

**Town of Kittery
Planning Board Meeting
February 13, 2020**

ITEM 1 – 76 Dennett Road – Sidewalk/Street/Landscape Design Discussion

Action: Approve or deny street, sidewalk and landscape designs. Owners William J. Cullen and Sail Away, LLC and applicant William Wharff were granted preliminary plan approval on September 26, 2019. That approval was granted with conditions: present a sidewalk design per the requirements of Title 16 and obtain peer review for landscaping plans. Agent is Shawn Tobey, P.E. Hoyle, Tanner & Associates, Inc.

PROJECT TRACKING

REQ'D	ACTION	COMMENTS	STATUS
YES	Sketch Plan Acceptance/Approval	5/9/2019 meeting	APPROVED
YES	Site Visit	7/23/2019	HELD
YES	Preliminary Plan Review Completeness/Acceptance	7/11/2019 meeting	ACCEPTED
YES	Public Hearing	8/8/2019 meeting	HELD
YES	Preliminary Plan Approval	9/29/19 meeting	APPROVED
YES	Final Plan Review and Decision	Not yet submitted	

Applicant: Prior to the signing of the approved Plan any **Conditions of Approval related to the Findings of Fact along with waivers and variances (by the BOA) must be placed on the Final Plan and, when applicable, recorded at the York County Registry of Deeds. PLACE THE MAP AND LOT NUMBER IN 1/4" HIGH LETTERS AT LOWER RIGHT BORDER OF ALL PLAN SHEETS.** As per Section 16.4.4.L - Grading/Construction Final Plan Required. - Grading or construction of roads, grading of land or lots, or construction of buildings is prohibited until the original copy of the approved final plan endorsed has been duly recorded in the York County registry of deeds when applicable.

Background

At the Planning Board meeting on December 12th, 2019, the Applicant presented sidewalk plans that showed a sidewalk at the toe of the slope, which would necessitate clearing of existing trees and pose some wetland impacts and a sidewalk located mid-slope which would entail considerable fill and grading plus some clearing of vegetation. The third option which wasn't shown on a plan but was discussed was building the sidewalk within the ROW of Dennett Road. Applicant agreed to provide more information.

Update: At the Planning Board meeting on January 9, 2020, the Applicant requested a waiver of the sidewalk requirements citing pedestrian safety concerns related to the posted speed, lack of crossings and missing connectivity. The Planning Board requested that the Applicant provide a plan showing a sidewalk within the ROW along the entire frontage of the property in order to make an informed decision on the waiver.

Staff Review

The materials submitted for this meeting's discussion are comprised of:

1. A letter describing the submission;
2. A response to the landscape design peer review (done by Jeffrey Hyland of Ironwood Design Group) which addresses each of Jeffrey's comments individually; and
3. A five-page plan set. The first page of the plan set shows sidewalk designs and the proposed changes to Dennett Road while the remaining plans are concerned with the landscape design (amended per the peer review) and detail drawings.

Sidewalk Design

The sidewalk design proposed consists of two segments:

1. From the proposed development's entrance north, a six-foot wide sidewalk with a guard rail on one side and a six-foot wide grass strip between the vertical granite curbing and the shoulder on the other.
2. From the proposed development's entrance south, a six-foot wide sidewalk with vertical granite curbing plus the shoulder.

The sidewalk detail drawings don't quite align with the plan (regarding which sidewalk design segment includes the guard rail and certain shoulder widths). The plan shows there will be vegetation removal and grading involved with the sidewalk installation.

Street Design

The Applicant received comments back from the MaineDOT Traffic Movement Permit (TMP) Application.

1. MaineDOT is requiring a dedicated left-turn lane for vehicles wishing to enter the I-95 southbound ramp from Dennett Road and it appears on the plan. A five-foot wide shoulder is also required on the south-bound side of the road.
2. The right-turn access lane into the development is not being required by MaineDOT because the speed limit on Dennett Road is not great enough but if the Town wishes to retain the right turn lane, MaineDOT is requiring a minimum of 4-foot wide bicycle accommodations through that lane. The Applicant's plan shows the right-turn lane and bicycle accommodations.

Both the Fire Chief and the Police Chief looked at the sidewalk and street design plans and had no objections (emails included). Planning staff met with DPW staff and DPW had no further comments or objections concerning the sidewalk/street design.

Because the right-turn lane is not required by MaineDOT, the Board may want to consider whether or not such a lane is necessary. A right-turn lane may mitigate traffic and aid travel on Dennett Road (which is why the Applicant is proposing it) but not having the lane may lessen speed along that stretch of road. Removing the right-turn lane would decrease the grading limitations for the sidewalk on that side of the road. A relevant page from the Traffic Study that was submitted as part of the Preliminary Plan is included which shows the estimated number of trips entering and exiting the development based on the proposed uses.

Landscape Design

Jeffrey Hyland, of Ironwood Design, at the request of CMA, has reviewed the landscape plans. The Applicant has responded to the comments, both with a memo to the Board and with revised landscaping plans. Jeffrey then reviewed the landscape revisions and made two additional comments.

Recommendation / Action

The Board will want to discuss the plans and materials submitted.

If the Board indicates (sense of the Board) that the sidewalk design is sufficient and satisfactory, the Applicant will request to withdraw the sidewalk waiver request. The suggested motion to accept the withdrawal is below:

Move to accept the withdrawal of the sidewalk waiver request, dated December 19, 2020 as prepared by Hoyle, Tanner & Associates, Inc., for owners William J. Cullen and Sail Away, LLC and applicant William Wharff for a mixed-use residential development on 23.3+- acres of land at 76 Dennett Road (Tax Map 6 Lots 15B & 16A and Tax Map 13, Lot 4) in the Mixed Use - Neighborhood (MU-N) Zone.

If the Board finds that sufficient information regarding the sidewalk and street design has been submitted, a vote can be taken. If the Board votes to approve the street and sidewalk design, conditions may be added if desired.

The suggested motion is below:

Move to approve/deny the sidewalk/street design plan, dated January 23, 2020 as prepared by Hoyle, Tanner & Associates, Inc., for owners William J. Cullen and Sail Away, LLC and applicant William Wharff for a mixed-use residential development on 23.3+- acres of land at 76 Dennett Road (Tax Map 6 Lots 15B & 16A and Tax Map 13, Lot 4) in the Mixed Use - Neighborhood (MU-N) Zone (with conditions if needed).

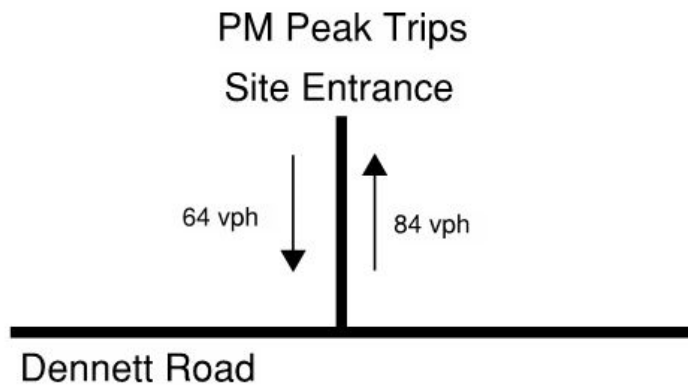
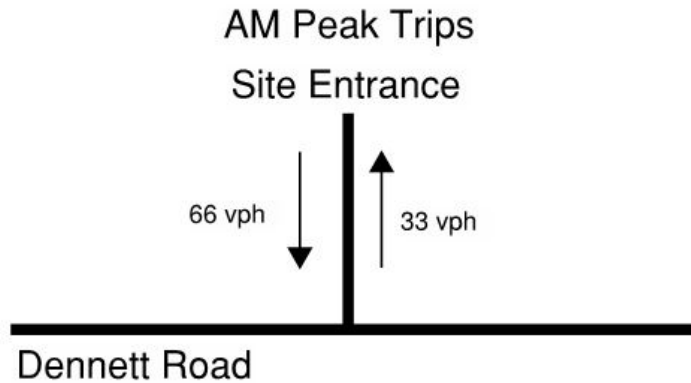
If the Board finds that sufficient information regarding the landscape design has been submitted, a vote can be taken. If the Board opts to approve the landscape design, Staff recommends the condition included in the suggested motion below:

Move to approve/deny the landscape design plans, dated January 23, 2020 as prepared by Hoyle, Tanner & Associates, Inc., for owners William J. Cullen and Sail Away, LLC and applicant William Wharff for a mixed-use residential development on 23.3+- acres of land at 76 Dennett Road (Tax Map 6 Lots 15B & 16A and Tax Map 13, Lot 4) in the Mixed Use - Neighborhood (MU-N) Zone (with the condition that all comments from Ironwood Design are addressed in the final plan submission).

Table C.3 - Trip Generation Directional Trips

	223 - Mid-Rise Apartment (303 Units)		814 - Variety Store (1,500 SF)		930 - Fast Casual Restaurant (1,500 SF)		Entering Subtotal	Exiting Subtotal	Total
	Entering #	Exiting #	Entering #	Exiting #	Entering #	Exiting #			
Weekday Daily Trips	1018	1018	47	48	237	236	1302	1302	2604
Weekday AM Peak Hour	28	63	3	2	2	1	33	66	99
Weekday PM Peak Hour	68	50	5	5	12	9	85	64	149

Figure C.1 – Development Trip Distribution



January 23, 2019

Adam Causey
Director of Planning and Development
Town of Kittery
200 Rogers Road
Kittery, Maine 03904



Pease International Tradeport
100 International Drive, Suite 360
Portsmouth, New Hampshire 03801
603-431-2520
603-431-8067 fax
www.hoyletanner.com

Re: Project Update
Proposed Mixed-Use Development at 76 Dennett Road
Lots 6-15B, 6-16A, 13-4, Kittery, Maine

Dear Mr. Causey,

On behalf of Aztec, LLC, Hoyle, Tanner and Associates is pleased to submit updated project drawings and a formalized response letter to the Ironwood peer review comments. Since the last Planning Board meeting on January 9th we have made the follow changes to the project drawings:

- At the request of the Planning Board, we have added a 6' wide concrete sidewalk across the entire frontage of the property for review and discussion.
- The proposed Dennett Road bypass lane was removed and revised to a dedicated left turn lane per the email from Randy Illian at MaineDOT on January 21, 2020.
- The Dennett Road paved shoulders were widened for bicycle accommodations per the email from Randy Illian at MaineDOT on January 21, 2020.
- The project landscape drawings and details were revised to address all comments from the Ironwood peer review comments dated December 9, 2019.

We trust the revised drawings and response letter have thoroughly address any design comments and look forward to presenting the updated at the February 13th Planning Board Meeting. Please do not hesitate to contact our office with any questions or comments regarding this project.

Sincerely,

HOYLE, TANNER & ASSOCIATES, INC.

A handwritten signature in black ink that reads "Shawn M. Tobey".

Shawn M. Tobey, P.E.
Project Manager

January 23, 2020

Adam Causey
Director of Planning and Development
Town of Kittery
200 Rogers Road
Kittery, Maine 03904

Hoyle, Tanner
& Associates, Inc.

Pease International Tradeport
100 International Drive, Suite 360
Portsmouth, New Hampshire 03801
603-431-2520
603-431-8067 fax
www.hoyletanner.com

Re: Landscape Design Review
Response to Ironwood Design Group Review Comments
Proposed Mixed-Use Development at 76 Dennett Road
Tax Maps Lots 6-15B, 6-16A, 13-4, Kittery, Maine

Dear Adam,

Hoyle, Tanner is in receipt of the landscaping design review comments dated December 9, 2019 as prepared by Jeffrey Hyland PLA, ASLA of Ironwood Design Group regarding the above-referenced project. We offer the following responses to the comments (shown in italics) for your consideration.

1. Clarify the soil and planting treatment for the area of vernal pool buffer restoration. Clumps of shrubs are shown but the planting for the large areas between these shrubs is unclear. If the area is to be seeded, seed mix should be specified.

Note #13 on sheets C18 and C19 was revised to read as follows: "In the vernal pool buffer restoration areas, the contractor shall remove any fill material, replace with 4" of onsite native topsoil, plant specified shrubs and seed with the specified restoration mix. Restoration areas shall be monitored for two (2) full years to ensure vegetation is established."

A vernal pool buffer restoration seed mix was added to sheets C18 and C19.

2. Specify seed mix/planting plan for the proposed wet ponds.

A wet pond seed mix was added to sheets C18 and C19.

3. Specify grass seed mix and provide grass planting detail.

A grass seed mix was added to sheets C18 and C19

4. Include a the 'Vernal Pool Restoration' hatch in legend.

The vernal pool restoration hatch was added to the legend on sheet C2.

5. Include a 'life maintenance' note for street trees per § 16.8.18.1

A life maintenance note (note #7) for street trees was added to sheets C18 and C19

6. Include Landscape plan for preservation of natural and historic features per § 16.9.2.4.

By avoiding all existing wetland and streams, the proposed site and landscape plans were designed for the preservation of natural feature. Where possible, large mature trees were preserved. Based on correspondence with the Maine Historic Preservation Commission there are no historic features onsite.

7. *The parking lot screening and Building 1 does not seem adequate to meet the requirements of section § 16.8.4.12. The code calls for the screen to either consist of street trees and a fence or an 8'-wide continuous planting bed with 50% evergreen plants at 6'-high minimum.*

The proposed landscaping at the front of Building 1 was revised to include a continuous raised 18' wide planter strip with additional evergreen trees.

8. *Consider providing irrigation, especially at the plantings along the street frontage.*

The plans were revised to specify irrigation for planting and lawn areas as specified in notes #15 and #16 on sheets C18 and C19.

9. *Per § 16.8.4.12 Street Trees shall be 12' minimum height. Picea glauca and Magnolia 'butterfly' are specified at 8-10'.*

These trees were revised to be a minimum of 12' in height at the time of planning.

10. *Consider including more trees around parking lots. According to square foot calculations on the drawings, 51 trees are required, but only 37 trees are provided within the parking lot area.*

The proposed plans call for 66 trees around the proposed parking areas and total of 151 street trees onsite. The 37 trees referenced in the comment do not appear to include the trees around the parking at the front of the site as shown on sheet C18.

11. *Several light pole locations conflict with tree locations. Coordinate light pole and street tree plantings so that the mature growth of the tree does not block the light.*

The proposed tree locations were adjusted avoid conflict with the proposed lighting.

12. *One Betula nigra (Bn) at main entrance is shown on the curb line. Consider moving that tree into a plant bed and ensure that it does not block sight lines.*

The Betula nigra (Bn) at the main entrance was replaced.

13. *Consider alternatives to the following plant materials:*

a. *Pyrus Calleryana 'New Bradford' has invasive tendencies.*

New Bradford trees were removed from the proposed planting list and replaced with alternatives.

b. *Acer saccharum 'Green Mountain' is not salt tolerant and should not be used in parking lots or along roadways that will be salted.*

Green Mountain trees were relocated away from salt areas and were replaced with alternative salt tolerant trees.

c. *Thuja occidentalis is prone to deer browse damage and does not recover well from that damage.*

Thuja occidentalis were removed from the proposed planting list and replaced with alternatives.

d. *Ilex glabra, Spirea bumalda, and Buxus are not shade tolerant and should not be planted on the north side of the building.*

These shrubs were removed from the north side of the buildings and replaced with alternatives.

e. Ilex glabra grows to 6'-wide and will grow into the path where it is planted at the Building I foundation, in a 4' plant bed. Consider planting a dwarf or compact variety.

A dwarf version of the Ilex glabra is now specified.

14. Verify that locations of foundation planting will not be subjected to heavy snow falling off the roof. Where a plant bed might receive heavy snowfall from the roof, consider replacing woody shrubs with perennial or other non-woody plant material.

The proposed residential buildings and clubhouse will have flat roofs. Snowfall from the roofs is not anticipated.

15. Provide more information in plan or detail related to the relationship between the 3' wide Drip Edge Infiltration (Detail 7/C21) and proposed foundation plantings.

The proposed drip edge infiltration is only proposed at the rear of the garage structures to collect roof runoff and therefore will not conflict with the proposed foundation plantings. The residential buildings and clubhouse will have internal roof drain connections to the closed drainage system.

16. Betula nigra has a tenancy to bend under heavy snow. They should be planted 20' minimum from the edge of a pedestrian walkway or roadway to prevent blocking these pathways when this bending occurs.

All Betula nigra trees were moved 20' away from parking and walkways.

17. The following comments refer to Detail 10/C25 Typical Tree Planting:

- a. Replace galvanized wire with wide woven polypropylene straps to prevent gouging into tree trunk. Rubber hose does not provide adequate trunk protection.*
- b. Include a note that staking should be removed after two growing seasons.*
- c. Guying is recommended for deciduous trees greater than 6" caliper and all evergreen trees. Vertical stakes should be used for deciduous trees less than 6" caliper.*
- d. Details show mulch placed much higher than the plant's root flare. Included a note that root flare should be exposed above finished grade and mulch should be kept 3" away from base of tree.*
- e. To reduce the likelihood of settlement it is preferable to not over excavate the planting pit by 6".*
- f. Include a note that at least 1/2 of the wire basket should be removed completely.*

The typical tree planting detail was revised to include all the above comments. The detail has been relocated to #4 on sheet C27 due to additional details added to the plan set.

