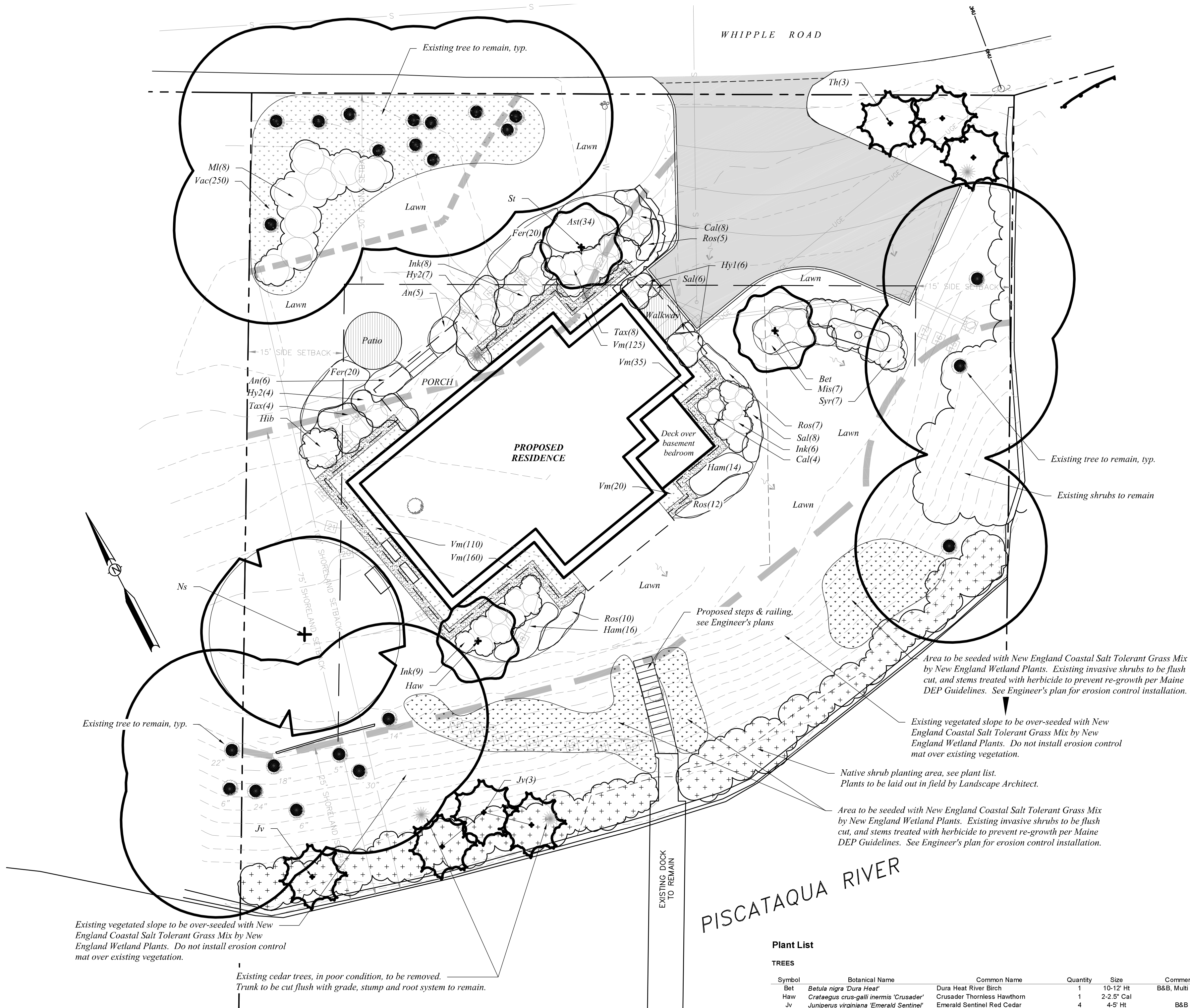
Each tree must be planted such that the original trunk flare is visible at the top of the root ball. Trees where the original trunk flare is not visible may be rejected. Do NOT cover the top of the root ball with soil.

