

**ITEM 1**

**Town of Kittery  
 Planning Board Meeting  
 October 13, 2022**

**28 Wyman Avenue — Sketch Plan Review, Cluster Residential Subdivision**

Action: Hold Public Hearing; continue, approve, or deny plan: Pursuant to Title 30-A M.R.S.A. §4401-4408 *Municipal Subdivision Law* and §16.8.10.H, *Cluster Residential Development* of the Town of Kittery Land Use and Development Code, owner Lusitano, LLC requests approval for a cluster residential development proposing three (3) single-family residences as a condominium on real property with an address of 28 Wyman Avenue (Tax Map 16, Lot 148) located in the Residential-Urban (R-U) Zone.

**PROJECT TRACKING**

REQ'D	ACTION	COMMENTS	STATUS
YES	Sketch Plan Acceptance/Approval	June 9, 2022 September 8, 2022 possible approval	Continued, not yet approved
NO	Site Visit	June 28, 2022	Held
YES	Preliminary Plan Review Completeness/Acceptance	N/A	N/A
YES	Public Hearing	October 13, 2022	TBD
YES	Preliminary Plan Approval	N/A	N/A
YES	Final Plan Review and Decision	TBD	TBD

**Project Introduction**

The property at 28 Wyman (Map 16, Lot 148) currently has a boarding house and a garage/barn located on it. The lot is 82,839 sf (1.9 acres) in size and is located in the Residential-Urban Zone (R-U). A wetland spreads along the northern portion of the property. The property fronts Wyman Avenue in two places but neither has sufficient frontage (100 continuous feet required) so the lot is legally non-conforming as regards street frontage. A residential neighborhood surrounds the property.

The Board first reviewed this project in January as a preliminary site plan review. The project was reclassified to a minor subdivision (per State statute and Title 16, a subdivision includes anything that creates residential units that do not share a common wall) and the Board reviewed it as a cluster subdivision on June 9<sup>th</sup> and visited the site on June 28<sup>th</sup>. Kittery permits cluster residential development and makes a conventional subdivision a special exception so the applicant is offering the plans as a cluster residential development that also is a condominium – meaning that the three residential units will share the one lot.

22 At the meeting on June 9<sup>th</sup>, the Board accepted the sketch plan. The applicant has resubmitted with plan  
23 revisions still under sketch plan. This is necessary because there are only two stages to a minor subdivision  
24 review – sketch and final. This means that most important aspects of the plan get worked out during sketch,  
25 rather than preliminary as is the case with major subdivisions of more than four lots.  
26

### 27 **Purpose of Application Phase**

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28  
29 The sketch plan phase allows the Board to: 1) determine if sufficient information has been supplied, and if  
30 not request the information, 2) to ask questions and 3) give direction to the applicant. If the Board finds the  
31 application insufficient or requires additional information, the Board should request that information be  
32 provided for the next meeting. The scheduled Public Hearing will allow the public to comment on the plan.  
33 The Board may continue the plan, approve the plan, or deny the plan.  
34

### 35 **Submission Requirements**

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36  
37 The Subdivision Ordinance in Section 16.8.10. requires the following information for Preliminary Plan  
38 submittal:  
39

#### 40 *Covenants*

41 No information on any covenants nor Condominium Association documents were provided with the plan.  
42 **Update:** this stage of the subdivision process does not require COA documents. In this case per State  
43 statute, covenants mean any existing easements or other land use covenants that may exist for the property.  
44 The applicant’s engineer informed staff that there are no known easements or covenants on this property.  
45

#### 46 *High-intensity Class "A" soil survey and soil interpretation sheets*

47 The applicant has provided a soil survey.  
48

#### 49 *Available community facilities*

50 **Update:** The plan highlights a “Common Area” green space on sheet C-2 with the addition of where the  
51 50-foot wetland buffer markers will be installed. The common area will serve the three residences of the  
52 condominium development.  
53

#### 54 *Utilities*

55 The site plan (sheet C-4) shows the plan for utility services. The plan shows using an existing sewer  
56 connection, as well as using an existing water connection. Existing overhead electrical lines will terminate  
57 at a new pole where underground electrical service will extend to each condo unit. A stormwater  
58 management plan has been supplied with drop inlets connected to an outfall at the eastern edge of the  
59 property. This outfall appears to be located in an area labeled “Common Area” on other plan sheets.  
60

#### 61 *Number of residential or business lots and/or dwelling units;*

62 Applicant has detailed that three single family dwelling units are proposed. The applicant has provided the  
63 net residential calculations to show a yield of 3 units.  
64

#### 65 *Typical lot width and depth*

66 There are no new lots being proposed, as all three dwelling units are proposed on the existing lot.  
67

#### 68 *Price range*

69 No price range information was given. The applicant has supplied dwelling unit layouts.  
70

#### 71 *Business areas*

72 No business areas are proposed.  
73 *Playgrounds, park areas and other public areas;*  
74 There are no parks, playgrounds or public areas proposed.

75  
76 *Street improvements*  
77 The plan proposes a 40-foot right-of-way with a 16-foot-wide pavement strip that ends as a shared common  
78 driveway.

79  
80 In addition, all the Cluster Residential Development submission requirements under 16.8.10.H.(5) have  
81 been met:

82 [1] *Dimensional modifications/standards, land area identified as net residential acreage, net residential*  
83 *density* – located in plan notes and on the plans (C-2) as applicable, see additional information under  
84 Development Standards.

85 [2] *Constraints to development* – shown on C-2

86 [3] *Natural features statement* – information from J. Noel, wetland scientist and letter from DEP (see  
87 paragraph with more details below) in the June 9<sup>th</sup> submission.

88 [4] *Building envelopes shown* – the building footprints are shown.

89  
90 The applicant in the June 9<sup>th</sup> submission provided a letter from the Maine Department of Environmental  
91 Protection stating that the vernal pool identified on the site is not significant, noting that the pool provides  
92 some habitat for wood frogs and spotted salamanders but does not meet biological criteria. The vernal pool  
93 was surveyed by Joseph Noel.

94  
95 **Development Standards**  
96

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97 *Setbacks*

98 The proposed residential structure closest to the wetland is shown to be over 100 feet from the wetland.  
99 The end of the shared driveway (per §16.3, a driveway may service two or less residential units) depicted  
100 on the plan is located approximately 65 feet from the wetland. Per Table 16.5.30 *Minimum Setbacks from*  
101 *Wetlands and Waterbodies*, a traveled way of road or driveway can be located 10 feet from the wetland.  
102 Rear and side setbacks for the R-U zone are 15 feet which is the requirement (see §16.4.13.D)

103  
104 *Road/Common Driveway*

105 The plans show a 16-foot-wide private way which extends just past Unit 1. From there, a common driveway  
106 provides access to Unit 2 and 3. Because the street frontage for this property is nonconforming (less than  
107 100 feet) and the proposed use is intensifying from one residential use/building to three residential  
108 uses/buildings, the private road will serve to provide both access and frontage to the units. However, it is  
109 not required for each unit to have its own 100-foot frontage because it is a condominium – one lot shared  
110 in common by three residential units. As shown on the plans the private way is over 100 feet long, thus  
111 providing the frontage required for the condominium. The private way will be named by the applicant (once  
112 the name is approved by the Town's addressing officer) and all three units will derive their addresses from  
113 that road, if the plan is approved.

114  
115 **Update:** June 9<sup>th</sup>'s plan did not include a turnaround that didn't require travel on private driveways. During  
116 the Technical Review Committee review, the Fire Chief required that a hammerhead turnaround be located  
117 on the private road. This plan shows the turnaround located across from Unit 1. The turnaround is noted to  
118 be 30 feet long. The Fire Chief will be asked to weigh in again on this plan.

119

120 There are also Condo Owners Association-related considerations. All three units will need to pay for upkeep  
121 and maintenance of the private road (and stormwater systems) while only two will be involved in upkeep  
122 and maintenance of the private driveway as currently presented.

123 **Recommendation:** Staff will have the Fire Chief review the plans at the next Technical Review Committee  
124 meeting. (still waiting)

125  
126 *Open Space*

127 Per §16.8.10. H.(6).(e), a cluster residential development must provide open space. The requirement is that  
128 50% of the lot must remain undeveloped (which usually includes all the wetlands, water bodies etc.) with  
129 30% of that comprised of upland. **Update:** Open space calculations are shown in C-2's plan note #7. While  
130 the calculations shown appear to be accurate, the note states that there is .98 acres of open space provided  
131 but below that it shows .94 acres as Common Open Space but nothing for either of the remaining two  
132 categories of open space. Where is the remaining .4 acres located?

133  
134 Staff noted to the applicant's engineer that the limited common areas around each residential unit are very  
135 limited. **Update:** The Limited Common Areas have been expanded which resulted in less Common Open  
136 Space.

137  
138 **Recommendation:** Staff recommends that the open space calculations clarify where all .98 acres of open  
139 space are and represent them suitably in the plan notes and on the plans.

140  
141 *Cluster Residential Development*

142 An important component of a cluster residential development plan is that dimensional requirements are  
143 allowed flexibility in the interests of reducing infrastructure and impact on the land. The plan as shown is  
144 compact, with limited impervious surface, underground utilities as required, public water and sewer, and  
145 infrastructure located beyond required setbacks from the wetlands.

146  
147 *Waivers*

148 The applicant will want to address the submission requirements of both the cluster residential development  
149 and Kittery's subdivision ordinance. There may be instances where the applicant would like to request a  
150 waiver. Waiver requests are best submitted during sketch plan, rather than final plan.

151  
152 *Additional Reviews*

153 Staff will send the plans out for peer review to CMA before the applicant submits for Final Plan but after  
154 the Fire Chief reviews the plans.

155  
156 **Update:**  
157 *Staff Review 10/13/2022*

158 **Applicant has submitted no new plans, please refer to previously submitted plans.**

159 Applicant to provide reasonable alternative or reason for proximity to wetland area i.e. There is ample room  
160 to the west of Condo Unit #1 to be shifted toward abutting property Map 10 Lot 97 (Niver) and subsequently  
161 shift each of the two remaining properties up and over 10-15'. There is an opportunity to site the turn-  
162 around at the end of the paved common driveway that would allow both firetrucks and plow trucks to turn  
163 around. Staff has provided comments from the Fire Chief on the proposed turn-around at the end of the  
164 right-of-way but before the common driveway. Additionally, this change would allow for the plow truck to  
165 store snow further away from the wetland buffer. This would also more equally divide the proposed  
166 contiguous common area behind each of the 3 proposed condos and allow for more common area on the  
167 easterly portion of the project site.

168

169 **Recommendation:** Even though there are no updated plans for this meeting, the Public Hearing was  
170 noticed and advertised. Staff recommends the Board hold the public hearing and continue this item to a  
171 subsequent meeting.

172  
173 **Recommended Motion**

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174  
175 Below is a recommended motion for this item:

176  
177  
178 ***Move to continue the sketch plan cluster residential subdivision application***

179  
180 *Move to continue the sketch subdivision plan application from owner Lusitano, LLC for a cluster residential*  
181 *development proposing three (3) single-family residences as a condominium on real property with an*  
182 *address of 28 Wyman Avenue (Tax Map 16, Lot 148) located in the Residential-Urban (R-U) Zone*

MEMORANDUM

06 October 2022

From: Chief David O'Brien

Subj: 28 Wyman Ave

The Fire Department has completed a review of the proposed residential development to be constructed at 28 Wyman Ave. The Fire Department does not accept the use of a shared driveway for a three-unit development. Fire apparatus weighing in excess of 25 tons may cause damage to private property driveways.

*//s//*

D. W. O'Brien  
Fire Chief



September 28, 2022

Adam Causey, AICP, Director of Planning and Development  
Town of Kittery  
200 Rogers Road  
Kittery, Maine 03904

**RE: Town of Kittery, Planning Board Services  
Wyman Hill Cluster Subdivision  
28 Wyman Avenue, Tax Map 16, Lot 148  
CMA #591.151**

Dear Adam:

CMA Engineers has received the following information for Assignment #151, review of the Wyman Hill Cluster Subdivision at 28 Wyman Avenue (Tax Map 16, Lot 148).

- 1) Drawings titled Wyman Hill, 28 Wyman Avenue, Kittery, Maine, Assessor's Parcel 16, Lot 148, Plan Issue Date June 21, 2022, Planning Board Submission, August 11, 2022, P.B. Re-Submission by Altus Engineering, Inc., of Portsmouth, NH.
- 2) Drainage Analysis for Wyman Hill, 28 Wyman Avenue, Kittery, ME, Tax Map 16, Lot 148, Kittery, ME, Tax Map 16, Lot 148, dated August 11, 2022, Prepared for Lusitano, LLC by Altus Engineering, Inc., of Portsmouth, NH.
- 3) Letter from the State of Maine Department of Environmental Protection, Re: Vernal Pool Significance Determination, dated May 23, 2022.
- 4) Supporting documentation.

We have reviewed the information submitted for conformance with the Kittery Land Use and Development Code (LUDC) and general engineering practices and offer the comments below that correspond directly to the Town's Ordinances.

The project is proposed as a 3-lot cluster subdivision with access off Wyman Avenue. The project is located in the residential-urban (R-U) zone. The development is located on a 1.90-acre lot, including single family residences and a roadway with a hammerhead. Lots are proposed between 9,220+ square feet and 13,600+/- square feet in the cluster. 49% of the lot is proposed to remain undeveloped. Water supply is proposed off a Kittery Water District (KWD) main from Wyman Avenue. Wastewater disposal is proposed off a Town sewer main from Wyman Avenue. There is a wetland on the northeast side of the property.

## 16.4 Zoning Regulations

### 16.4.13 Residential-Urban(R-U)

The proposed use (dwelling, single family) is a permitted use, and a cluster residential development is specifically included in the permitted uses.

The project conforms to all zoning standards.

## 16.5 General Development Requirements

### 16.5.9 Conservation of Wetlands Including Vernal Pools

The vernal pool on site is not a significant vernal pool per a letter from Maine Department of Environmental Protection dated May 23, 2022. There are no proposed alterations to the wetlands on site and no proposed work within the wetland buffer.

### 16.5.18 Net Residential Acreage

The applicant has presented calculations to show that the net residential acreage allows 3 dwelling units. The applicant is proposing 3 dwelling units.

### 16.5.27 Streets and Pedestrianways/Sidewalks Site Design Standards

16.5.27.H.(4) The site distance in both directions on Wyman Avenue should be indicated on the plans.

## 16.7 General Development Requirements

### 16.7.11 Performance Standards and Approval Criteria

#### 16.7.11.A. Water Supply

16.7.11.A.(2) The applicant should provide written documentation of conformance and water supply adequacy from the Kittery Water District.

#### 16.7.11.B Sewage Disposal

16.7.11.B.(1)(b) The applicant should provide written certification of capacity from the Superintendent of Sewer Services (SSS), and 16.7.11.B.(1)(d) The applicant should provide written approval of the construction drawings by the Town's SSS.

#### 16.7.11.C. Stormwater and Surface Drainage

16.7.11.C. The applicant is proposing a combination of open and closed drainage that flows to a grassed soil filter which discharges to an outfall with plunge pool outside of the wetland buffer.

16.7.11.C.(3)(a) Minimum drainage pipe size is 12", but the stormwater design uses smaller pipes. The drainage analysis shows that the proposed piping has adequate theoretical hydraulic capacity for the design, however the minimum pipe size of 12" has other purposes (clogging, debris). The applicant should re-assess or apply for a waiver, with justification.

16.7.11.C.(4)(a) The drainage analysis should use rainfall data for Portsmouth, NH.

We have the following additional comments on the drainage analysis:

- Infiltration rates for the biofilter media is 2.5 in/hr. Where was this rate derived?
- The drainage analysis has YD #4 as an 8" pipe but Sheet shows it as 6". Please clarify.



We have the following additional comments on the O&M:

- There should be a discussion of stone drip edge maintenance.
- The BMP table should include riprap outlets, swales, and stone drip edges.

#### 16.7.11.G. Utilities

16.7.11.G.(2) Utilities are to be installed underground where feasible. The applicant is proposing overhead wires for a portion of the site and should apply for a waiver.