Additional Comments

18. Curb ramps at the second Building I driveway should orient the pedestrian across the driveway. As drawn, the pedestrian is oriented into the street. Consider extending the sidewalk further into the driveway so the curb ramps can be more perpendicular to the driveway.

The curb ramp was revised to provide a more direct route to the crosswalk.

19. Consider providing a paved access path to the Booster Pump Building.

A 5'-0" wide concrete walk was added to the plans from the booster pump building to the curb.

20. The following comments refer to Detail 6/C25 Brick Pavement Detail:

- a. The detail provided lacks some information and raised feasibility concerns. Provide the following information and/or questioned responses.*

- i. Is the paver being proposed clay or concrete?*
- ii. A bituminous base in the application would be more typical unless heavy weight loading is anticipated.*
- iii. Consider providing weep holes in the base especially given the sand swept joints.*
- iv. Consider a sand or drypac setting bed with polymeric sand joints.*
- v. Identify the means of edge restraint.*

The paver detail was revised for a pedestrian application as we do not anticipate vehicular loads on the proposed pavers. The detail has been relocated to #3 on sheet C27 due to additional details added to the plan set.

21. *The following comments refer to Detail 10/C24 Dumpster Vinyl Fence:*

- b. The fence detail lacks information to determine if it will be able to withstand the demands that a typical dumpster enclosure is subjected to. Provide the following information:*
 - i. Information related to internal rain reinforcement. Given the 9' span steel reinforcement may be warranted.*
 - ii. Provide clarification on the style of panel. Typically a picket (specified) is spaced out vs. inter-locking T&G which would be solid.*
 - iii. Provide post information, is the post pressure treated with a vinyl sleeve, solid vinyl, or hollow.*
 - iv. Provide additional hardware information for the following: hinges, latches, drop pin, fasteners, specifically size, material, finishes, and strength rating.*

The dumpster enclosure detail was revised to include all the above comments. For reference, the detail has been relocated to #6 on sheet C26 due to additional details added to the plan set.

We trust that the revisions and responses have thoroughly addressed all comments and concerns. Please do not hesitate to contact our office with any additional questions or comments regarding this project.

Sincerely,

HOYLE, TANNER & ASSOCIATES, INC.



Shawn M. Tobey, P.E.
Project Manager



February 5, 2020

Adam Causey, Director of Planning & Development
Kathy Connor, Project Planner
Town of Kittery
200 Rogers Road
Kittery, Maine 03904

**RE: Town of Kittery, Planning Board Services
Mixed-Use Development Proposal – 76 Dennett Road Lots 6-15B, 6-16A, 13-4
Final Review Comments - January 23, 2020 Submittal
CMA #591.125**

Dear Adam and Kathy:

CMA Engineers has received and reviewed the following information for Assignment #125, review of the Mixed-Use Development at 76 Dennett Road (Tax map Lots 6-15B, 6-16A, and 13-4):

- 1) *Letter from Shawn Tobey, P.E. of HTA dated January 23, 2020 summarizing modifications to design drawings, including bypass lanes and sidewalk on/along Dennett Road, and changes to landscape architecture design,*
- 2) *Letter from Shawn Tobey, P.E. of HTA dated January 23, 2020 summarizing responses to landscape architecture review letter by Ironwood Design Group (which was dated December 9, 2019)*
- 3) *Revised drawing C13 (Dennett Road Improvement Plan), and drawings C18, C19, C26, and C27 (related to landscape architecture details), all with revision date of January 23, 2020*

Dennett Road Issues:

On January 9, 2020, we provided you a letter with review comments on the project's Traffic Movement Permit, including a traffic study. In addition, we commented via email dated January 16, 2020 regarding issues associated with providing sidewalks. The final revised drawing C13 (Dennett Road Improvement Plan):

- Satisfactorily incorporates our recommendations for configuration of the turning lanes and their expected functioning with respect to the traffic study, and
- Incorporates a supportable and reasonably designed and integrated sidewalk along the lot's frontage on Dennett Road.

Landscape Architecture:

We coordinated the review of HTA's original landscape plans by Jeffrey Hyland, PLA, ASLA of Ironwood Design Group, who's memo dated December 9, 2019 included a series of comments for consideration by the applicant and HTA regarding conformance of the landscape plans with Kittery's LUDC, and general standards. Mr. Hyland has reviewed the modified landscape designs and HTA's January 23, 2020 memo

Adam Causey, Director of Planning & Development

Kathy Connor, Project Planner

February 5, 2020

Page 2

with detailed responses to landscape design issues. His memo dated January 31, 2020 is attached and concludes that the majority of his review comments have been satisfactorily addressed. He has one remaining comment regarding the alignment of curb ramps.

Should you have any questions, please do not hesitate to call.

Very truly yours,

CMA ENGINEERS, INC.



William A. Straub, P.E.

Project Manager

Attachment: Ironwood Design Group landscape architecture review memo dated January 31, 2020

WAS/ams

cc: Shawn Tobey, P.E., HTA

Memo

To: William Straub, PE
CMA Engineers Inc.

From: Jeffrey Hyland, PLA, ASLA
Maine License #LAR4319

Date: 1/31/2020

Re: Landscape Design Review for Mixed Use Residential Development Project, Tax Map Lots 6-15B, 6-16A, and 13-4, 76 Dennett Road, Kittery, Maine, 03904

I have reviewed the revised drawings dated 1/23/20 prepared by HTA, Inc. for the Mixed-Use Residential Project proposed at 76 Dennett Road in Kittery. The majority of comments summarized in the memo dated 12/9/19 have been addressed. I was unable to confirm that the 'Vernal Pool Restoration' hatch was included in the legend on sheet C2 (response #4) as that was not included in the drawing set provided. The only outstanding item is #18. The curb ramp appears to have been modified but does not achieve the goal of orienting the pedestrian across the driveway rather than into the street. As a best practice, this type of diagonal curb ramp should be avoided.

If you have further questions, please don't hesitate to reach out.

Respectfully submitted,



Jeffrey R. Hyland, PLA, ASLA, CLARB
Principal, Ironwood Design Group
jhyland@fewood.com
603.772.0590



From: [Robert Richter](#)
To: [Kathy Connor](#); [David O'Brien](#)
Cc: [Adam Causey](#)
Subject: RE: 76 Dennett Road sidewalk and road improvement plans
Date: Thursday, January 30, 2020 12:39:29 PM

Kathy,

Looks good from the P.D. side. Thank you.

Bob



Robert Richter
Chief of Police
Kittery Police Department
200 Rogers Rd.
Kittery, ME 03904
207-439-1638
www.KitteryPolice.com



F.B.I.N.A. 244

THIS EMAIL MAY CONTAIN FOR OFFICIAL USE ONLY AND LAW ENFORCEMENT SENSITIVE INFORMATION. This E-mail (including attachments) is covered by the Electronic Communications Privacy Act, 18 USC 2510-2521, is confidential and may be legally privileged. If you are not the intended recipient, you are hereby notified that any retention, dissemination, distribution, or copying of this communication is strictly prohibited and may be unlawful. Please reply to the sender that you have received the message in error and then delete the message and any attachments.

From: Kathy Connor
Sent: Wednesday, January 29, 2020 5:35 PM
To: David O'Brien <DO'Brien@kitteryme.org>; Robert Richter <rrichter@kitterypolice.com>
Cc: Adam Causey <ACausey@kitteryme.org>
Subject: 76 Dennett Road sidewalk and road improvement plans

Hi Chief O'Brien and Chief Richter,

I've attached a copy of the memo and sidewalk and road improvement plans for the large mixed-use

development proposed for 76 Dennett Road for your review and comments. You've seen plans for this project before but there have been some changes as listed below:

- 1) A left turn lane for the southbound I-95 ramp which was required by MaineDOT
- 2) A right-turn access lane into the development which was not required by MaineDOT along with a four foot widening along the right-turn access for bicycles which was required by MaineDOT if the right turn access lane was included.
- 3) Sidewalks are included along the frontage of the development and a plan for them was required by the Planning Board.

The first page of the plan is the road and sidewalk improvements, the rest are more landscaping and detail-related. If you could provide your input by Weds, Feb 5th, we would appreciate it.

Thank you,
Kathy

Kathy Connor
Project Planner
Town of Kittery
(207) 439-0452 x319
kconnor@kitteryme.org

From: [David O'Brien](#)
To: [Kathy Connor](#); [Robert Richter](#)
Cc: [Adam Causey](#)
Subject: RE: 76 Dennett Road sidewalk and road improvement plans
Date: Thursday, January 30, 2020 7:52:03 AM

FD is okay with these additions

Chief OBrien

From: Kathy Connor
Sent: Wednesday, January 29, 2020 5:35 PM
To: David O'Brien <DO'Brien@kitteryme.org>; Robert Richter <rrichter@kitterypolice.com>
Cc: Adam Causey <ACausey@kitteryme.org>
Subject: 76 Dennett Road sidewalk and road improvement plans

Hi Chief O'Brien and Chief Richter,

I've attached a copy of the memo and sidewalk and road improvement plans for the large mixed-use development proposed for 76 Dennett Road for your review and comments. You've seen plans for this project before but there have been some changes as listed below:

- 1) A left turn lane for the southbound I-95 ramp which was required by MaineDOT
- 2) A right-turn access lane into the development which was not required by MaineDOT along with a four foot widening along the right-turn access for bicycles which was required by MaineDOT if the right turn access lane was included.
- 3) Sidewalks are included along the frontage of the development and a plan for them was required by the Planning Board.

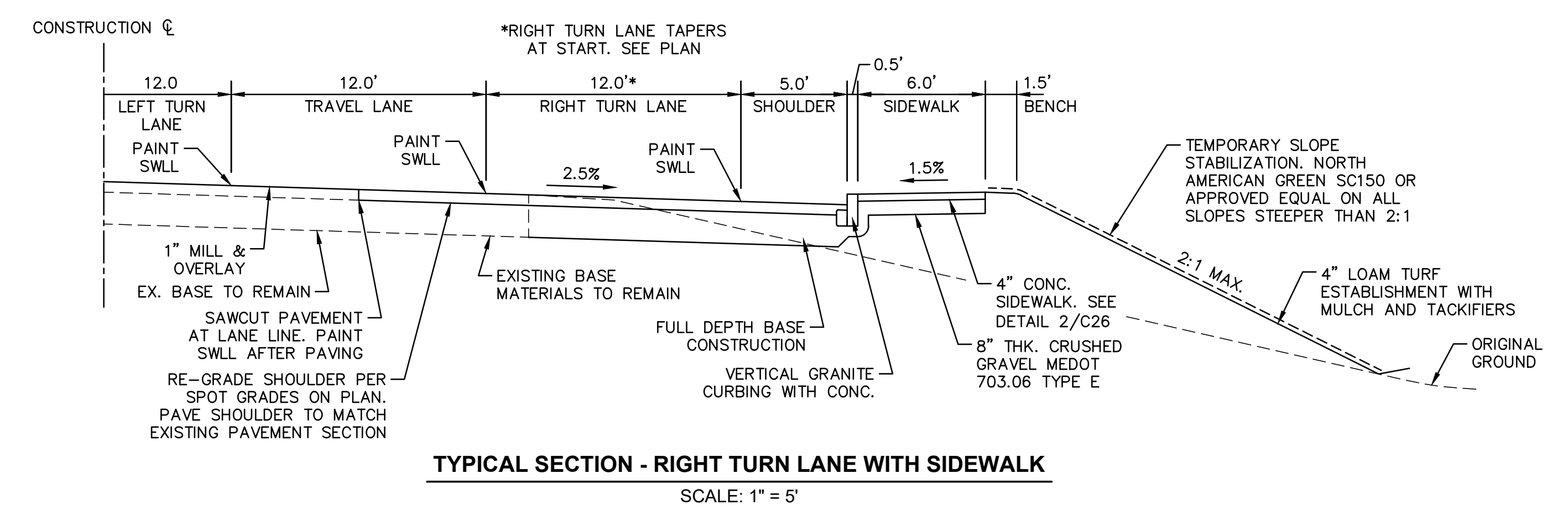
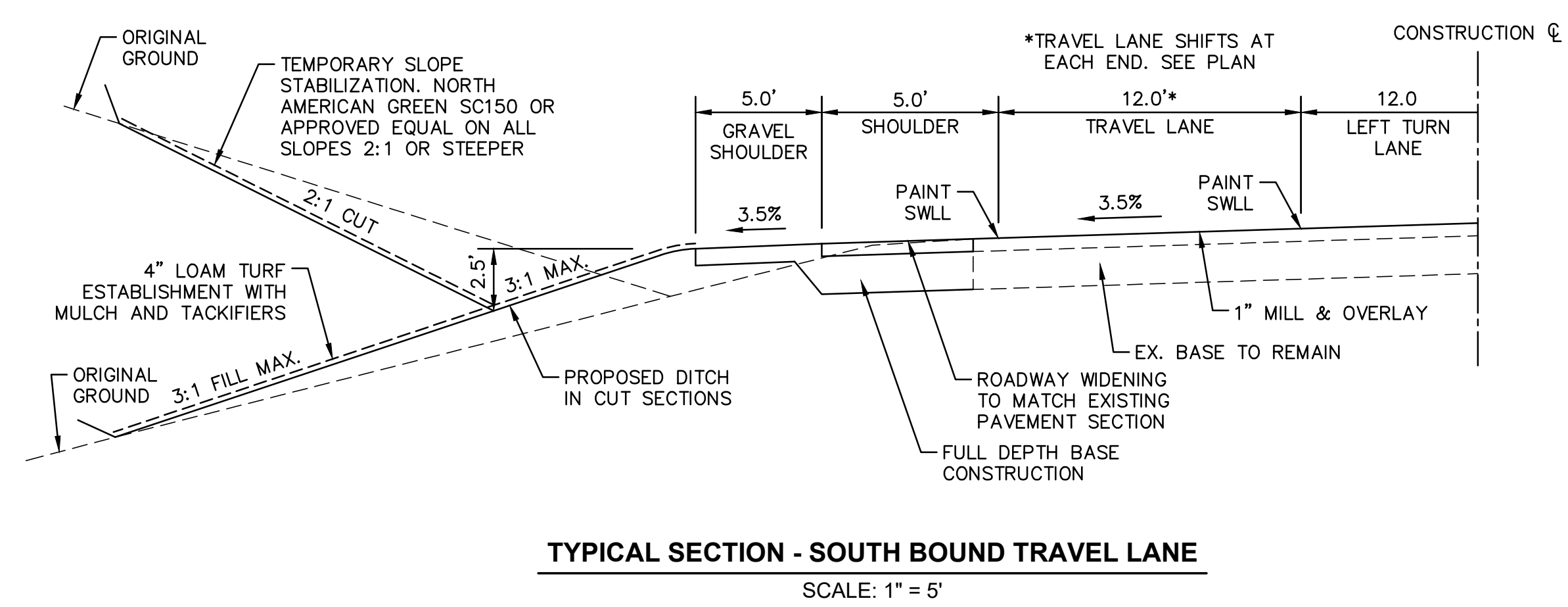
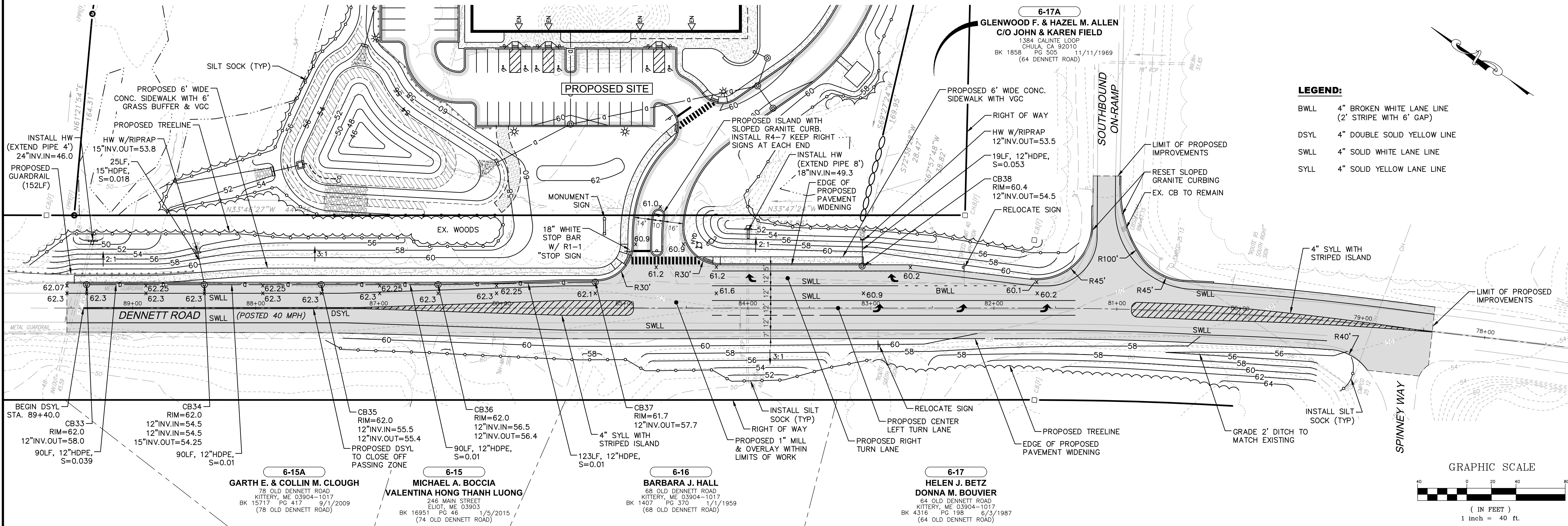
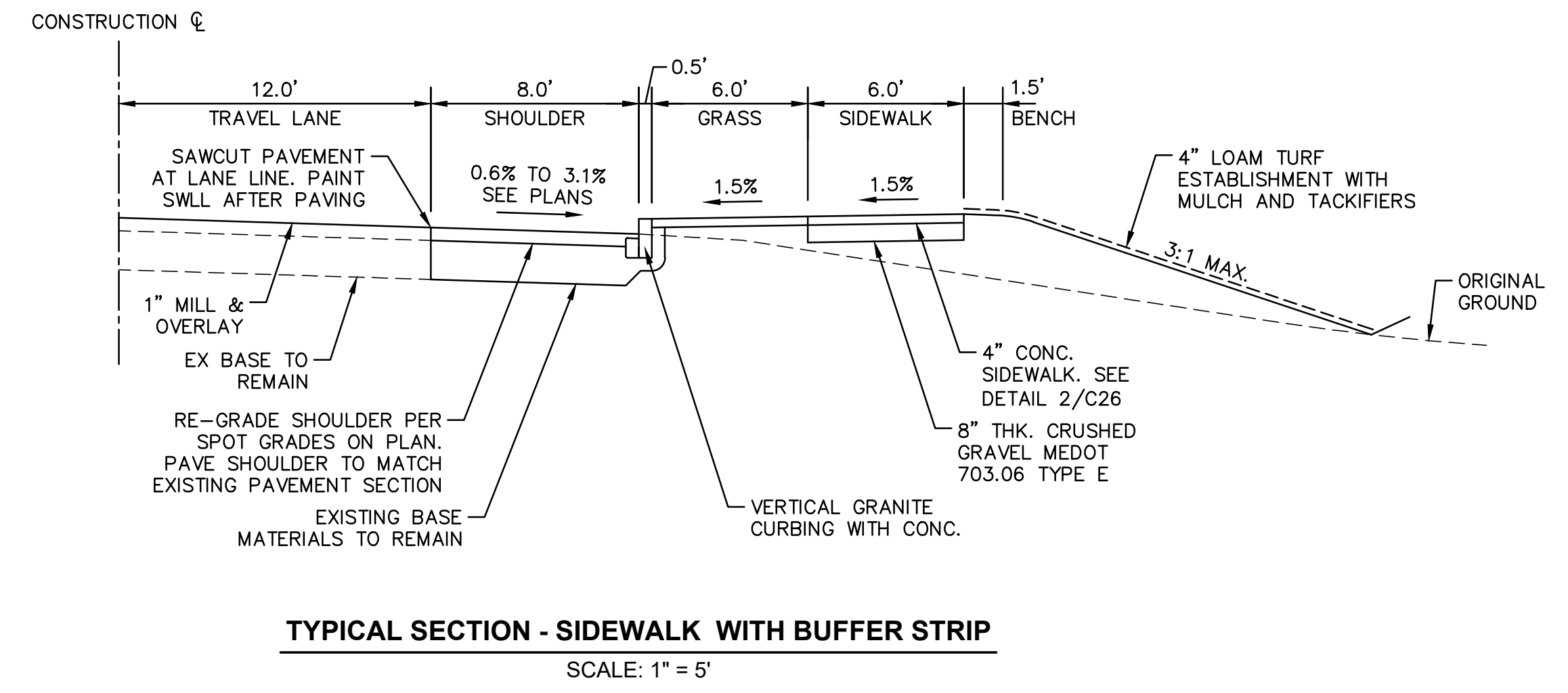
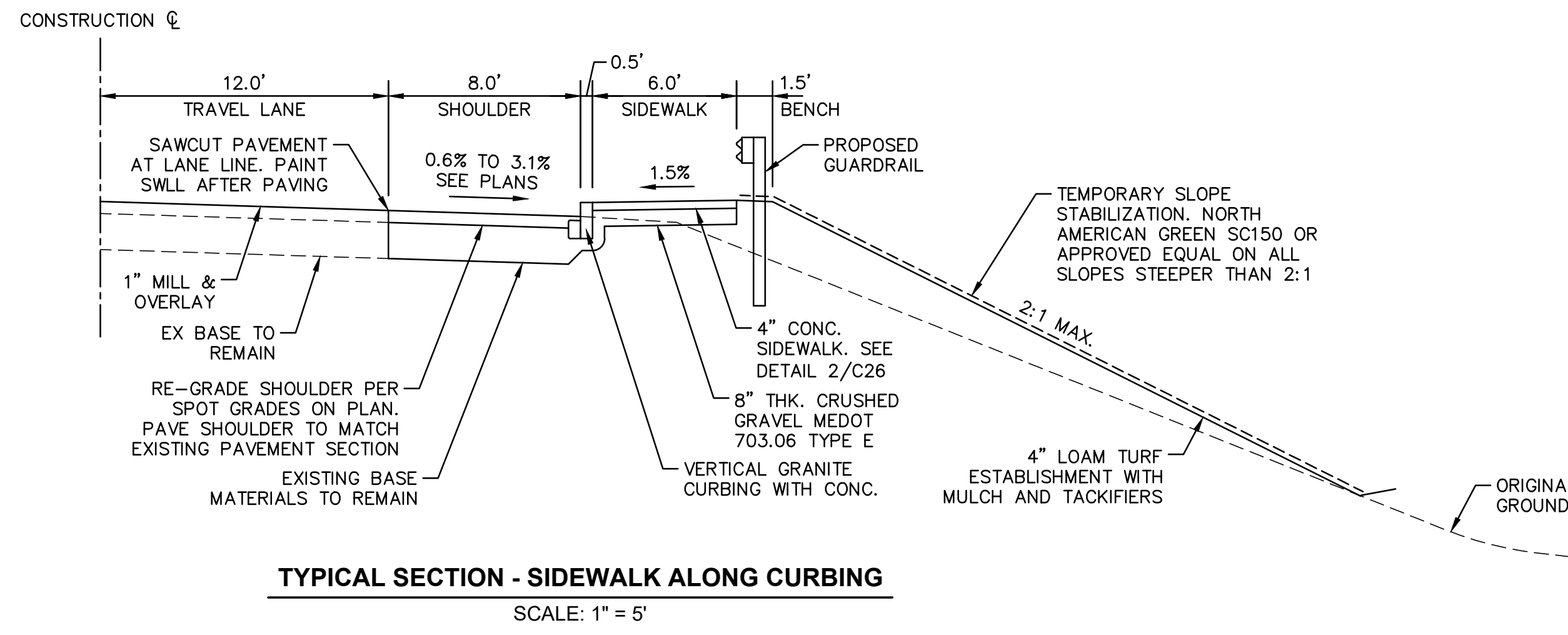
The first page of the plan is the road and sidewalk improvements, the rest are more landscaping and detail-related. If you could provide your input by Weds, Feb 5th, we would appreciate it.