Before planting Contractor shall inspect the rootball for the location of the original root flare. If the original root flare is not visible at the top of the root ball then the Contractor shall then gently remove from the top of the root ball any excess soil from nursery operations that may be covering the original root flare. Secondary and girdling roots shall be removed prior to planting. Trees with 4" or more of extraneous soil and/or adventitious roots greater than 1/8" shall be rejected. The tree shall be planted with the original root flare at or slightly (2-3") above surrounding finished grade.

Backfill with existing soil, in sandy and heavy clay soils add 20% max. by volume composted organic material to the existing soil.

Remove all twine, rope, wire, and burlap

If plant is shipped with a wire basket around the root ball, prior to planting, the contractor shall cut away the bottom of the wire basket, leaving the sides in place. Once the tree is placed and faced, the contractor shall remove the remainder of the wire basket and backfill the planting pit as noted above.



Plant List

TREES

| Symbol | Botanical Name | Common Name | Quantity | Size | Comments |
|--------|--|-----------------------------|----------|------------|---------------------------|
| Bet | <i>Betula nigra</i> 'Dura Heat' | Dura Heat River Birch | 1 | 10-12' Ht | B&B, Multi Stem |
| Haw | <i>Crataegus cuspis-galli</i> 'Inermis' 'Crusader' | Crusader Thornless Hawthorn | 1 | 2-2.5' Cal | |
| Jv | <i>Juniperus virginiana</i> 'Emerald Sentinel' | Emerald Sentinel Red Cedar | 4 | 4-5' Ht | B&B |
| Ns | <i>Nyssa Sylvatica</i> | Black Tupelo | 1 | 3-3.5' Cal | B&B |
| St | <i>Stewartia pseudocamellia</i> | Japanese Stewartia | 1 | 8-10' Ht | B&B, Multi Stem, Specimen |
| Th | <i>Thysa nictica</i> 'Green Giant' | Green Giant Arborvitae | 3 | 8-10' Ht | B&B |

SHRUBS

| Symbol | Botanical Name | Common Name | Quantity | Size | Comments |
|--------|--|-------------------------------------|----------|-----------|------------------------|
| Cle | <i>Clethra alnifolia</i> 'Hummingbird' | Hummingbird Compact Summersweet | 25 | 3 gal | planted above sea wall |
| Hib | <i>Hibiscus syriacus</i> 'Ardens' | Ardens Rose of Sharon (Double Blue) | 1 | 6 7/8" ft | B&B |
| Hy1 | <i>Hydrangea arborescens</i> 'Little Quirk Fire' | Little Quirk Fire Hydrangea | 6 | 5 gal | |
| Hy2 | <i>Hydrangea</i> 'Incrediball' | Incrediball Hydrangea | 11 | 5 gal | |
| Ink | <i>Illex glabra</i> 'Gem Box' | Gem Box Inkberry | 23 | 3 gal | |
| Mi | <i>Kalmia latifolia</i> | Mountain Laurel | 8 | 4-5" ft | B&B, Full |
| Mo | <i>Myrica pensylvanica</i> | Northern Bayberry | 25 | 3 gal | planted above sea wall |
| Rhu | <i>Rhus aromatica</i> 'Grow-Low' | Grow Low Sumac | 25 | 3 gal | planted above sea wall |
| Ros | <i>Rosa</i> 'Peach Drift' | Peach Drift Rose | 34 | 3 gal | |
| Syr | <i>Syringa</i> 'Bloomerang' | Bloomerang Lilac | 7 | 5 gal | |
| Tax | <i>Taxus media</i> 'Greenwave' | Greenwave Yew | 12 | 5 gal | |
| Vac | <i>Vaccinium angustifolium</i> | Lowbush Blueberry | 250 | 1 qt | |