We have the following comments on the plans:

Cover Sheet:

- Sheet C-6 is referred to as Detail Sheet in the Sheet Index and Erosion Control Details in the Sheet C-6 title block.

Existing Conditions Plan:

- The asterisks next to the minimum rear and side yards and maximum building height in the Zoning Data per Kittery Zoning Ordinance table should be defined.
- Please provide a note regarding wetland delineation and have the wetland scientist stamp the plans.
- Existing utilities sizes and materials should be shown on the plan.
- Existing structures rim and invert elevations should be shown on the plan.

Sheet C-1:

- Add Kittery Water District to Note 5.
- Note 6 does not apply to this project.
- Is the post and rail fence to remain?
- The plan should include a legend.
- Was a test pit completed on site? Where is the test pit log?
- Remove the wetland buffer markers from the plan.

Sheet C-2:

- The large turnaround tee is located before the last houses. The applicant should provide turning movements to show that a fire truck can turnaround at the tee located beyond Unit #3.
- Why does the 40' private ROW change to a shared driveway?

Sheet C-3:

- Note 9 should read "grassed soil filter" not "stormwater pond".
- Note 13 should read upon "establishment of vegetation, all temporary erosion and sediment controls shall be removed" not "upon completion of construction".
- YD #4 should be identified as the outlet structure on the plan.

Sheet C-4:

- The plans should include a profile of the roadway/driveway with utilities.
- Add existing main materials and sizes to the plan.
- Add existing service materials and sizes to the plan.
- SMH #4 has two rim elevations and two invert out elevations (REC and SURV). Please remove the ones that are inaccurate.
- Add the invert in to SMH #4 and SMH #5.
- The proposed sewer main shows a 45-degree elbow and cleanout in the roadway. This is unconventional. A sewer manhole structure should be placed at the change in sewer main alignment.
- The proposed sewer main shows a cleanout located in the driveway at the terminal end. This is unconventional. A sewer manhole structure should be placed at the end of the sewer main. In addition, the terminal cleanout invert is below the inverts in PSMH #1.
- The 6" invert elevation of the proposed connection to the sewer main in Wyman Ave is approximately 6' above the invert of the existing main. Is this correct? If so, the applicant should install a sewer manhole with interior drop at the tie-in location as a 4" wye with 8" x6" chimney connection is unconventional.

Sheet C-5:

- Edit "During construction..." sentence.

Sheet C-6:

- Note 1 for the Typical Grassed Soil Filter detail should reference a grassed soil filter not a rain garden.
- The Typical Grassed Soil Filter detail should label the outlet structure YD #4.

Sheet C-7:

- Include a detail for the roadway and the shared driveway.
- Update the Notes for the Standard Duty Asphalt Pavement detail to apply to this project.
- The Water Service Connection details should specify 2" DR11 service lines.
- Is a stop bar proposed at the intersection with Wyman Avenue? Please provide a detail.

Sheet C-8:

- Remove the wood sheeting from the Drainage & Sewer Trench detail.

Should you have any questions, please do not hesitate to call.

Very truly yours,

CMA ENGINEERS, INC.



Jodie Bray Strickland, P.E.

Senior Project Engineer

cc: Eric Weinrieb, P.E. Altus Engineering

JBS:rol

# WYMAN HILL

28 WYMAN AVENUE  
KITTERY, MAINE

Assessor's Parcel 16, Lot 148

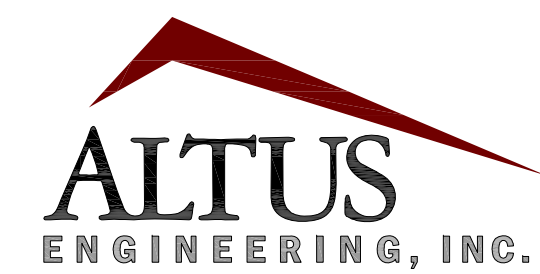
Plan Issue Date:

June 21, 2022	Planning Board Submission
August 11, 2022	P.B. Re-Submission

**Owner/Applicant:**

LUSITANO, LLC  
JIM HIGGINS  
119 KINGS HIGHWAY NO.  
ELIOT, MAINE 03903  
(617) 501-6149

**Civil Engineer:**



133 Court Street Portsmouth, NH 03801  
(603) 433-2335 www.altus-eng.com

**Architect:**

HIGGINS + DESIGN  
119 Kings Highway North  
Eliot, ME 03903  
(617) 501-6149  
jimhiggins05@comcast.net

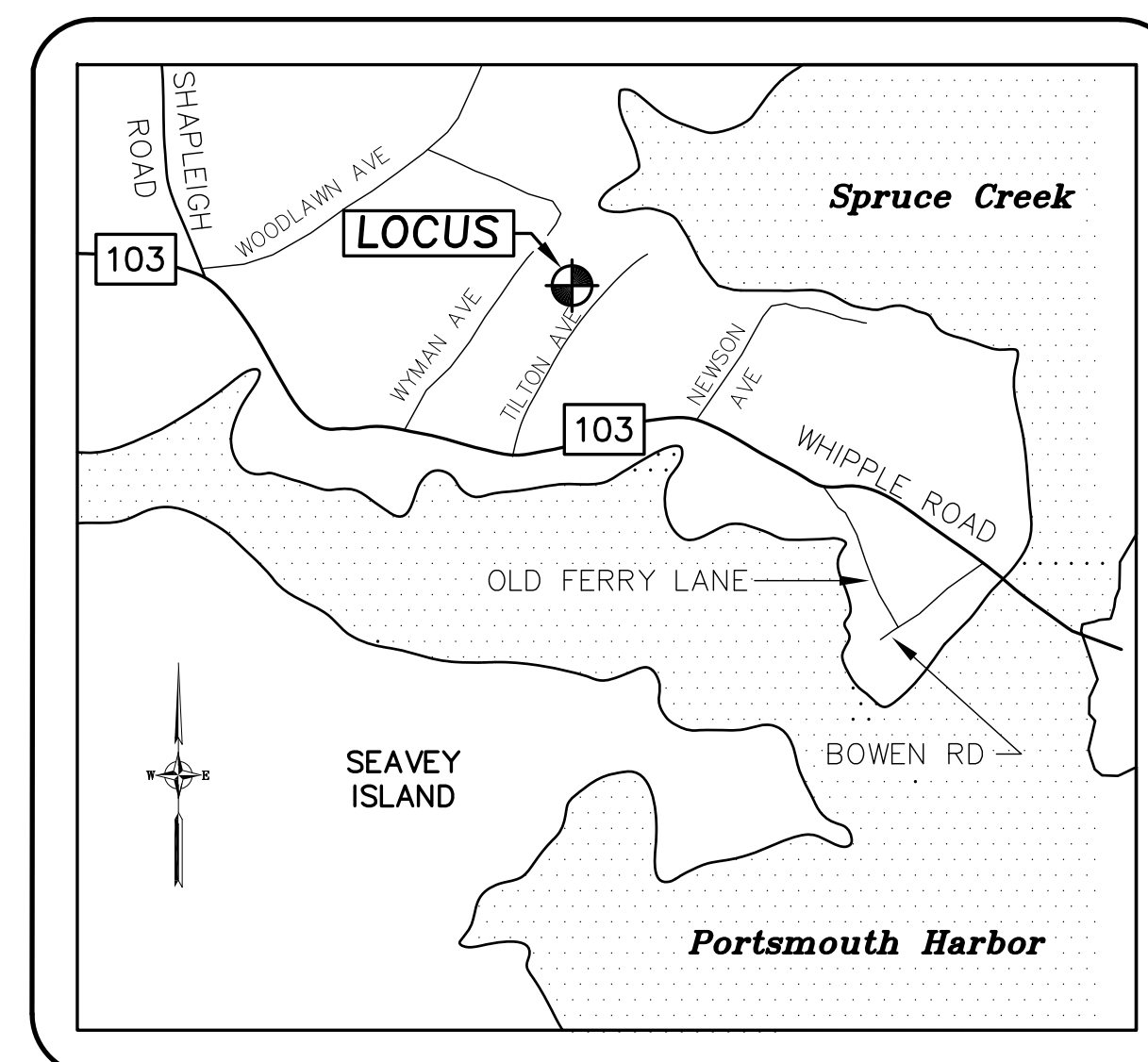
**Surveyor:**



191 STATE ROAD, SUITE #1  
KITTERY, MAINE 03904

**Soils/Wetlands Scientist:**

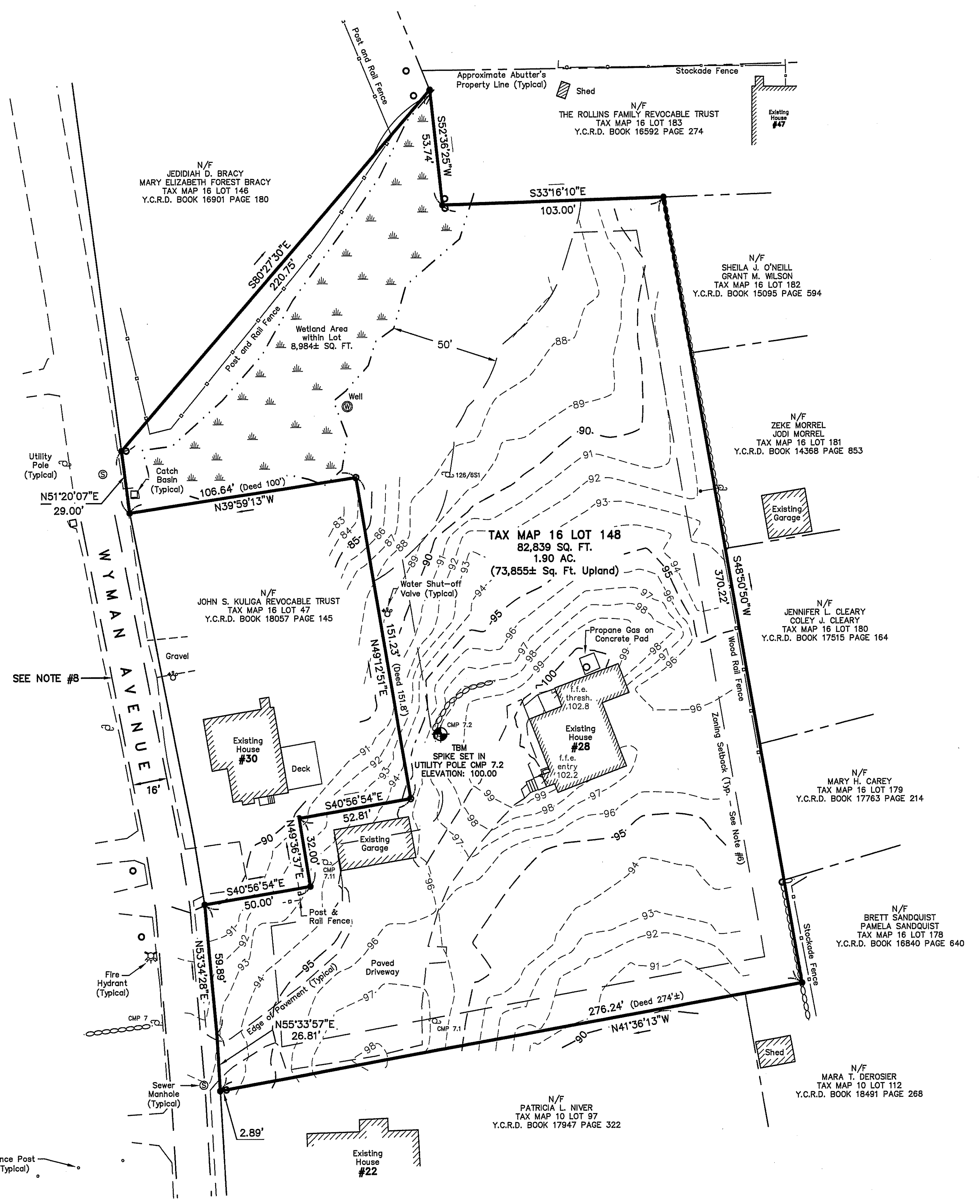
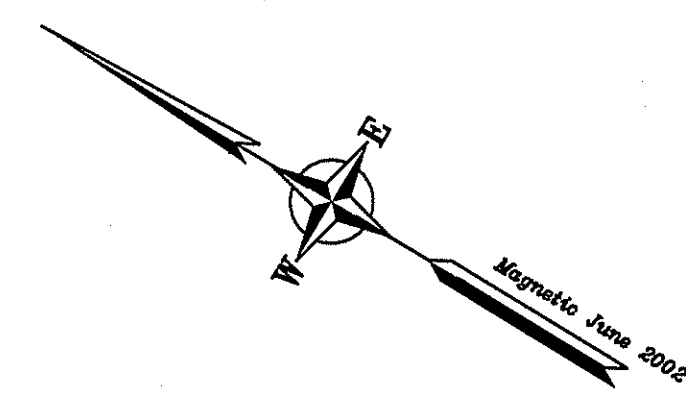
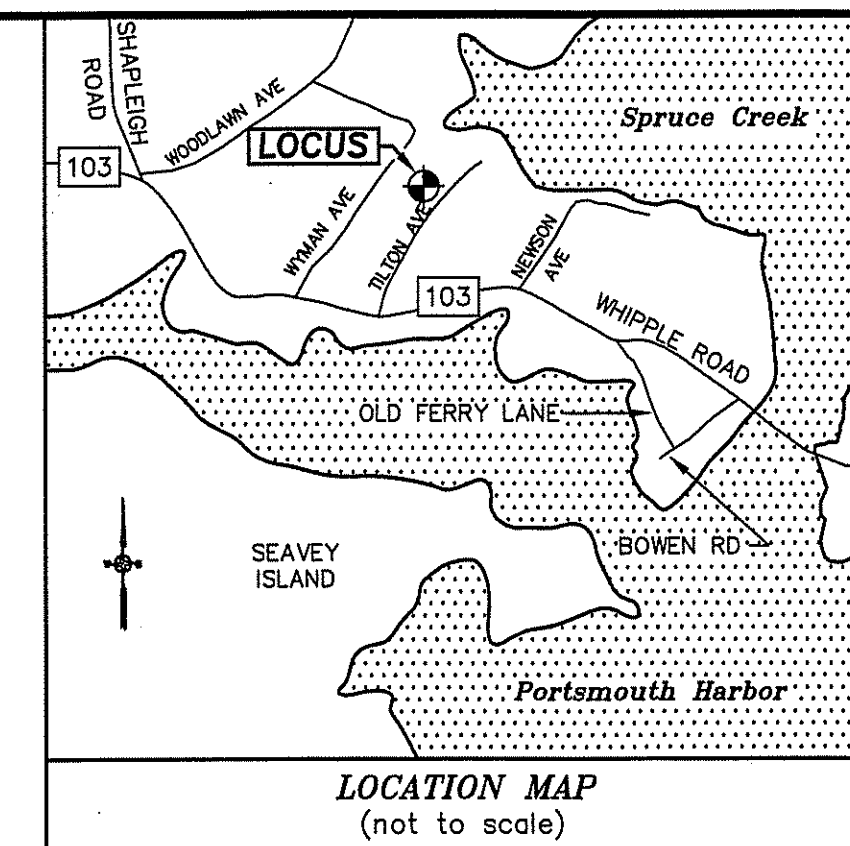
MICHAEL MARIANO, CSS  
75 Prospect Street  
Somersworth, NH 03878  
(603) 692-4457



LOCUS NOT TO SCALE

**Sheet Index**

Title	Sheet No.:	Rev.	Date
Existing Conditions Plan	1 of 1	0	07/09/21
Demolition Plan	C-1	0	12/22/21
Condominium Site Plan	C-2	3	08/11/22
Grading & Stormwater Management Plan	C-3	2	08/11/22
Utility Plan	C-4	2	08/11/22
Erosion Control Notes	C-5	1	08/11/22
Detail Sheet	C-6	1	08/11/22
Detail Sheet	C-7	1	08/11/22
Detail Sheet	C-8	1	08/11/22
Layout Plans	A01	0	11/22/21
Elevations	A02	0	11/22/21
Elevations	A03	0	11/22/21



ZONING DATA PER KITTERY ZONING ORDINANCE  
(LAST AMENDED JANUARY 11, 2021 - SEE NOTE #6):