Thank you,
Kathy

Kathy Connor
Project Planner
Town of Kittery
(207) 439-0452 x319
kconnor@kitteryme.org

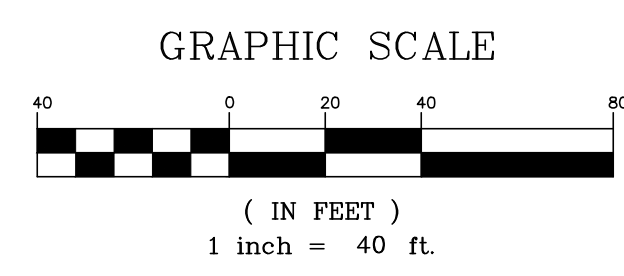
NOTES:

- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
- REFER TO DWG C6-C7 FOR ADDITIONAL EROSION CONTROL MEASURES.
- REFER TO DWGS C8 & C10 FOR ADDITIONAL SITE ENTRANCE INFORMATION.
- REFER TO DWG C11 FOR GRADING & DRAINAGE INFORMATION FOR THE PROPOSED SITE DEVELOPMENT.
- REFER TO DWGS C20-C27 FOR CONSTRUCTION DETAILS.
- ALL WORK WITHIN THE STATE RIGHT-OF-WAY SHALL CONFORM TO ALL REQUIREMENTS SET FORTH IN THE MAINE DOT TRAFFIC MOVEMENT PERMIT FOR THE PROJECT.
- THE CONTRACTOR SHALL OBLITERATE EXISTING TRAVEL WAY LINES IN AREAS OF PROPOSED STRIPING.
- ROADWAY STATIONING IS BASED ON "PLAN, RELOC. DENNETT ROAD, STA. 82+00 TO STA. 93+00, AS-BUILT, STATE OF MAINE, STATE HIGHWAY COMMISSION, MAINE FEDERAL AID INTERSTATE PROJECT NO. I-95-1 (3)", DATED NOVEMBER 12, 1970, BY HOWARD, NEEDLES, TAMMEN & BERGENDOFF CONSULTING ENGINEERS.
- THE STATIONING SHALL BE CONSIDERED APPROXIMATE AND USED FOR REFERENCE ONLY.



LEGEND:

- BWLL 4" BROKEN WHITE LANE LINE (2' STRIPE WITH 6' GAP)
- DSYL 4" DOUBLE SOLID YELLOW LINE
- SWLL 4" SOLID WHITE LANE LINE
- SYLL 4" SOLID YELLOW LANE LINE



01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING	DATE
01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACOE COMMENTS	REV.
12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS	REV.
12/09/19	ISSUED FOR MAINE DOT TRAFFIC MOVEMENT PERMIT (TMP)	REV.
11/25/19	COLOR CODED FOND DRAINAGE AREA PLAN	REV.
09/19/19	REVISED ENTRANCE & MISCELLANEOUS REVISIONS PER PLANNING BOARD	REV.
09/22/19	REV. PER PUBLIC HEARING/PLANNING BOARD COMMENTS - ISSUED FOR APPROVAL	REV.
	REVISION DESCRIPTION	

DESIGNED BY	SMT	CHECKED BY	WRD
DRAWN BY	SMT		
DESIGNED BY	SMT		
ORIGINAL DATE:	JUNE 20, 2019		
SCALE:	AS SHOWN		

APPLICANT	AZTEC, LLC 62 PORTLAND ROAD, SUITE 25 KENNEBUNK, ME 04043
PROJECT	PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT TAX MAP LOTS 6-15B, 6-16A & 13-4 76 DENNETT ROAD, KITTERY, ME 03904
PROJECT NO.	569200
SHEET	13 OF 27

Hoyle, Tanner & Associates, Inc.
100 International Dr., #360, Portsmouth, NH 03801
Tel (603) 431-4520 Fax (603) 431-8067 Web: www.hoyletanner.com
© Copyright 2019 Hoyle, Tanner & Associates, Inc.

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF HOYLE, TANNER & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC.

6-17A
GLENWOOD F. & HAZEL M. ALLEN
C/O JOHN & KAREN FIELD
1384 CALINTE LOOP
CHULA, CA 92010
BK 1858 PG 505 11/11/1969
(64 DENNETT ROAD)

6-15A
GARTH E. & COLLIN M. CLOUGH
78 OLD DENNETT ROAD
KITTERY, ME 03904-1017
BK 15717 PG 417 9/1/2009
(78 OLD DENNETT ROAD)

6-15
MICHAEL A. BOCCIA
VALENTINA HONG THANH LUONG
246 MAIN STREET
ELIOT, ME 03903
BK 16951 PG 46 1/5/2015
(74 OLD DENNETT ROAD)

6-16
BARBARA J. HALL
68 OLD DENNETT ROAD
KITTERY, ME 03904-1017
BK 1407 PG 370 1/1/1959
(68 OLD DENNETT ROAD)

6-17
HELEN J. BETZ
DONNA M. BOUVIER
64 OLD DENNETT ROAD
KITTERY, ME 03904-1017
BK 4316 PG 198 6/3/1987
(64 OLD DENNETT ROAD)

LANDSCAPE NOTES:

- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
- REFER TO DWGS C20-C27 FOR CONSTRUCTION DETAILS.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL AREAS THAT DO NOT HAVE A SPECIFIED SURFACE TREATMENT SHALL BE GRASS.
- ALL TREES TO BE BALLED & BURLAPED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK; PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH. THE MULCH SHALL BE APPLIED TO A DEPTH OF 4".
- STREET TREES, ESPLANADES AND OPEN GREEN SPACES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE DEVELOPMENT.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR TWO (2) FULL YEARS FROM DATE OF ACCEPTANCE.
- THE CONTRACTOR SHALL LOCATE, VERIFY, AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED UNTIL FORMAL ACCEPTANCE OF ALL THE PLANTING.
- PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED. IT MAY BE NECESSARY TO PRE DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.
- IN THE VERNAL POOL BUFFER RESTORATION AREAS, THE CONTRACTOR SHALL REMOVE ANY FILL MATERIAL, REPLACE WITH 4" OF ONSITE NATIVE TOPSOIL, PLANT SPECIFIED SHRUBS AND SEED WITH THE SPECIFIED RESTORATION MIX. RESTORATION AREAS SHALL BE MONITORED FOR TWO (2) FULL YEARS TO ENSURE VEGETATION IS ESTABLISHED.
- DURING THE REQUIRED ANNUAL SITE INSPECTIONS, THE VERNAL POOL BUFFER SHALL BE INSPECTED FOR ANY AREAS OF DISTURBANCES AND OR DEFICIENCIES. CORRECTIVE ACTIONS SHALL BE TAKEN TO RESTORE THE AREAS TO THE APPROVED POST-CONSTRUCTION CONDITIONS.
- CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTING AND LAWN AREAS.
- SITE CONTRACTOR SHALL INSTALL 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS. CONTRACTOR SHALL COORDINATE WORK WITH GENERAL CONTRACTOR AND SUBCONTRACTORS.

LANDSCAPE CALCULATIONS

- FRONTAGE STREET TREES
1 TREE PER 25 FT OF STREET FRONTAGE
200 FT DISTURBANCE/25 FT = **8 TREES REQ'D**
- PLANTER STRIP PLANTINGS
10 PLANTS/SHRUBS PER 40 FT OF STREET FRONTAGE
200 FT DISTURBANCE/40 FT x 10 PLANTS
= **50 PLANTS/SHRUBS REQ'D**
- TREES PER PARKING SPACE
1 TREE PER 8 SPACES
397 SPACES/8 SPACES = **50 TREES REQ'D**
- PARKING AREA LANDSCAPING
10% OF SURFACE PARKING AREA MUST BE LANDSCAPED WITH TREES AND VEGETATED ISLANDS.
FRONT PARKING AREA = 35,380 S.F.
10% LANDSCAPED = **3,538 S.F. REQ'D**
REAR PARKING AREA = 89,900 S.F.
10% LANDSCAPED = **8,990 S.F. REQ'D**

TOTAL TREES & PLANTS

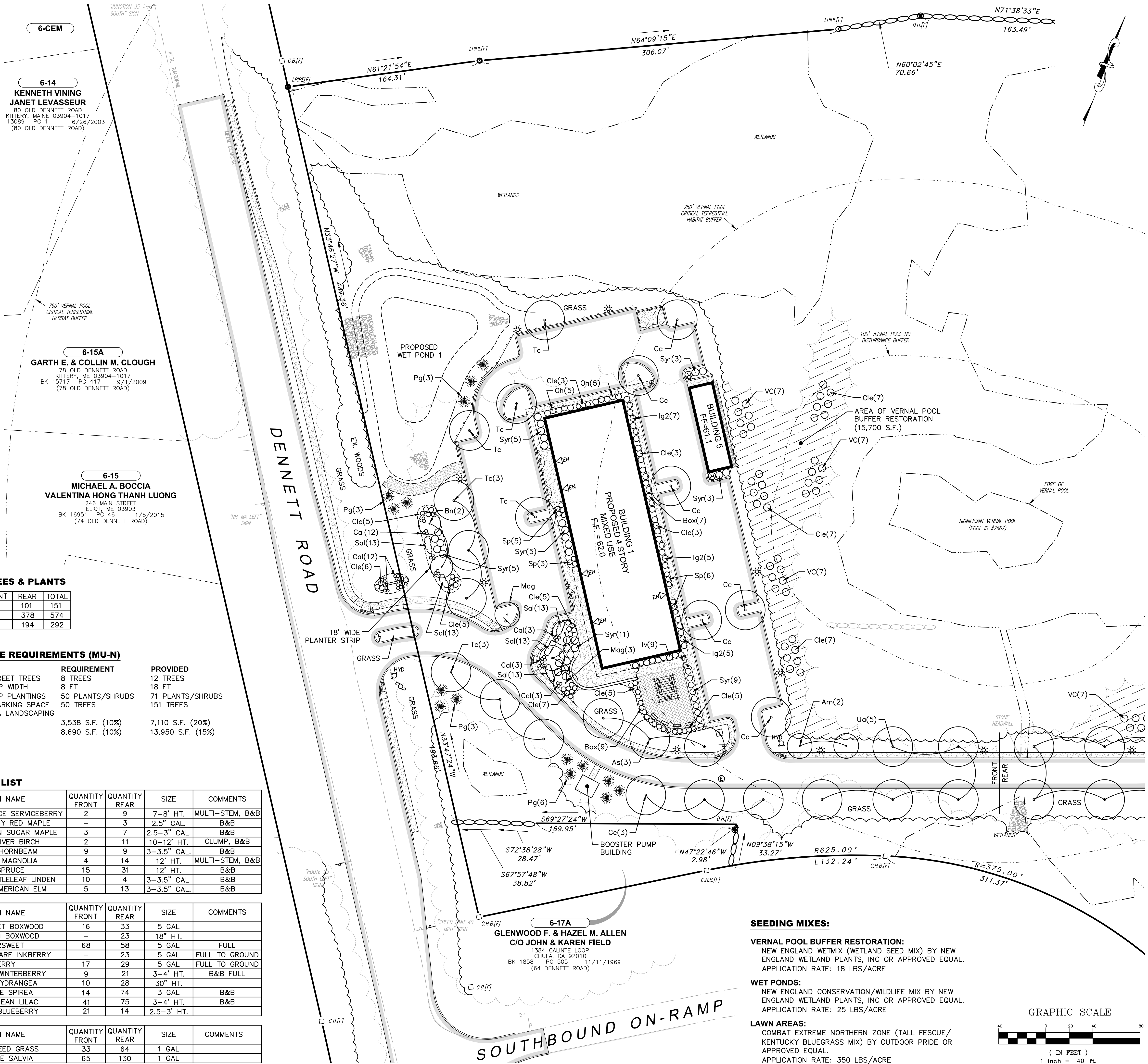
	FRONT	REAR	TOTAL
TREES	50	101	151
SHRUBS	196	378	574
PLANTS	98	194	292