PERENNIALS, GROUNDCOVERS, VINES and ANNUALS

| Symbol | Botanical Name | Common Name | Quantity | Size | Comments |
|--------|---|----------------------------|----------|----------|----------|
| An | <i>Anemone "Honorable Jobert"</i> | Windflower | 11 | 1 gal | |
| Ast | <i>Astilbe "Peach Blossom"</i> | Peach Astilbe | 34 | 1 gal | |
| Cal | <i>Calamagrostis acutifolia "Karl Foerster"</i> | Feather Reed Grass | 12 | 1 gal | |
| Fer | <i>Dennstaedtia punctiloba</i> | Hair-scented Fern | 40 | 1 gal | |
| Hm | <i>Pennstemon alpestrisoides "Hamel's"</i> | Hamel Dwarf Fountain Grass | 30 | 1 gal | |
| Mis | <i>Miscanthus sinensis "Gracillimus"</i> | Maiden Grass | 5 | 1 gal | |
| Sal | <i>Salvia nemorosa "Caradonna"</i> | Dark Blue Salvia | 14 | 1 gal | |
| Vm | <i>Vinca minor "Bowles"</i> | Bowles Periwinkle | 450 | 2" plugs | |

**woodburn
& company**
LANDSCAPE ARCHITECTURE
105 Keri Place
Neumarket, New Hampshire Phone: 603.659.5949

Mercier Residence

LANDSCAPE PLAN

134 Whipple Road
Kittery, Maine

Drawn By: VM

Checked By: RW

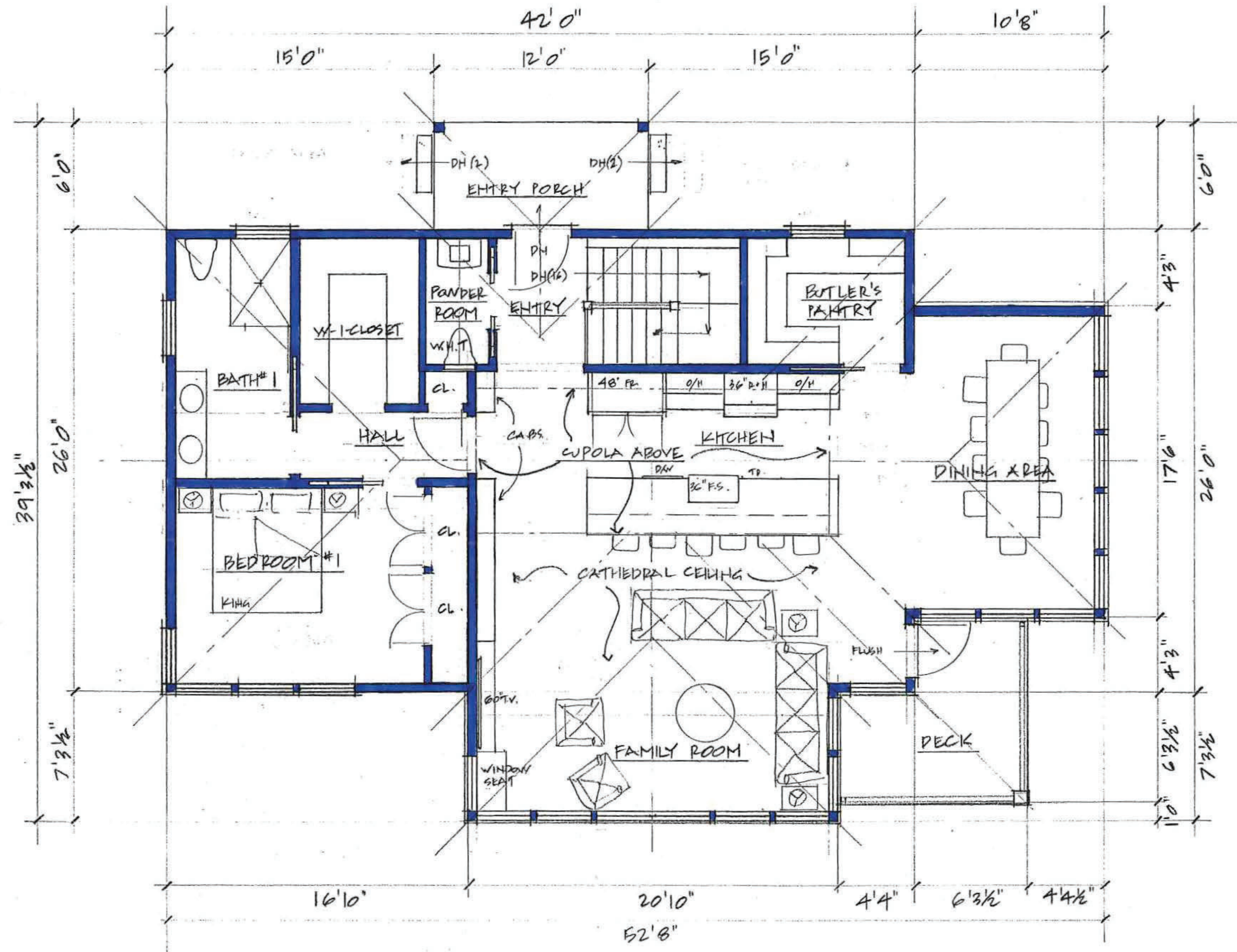
Scale: $1'' = 10^1 - 0^1$

Date: November 4, 2021

Revisions:

L-1

Sheet 1 of 1



PROPOSED FIRST FLOOR PLAN

(1,431 sf)

6.20.2021

1/8" = 1' 0"