BASE ZONE: Residential-Urban (R-U)

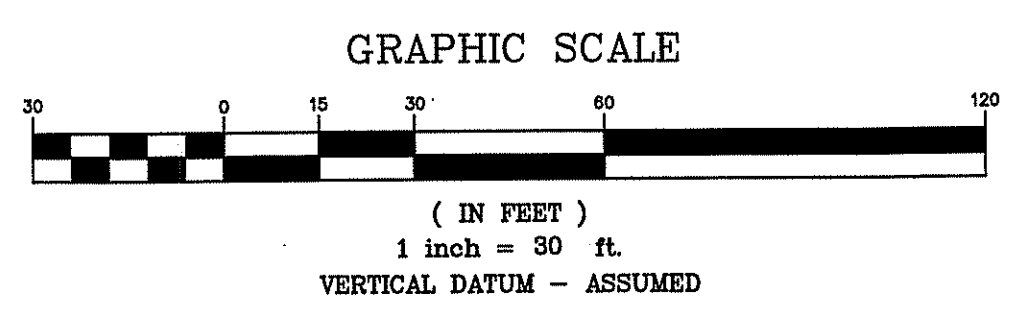
REQUIREMENTS:  
 MINIMUM LAND AREA: 20,000 Sq Ft  
 PER DWELLING UNIT: 20,000 Sq Ft  
 MINIMUM LOT SIZE: 20,000 Sq Ft  
 MINIMUM STREET FRONTAGE: 100 Ft  
 MINIMUM FRONT YARD: 30 Ft  
 MAXIMUM BUILDING COVERAGE: 20%  
 MINIMUM REAR AND SIDE YARDS: 15 Ft\*  
 MAXIMUM BUILDING HEIGHT: 35 Ft\*

BUILDING COVERAGE CALCULATION:

LOT AREA: 82,839 SQ. FT.  
 HOUSE: 1,635± SQ. FT.  
 GARAGE: 678± SQ. FT.  
 TOTAL: 2,313± SQ. FT. (2.8%)

MONUMENTATION LEGEND:

- MONUMENT FOUND PER PLAN REFERENCE #1
- IRON ROD WITH CAP #1322 SET PER PLAN REFERENCE #1



PLAN REFERENCES:

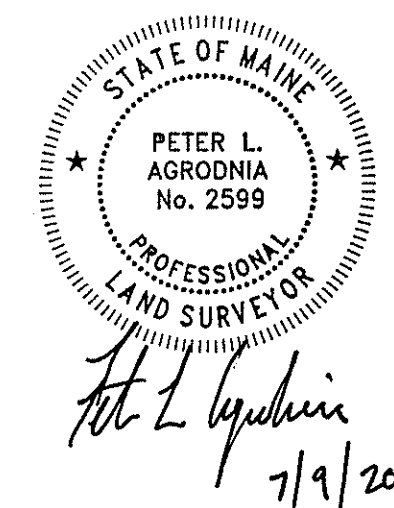
1. "STANDARD BOUNDARY SURVEY FOR PROPERTY AT 28 WYMAN AVENUE, KITTERY, YORK COUNTY, MAINE OWNED BY HARRY A. & PATRICIA J. HANNIGAN", PREPARED BY NORTH EASTERLY SURVEYING INC., DATED APRIL 14, 2008, AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 329 PAGE 7.
2. "LAND OF MATTAWAMKEAG REALTY CO., LOCATED IN KITTERY, MAINE," BY JOHN W. DURGIN CIVIL ENGINEERS DATED JUNE 10, 1941 AND RECORDED AT Y.C.R.D. PLAN BOOK 16 PAGES 31 & 32.
3. "PLAN OF PARCEL OF LOTS ON PROPERTY OF HARRY N. WYMAN IN KITTERY, YORK COUNTY, MAINE" PREPARED BY C.S. GERRISH, CE, DATED DECEMBER 8, 1938, Y.C.R.D. BOOK 17 PAGE 7.
4. "STANDARD BOUNDARY SURVEY FOR PROPERTY AT 44 TILTON AVENUE, YORK COUNTY, KITTERY, MAINE OWNED BY CANDACE J. DELISIO" PREPARED BY NORTH EASTERLY SURVEYING, INC., DATED SEPTEMBER 12, 2002.
5. "STANDARD BOUNDARY SURVEY FOR PROPERTY AT 49 TILTON AVENUE, KITTERY, YORK COUNTY, MAINE OWNED BY SARA GALLANT GRASTY" PREPARED BY NORTH EASTERLY SURVEYING, INC., DATED JANUARY 9, 2008, RECORDED Y.C.R.D. BOOK 328 PAGE 15.

NOTES:

1. OWNERS OF RECORD:  
TAX MAP 16 LOT 148  
LUSITANO, LLC  
Y.C.R.D. BOOK 17499 PAGE 681  
DATED FEBRUARY 23, 2007
2. TOTAL EXISTING PARCEL AREA:  
TAX MAP 16 LOT 148  
1.90 Acres
3. BASIS OF BEARING IS PER PLAN REFERENCE #1.
4. APPROXIMATE ABUTTER'S LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE RELIED UPON AS BOUNDARY INFORMATION.
5. EASEMENTS OR OTHER UNWRITTEN RIGHTS MAY EXIST THAT ENCUMBER OR BENEFIT THE PROPERTY NOT SHOWN HEREON.
6. ZONING INFORMATION AND SETBACKS SHOWN HEREON ARE FOR REFERENCE PURPOSES. CONFIRM CURRENT ZONING REQUIREMENTS WITH THE TOWN OF KITTERY PRIOR TO DESIGN OR CONSTRUCTION.
7. THE BOUNDARY SHOWN HEREON IS PER PLAN REFERENCE #1.
8. ABUTTING DEEDS CALL FOR A "16-FOOT WIDE PASSAGEWAY" WHERE WYMAN AVENUE EXISTS. A 30-FOOT WIDE RIGHT OF WAY (AS SHOWN ON ABUTTING PLANS) WAS ASSUMED FOR THE BOUNDARY SHOWN HEREON, REFERENCE IS MADE TO PLAN REFERENCE #1.

PURPOSE OF PLAN:

THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS FOR DESIGN PURPOSES. THIS PLAN IS NOT A STANDARD BOUNDARY SURVEY AND IS NOT INTENDED TO BE RECORDED, USED FOR CONVEYANCE, OR ANY OTHER TITLE PURPOSE.



**EXISTING CONDITIONS PLAN**  
 FOR PROPERTY AT  
**28 Wyman Avenue**  
 Kittery, York County, Maine  
 OWNED BY  
**Lusitano, LLC**  
 Attn: Jim Higgins  
 119 Kings Highway No., Eliot, ME 03903

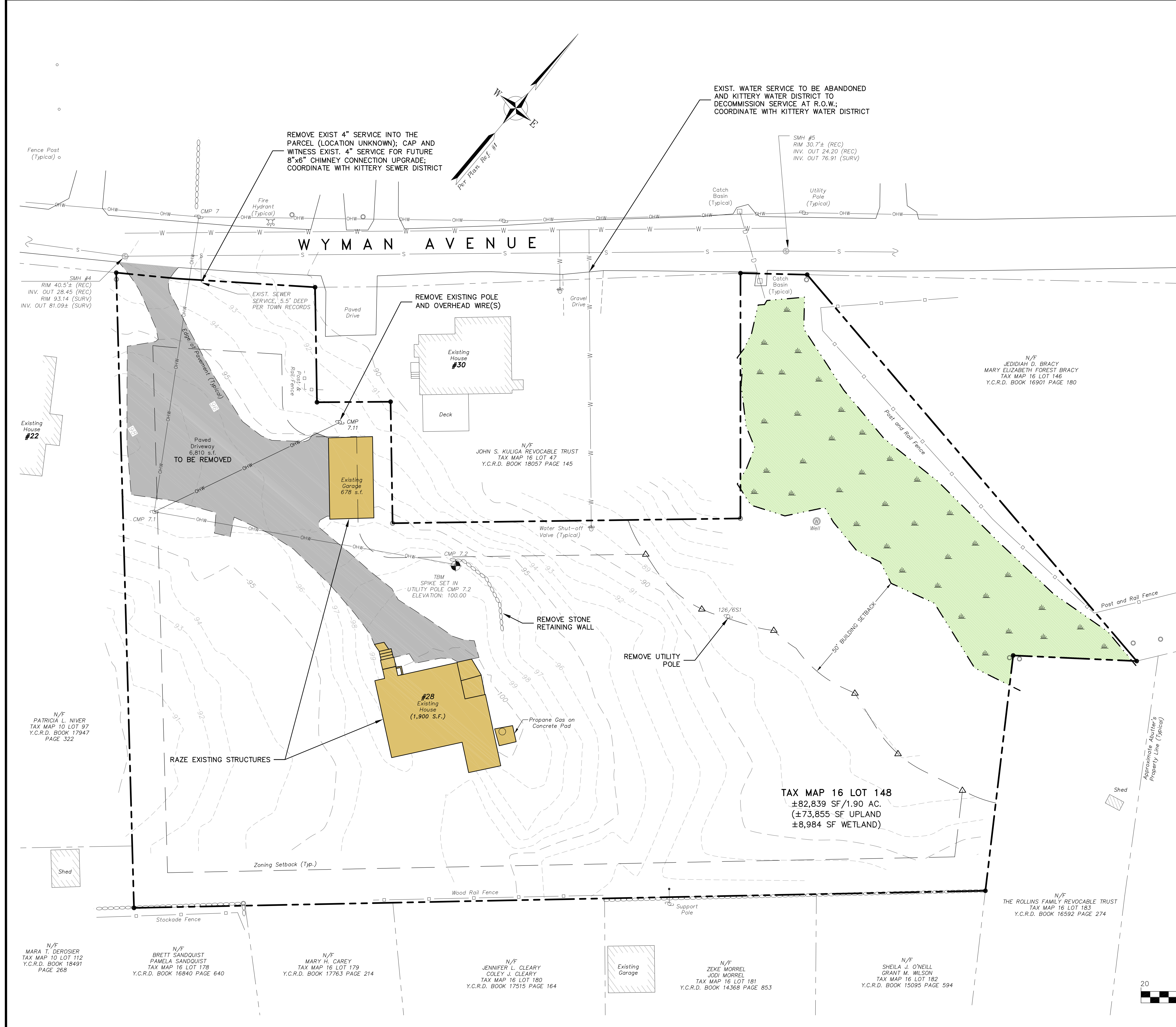
North  
  
**EASTERLY SURVEYING, Inc.**

SURVEYORS IN N.H. & MAINE 191 STATE ROAD, SUITE #1  
 (207) 439-6333 KITTERY, MAINE 03904

SCALE: 1" = 30'	PROJECT NO: 08610	DATE: 7/9/21	SHEET: 1 OF 1	DRAWN BY: A.H.P.	CHECKED BY: P.L.A.
DRAWING No: 08610_EXISTING_CONDITIONS			FIELD BOOK No: Kittery #40		

**Tax Map 16 Lot 148**

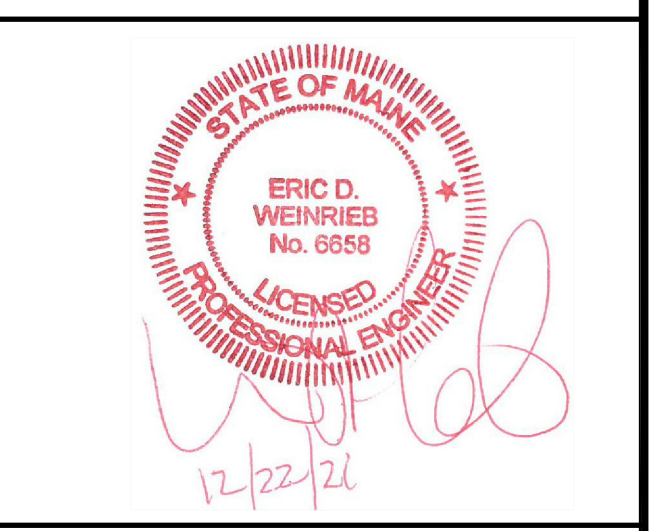
REV.	DATE	STATUS	BY	CHKD	APPD.



**DEMOLITION NOTES**

1. CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
2. ALL MATERIALS SCHEDULED FOR DEMOLITION OR REMOVAL ON PRIVATE PROPERTY SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY NOTIFICATION OF ALL PARTIES, CORPORATIONS, COMPANIES, INDIVIDUALS AND STATE AND LOCAL AUTHORITIES OWNING AND/OR HAVING JURISDICTION OVER ANY UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES WHETHER OR NOT SAID UTILITIES ARE SUBJECT TO DEMOLITION, RELOCATION, MODIFICATION AND/OR CONSTRUCTION.
4. AT NO TIME SHALL ANY UTILITY SERVICE OR VEHICULAR ACCESS TO ADJOINING PROPERTIES BE COMPLETELY INTERRUPTED UNLESS A FULL SHUTDOWN IS COORDINATED WITH ALL AFFECTED PARTIES AND UTILITY PROVIDER(S).
5. ALL UTILITY DISCONNECTIONS/DEMOLITIONS/RELOCATIONS SHALL BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES, KITTERY DPW AND ADJOINING PROPERTY OWNERS AS NECESSARY. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXCAVATION, TRENCHING AND BACKFILLING.
6. WHERE SPECIFIED TO REMAIN, MANHOLE RIMS, CATCH BASIN GRATES, VALVE COVERS, HANDHOLES, ETC. SHALL BE ADJUSTED TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
7. SEE EROSION CONTROL PLANS FOR PERIMETER EROSION AND SEDIMENT CONTROL MEASURES THAT SHALL BE IN PLACE PRIOR TO DEMOLITION ACTIVITIES.
8. ALL MATERIAL SCHEDULED TO BE REMOVED SHALL BE LEGALLY DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS/CODES.
9. CONTRACTOR TO CONTACT KITTERY WATER DISTRICT (KWD) AND KITTERY SEWER DISTRICT (KSD) A MINIMUM OF TWO WEEKS PRIOR TO ANY DEMOLITION TO COORDINATE ALL WORK CONCERNING DISCONNECTION/DEMOLITION OF ANY PROPOSED WATER AND SEWER LINE IMPROVEMENTS.
10. ALL WATER AND SEWER DISCONNECTIONS SHALL CONFORM TO KSD AND KWD STANDARDS.
11. NO BURNING SHALL BE PERMITTED PER LOCAL REGULATIONS.
12. HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ABATED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
13. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR THE DEMOLITION OF EXISTING SITE FEATURES. UNLESS OTHERWISE NOTED TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL BUILDINGS, PAVEMENT, CONCRETE, CURBING, SIGNS, POLES, UTILITIES, FENCES, VEGETATION AND OTHER EXISTING FEATURES AS NECESSARY TO FULLY CONSTRUCT THE PROJECT.

ENGINEER:  
  
 133 Court Street Portsmouth, NH 03801  
 (603) 433-2335 www.altus-eng.com



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ISSUED FOR: **REVIEW**

ISSUE DATE: **DECEMBER 22, 2021**

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EBS	12/22/21

DRAWN BY: \_\_\_\_\_ RMB  
 APPROVED BY: \_\_\_\_\_ EBS  
 DRAWING FILE: 5235CONDO.DWG

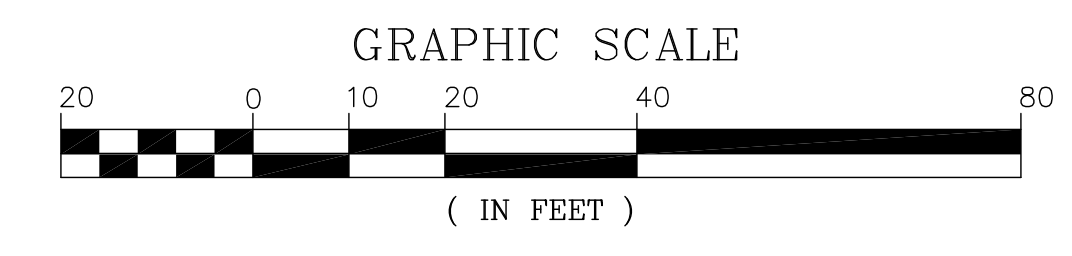
SCALE:  
 (24"x36") 1" = 20'  
 (11"x17") N.T.S.