LANDSCAPE REQUIREMENTS (MU-N)

REGULATION	REQUIREMENT	PROVIDED
FRONTAGE STREET TREES	8 TREES	12 TREES
PLANTER STRIP WIDTH	8 FT	18 FT
PLANTER STRIP PLANTINGS	50 PLANTS/SHRUBS	71 PLANTS/SHRUBS
TREES PER PARKING SPACE	50 TREES	151 TREES
PARKING AREA LANDSCAPING		
FRONT	3,538 S.F. (10%)	7,110 S.F. (20%)
REAR	8,690 S.F. (10%)	13,950 S.F. (15%)

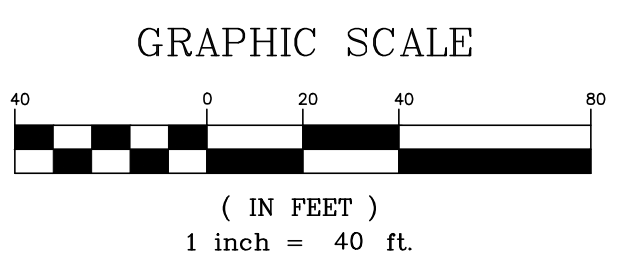
PROPOSED PLANTING LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	QUANTITY	SIZE	COMMENTS
			FRONT	REAR		
Am	AMELANCHIER X GRANDIFLORA "AUTUMN BRILLIANCE"	AUTUMN BRILLIANCE SERVICEBERRY	2	9	7-8" HT.	MULTI-STEM, B&B
Ar	ACER RUBRUM "OCTOBER GLORY"	OCTOBER GLORY RED MAPLE	-	3	2.5" CAL.	B&B
As	ACER SACCHARUM "GREEN MOUNTAIN"	GREEN MOUNTAIN SUGAR MAPLE	3	7	2.5-3" CAL.	B&B
Bn	BETULA NIGRA "HERITAGE"	HERITAGE RIVER BIRCH	2	11	10-12" HT.	CLUMP, B&B
Cc	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	9	9	3-3.5" CAL.	B&B
Mag	MAGNOLIA "BUTTERFLY"	BUTTERFLY MAGNOLIA	4	14	12" HT.	MULTI-STEM, B&B
Pg	PICEA GLAUCA	WHITE SPRUCE	15	31	12" HT.	B&B
Tc	TILIA CORDATA "GREENSPIRE"	GREENSPIRE LITTLELEAF LINDEN	10	4	3-3.5" CAL.	B&B
Ua	ULMUS AMERICANA "PRINCETON"	PRINCETON AMERICAN ELM	5	13	3-3.5" CAL.	B&B
Box	BUXUS "GREEN VELVET"	GREEN VELVET BOXWOOD	16	33	5 GAL.	
Bx	BUXUS MICROPHYLLA "WINTER GEM"	WINTER GEM BOXWOOD	-	23	18" HT.	
Cle	CLETHRA AINFOLIA	SUMMERSWEET	68	58	5 GAL.	FULL
Ig	ILEX GLABRA "SHAMROCK DWARF INKBERRY"	SHAMROCK DWARF INKBERRY	-	23	5 GAL.	FULL TO GROUND
Ig2	ILEX GLABRA	INKBERRY	17	29	5 GAL.	FULL TO GROUND
Iv	ILEX VERTICILLATA "WINTER RED"	WINTER RED WINTERBERRY	9	21	3-4" HT.	B&B FULL
Oh	HYDRANGEA QUERCIFOLIA "ALLISON"	OAKLEAF HYDRANGEA	10	28	30" HT.	
Sp	SPIRAEA X BUMALDA "GOLDFLAME"	GOLDFLAME SPIREA	14	74	3 GAL.	B&B
Syr	SYRINGA MEYERI "PALIBIN"	DWARF KOREAN LILAC	41	75	3-4" HT.	B&B
VC	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	21	14	2.5-3" HT.	
Cal	CALAMAGROSTIS ACUTIFOLIA "KARL FOERSTER"	FEATHER REED GRASS	33	64	1 GAL.	
Sal	SALVIA NEMOROSA "BLUE HILL"	DARK BLUE SALVIA	65	130	1 GAL.	



SEEDING MIXES:

- VERNAL POOL BUFFER RESTORATION:**
NEW ENGLAND WETMIX (WETLAND SEED MIX) BY NEW ENGLAND WETLAND PLANTS, INC OR APPROVED EQUAL.
APPLICATION RATE: 18 LBS/ACRE
- WET PONDS:**
NEW ENGLAND CONSERVATION/M/LDLIFE MIX BY NEW ENGLAND WETLAND PLANTS, INC OR APPROVED EQUAL.
APPLICATION RATE: 25 LBS/ACRE
- LAWN AREAS:**
COMBAT EXTREME NORTHERN ZONE (TALL FESCUE/ KENTUCKY BLUEGRASS MIX) BY OUTDOOR PRIDE OR APPROVED EQUAL.
APPLICATION RATE: 350 LBS/ACRE



APPLICANT	AZTEC, LLC 62 PORTLAND ROAD, SUITE 25 KENNEBUNK, ME 04043
PROJECT	PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT TAX MAP LOTS 6-15B, 6-16A & 13-4 76 DENNETT ROAD, KITTERY, ME 03904
DESIGNED BY	SMT
DRAWN BY	SMT
CHECKED BY	WRD
SCALE:	AS SHOWN
ORIGINAL DATE:	JUNE 20, 2019
DESIGNED BY	SMT
DRAWN BY	SMT
CHECKED BY	WRD
REV.	5
ISSUED FOR PUBLIC HEARING/PLANNING BOARD COMMENTS - ISSUED FOR APPROVAL	09/22/19
REVISED ENTRANCE & MISCELLANEOUS REVISIONS PER PLANNING BOARD	11/25/19
COLOR CODED FLOOD DRAINAGE AREA PLAN	12/09/19
ISSUED FOR MAINE DOT TRAFFIC MOVEMENT PERMIT (TMP)	12/19/19
ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS	01/08/20
ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING	01/23/20

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND HOYLE, TANNER & ASSOCIATES, INC. IS NOT BEING ASSUMED RESPONSIBILITY FOR THE PROJECT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC.

Peers International
Hoyle, Tanner & Associates, Inc.
100 International Dr., #360, Portsmouth, NH 03801
Tel (603) 431-2520 Fax (603) 431-8067 Web: www.foyletanner.com
© Copyright, 2019 Hoyle, Tanner & Associates, Inc.

FRONT
LANDSCAPING PLAN
C18
PROJECT NO. 569200
SHEET 18 OF 27

LANDSCAPE REQUIREMENTS (MU-N)

REGULATION	REQUIREMENT	PROVIDED
FRONTAGE STREET TREES	8 TREES	12 TREES
PLANTER STRIP WIDTH	8 FT	18 FT
PLANTER STRIP PLANTINGS	50 PLANTS/SHRUBS	71 PLANTS/SHRUBS
TREES PER PARKING SPACE	50 TREES	151 TREES
PARKING AREA LANDSCAPING		
FRONT	3,538 S.F. (10%)	7,110 S.F. (20%)
REAR	8,690 S.F. (10%)	13,950 S.F. (15%)

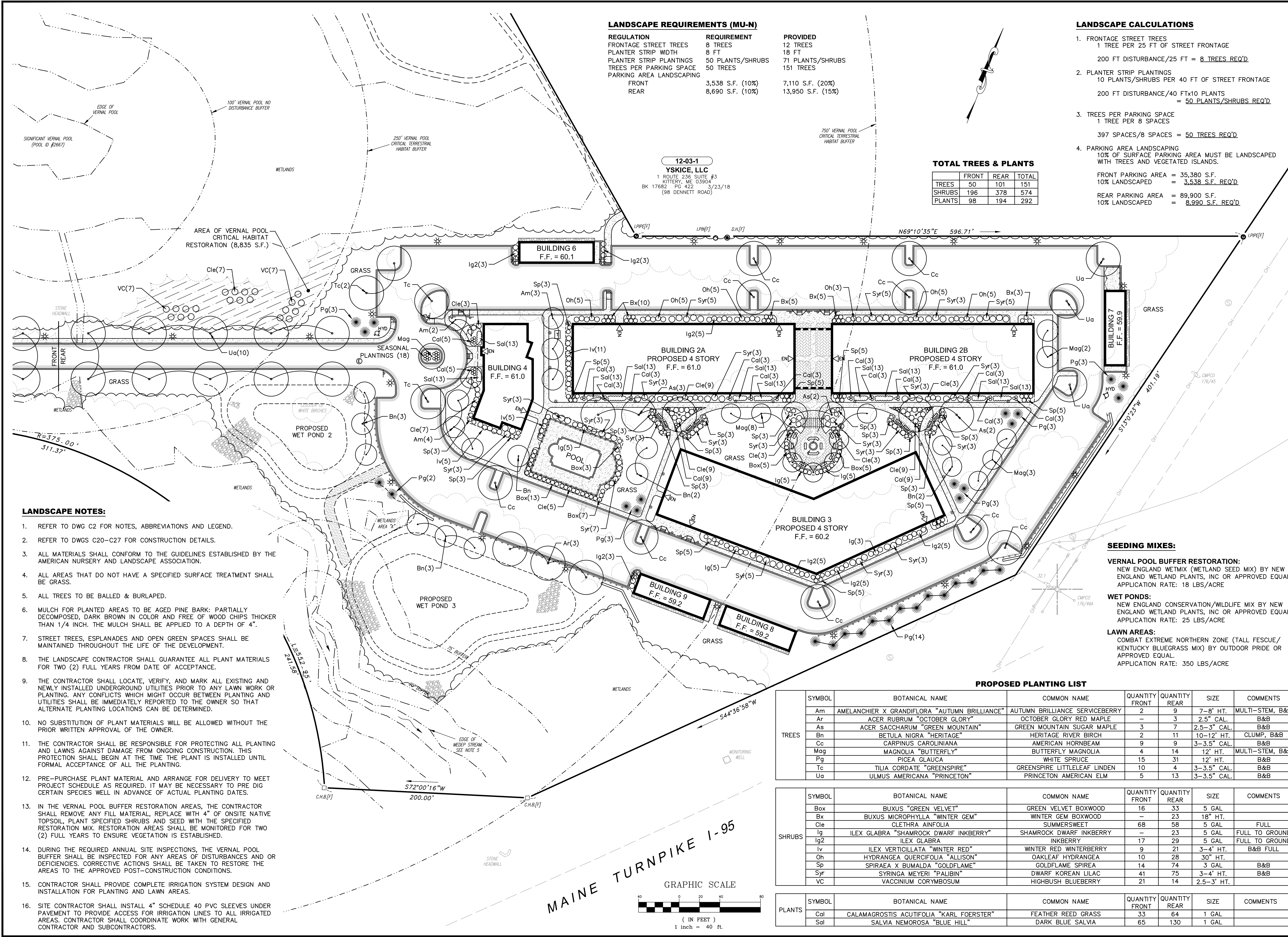
LANDSCAPE CALCULATIONS

- FRONTAGE STREET TREES
1 TREE PER 25 FT OF STREET FRONTAGE
200 FT DISTURBANCE/25 FT = **8 TREES REQ'D**
- PLANTER STRIP PLANTINGS
10 PLANTS/SHRUBS PER 40 FT OF STREET FRONTAGE
200 FT DISTURBANCE/40 FTx10 PLANTS
= **50 PLANTS/SHRUBS REQ'D**
- TREES PER PARKING SPACE
1 TREE PER 8 SPACES
397 SPACES/8 SPACES = **50 TREES REQ'D**
- PARKING AREA LANDSCAPING
10% OF SURFACE PARKING AREA MUST BE LANDSCAPED WITH TREES AND VEGETATED ISLANDS.
FRONT PARKING AREA = 35,380 S.F.
10% LANDSCAPED = **3,538 S.F. REQ'D**
REAR PARKING AREA = 89,900 S.F.
10% LANDSCAPED = **8,990 S.F. REQ'D**

TOTAL TREES & PLANTS

	FRONT	REAR	TOTAL
TREES	50	101	151
SHRUBS	196	378	574
PLANTS	98	194	292

12-03-1
YSKICE, LLC
1 ROUTE 236 SUITE #3
KITTEERY, ME 03904
BK 17682 PG 422 3/23/18
(98 DENNETT ROAD)



LANDSCAPE NOTES:

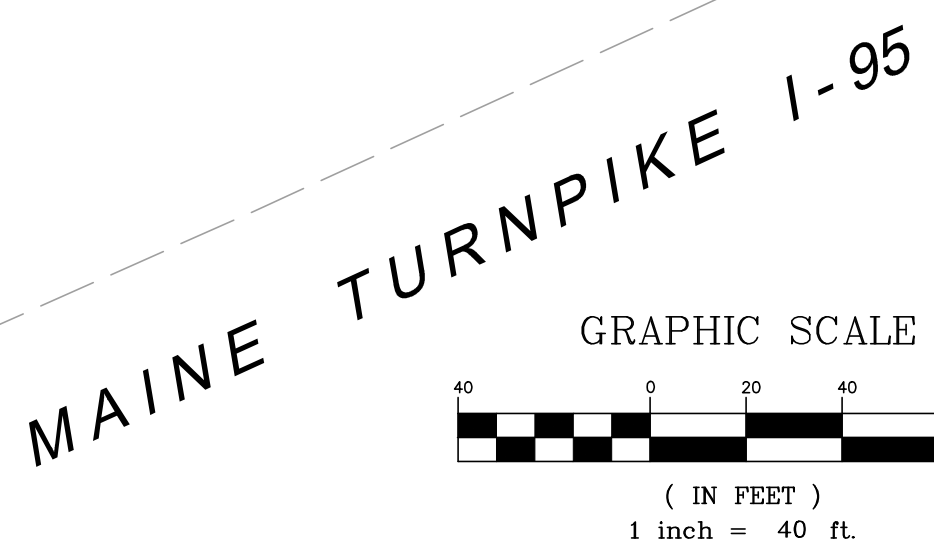
- REFER TO DWG C2 FOR NOTES, ABBREVIATIONS AND LEGEND.
- REFER TO DWGS C20-C27 FOR CONSTRUCTION DETAILS.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL AREAS THAT DO NOT HAVE A SPECIFIED SURFACE TREATMENT SHALL BE GRASS.
- ALL TREES TO BE BALLED & BURLAPED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK: PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH. THE MULCH SHALL BE APPLIED TO A DEPTH OF 4".
- STREET TREES, ESPLANADES AND OPEN GREEN SPACES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE DEVELOPMENT.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR TWO (2) FULL YEARS FROM DATE OF ACCEPTANCE.
- THE CONTRACTOR SHALL LOCATE, VERIFY, AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED UNTIL FORMAL ACCEPTANCE OF ALL THE PLANTING.
- PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED. IT MAY BE NECESSARY TO PRE DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.
- IN THE VERNAL POOL BUFFER RESTORATION AREAS, THE CONTRACTOR SHALL REMOVE ANY FILL MATERIAL, REPLACE WITH 4" OF ONSITE NATIVE TOPSOIL, PLANT SPECIFIED SHRUBS AND SEED WITH THE SPECIFIED RESTORATION MIX. RESTORATION AREAS SHALL BE MONITORED FOR TWO (2) FULL YEARS TO ENSURE VEGETATION IS ESTABLISHED.
- DURING THE REQUIRED ANNUAL SITE INSPECTIONS, THE VERNAL POOL BUFFER SHALL BE INSPECTED FOR ANY AREAS OF DISTURBANCES AND OR DEFICIENCIES. CORRECTIVE ACTIONS SHALL BE TAKEN TO RESTORE THE AREAS TO THE APPROVED POST-CONSTRUCTION CONDITIONS.
- CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTING AND LAWN AREAS.
- SITE CONTRACTOR SHALL INSTALL 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS. CONTRACTOR SHALL COORDINATE WORK WITH GENERAL CONTRACTOR AND SUBCONTRACTORS.