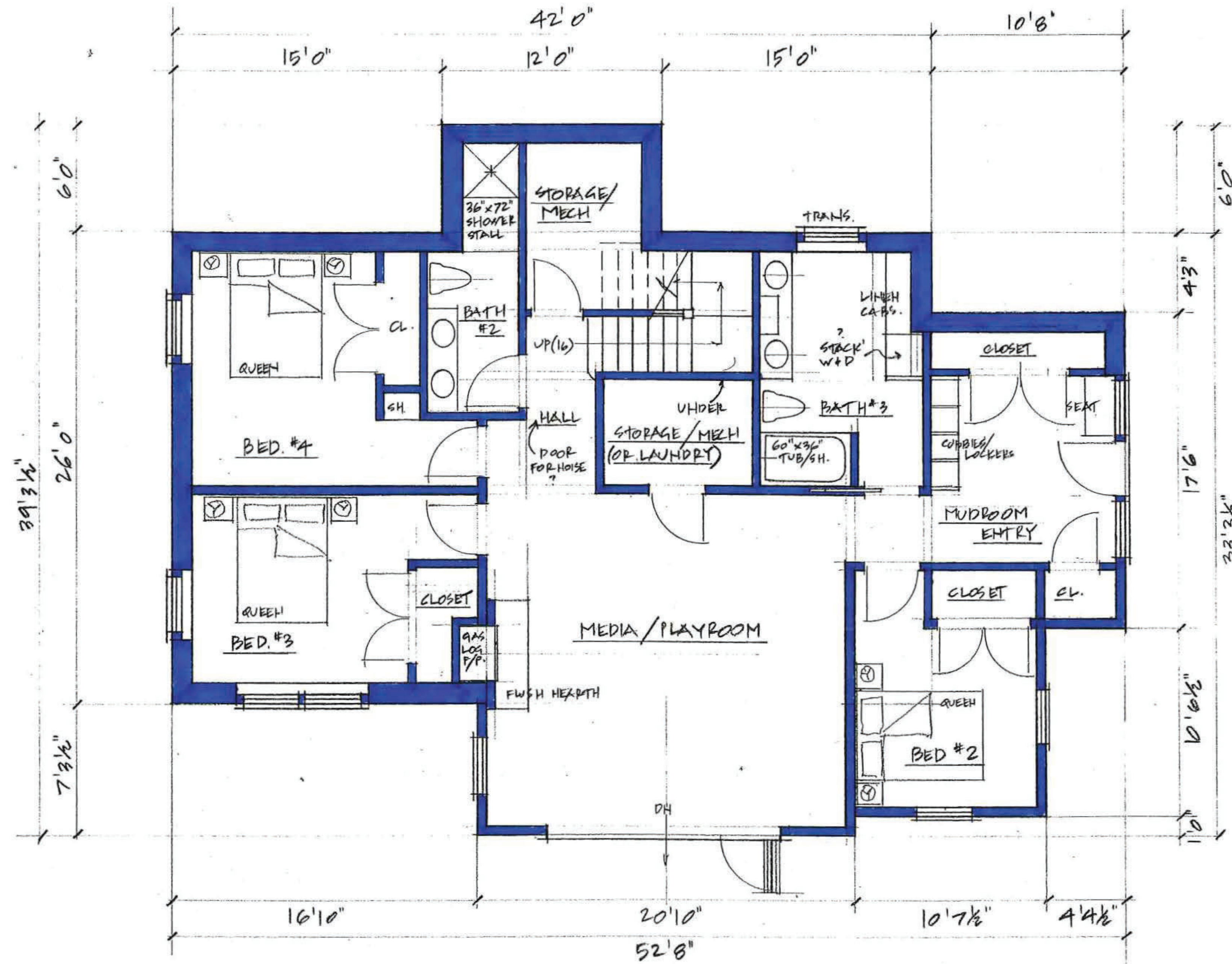
TITLE: PROP' FIRST FLOOR PLAN

SCALE: 1/8" = 1' 0"

DATE: 6.20.2021

REVISIONS:

MERCIER RESIDENCE
134 WHIPPLE RD.,
KITTERY, MAINE



PROPOSED BASEMENT FLOOR PLAN (1,601 sq FOOTPRINT)
4.29.2021 1/8" = 1' 0"

TITLE: PROP BASEMENT FLOOR PLAN
SCALE: 1/8" = 1' 0"
DATE: 4.29.2021
REVISIONS:
MERCIER RESIDENCE
134 WHIPPLE RD.,
KITTEY, MAINE