OWNER/APPLICANT:  
 LUSITANO, LLC  
 JIM HIGGINS  
 119 KINGS HIGHWAY NO.  
 ELIOT, MAINE 03903

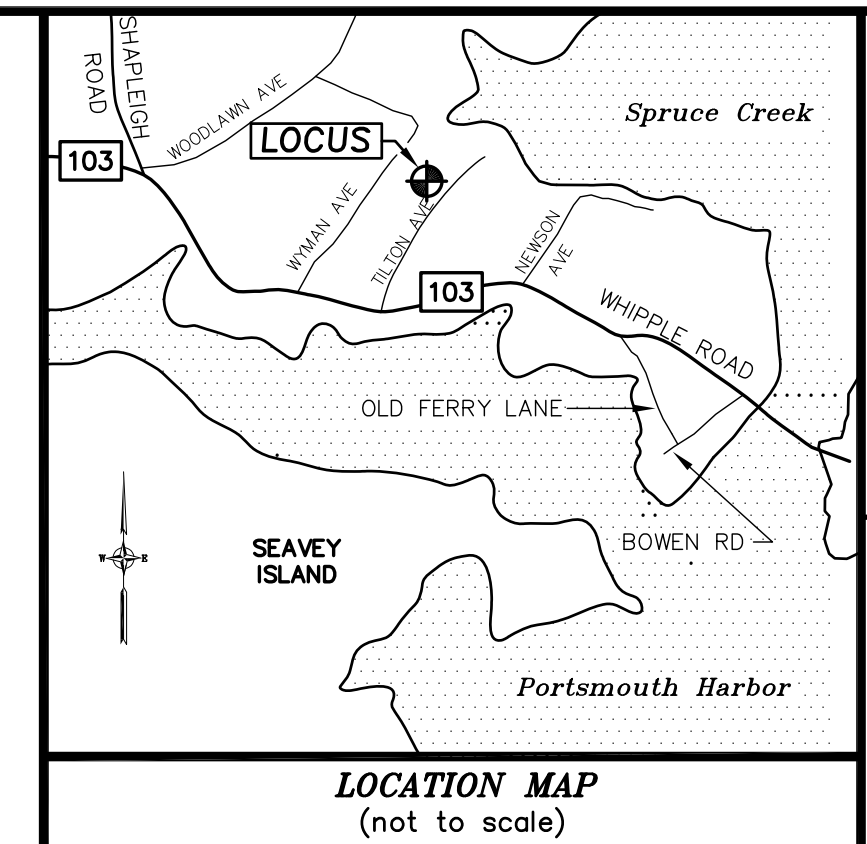
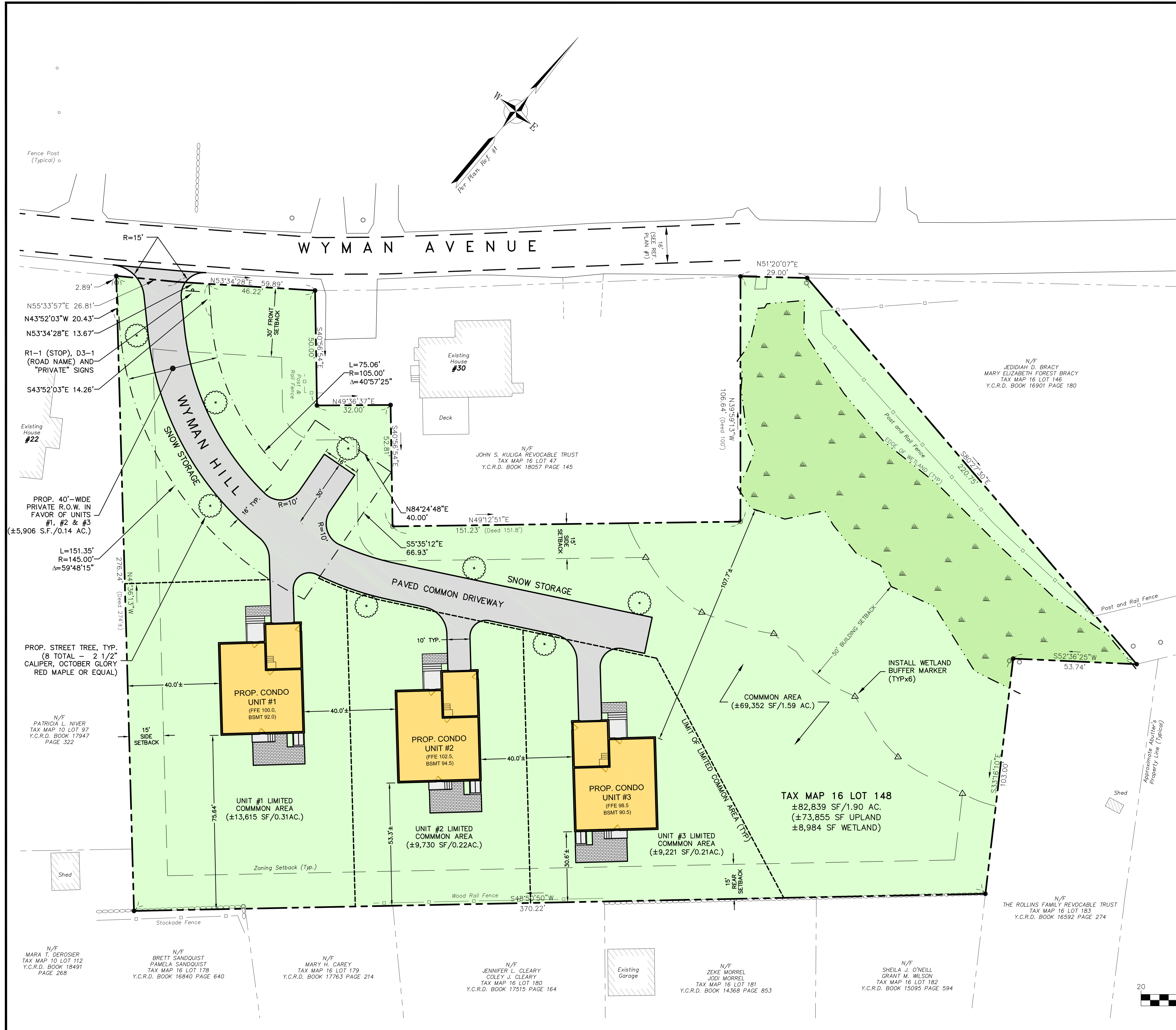
PROJECT:  
**WYMAN HILL**  
**TAX MAP 16, LOT 148**  
 28 WYMAN AVENUE  
 KITTERY, MAINE

TITLE:  
**DEMOLITION PLAN**

SHEET NUMBER:  
**C - 1**



P5235



ENGINEER:  
**ALTUS**  
 ENGINEERING, INC.  
 133 Court Street Portsmouth, NH 03801  
 (603) 433-2335 www.altus-eng.com

SURVEYOR:  
 North  
**W. EASTERLY**  
 SURVEYING, Inc.  
 SURVEYORS IN N.H. & MAINE  
 191 STATE ROAD, SUITE #1  
 KITTERY, MAINE 03904  
 (207) 439-6333

**SITE NOTES**

- DESIGN INTENT - THIS PLAN SET IS INTENDED TO DEPICT A THREE (3) SINGLE-FAMILY DETACHED CONDOMINIUM PLAN WITH SHARED RIGHT OF WAY AND COMMON DRIVE.
- PLAN REFERENCE: "EXISTING CONDITIONS PLAN FOR PROPERTY AT 28 WYMAN AVENUE, KITTERY, MAINE" BY NORTH EASTERLY SURVEYING, INC., DATED PRELIMINARY JULY 7, 2021.
- LOT AREA: ±82,839 S.F. (±1.90 ACRES) EXISTING
- ZONE: RESIDENTIAL USE (R-U)
- DIMENSIONAL REQUIREMENTS -
 

	STANDARD	PROVIDE
MINIMUM LOT AREA PER UNIT	20,000 S.F.	>20,000 S.F. MIN.
ROAD FRONTAGE	100 FT.	88.89 FT. MIN.
FRONT YARD	30 FT.	>30 FT. MIN.
SIDE YARD	15 FT.	>15 FT. MIN.
REAR YARD	15 FT.	>15 FT. MIN.
BUILDING COVERAGE	20 %	2.8% EXISTING 5.7% PROPOSED
WETLANDS SETBACK (< 1 ACRE)	50 FT.	>100 FT.
16' DRIVEWAY (FROM TOE)	10 FT.	> 10 FT.
- DENSITY/NET RESIDENTIAL AREA CALCULATIONS:
 

TOTAL LOT AREA	1.90 AC.
LESS WETLANDS	- 0.21 AC.
LESS RIGHT OF WAY	- 0.17 AC.
NET RESIDENTIAL AREA =	1.52 AC.
- NUMBER OF DWELLING UNITS PERMITTED  
 (1.52 AC \* 43,560 SF/AC / 20,000 S.F./UNIT) = 3.31 UNITS  
 NUMBER OF DWELLING UNITS PROPOSED = 3 UNITS
- OPEN SPACE CALCULATIONS:  
 50% TOTAL LOT AREA AND 30% NET RES. AREA REQUIRED  
 TOTAL LOT AREA: 1.90 AC. x 50% = 0.95 AC. REQUIRED  
 NET RES. AREA: 1.52 AC. x 30% = 0.46 AC. REQUIRED  
 TOTAL LOT AREA = 1.90 AC.  
 LESS ROW = -0.16 AC.  
 LESS LIMITED COMMON AREA = -0.71 AC.  
 LESS DRIVEWAY AREA = -0.05 AC.  
 OPEN SPACE PROVIDED = 0.98 AC.  
 (49% OF TOTAL LOT, 64% OF NET RES. AREA)  
 OPEN SPACE, RESERVED: 0.00 AC.  
 OPEN SPACE, COMMON: 0.94 AC.  
 OPEN SPACE, PUBLIC: 0.00 AC.
- WETLANDS WERE DELINEATED BY MIKE MARIANO IN 2017.
- AREA OF DISTURBANCE LESS THAN 43,560 SF, THEREFORE NOI AND SWPPP INSPECTIONS ARE NOT REQUIRED.
- SNOW SHALL BE STORED AT THE EDGE OF PAVEMENT AND IN AREAS SHOWN.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM STANDARDS OF THE TOWN OF KITTERY & MEDOT'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITIONS. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINES WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- BUILDING AREA SHOWN IS BASED ON FOOTPRINT MEASURED TO THE EDGE OF FOUNDATIONS AND/OR SLABS. ACTUAL INTERIOR SPACE WILL DIFFER.

THIS DRAWING HAS NOT BEEN RELEASED FOR CONSTRUCTION

ISSUED FOR: REVIEW

ISSUE DATE: AUGUST 11, 2022

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EBS	12/22/21
1	ADD PRIVATE R.O.W.	EBS	05/19/22
2	REV. PER PLANNING BOARD	EBS	06/21/22
3	ADD TURN AROUND	EBS	08/11/22

DRAWN BY: RMB  
 APPROVED BY: EBS  
 DRAWING FILE: 5235CONDO.DWG

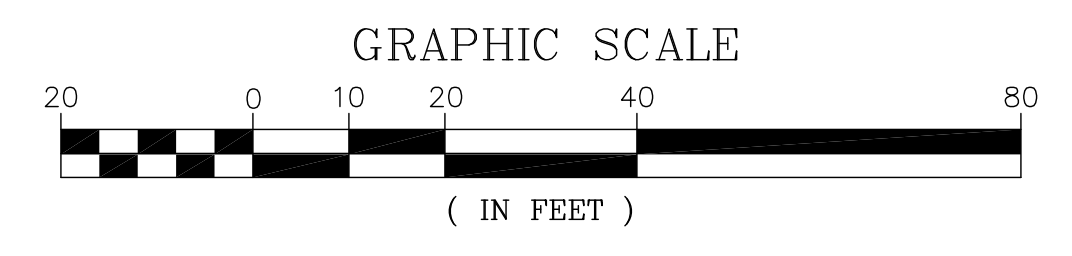
SCALE:  
 (24"x36") 1" = 20'  
 (11"x17") N.T.S.

OWNER/APPLICANT:  
 LUSITANO. LLC  
 JIM HIGGINS  
 119 KINGS HIGHWAY NO.  
 ELIOT, MAINE 03903

TOWN OF KITTERY, PLANNING BOARD

CHAIR	DATE
OWNER	DATE
APPLICANT	DATE

YORK ss REGISTRY OF DEEDS  
 RECIEVED 20  
 AT \_\_\_\_\_ H \_\_\_\_\_ M \_\_\_\_\_ M. AND  
 RECORDED IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
 ATTEST:  
 \_\_\_\_\_  
 REGISTER

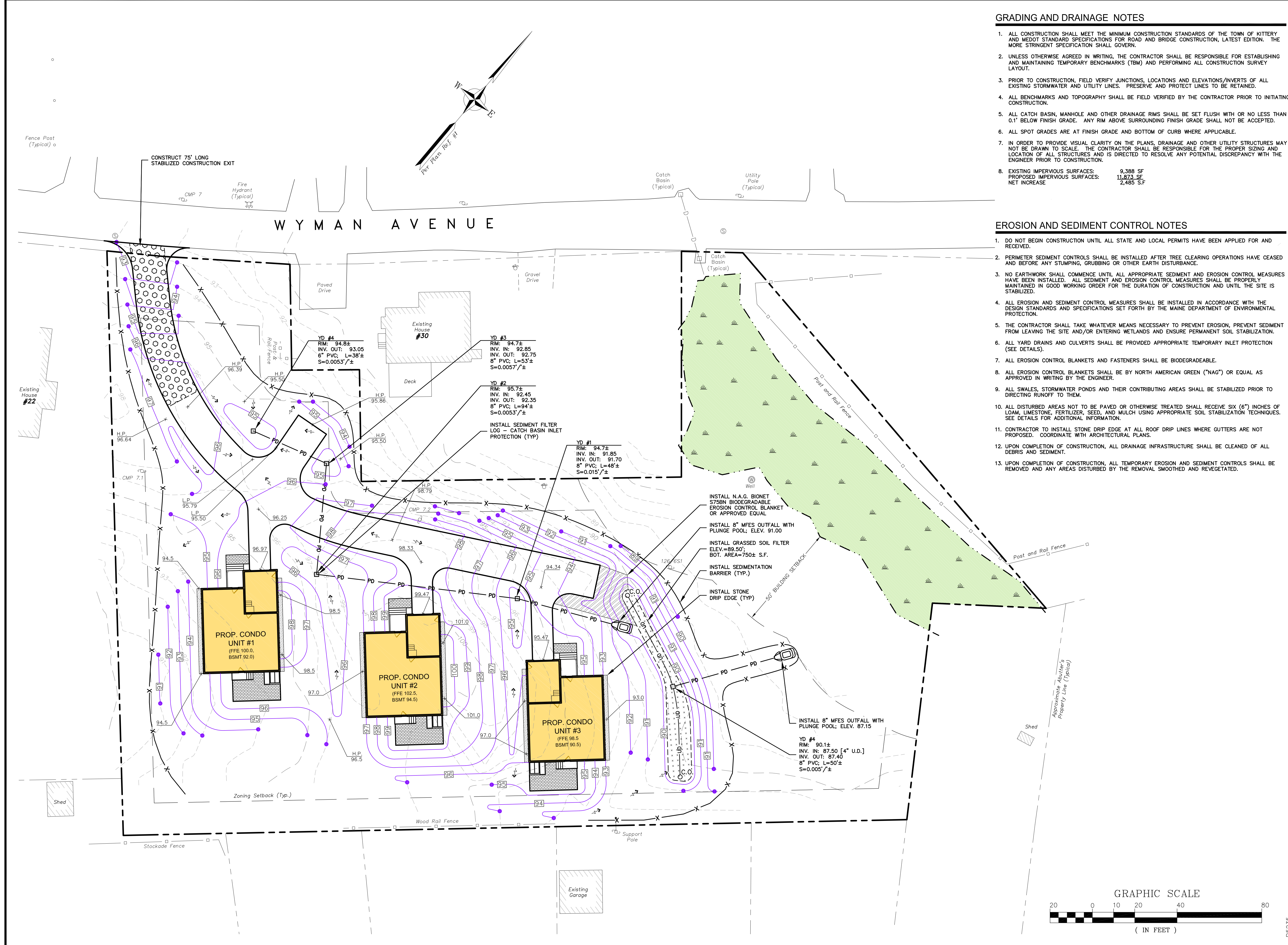


PROJECT:  
**WYMAN HILL**  
 TAX MAP 16, LOT 148  
 28 WYMAN AVENUE  
 KITTERY, MAINE

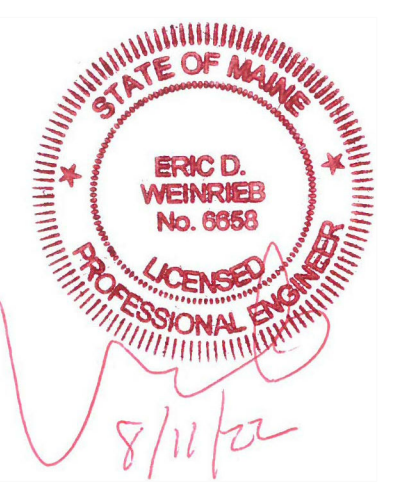
TITLE:  
**CONDOMINIUM SITE PLAN**

SHEET NUMBER:  
**C - 2**

P5235



ENGINEER:  
**ALTUS**  
 ENGINEERING, INC.  
 133 Court Street  
 (603) 433-2335  
 Portsmouth, NH 03801  
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NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EBS	12/22/21
1	REV. PER PLANNING BOARD	EBS	06/21/22
2	ADD TURN AROUND	EBS	08/16/22