SEEDING MIXES:

- VERNAL POOL BUFFER RESTORATION:**
NEW ENGLAND WETMIX (WETLAND SEED MIX) BY NEW ENGLAND WETLAND PLANTS, INC OR APPROVED EQUAL.
APPLICATION RATE: 18 LBS/ACRE
- WET PONDS:**
NEW ENGLAND CONSERVATION/WLDLIFE MIX BY NEW ENGLAND WETLAND PLANTS, INC OR APPROVED EQUAL.
APPLICATION RATE: 25 LBS/ACRE
- LAWN AREAS:**
COMBAT EXTREME NORTHERN ZONE (TALL FESCUE/ KENTUCKY BLUEGRASS MIX) BY OUTDOOR PRIDE OR APPROVED EQUAL.
APPLICATION RATE: 350 LBS/ACRE

PROPOSED PLANTING LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	QUANTITY	SIZE	COMMENTS
			FRONT	REAR		
TREES						
Am	AMELANCHIER X GRANDIFLORA "AUTUMN BRILLIANCE"	AUTUMN BRILLIANCE SERVICEBERRY	2	9	7-8" HT.	MULTI-STEM, B&B
Ar	ACER RUBRUM "OCTOBER GLORY"	OCTOBER GLORY RED MAPLE	-	3	2.5" CAL.	B&B
As	ACER SACCHARUM "GREEN MOUNTAIN"	GREEN MOUNTAIN SUGAR MAPLE	3	7	2.5-3" CAL.	B&B
Bn	BETULA NIGRA "HERITAGE"	HERITAGE RIVER BIRCH	2	11	10-12" HT.	CLUMP, B&B
Cc	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	9	9	3-3.5" CAL.	B&B
Mag	MAGNOLIA "BUTTERFLY"	BUTTERFLY MAGNOLIA	4	14	12" HT.	MULTI-STEM, B&B
Pg	PICEA GLAUCA	WHITE SPRUCE	15	31	12" HT.	B&B
Tc	TILIA CORDATE "GREENSPIRE"	GREENSPIRE LITTLELEAF LINDEN	10	4	3-3.5" CAL.	B&B
Ua	ULMUS AMERICANA "PRINCETON"	PRINCETON AMERICAN ELM	5	13	3-3.5" CAL.	B&B
SHRUBS						
Box	BUXUS "GREEN VELVET"	GREEN VELVET BOXWOOD	16	33	5 GAL	
Bx	BUXUS MICROPHYLLA "WINTER GEM"	WINTER GEM BOXWOOD	-	23	18" HT.	
Cle	CLETHRA AINFOLIA	SUMMERSWEET	68	58	5 GAL	FULL
Ig	ILEX GLABRA "SHAMROCK DWARF INKBERRY"	SHAMROCK DWARF INKBERRY	-	23	5 GAL	FULL TO GROUND
Ig2	ILEX GLABRA	INKBERRY	17	29	5 GAL	FULL TO GROUND
Iv	ILEX VERTICILLATA "WINTER RED"	WINTER RED WINTERBERRY	9	21	3-4" HT.	B&B FULL
Oh	HYDRANEA QUERCIFOLIA "ALLISON"	OAKLEAF HYDRANEA	10	28	30" HT.	
Sp	SPIRAEA X BUMALDA "GOLDFLAME"	GOLDFLAME SPIREA	14	74	3 GAL	B&B
Syr	SYRINGA MEYERI "PALIBIN"	DWARF KOREAN LILAC	41	75	3-4" HT.	B&B
VC	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	21	14	2.5-3" HT.	
PLANTS						
Cal	CALAMAGROSTIS ACUTIFOLIA "KARL FOERSTER"	FEATHER REED GRASS	33	64	1 GAL	
Sal	SALVIA NEMOROSA "BLUE HILL"	DARK BLUE SALVIA	65	130	1 GAL	



APPLICANT: AZTEC, LLC
62 PORTLAND ROAD, SUITE 25
KENNEBUNK, ME 04043

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT
TAX MAP LOTS 6-19B, 6-19A & 13-4
76 DENNETT ROAD, KITTEERY, ME 03904

REAR LANDSCAPING PLAN
C19
PROJECT NO. 569200
SHEET 19 OF 27

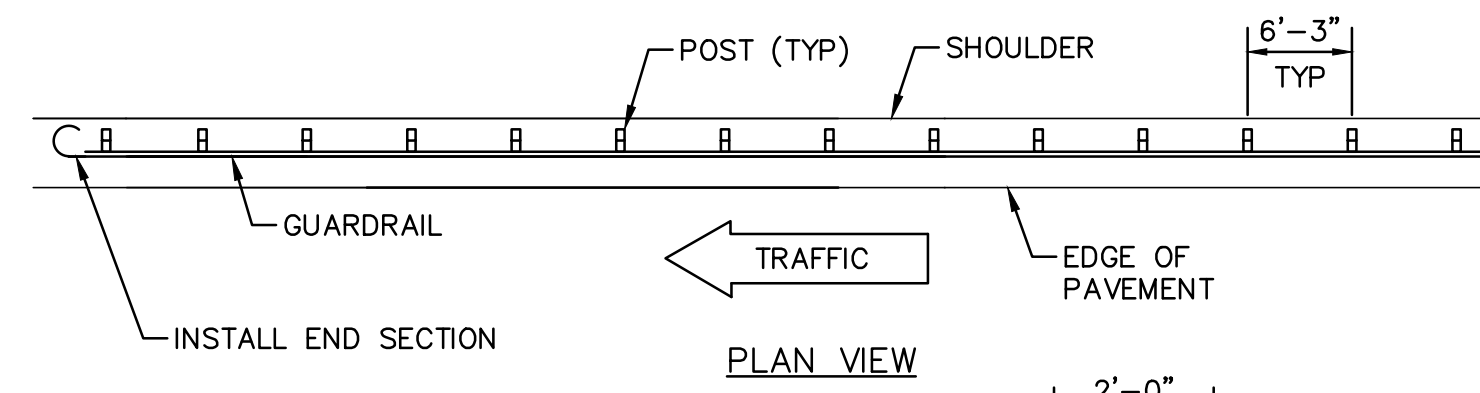
DESIGNED BY: SMT
DRAWN BY: SMT
CHECKED BY: WRD
SCALE: AS SHOWN
ORIGINAL DATE: JUNE 20, 2019

DESIGNED BY: SMT
DRAWN BY: SMT
CHECKED BY: WRD
SCALE: AS SHOWN
ORIGINAL DATE: JUNE 20, 2019

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND HOYLE, TANNER & ASSOCIATES, INC. IS NOT BEING USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC.

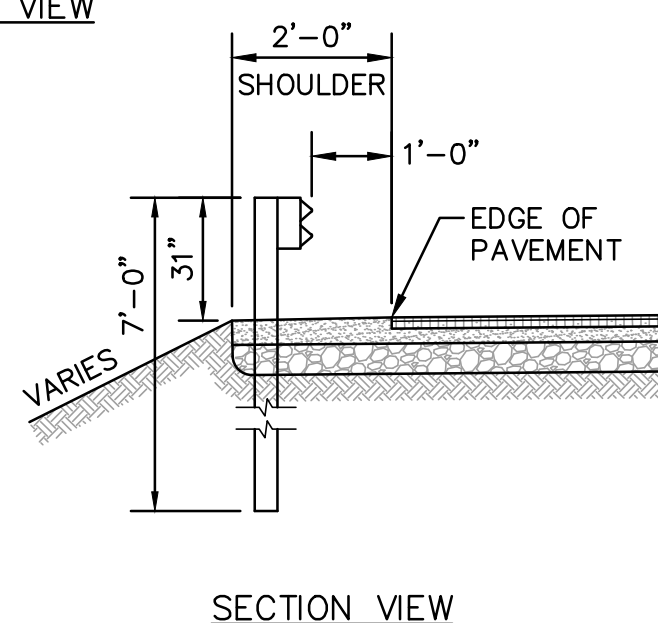
Pease International Tradeport
100 International Dr., #360, Portsmouth, NH 03801
Tel (603) 431-2520 Fax (603) 431-8067 Web: www.hoyletanner.com
© Copyright 2019 Hoyle, Tanner & Associates, Inc.

ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING
REVISED OUTLET PROTECTION DETAIL PER ACOE COMMENTS
ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS
ISSUED FOR MAINE DOT TRAFFIC MOVEMENT PERMIT (TMP)
COLOR CODED FOND DRAINAGE AREA PLAN
REVISED ENTRANCE & MISCELLANEOUS REVISIONS PER PLANNING BOARD
REV. PER PUBLIC HEARING/PLANNING BOARD COMMENTS - ISSUED FOR APPROVAL

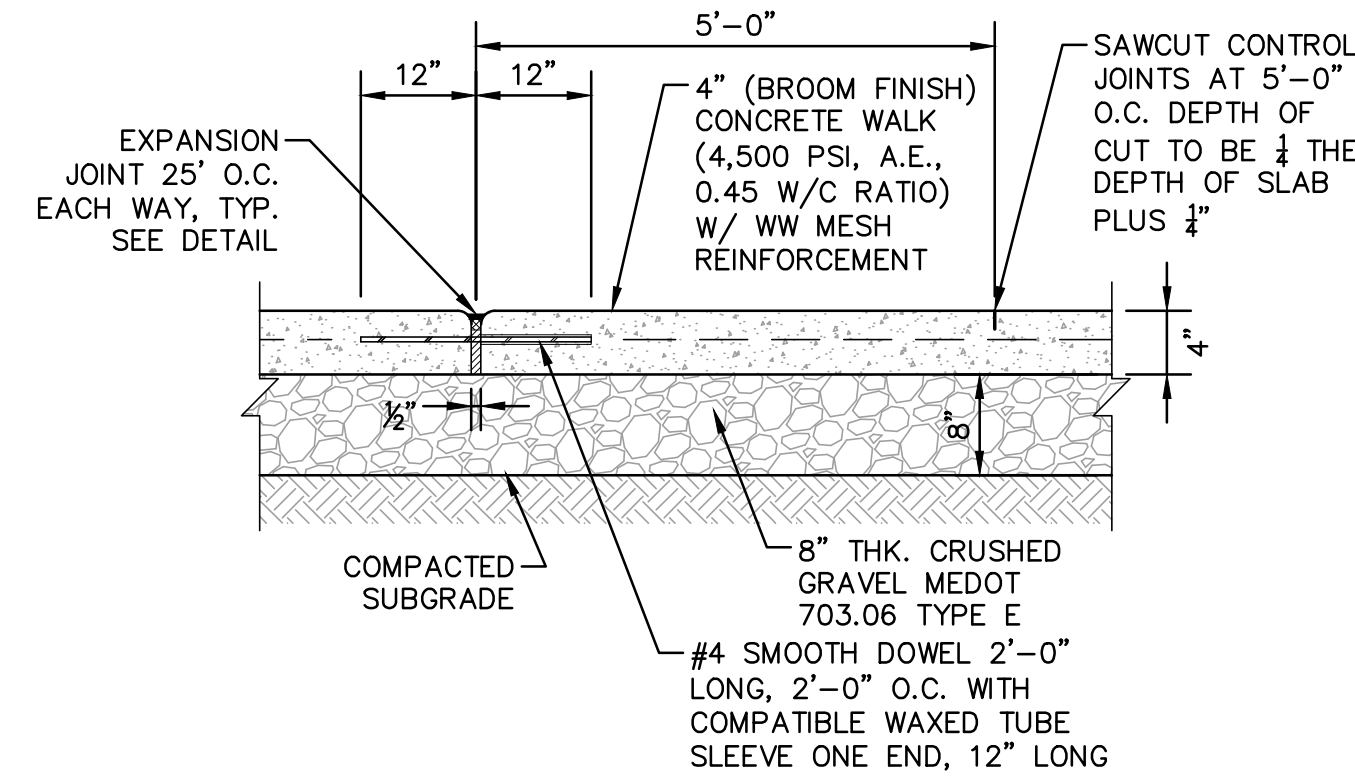


GUARDRAIL NOTES:

1. ALL MATERIALS AND CONSTRUCTION REQUIREMENTS SHALL CONFORM TO MEDOT STANDARD SPECIFICATIONS.
2. ALL GUARDRAIL SHALL BE STEEL BEAM GUARD RAIL WITH 6" X 8" WOOD POSTS AND OFFSET BLOCK.
3. THE OWNER MAY SUBSTITUTE A STEEL GUARDRAIL FOR WOOD IF A SUITABLE DETAIL IS SUBMITTED AND APPROVED BY THE ENGINEER.

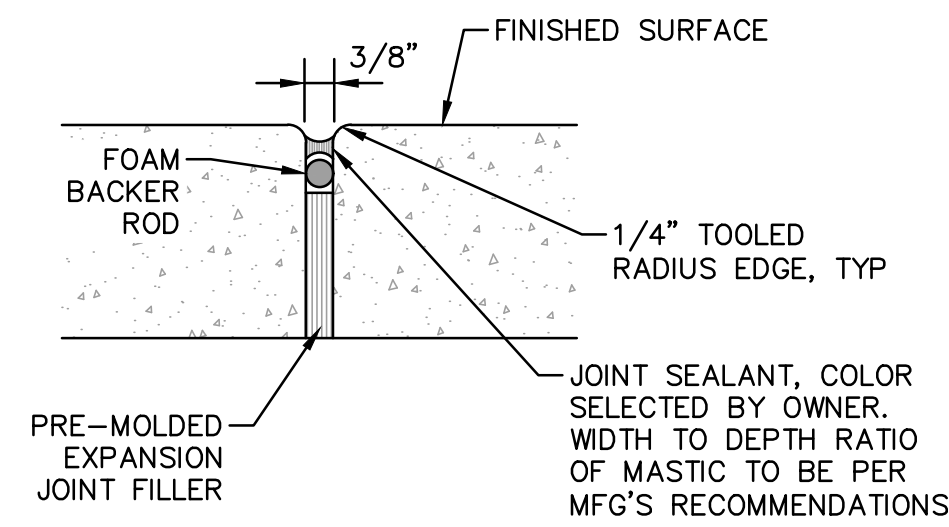


1 STEEL FACE WOOD POST GUARDRAIL
SCALE: NONE

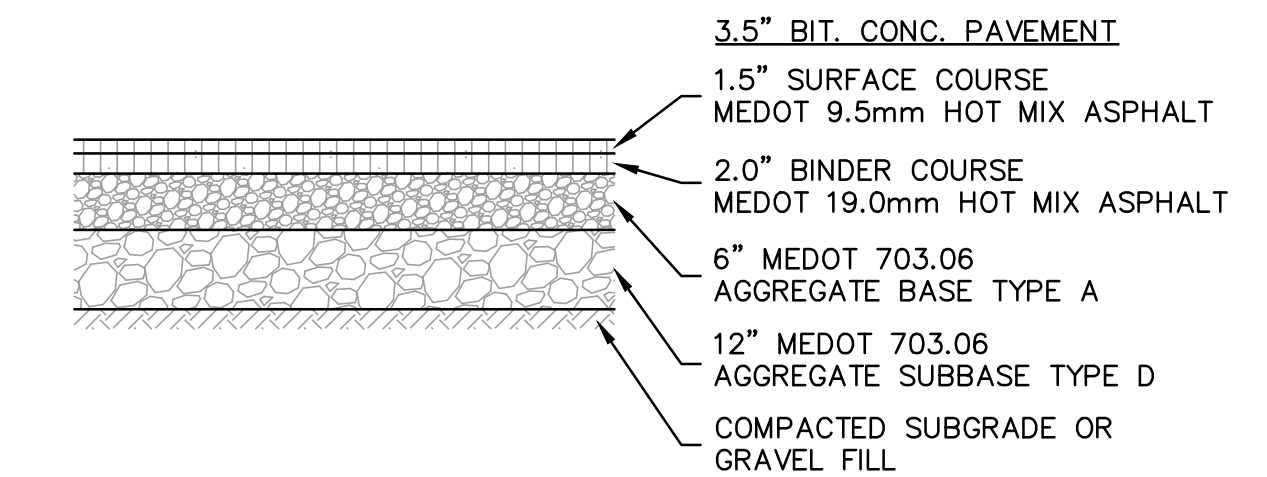


1. THE CONTRACTOR SHALL INSTALL EXPANSION JOINTS EVERY 25'-0" ON CENTER AND CONTROL JOINTS AT 5'-0" ON CENTER.
2. THE CONTROL JOINTS SHALL BE SAWCUT AS SHOWN IN THE DETAIL ABOVE OR TOOLED CONTROL JOINTS WITH A 1/4" RADIUS.