EAST ELEVATION 1/8" = 1' 0"
6.20.2021

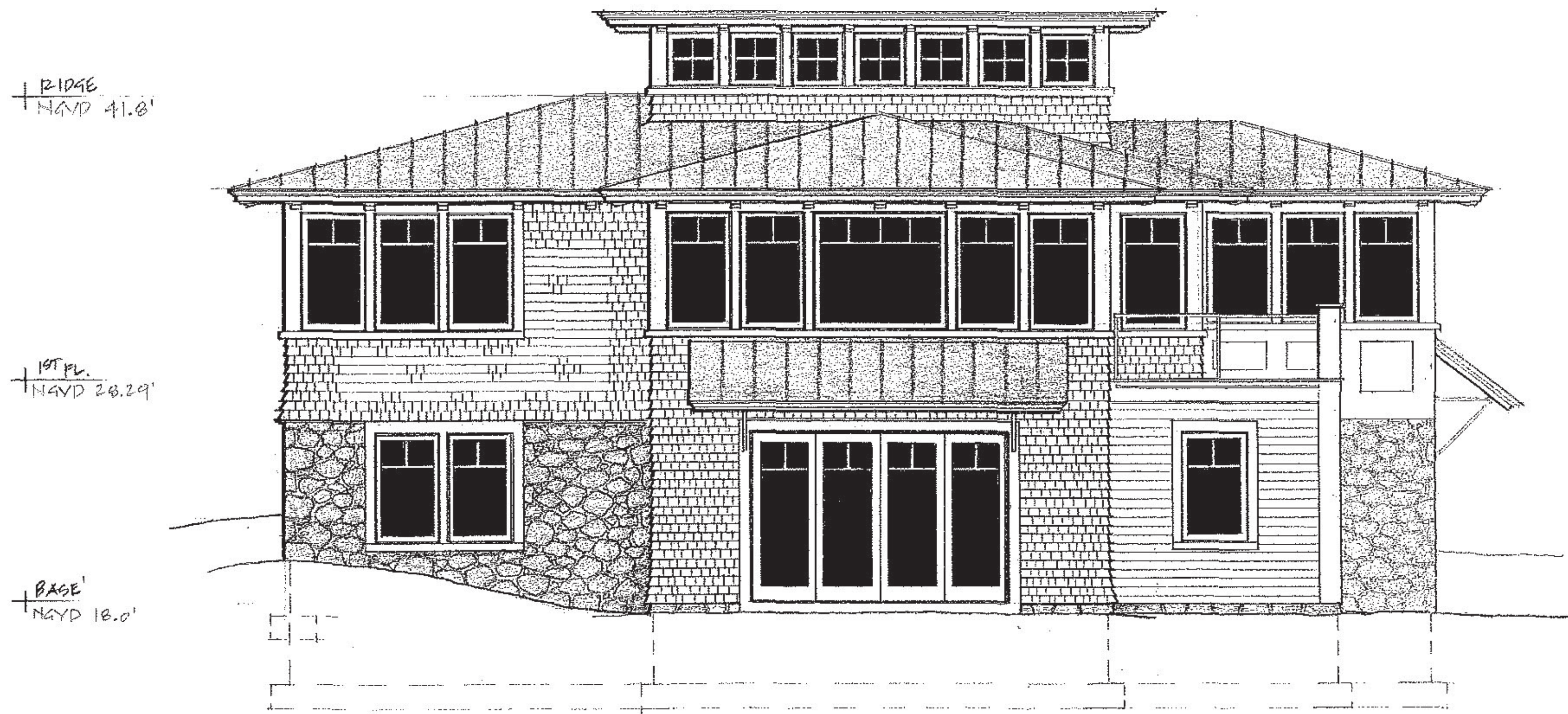
TITLE: PROP' EAST ELEVATION

SCALE: 1/8" = 1' 0"

DATE: 6.20.2021

REVISIONS:

MERCIER RESIDENCE
134 WHIPPLE RD.,
KITTERY, MAINE



SOUTH ELEVATION

1/8"=1'0"

TITLE: PROP' SOUTH ELEVATION

SCALE: 1/8"=1'0"

DATE: 6.20.2021

REVISIONS:

MERCIER RESIDENCE

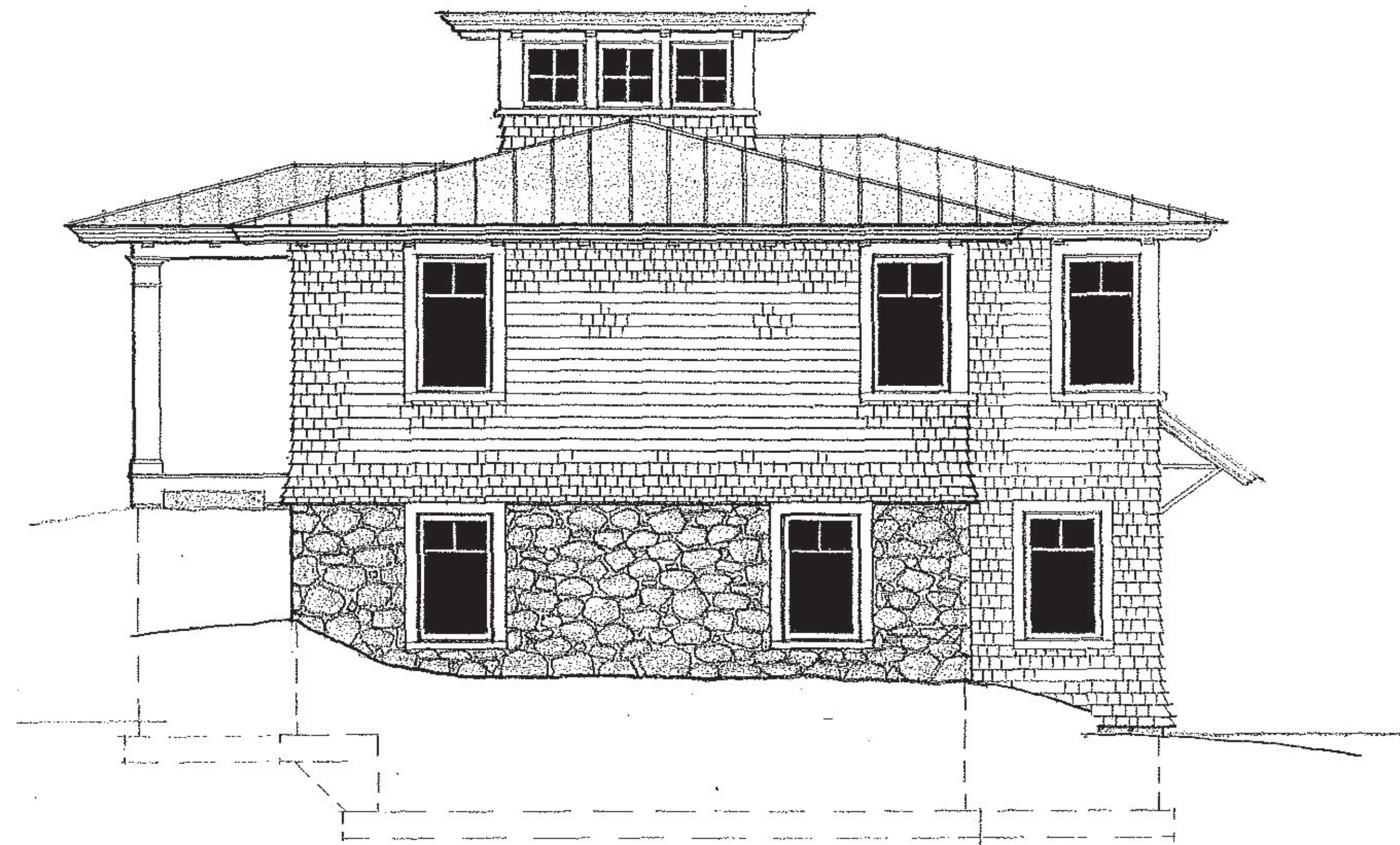
134 WHIPPLE RD.,

KITTERY, MAINE

TOP OF RIDGE
HGD 41.8'

1ST FLOOR
HGD 28.29'

BASE GLAB
HGD 18.0'