DRAWN BY: RMB  
 APPROVED BY: EBS  
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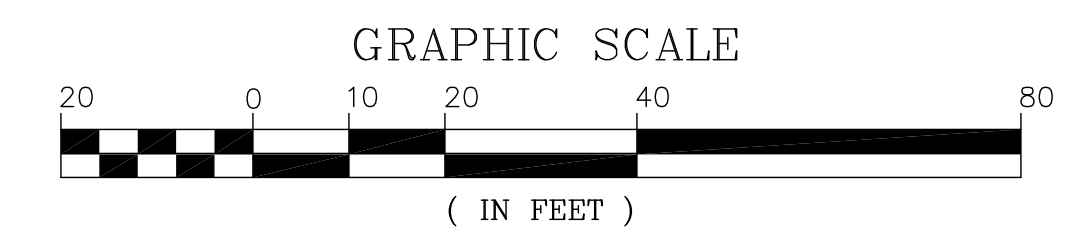
SCALE:  
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 (11"x17") N.T.S.

OWNER/APPLICANT:  
 LUSITANO, LLC  
 JIM HIGGINS  
 119 KINGS HIGHWAY NO.  
 ELIOT, MAINE 03903

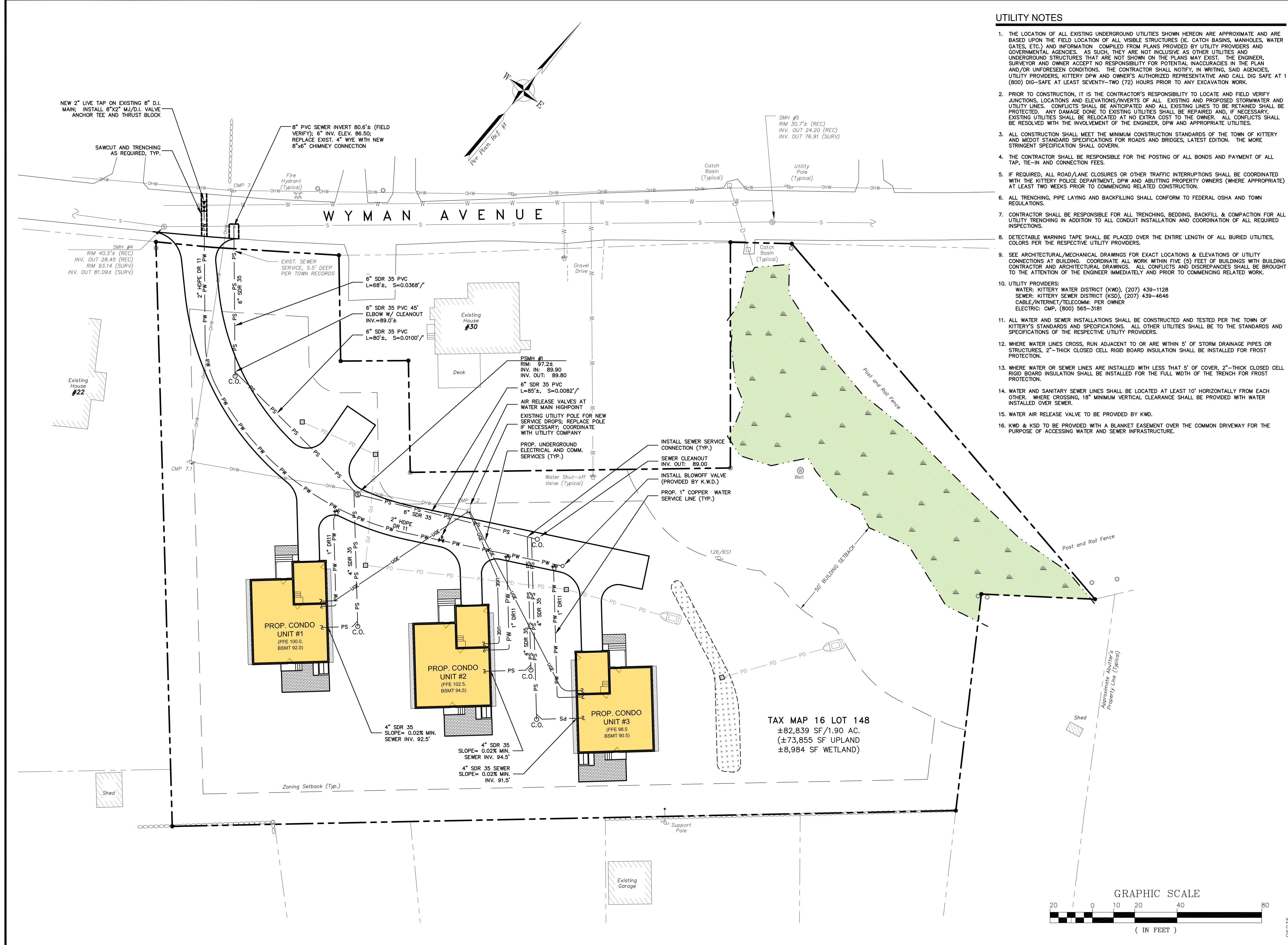
PROJECT:  
**WYMAN HILL**  
 TAX MAP 16, LOT 148  
 28 WYMAN AVENUE  
 KITTERY, MAINE

TITLE:  
**GRADING & STORMWATER MANAGEMENT PLAN**

SHEET NUMBER:  
**C - 3**



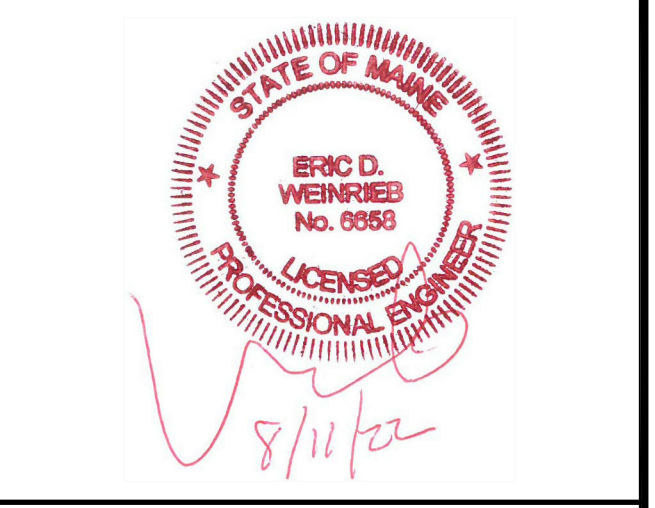
P5235



**UTILITY NOTES**

1. THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE. CATCH BASINS, MANHOLES, WATER GATES, ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY PROVIDERS AND GOVERNMENTAL AGENCIES. AS SUCH, THEY ARE NOT INCLUSIVE AS OTHER UTILITIES AND UNDERGROUND STRUCTURES THAT ARE NOT SHOWN ON THE PLANS MAY EXIST. THE ENGINEER, SURVEYOR AND OWNER ACCEPT NO RESPONSIBILITY FOR POTENTIAL INACCURACIES IN THE PLAN AND/OR UNFORESEEN CONDITIONS. THE CONTRACTOR SHALL NOTIFY, IN WRITING, SAID AGENCIES, UTILITY PROVIDERS, KITTERY DPW AND OWNER'S AUTHORIZED REPRESENTATIVE AND CALL DIG SAFE AT 1 (800) DIG-SAFE AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION WORK.
2. PRIOR TO CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING AND PROPOSED STORMWATER AND UTILITY LINES. CONFLICTS SHALL BE ANTICIPATED AND ALL EXISTING LINES TO BE RETAINED SHALL BE PROTECTED. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED AND, IF NECESSARY, EXISTING UTILITIES SHALL BE RELOCATED AT NO EXTRA COST TO THE OWNER. ALL CONFLICTS SHALL BE RESOLVED WITH THE INVOLVEMENT OF THE ENGINEER, DPW AND APPROPRIATE UTILITIES.
3. ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE TOWN OF KITTERY AND MDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF ALL BONDS AND PAYMENT OF ALL TAP, TIE-IN AND CONNECTION FEES.
5. IF REQUIRED, ALL ROAD/LANE CLOSURES OR OTHER TRAFFIC INTERRUPTIONS SHALL BE COORDINATED WITH THE KITTERY POLICE DEPARTMENT, DPW AND ADJUTING PROPERTY OWNERS (WHERE APPROPRIATE) AT LEAST TWO WEEKS PRIOR TO COMMENCING RELATED CONSTRUCTION.
6. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND TOWN REGULATIONS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING, BEDDING, BACKFILL & COMPACTION FOR ALL UTILITY TRENCHING IN ADDITION TO ALL CONDUIT INSTALLATION AND COORDINATION OF ALL REQUIRED INSPECTIONS.
8. DETECTABLE WARNING TAPE SHALL BE PLACED OVER THE ENTIRE LENGTH OF ALL BURIED UTILITIES, COLORS PER THE RESPECTIVE UTILITY PROVIDERS.
9. SEE ARCHITECTURAL/MECHANICAL DRAWINGS FOR EXACT LOCATIONS & ELEVATIONS OF UTILITY CONNECTIONS AT BUILDING. COORDINATE ALL WORK WITHIN FIVE (5) FEET OF BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL DRAWINGS. ALL CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY AND PRIOR TO COMMENCING RELATED WORK.
10. UTILITY PROVIDERS:  
 WATER: KITTERY WATER DISTRICT (KWD), (207) 439-1128  
 SEWER: KITTERY SEWER DISTRICT (KSD), (207) 439-4646  
 CABLE/INTERNET/TELECOMM: PER OWNER  
 ELECTRIC: CMP, (800) 565-3181
11. ALL WATER AND SEWER INSTALLATIONS SHALL BE CONSTRUCTED AND TESTED PER THE TOWN OF KITTERY'S STANDARDS AND SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE TO THE STANDARDS AND SPECIFICATIONS OF THE RESPECTIVE UTILITY PROVIDERS.
12. WHERE WATER LINES CROSS, RUN ADJACENT TO OR ARE WITHIN 5' OF STORM DRAINAGE PIPES OR STRUCTURES, 2"-THICK CLOSED CELL RIGID BOARD INSULATION SHALL BE INSTALLED FOR FROST PROTECTION.
13. WHERE WATER OR SEWER LINES ARE INSTALLED WITH LESS THAT 5' OF COVER, 2"-THICK CLOSED CELL RIGID BOARD INSULATION SHALL BE INSTALLED FOR THE FULL WIDTH OF THE TRENCH FOR FROST PROTECTION.
14. WATER AND SANITARY SEWER LINES SHALL BE LOCATED AT LEAST 10' HORIZONTALLY FROM EACH OTHER. WHERE CROSSING, 18" MINIMUM VERTICAL CLEARANCE SHALL BE PROVIDED WITH WATER INSTALLED OVER SEWER.
15. WATER AIR RELEASE VALVE TO BE PROVIDED BY KWD.
16. KWD & KSD TO BE PROVIDED WITH A BLANKET EASEMENT OVER THE COMMON DRIVEWAY FOR THE PURPOSE OF ACCESSING WATER AND SEWER INFRASTRUCTURE.

ENGINEER:  
  
 133 Court Street Portsmouth, NH 03801  
 (603) 433-2335 www.altus-eng.com



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ISSUE DATE: AUGUST 11, 2022

**REVISIONS**

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EBS	12/22/21
1	REV. PER PLANNING BOARD	EBS	06/21/22
2	ADD TURN AROUND	EBS	08/11/22

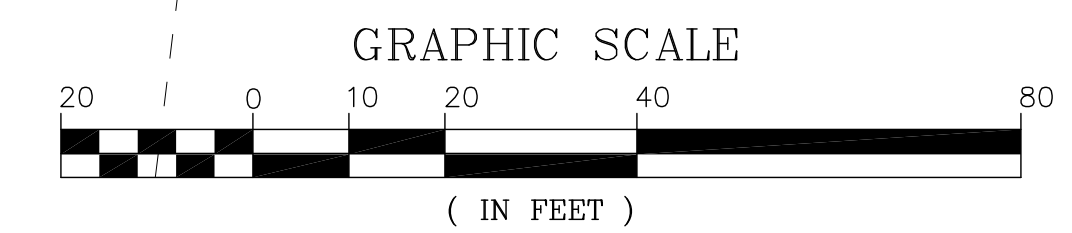
DRAWN BY: \_\_\_\_\_ RMB  
 APPROVED BY: \_\_\_\_\_ EBS  
 DRAWING FILE: 5235CONDO.DWG

SCALE:  
 (24"x36") 1" = 20'  
 (11"x17") N.T.S.