2 TYPICAL CONCRETE WALKWAY DETAIL
SCALE: NONE



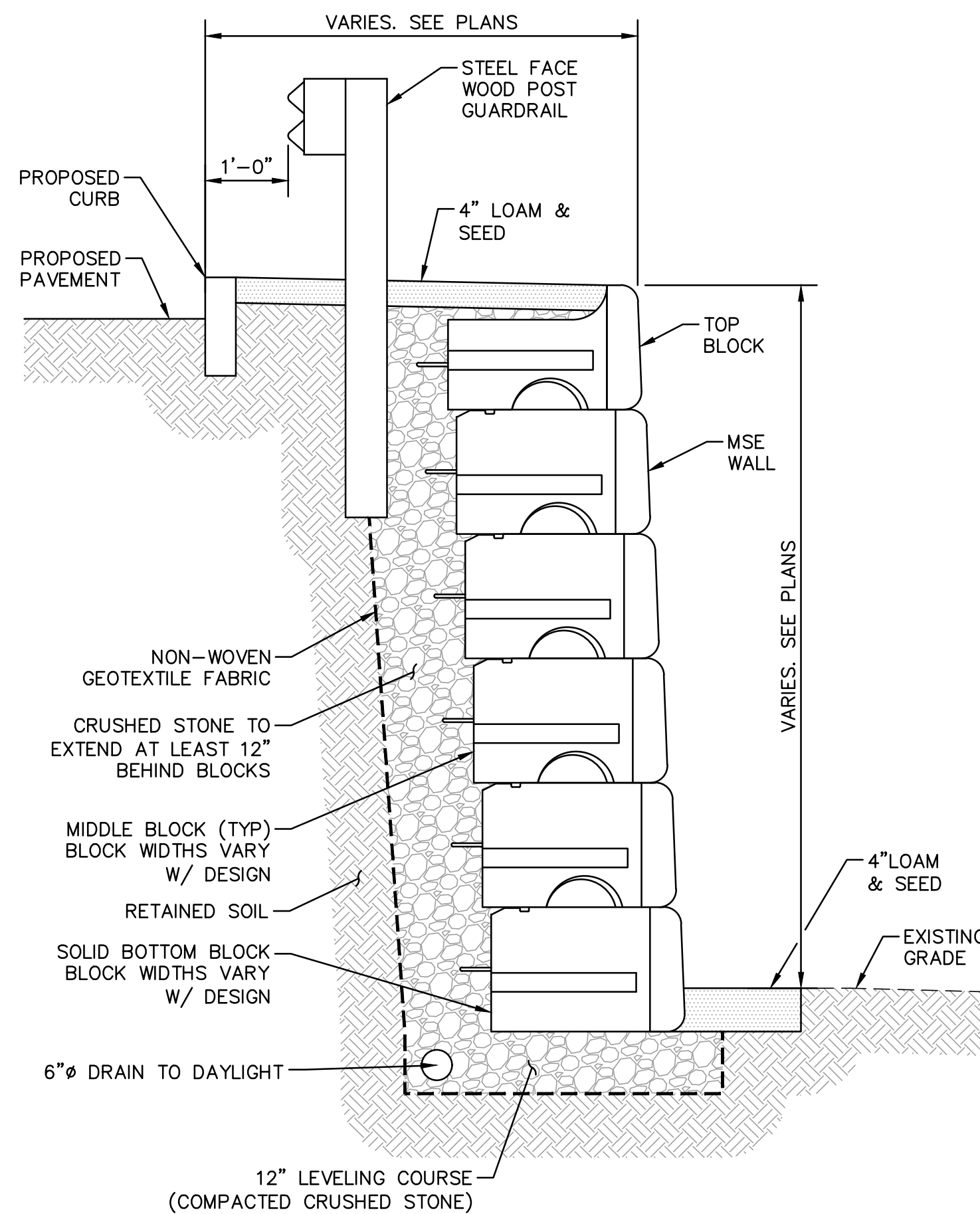
3 TYPICAL CONC. WALKWAY EXPANSION JOINT DETAIL
SCALE: NONE



PAVEMENT NOTES:

1. THE BASE AND SUBBASE MATERIALS SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THEIR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.
2. HOT MIX ASPHALT PAVEMENT SHOULD BE COMPACTED TO 92 TO 97 PERCENT OF ITS THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D-2042.
3. A TACK COAT SHOULD BE USED BETWEEN SUCCESSIVE LIFTS OF BITUMINOUS PAVEMENT

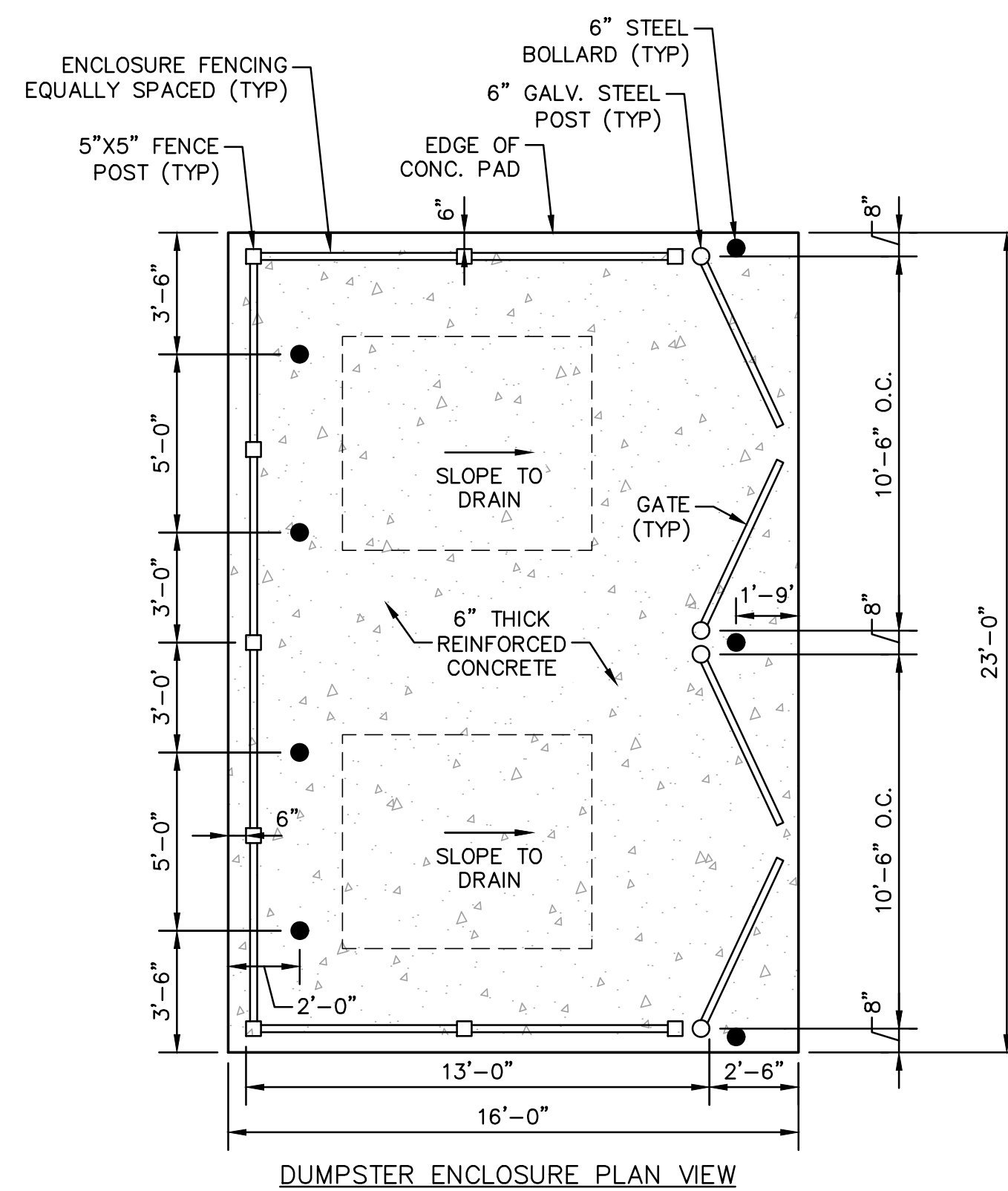
4 TYPICAL PAVEMENT SECTION
SCALE: NONE



WALL NOTES:

1. THIS DETAIL IS FOR REFERENCE ONLY. DETERMINATION OF THE SUITABILITY AND/OR MANNER OF USE OF ANY DETAILS CONTAINED IN THIS DOCUMENT IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER OF RECORD. FINAL WALL DESIGNS, INCLUDING ALL CONSTRUCTION DETAILS, SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE.
2. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE WITH GUARDRAIL MANUFACTURER FOR MINIMUM DISTANCE BETWEEN GUARDRAIL AND RETAINING WALL.

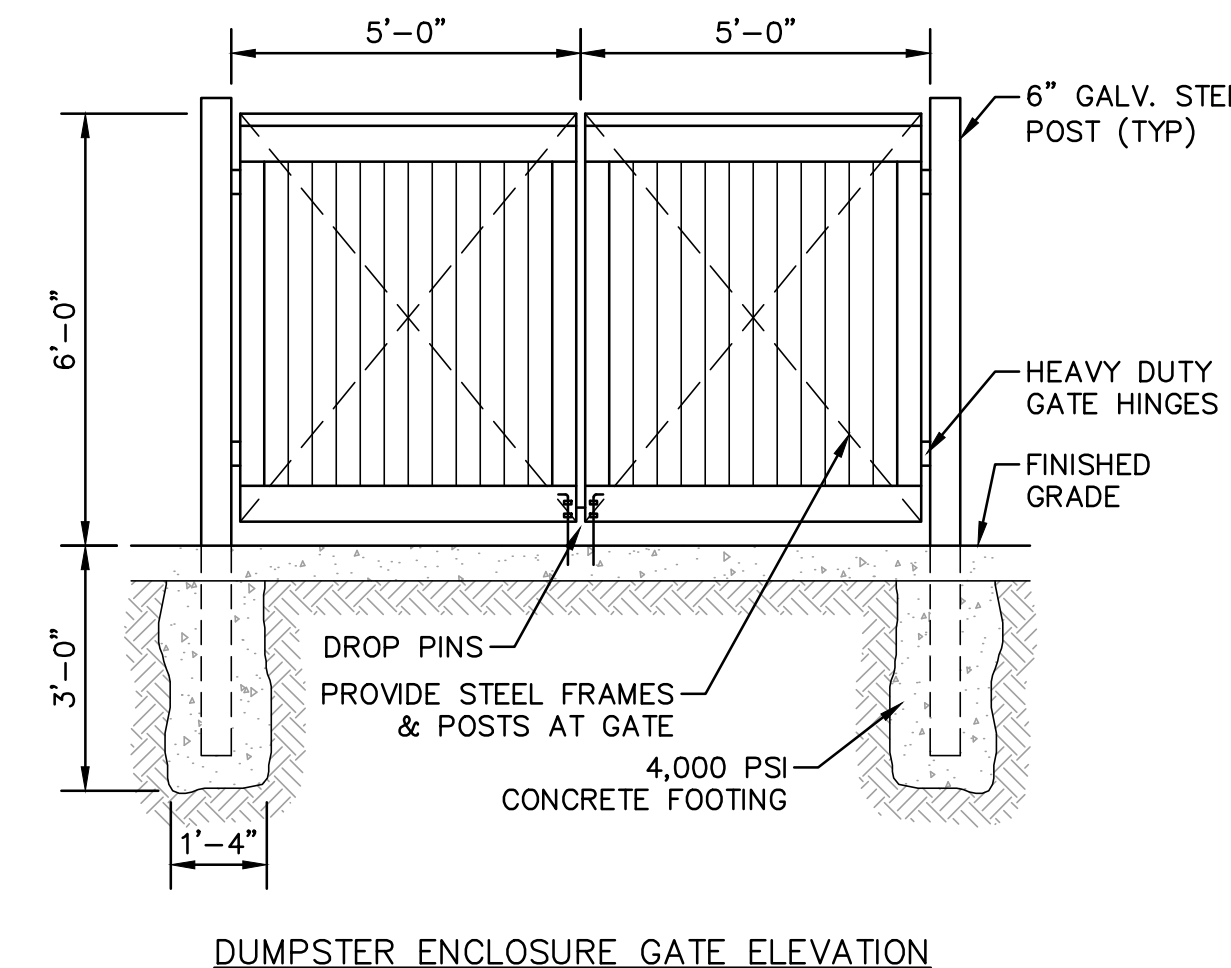
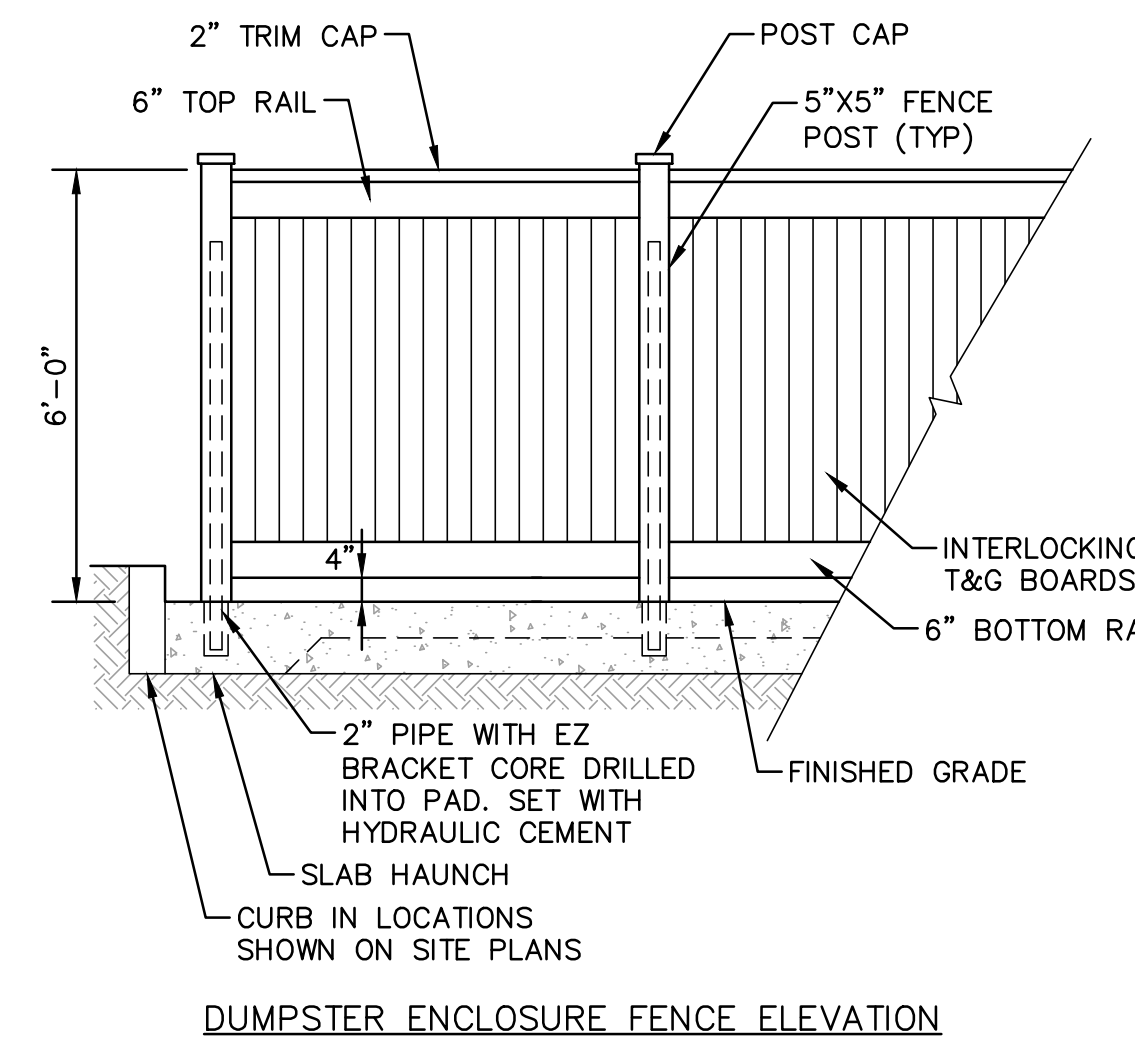
5 TYPICAL MSE GRAVITY BLOCK RETAINING WALL SECTION
SCALE: NONE