WEST ELEVATION
 $\frac{1}{8}'' = 1'0''$

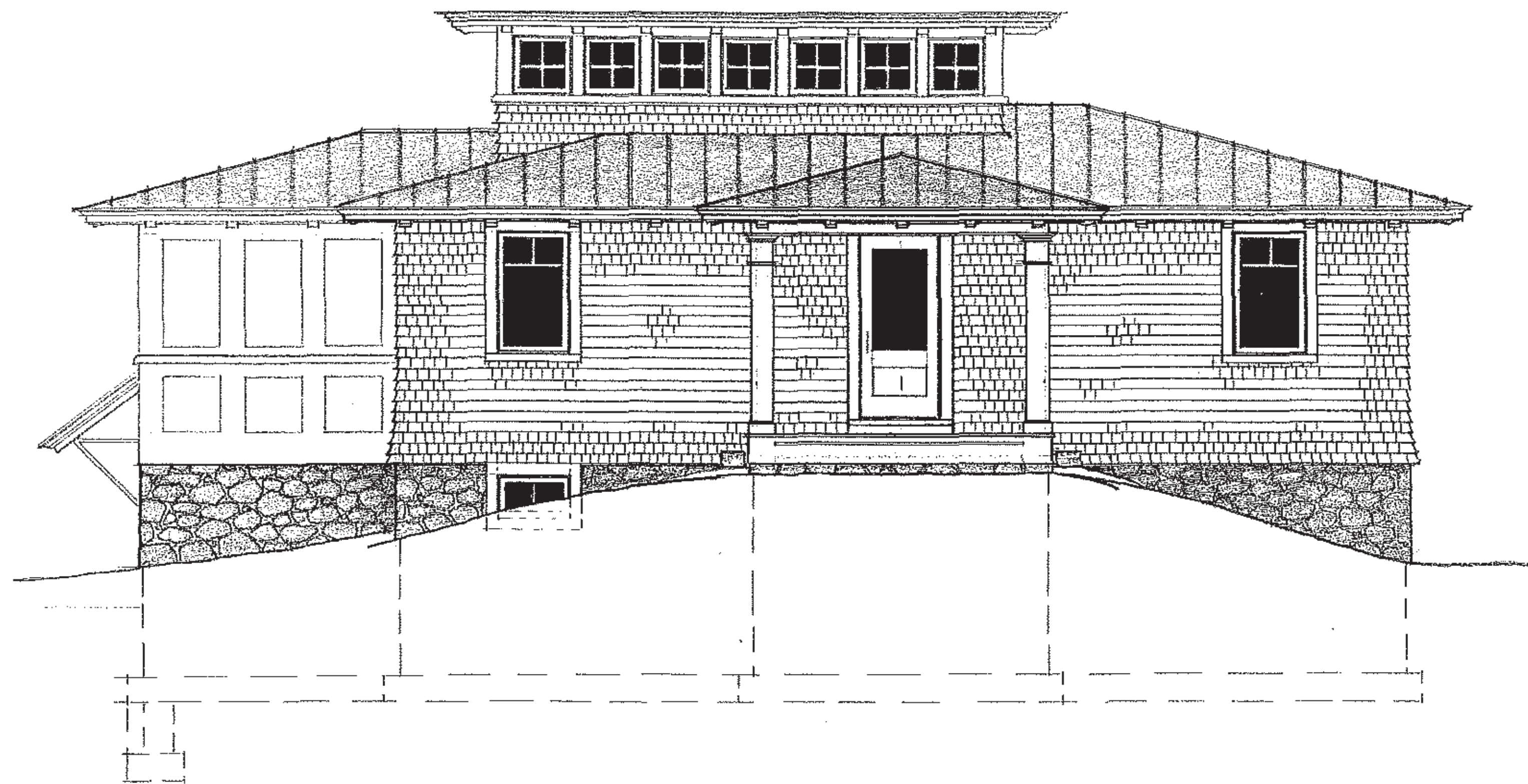
TITLE: PROP' WEST ELEVATION

SCALE: $\frac{1}{8}'' = 1'0''$

DATE: 6.20.2021

REVISIONS:

MERCIER RESIDENCE
134 WHIPPLE RD.,
KITTERY, MAINE



PIPE
NGVD 41.8'

1ST FL
NGVD 28.29'

BASE
NGVD 18.0'

NORTH ELEVATION

$\frac{1}{8}'' = 1'0''$

TITLE: PROP' NORTH (ROAD) ELEVATION

SCALE: $\frac{1}{8}'' = 1'0''$

DATE: 6.20.2021

REVISIONS:

MERCIER RESIDENCE

134 WHIPPLE RD.,

KITTERY, MAINE