OWNER/APPLICANT:  
 LUSITANO, LLC  
 JIM HIGGINS  
 119 KINGS HIGHWAY NO.  
 ELIOT, MAINE 03903

PROJECT:  
**WYMAN HILL**  
 TAX MAP 16, LOT 148  
 28 WYMAN AVENUE  
 KITTERY, MAINE

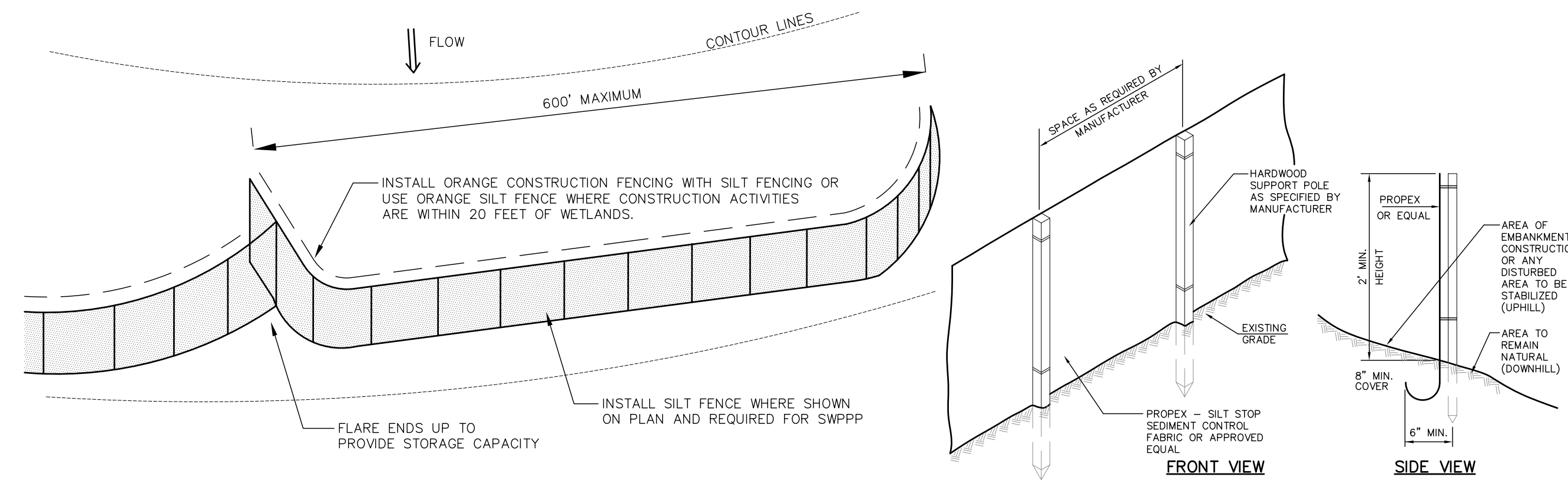
TITLE:  
**UTILITY PLAN**  
 SHEET NUMBER:  
**C - 4**



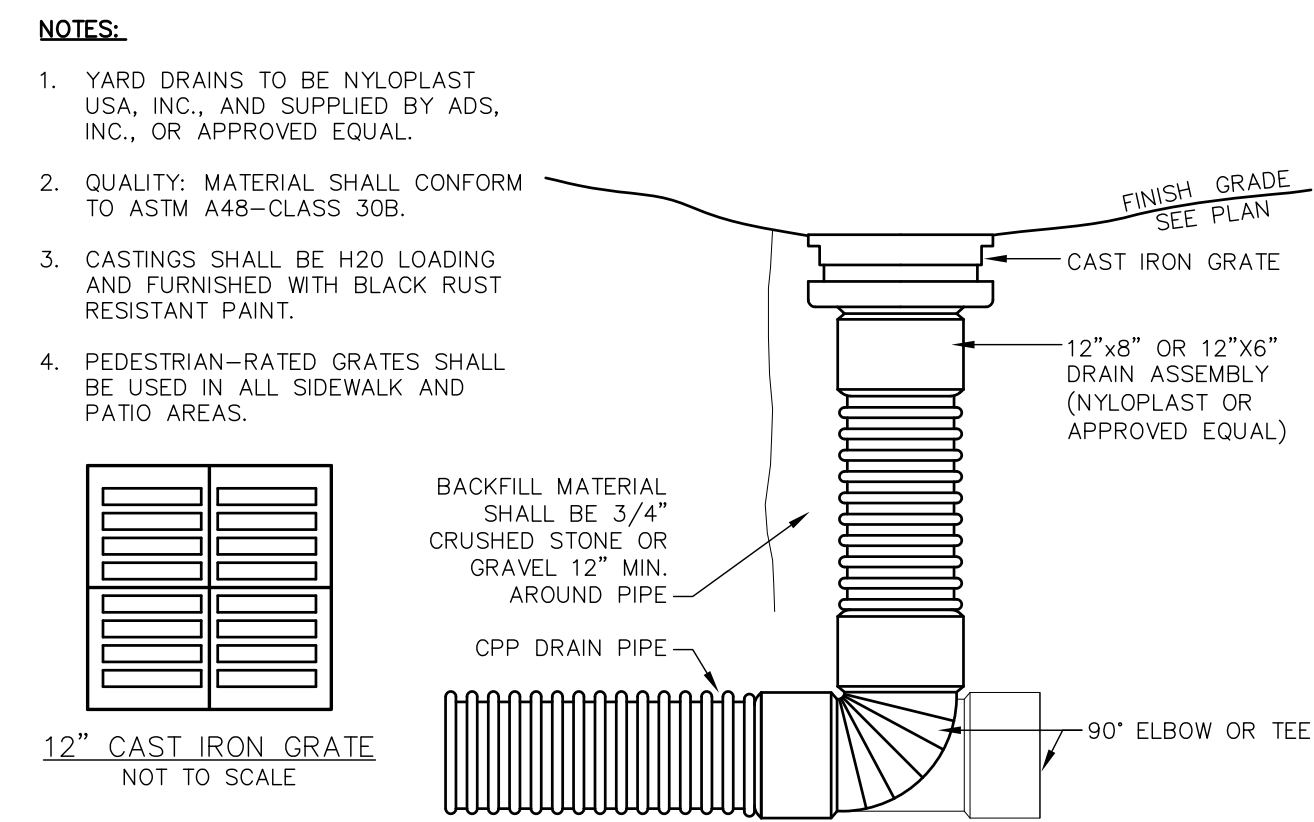
PS235



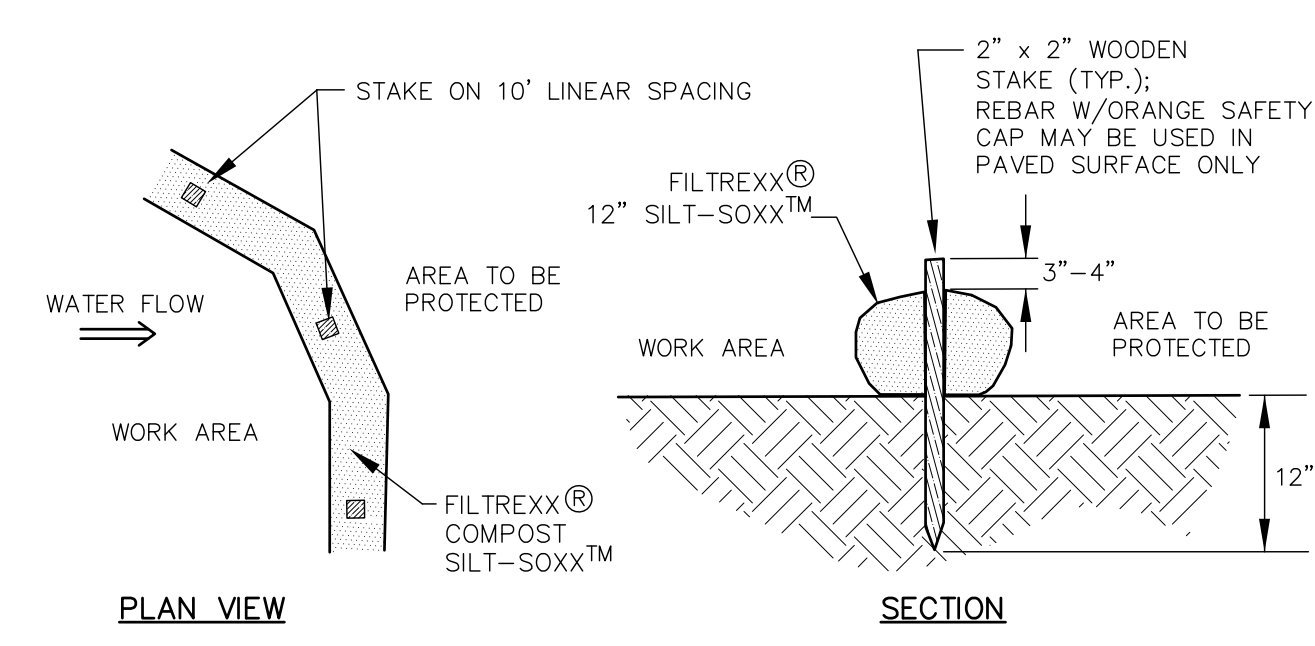




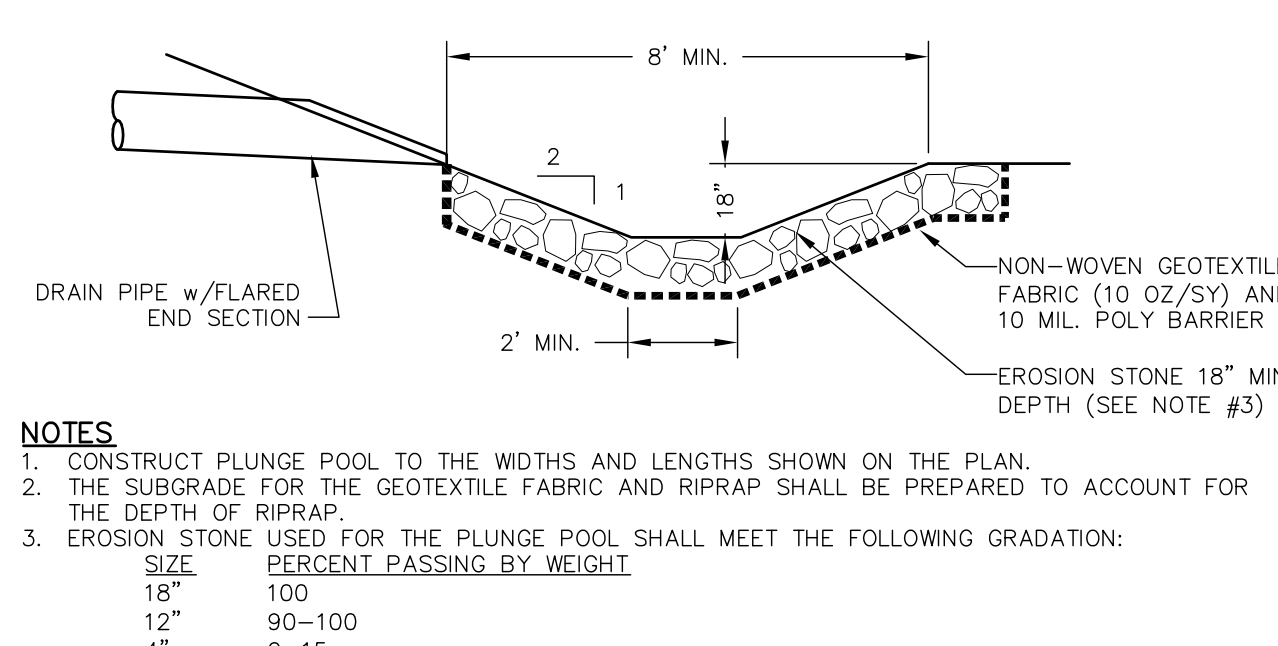
**SILT AND ORANGE CONSTRUCTION FENCE LAYOUT DETAIL** NOT TO SCALE



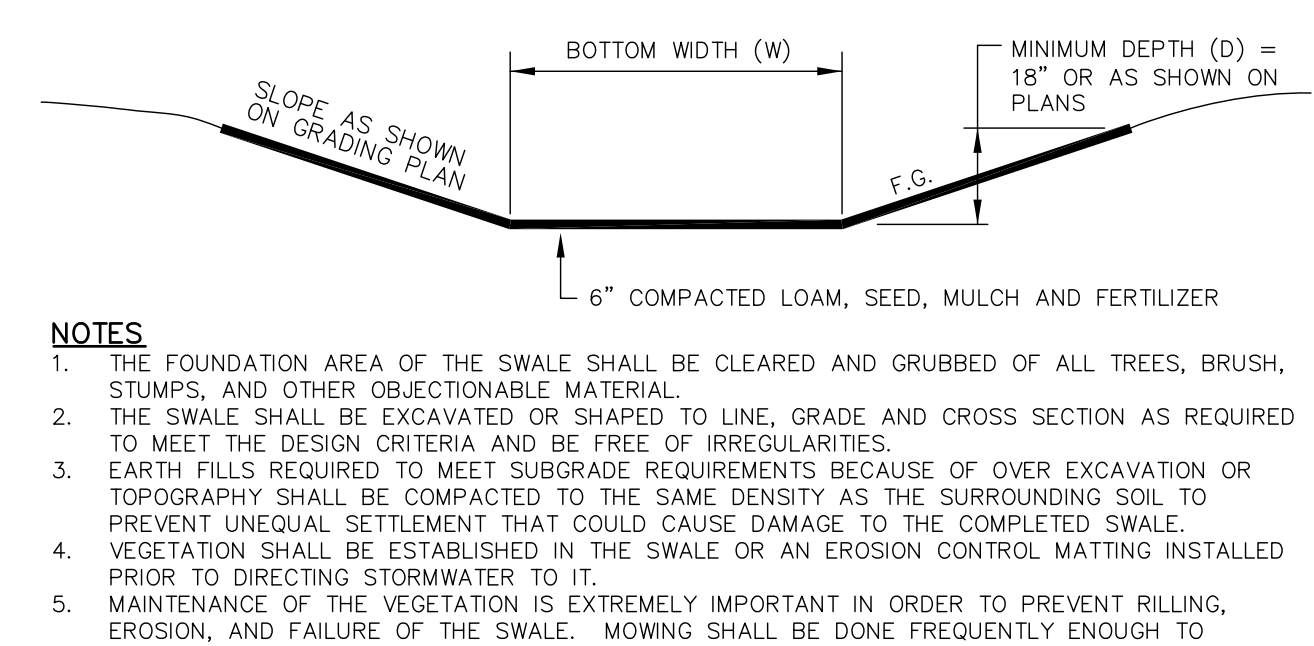
**YARD DRAIN (YD)** NOT TO SCALE



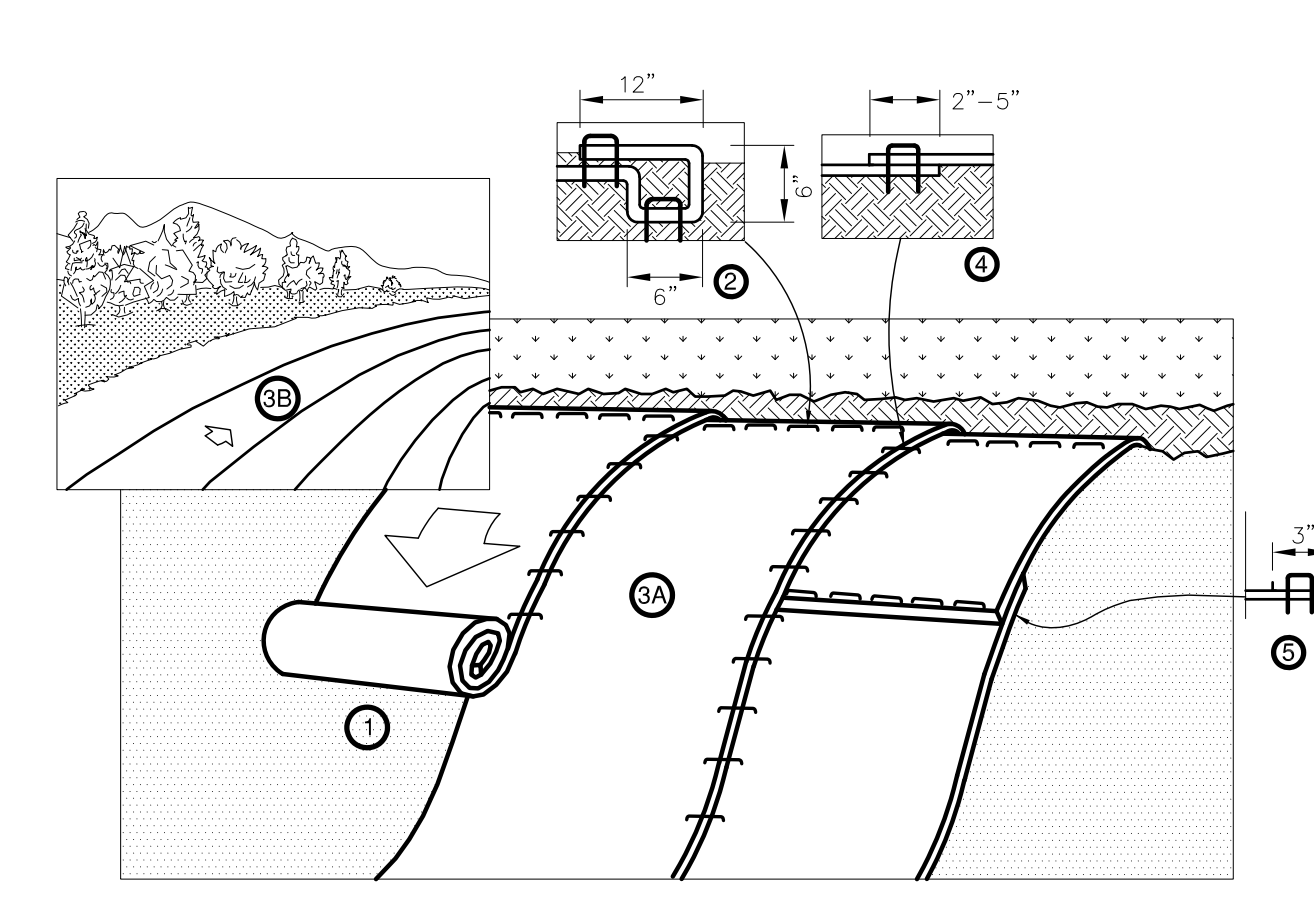
**TUBULAR SEDIMENT BARRIER** NOT TO SCALE