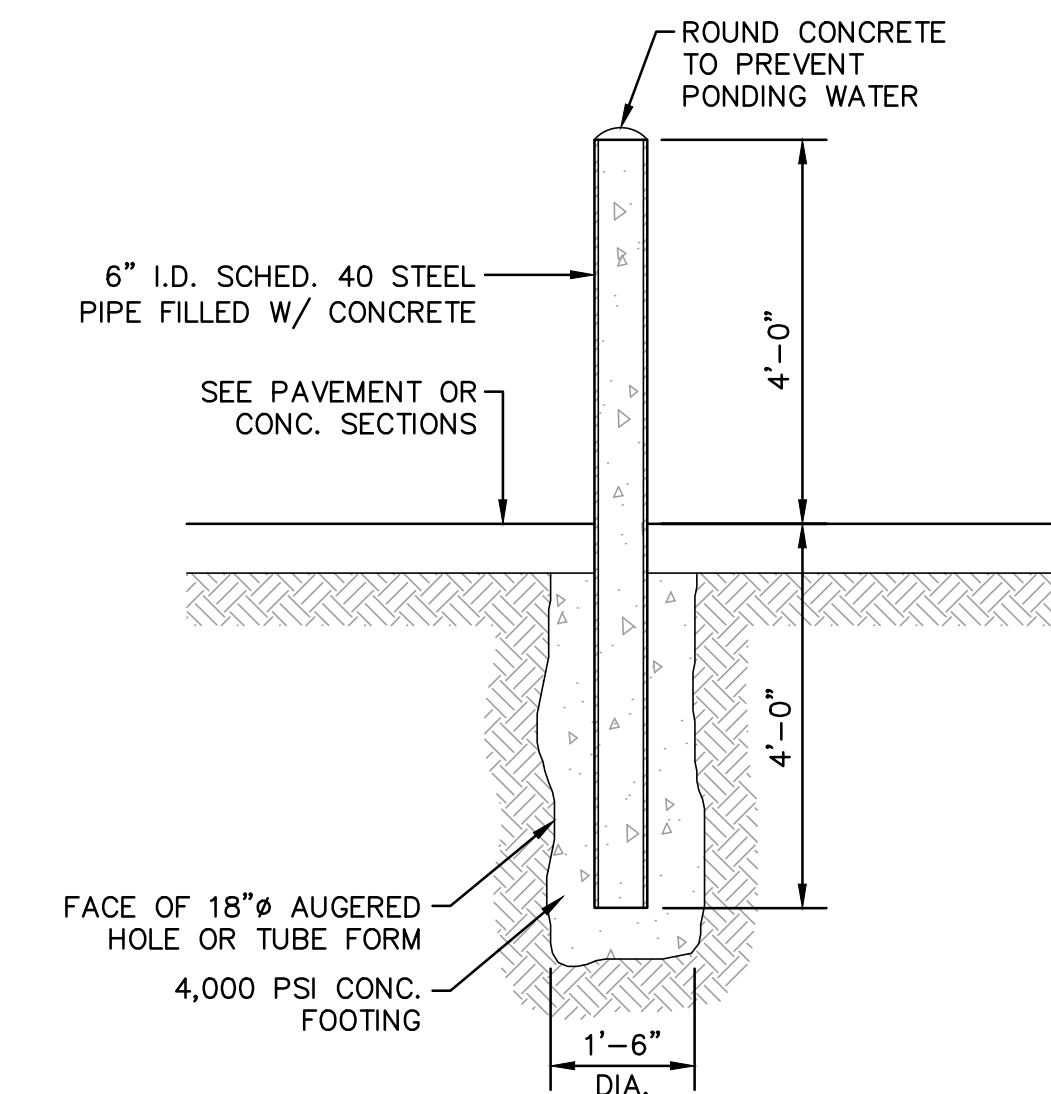
DUMPSTER ENCLOSURE NOTES:

1. THE CONTRACTOR SHALL SUBMIT A FENCING & GATE DETAIL FOR OWNER APPROVAL PRIOR TO ENCLOSURE CONSTRUCTION.
2. FENCING MATERIAL SHALL BE PAINTED WOOD OR VINYL. COLOR TO BE OFF WHITE OR MATCH BUILDING ACCENT COLORS.
3. DUMPSTER GATES SHALL MATCH FENCING MATERIAL.
4. ALL ENCLOSURE HARDWARE INCLUDING HINGES, LATCHES, DROP PINS & FASTENERS SHALL BE HEAVY DUTY COMMERCIAL GRADE WITH A WEATHER RESISTANT COATING. HARDWARE COLOR SHALL BE BLACK OR MATCH BUILDING ACCENT COLORS.

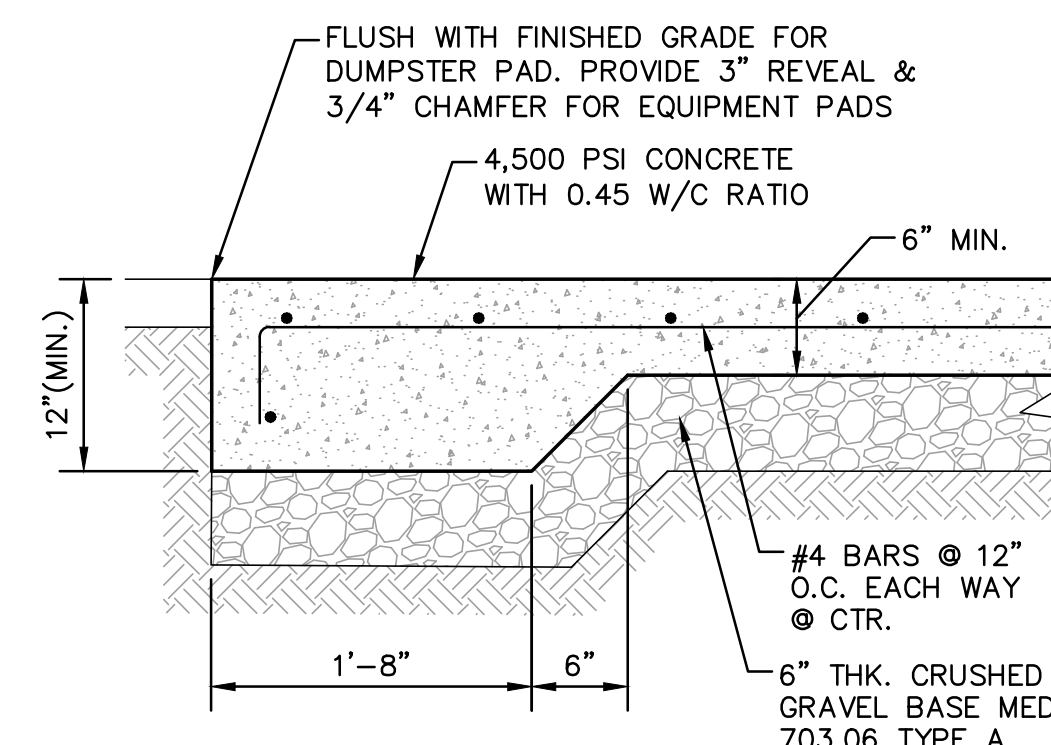
6 DOUBLE DUMPSTER PAD ENCLOSURE DETAIL
SCALE: NONE



DUMPSTER ENCLOSURE GATE ELEVATION



7 STEEL PIPE BOLLARD DETAIL
SCALE: NONE



PAD NOTE:

1. REFER TO SITE PLANS FOR DUMPSTER & EQUIPMENT PAD DIMENSIONS.

8 TYPICAL DUMPSTER PAD & EQUIPMENT PAD DETAIL
SCALE: NONE

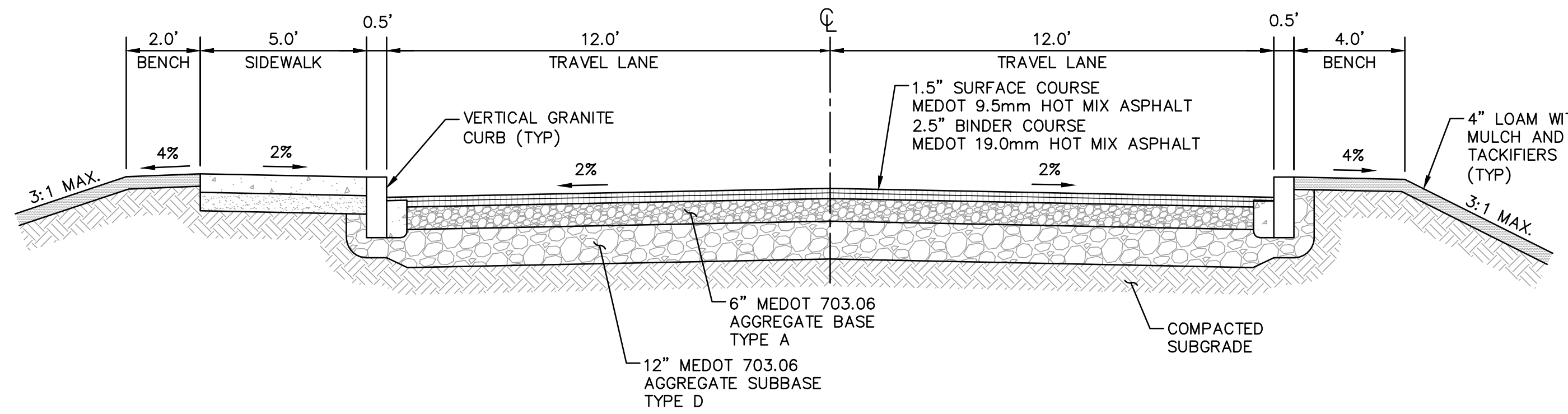
01/23/20	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING	DATE
01/08/20	REVISED OUTLET PROTECTION DETAIL PER ACOE COMMENTS	REVISION DESCRIPTION
12/19/19	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS	REVISION DESCRIPTION
12/09/19	ISSUED FOR MAINE DOT TRAFFIC MOVEMENT PERMIT (TMP)	REVISION DESCRIPTION
11/25/19	COLOR CODED FOND DRAINAGE AREA PLAN	REVISION DESCRIPTION
09/19/19	REVISED ENTRANCE & MISCELLANEOUS REVISIONS PER PLANNING BOARD	REVISION DESCRIPTION
08/22/19	REV. PER PUBLIC HEARING/PLANNING BOARD COMMENTS - ISSUED FOR APPROVAL	REVISION DESCRIPTION
11	REV.	DATE
10	WRD	DATE
9	SMT	DATE
8	SMT	DATE
7	SMT	DATE
6	SMT	DATE
5	SMT	DATE
4	SMT	DATE
3	SMT	DATE
2	SMT	DATE
1	SMT	DATE

APPLICANT: AZTEC, LLC
 62 PORTLAND ROAD, SUITE 25
 KENNEBUNK, ME 04043
 PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT
 TAX MAP LOTS 6-15B, 6-16A & 13-4
 76 DENNETT ROAD, KITTERY, ME 03904

Hoyle, Tanner & Associates, Inc.
 100 International Dr., #360, Portsmouth, NH 03801
 Tel (603) 431-2520 Fax (603) 431-8067 Web: www.hoyletanner.com
 © Copyright 2019 Hoyle, Tanner & Associates, Inc.

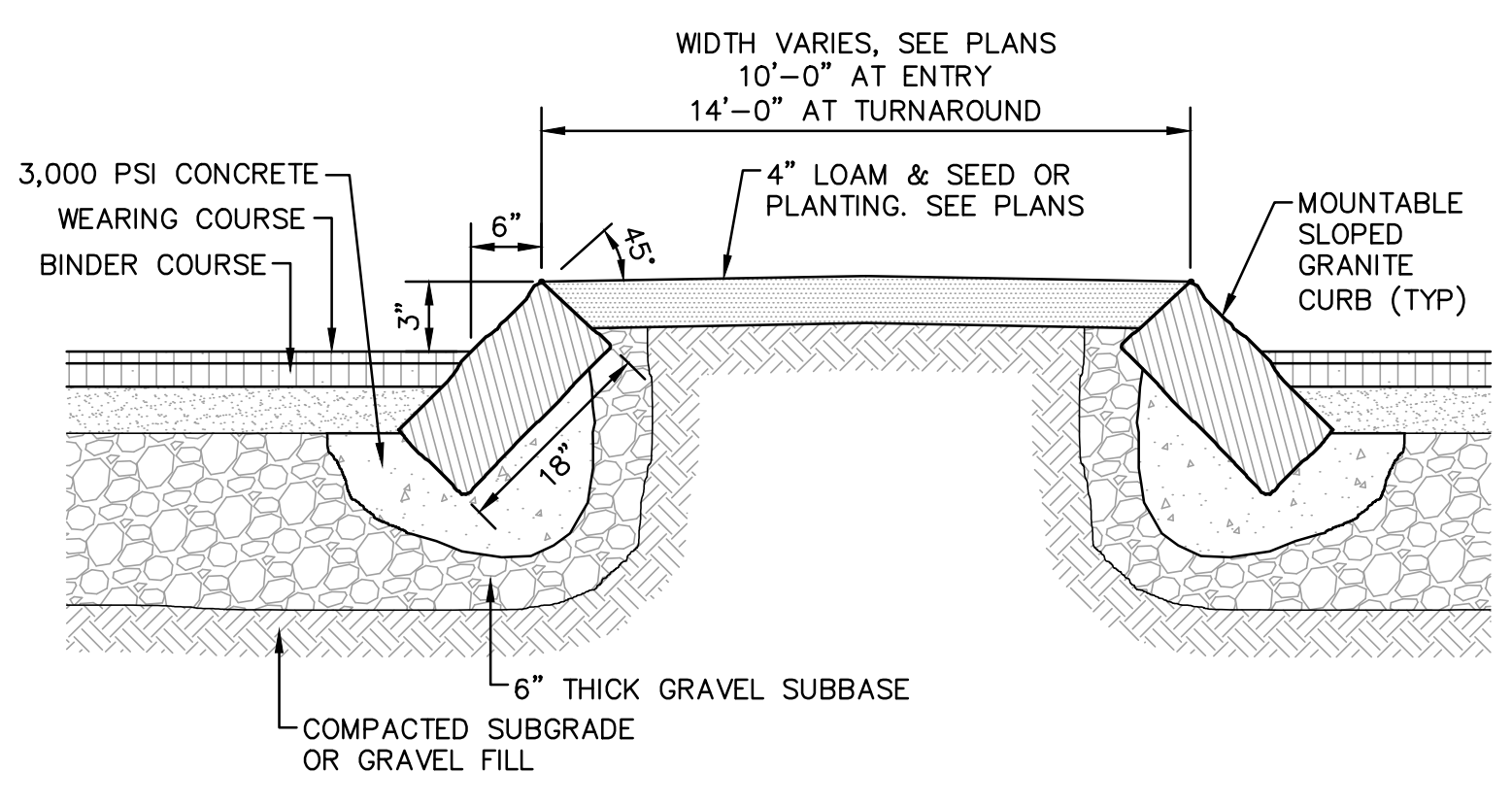
ORIGINAL DATE: JUNE 20, 2019
 SCALE: AS SHOWN

CONSTRUCTION DETAILS 6
C26
 PROJECT NO. 569200
 SHEET 26 OF 27



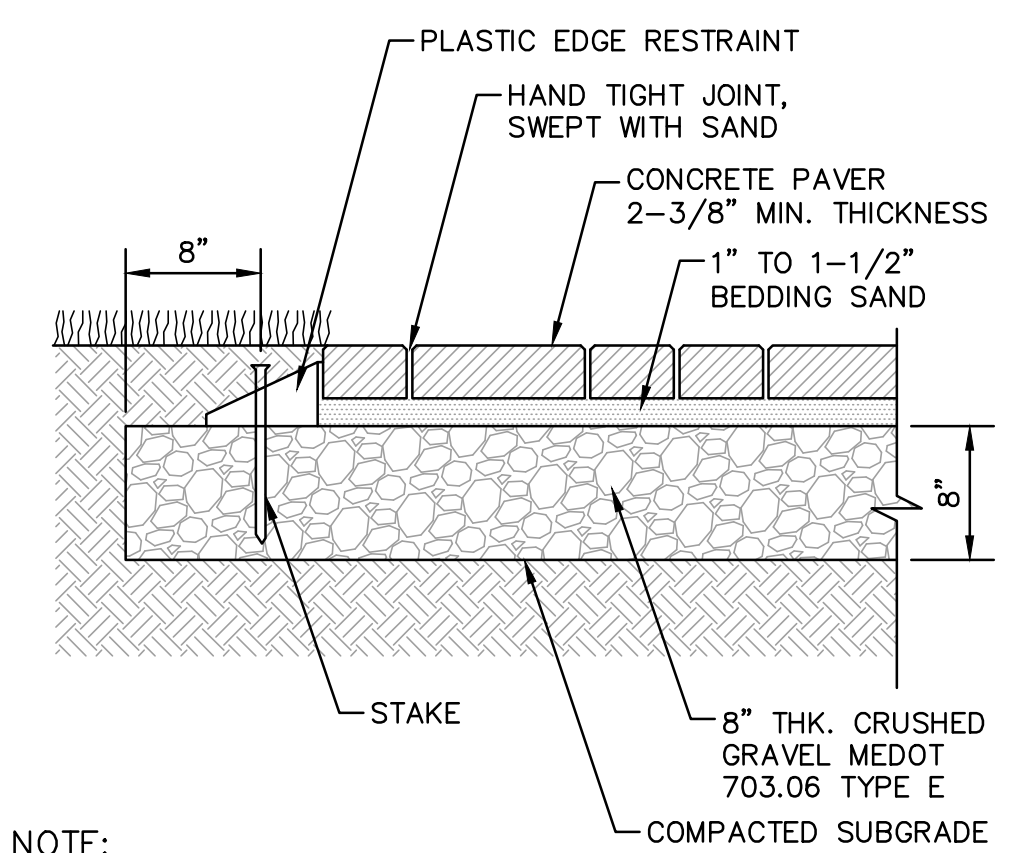
- ACCESS DRIVE NOTES:**
1. THE TRAVEL LANE WIDTHS WIDEN AT THE SIDE ENTRANCE. REFER TO SITE PLANS C8 & C9 FOR DETAILS.
 2. THE PAVEMENT THICKNESS FOR THE SITE ACCESS DRIVE BETWEEN STATION 04+19.8 AND 94+67.4 SHALL BE 4" AS SHOWN IN DETAIL 1/C26.
 3. ONSITE DRIVE AISLES, TURNAROUND AND PARKING SPACES SHALL BE 3.5" AS SHOWN IN DETAIL 4/C26.

1 TYPICAL ONSITE ACCESS DRIVE SECTION
SCALE: NONE



- SLOPED GRANITE CURB NOTES:**
1. MINIMUM LENGTH OF CURB STONES - 3'
 2. MAXIMUM LENGTH OF CURB STONES - 10'
 3. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.
 4. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.

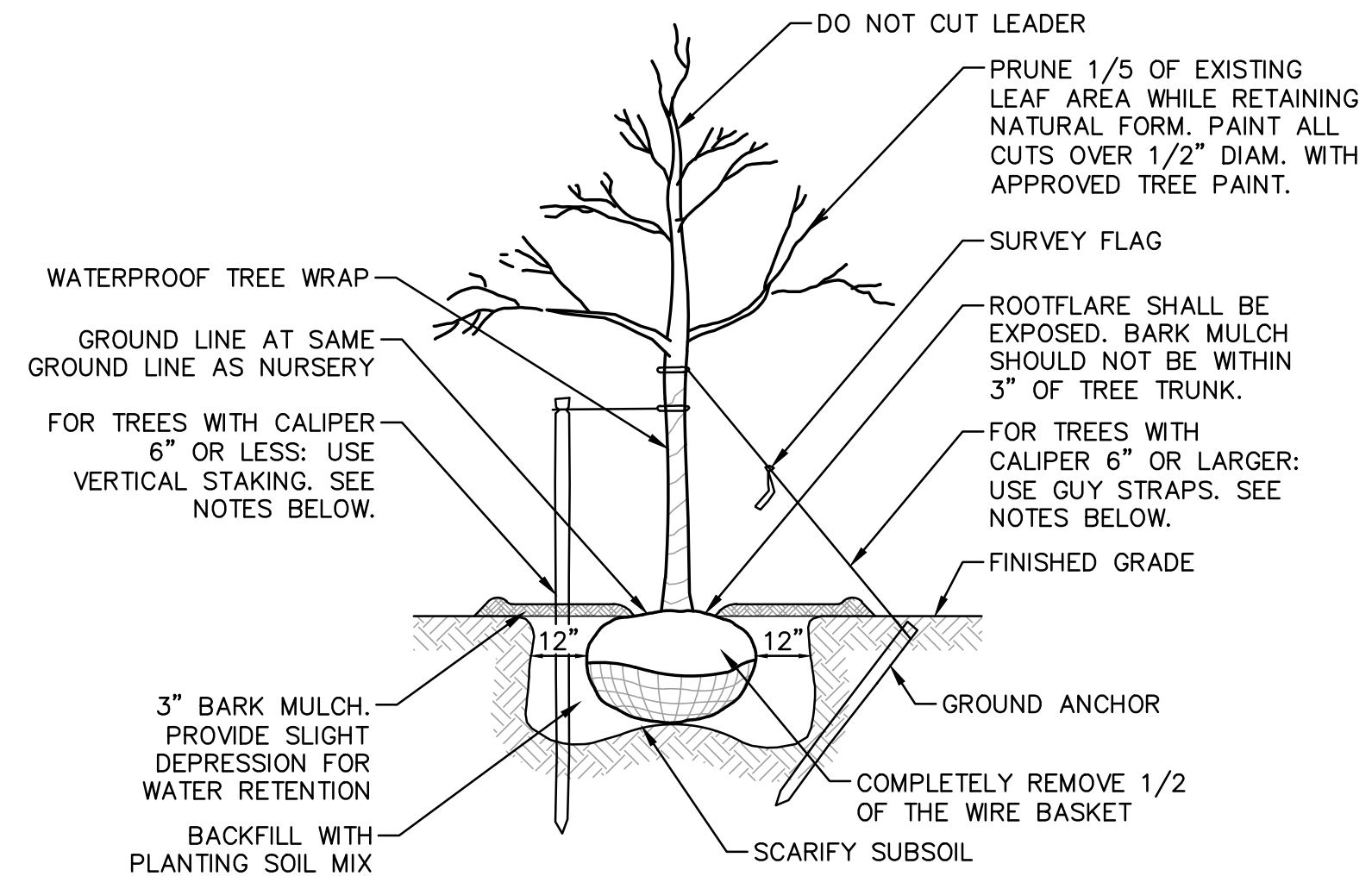
RADIUS	MAX LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'



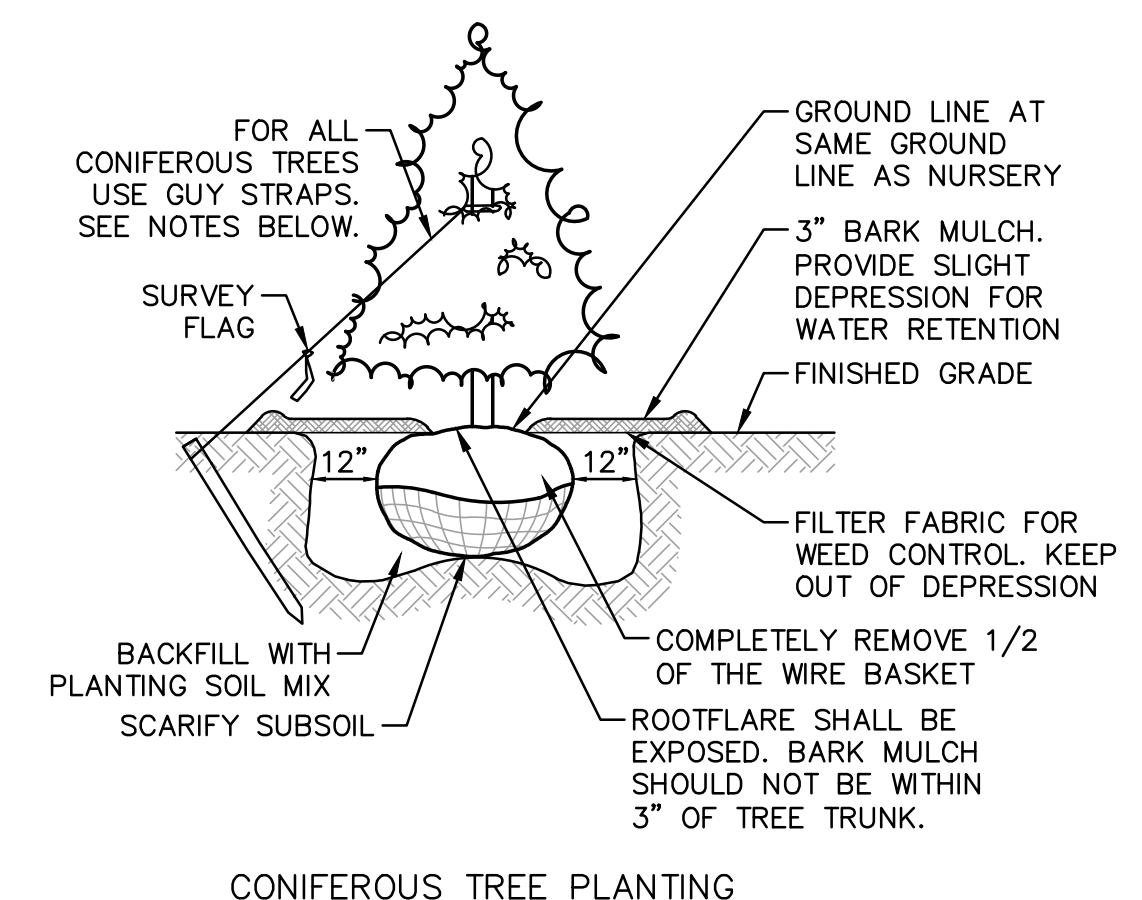
- NOTE:**
1. FINAL PAVER STYLE AND COLOR TO BE CHOSEN BY OWNER.
 2. THE CONTRACTOR SHALL PROVIDE A PAVER SUBMITTAL FOR OWNER APPROVAL PRIOR TO ENCLOSURE CONSTRUCTION.

2 SLOPED GRANITE CURB & ISLAND DETAIL
SCALE: NONE

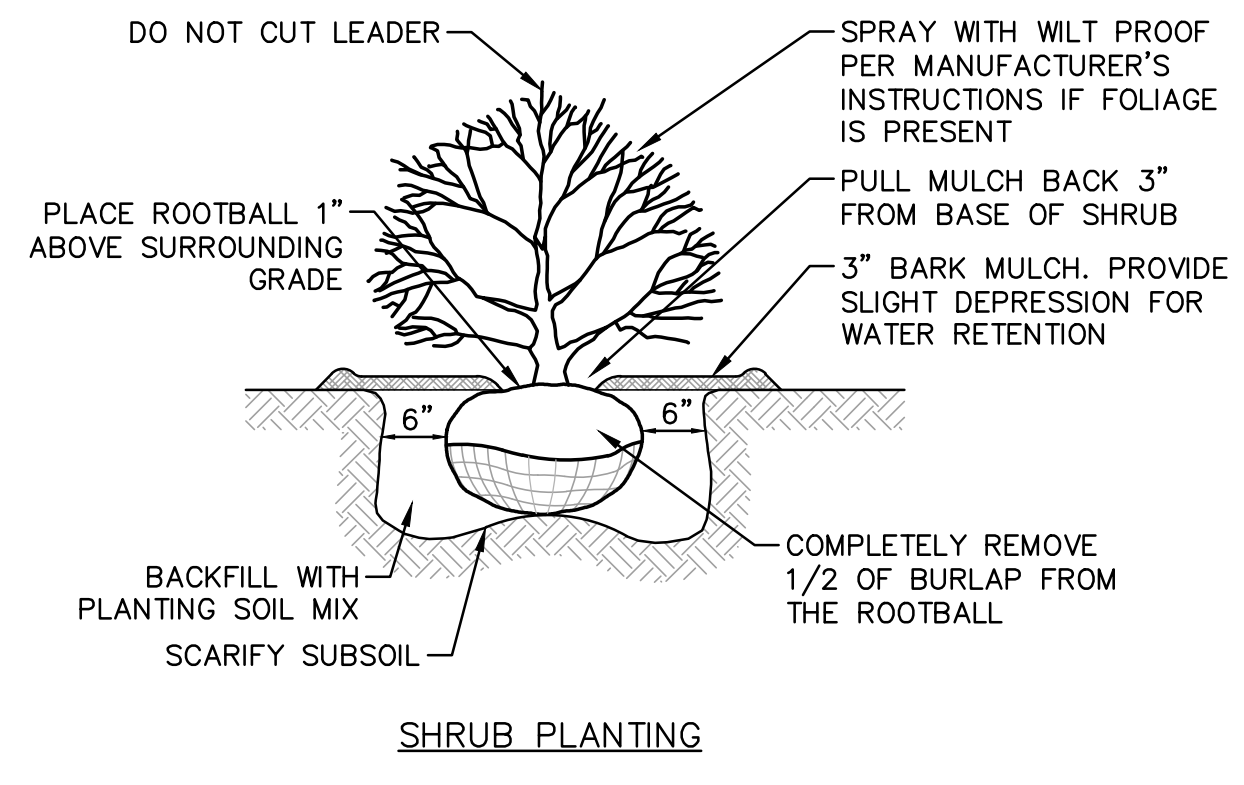
3 CONCRETE PAVER SETTING DETAIL
SCALE: NONE



- NOTE:**
1. REMOVE ALL TREE STAKING & GUY STRAPS AFTER TWO GROWING SEASONS.
- DECIDUOUS TREES GREATER THAN 6" CALIPER & ALL CONIFEROUS:**
1. PROVIDE (3) WIDE WOVEN POLYPROPYLENE GUY STRAPS @ 120 DEGREE SPACING.
 2. ATTACH TO TREE @ 1/2-2/3 HEIGHT OF TREE ABOVE GRADE.
 3. ANCHOR WITH 2"x3" HARDWOOD STAKE BURIED BELOW GRADE AND CLEAR OF ROOT BALL.
- DECIDUOUS TREES LESS THAN 6" CALIPER:**
1. PROVIDE (3) 2"x3" HARDWOOD STAKES @ 120 DEGREE SPACING, MIN. 36" IN GROUND AND CLEAR OF ROOT BALL.
 2. ATTACHED TO TREE WITH WIDE WOVEN POLYPROPYLENE STRAPS.

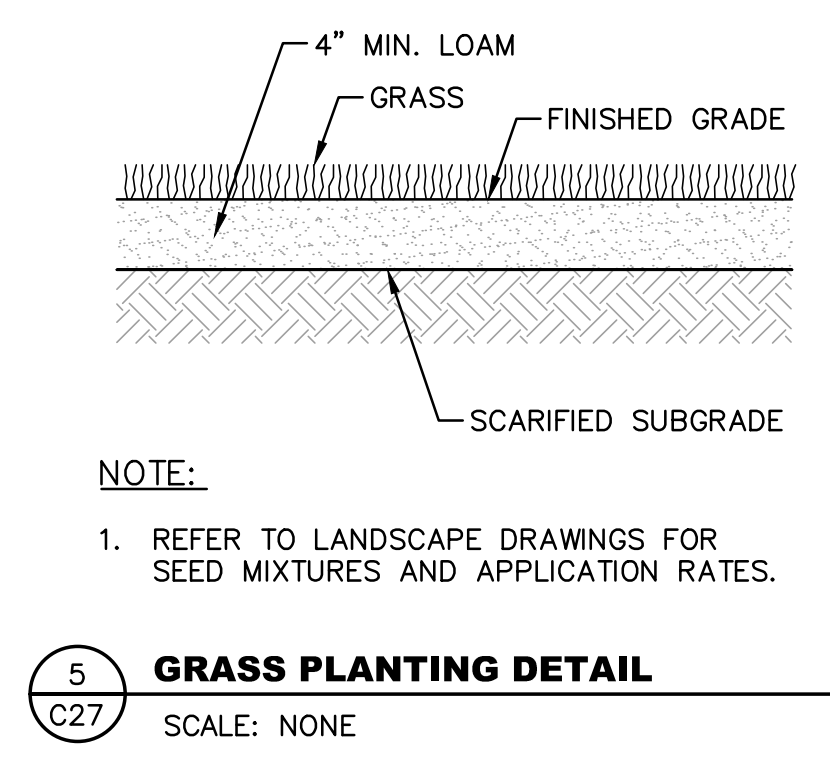


CONIFEROUS TREE PLANTING



SHRUB PLANTING

4 TYPICAL TREE PLANTING DETAILS
SCALE: NONE



- NOTE:**
1. REFER TO LANDSCAPE DRAWINGS FOR SEED MIXTURES AND APPLICATION RATES.

5 GRASS PLANTING DETAIL
SCALE: NONE

11	ISSUED FOR PB REVIEW - REVISED TURN LANE, SIDEWALKS & LANDSCAPING	01/23/20
10	REVISED OUTLET PROTECTION DETAIL PER ACOE COMMENTS	01/08/20
9	ISSUED FOR PLANNING BOARD REVIEW - REVISED SIDEWALKS	12/19/19
8	ISSUED FOR MAINE DOT TRAFFIC MOVEMENT PERMIT (TMP)	12/09/19
7	COLOR CODED FOND DRAINAGE AREA PLAN	11/25/19
6	REVISED ENTRANCE & MISCELLANEOUS REVISIONS PER PLANNING BOARD	09/19/19
5	REV. PER PUBLIC HEARING/PLANNING BOARD COMMENTS - ISSUED FOR APPROVAL	08/22/19
REV.	REVISION DESCRIPTION	DATE

THIS DOCUMENT IS PREPARED AS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF HOYLE, TANNER & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE PROJECT TITLE. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF HOYLE, TANNER & ASSOCIATES, INC. IS PROHIBITED.

Pease International Tradeport
Hoyle, Tanner & Associates, Inc.
100 International Dr., #360, Portsmouth, NH 03801
Tel: (603) 431-2520 Fax: (603) 431-8067 Web: www.hoyletanner.com
© Copyright 2019 Hoyle, Tanner & Associates, Inc.

APPLICANT: AZTEC, LLC
62 PORTLAND ROAD, SUITE 25
KENNEBUNK, ME 04043

PROJECT: PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT PROJECT
TAX MAP LOTS 6-15B, 6-16A & 13-4
76 DENNETT ROAD, KITTERY, ME 03904

DESIGNED BY: SMT
DRAWN BY: SMT
CHECKED BY: WRD
REV.:

SCALE: AS SHOWN
ORIGINAL DATE: JUNE 20, 2019

CONSTRUCTION DETAILS 7
C27
PROJECT NO. 569200
SHEET 27 OF 27