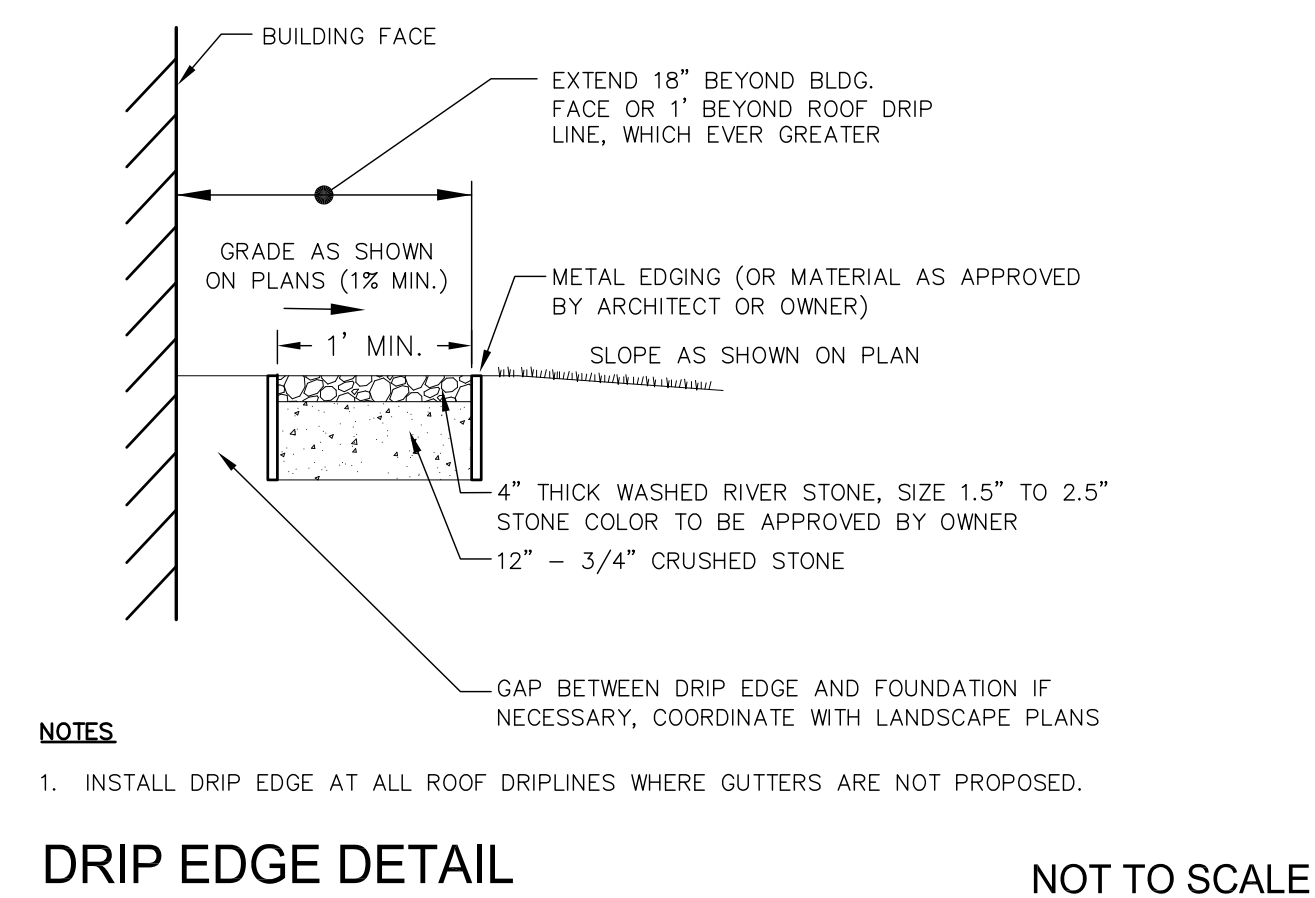
**PLUNGE POOL** NOT TO SCALE



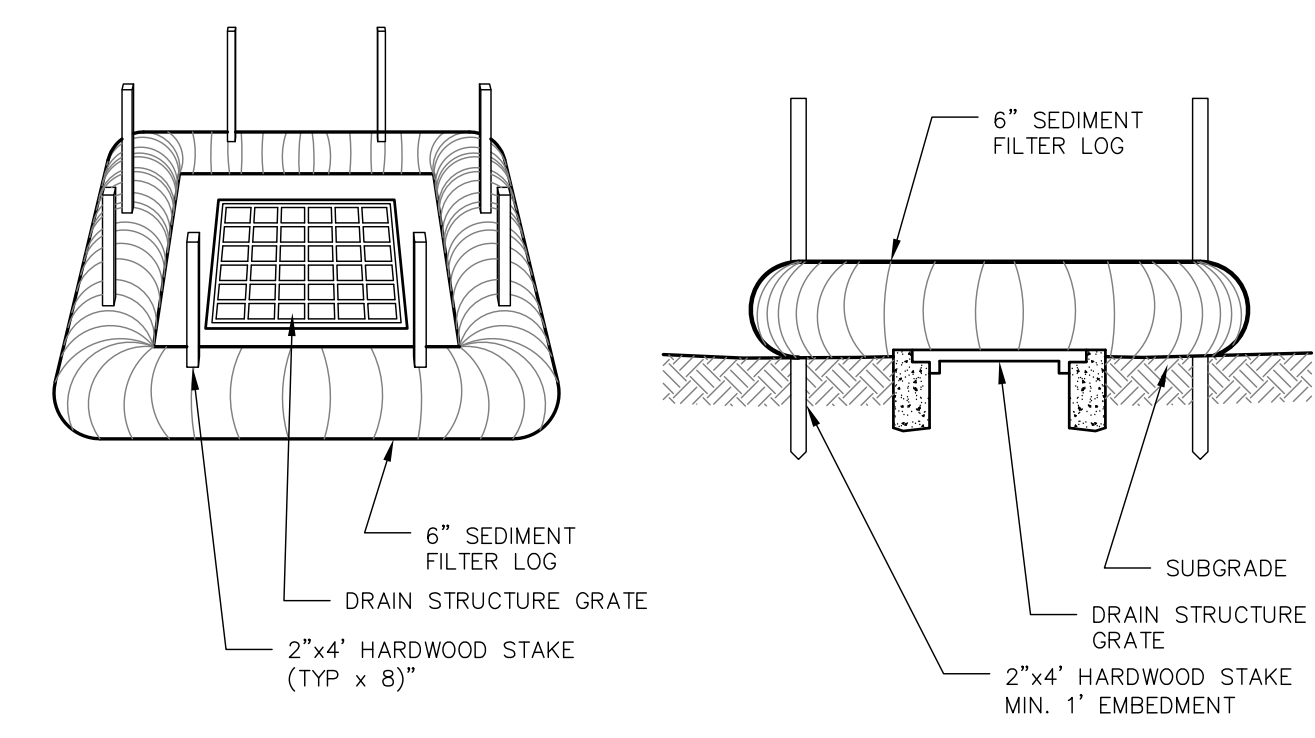
**VEGETATED SWALE** NOT TO SCALE



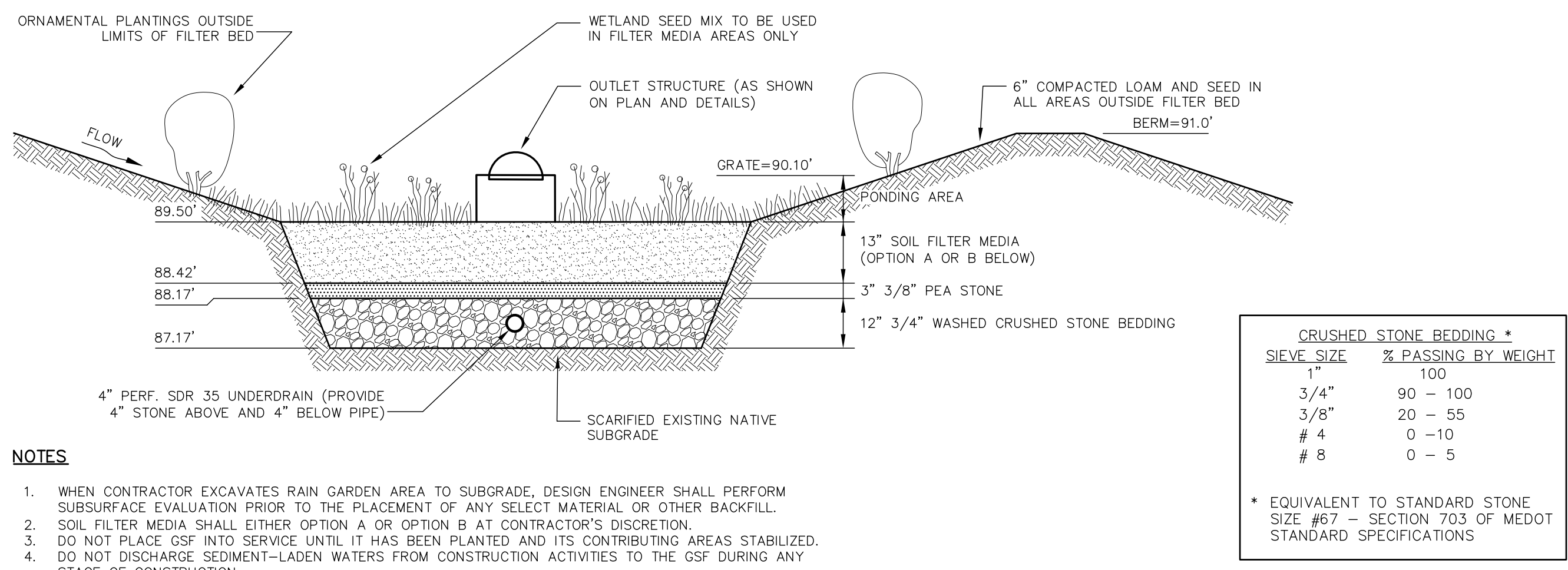
**EROSION CONTROL BLANKET - SLOPE** NOT TO SCALE



**DRIP EDGE DETAIL** NOT TO SCALE

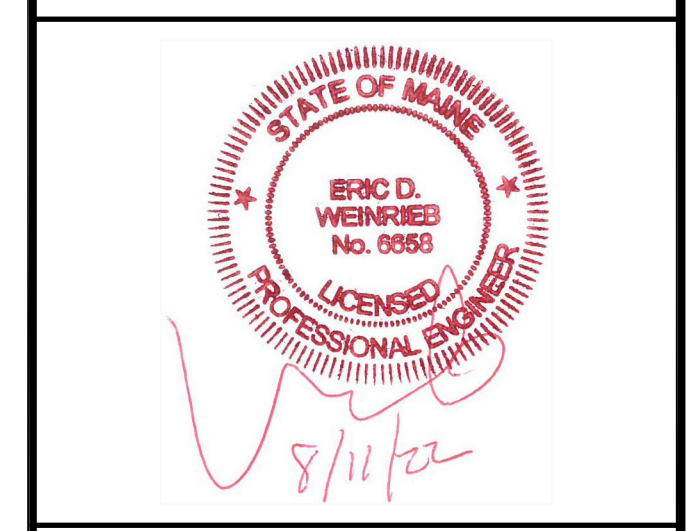


**SEDIMENT FILTER LOG - CATCH BASIN INLET PROTECTION** NOT TO SCALE



**TYPICAL GRASSED SOIL FILTER (GSF)** NOT TO SCALE

FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
<b>Filter Media Option A</b>			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
<b>Filter Media Option B</b>			
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
Loamy coarse sand	70 to 80	10	85 to 100
		20	70 to 100
		60	15 to 40
		200	8 to 15



**THIS DRAWING HAS NOT BEEN RELEASED FOR CONSTRUCTION**

ISSUED FOR: REVIEW

ISSUE DATE: AUGUST 11, 2022

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EBS	12/22/21
1	REV. GUSF DETAIL	EBS	08/11/22

DRAWN BY: RMB  
 APPROVED BY: EBS  
 DRAWING FILE: 5235DETAILS.DWG

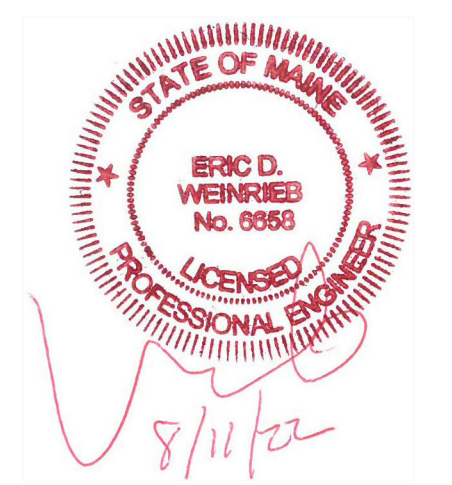
SCALE: NOT TO SCALE

OWNER/APPLICANT:  
 LUSITANO, LLC  
 JIM HIGGINS  
 119 KINGS HIGHWAY NO.  
 ELIOT, MAINE 03903

PROJECT:  
**RE-DEVELOPMENT PLAN**  
 TAX MAP 16, LOT 148  
 28 WYMAN AVENUE  
 KITTERY, MAINE

TITLE:  
**EROSION CONTROL DETAILS**

SHEET NUMBER:  
**C - 6**



**THIS DRAWING HAS NOT BEEN RELEASED FOR CONSTRUCTION**

ISSUED FOR: REVIEW

ISSUE DATE: AUGUST 11, 2022

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EBS	12/22/21
1	GENERAL REVISION	EBS	08/16/22

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 APPROVED BY: EBS  
 DRAWING FILE: 5235DETAILS.DWG

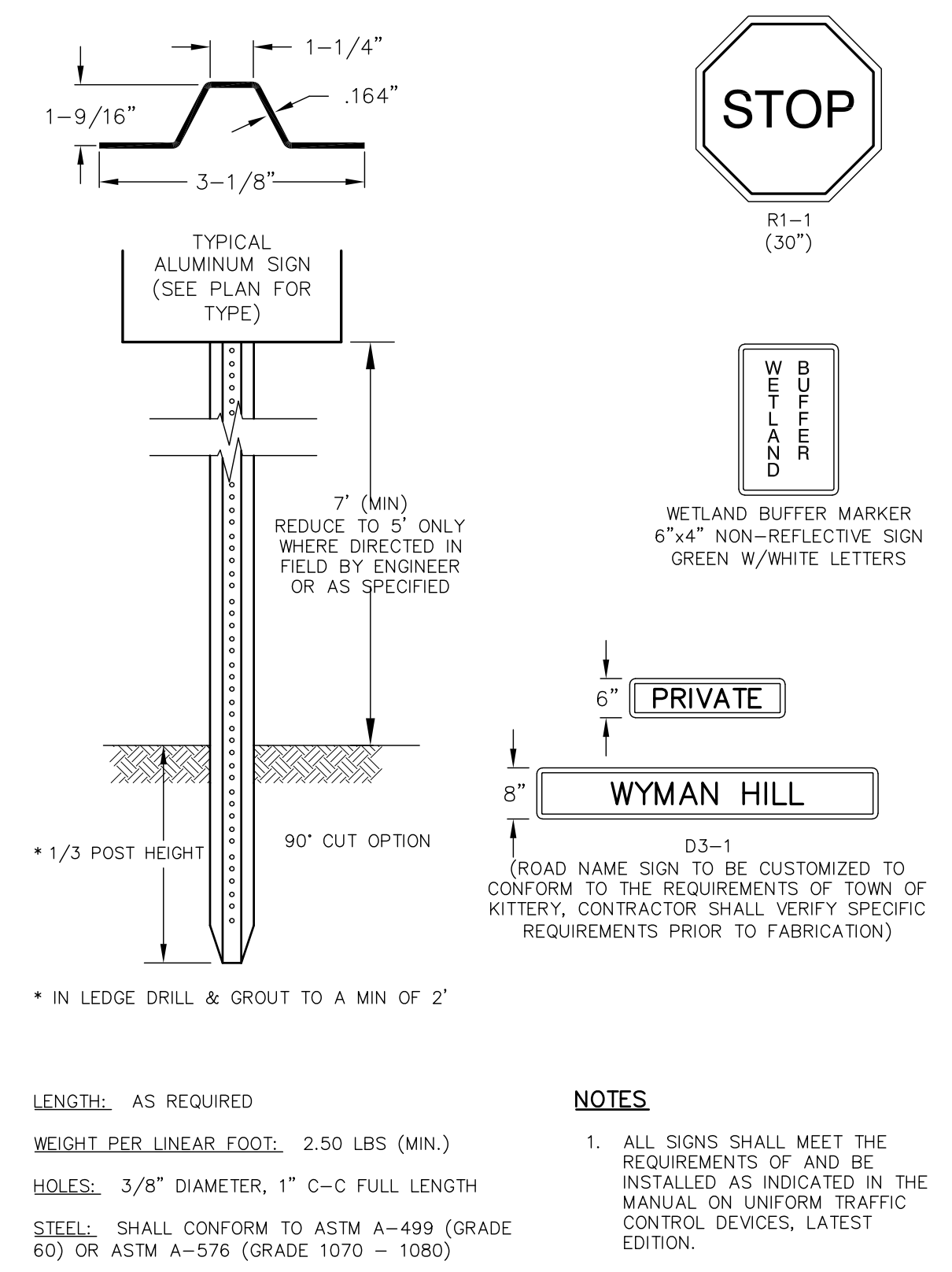
SCALE: NOT TO SCALE

OWNER/APPLICANT:  
 LUSITANO, LLC  
 JIM HIGGINS  
 119 KINGS HIGHWAY NO.  
 ELIOT, MAINE 03903

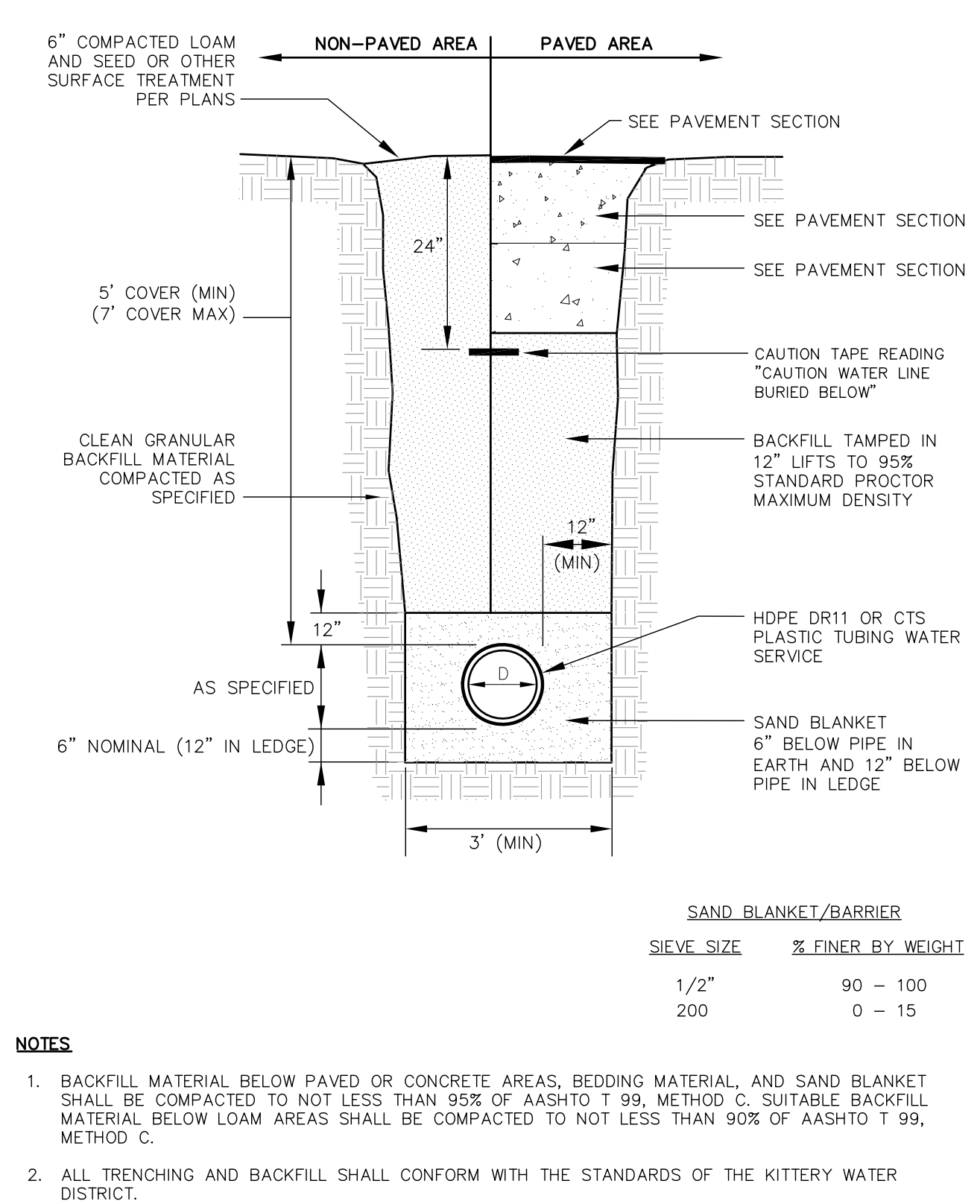
PROJECT:  
**RE-DEVELOPMENT PLAN**  
 TAX MAP 16, LOT 148  
 28 WYMAN AVENUE  
 KITTERY, MAINE

TITLE:  
 DETAIL SHEET

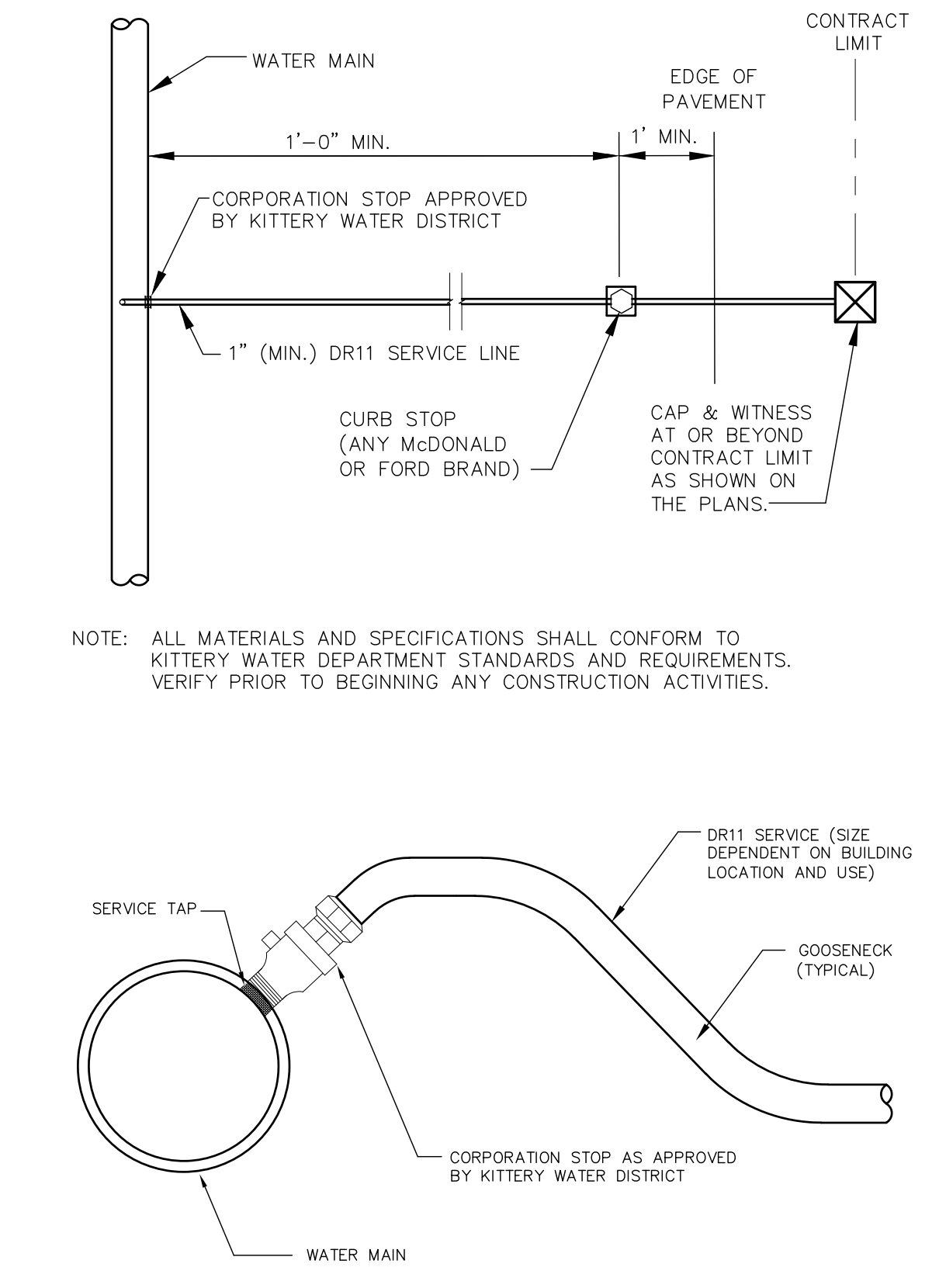
SHEET NUMBER:  
**C - 7**



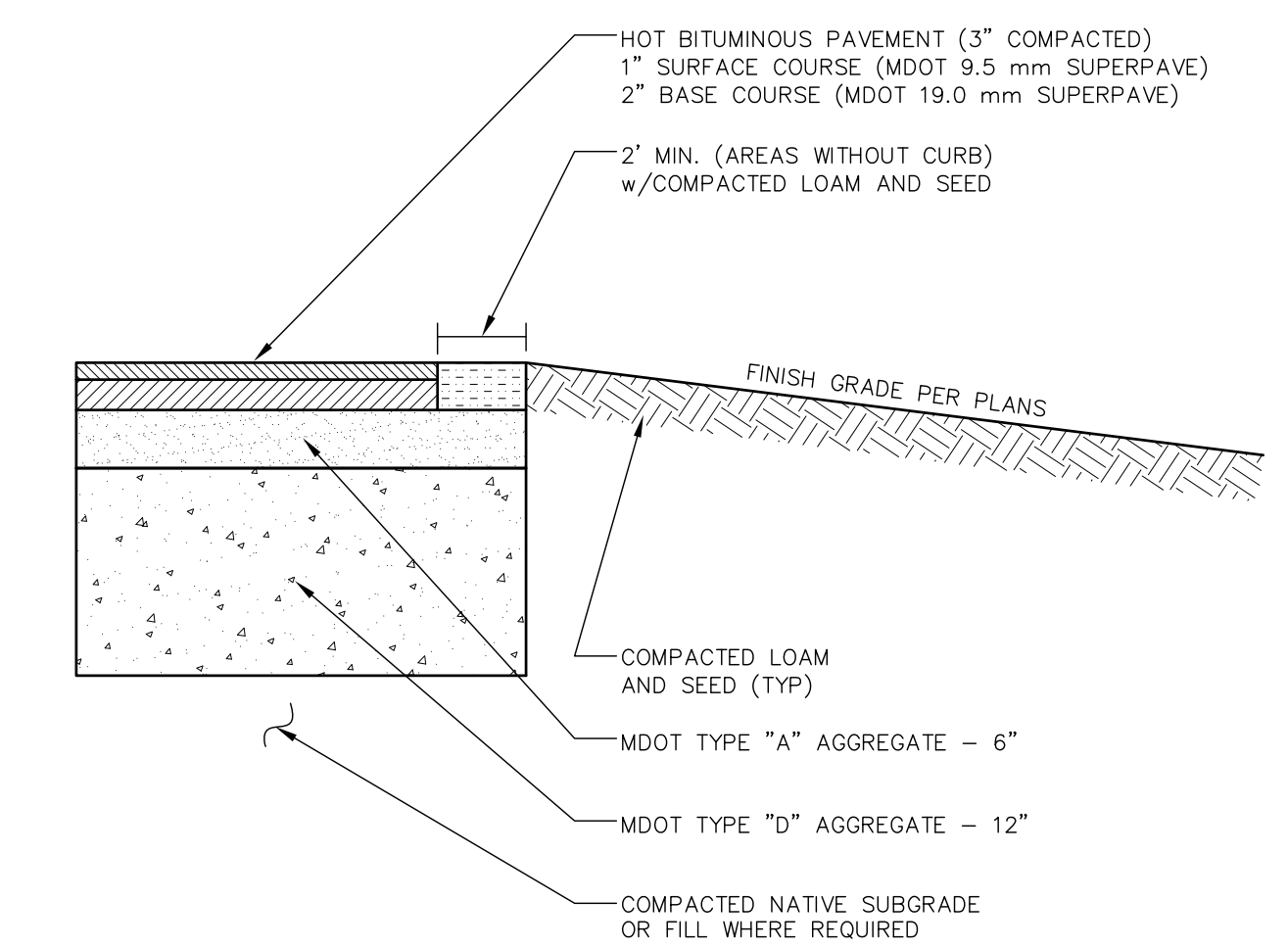
**SIGN DETAILS NOT TO SCALE**



**WATER MAIN TRENCH NOT TO SCALE**

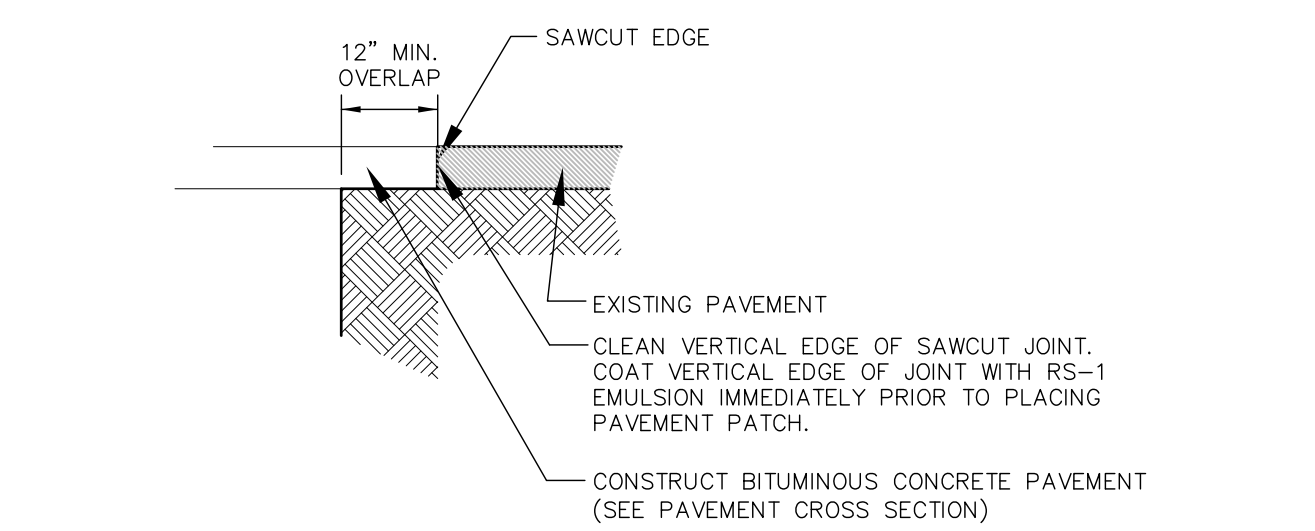


**WATER SERVICE CONNECTION NOT TO SCALE**

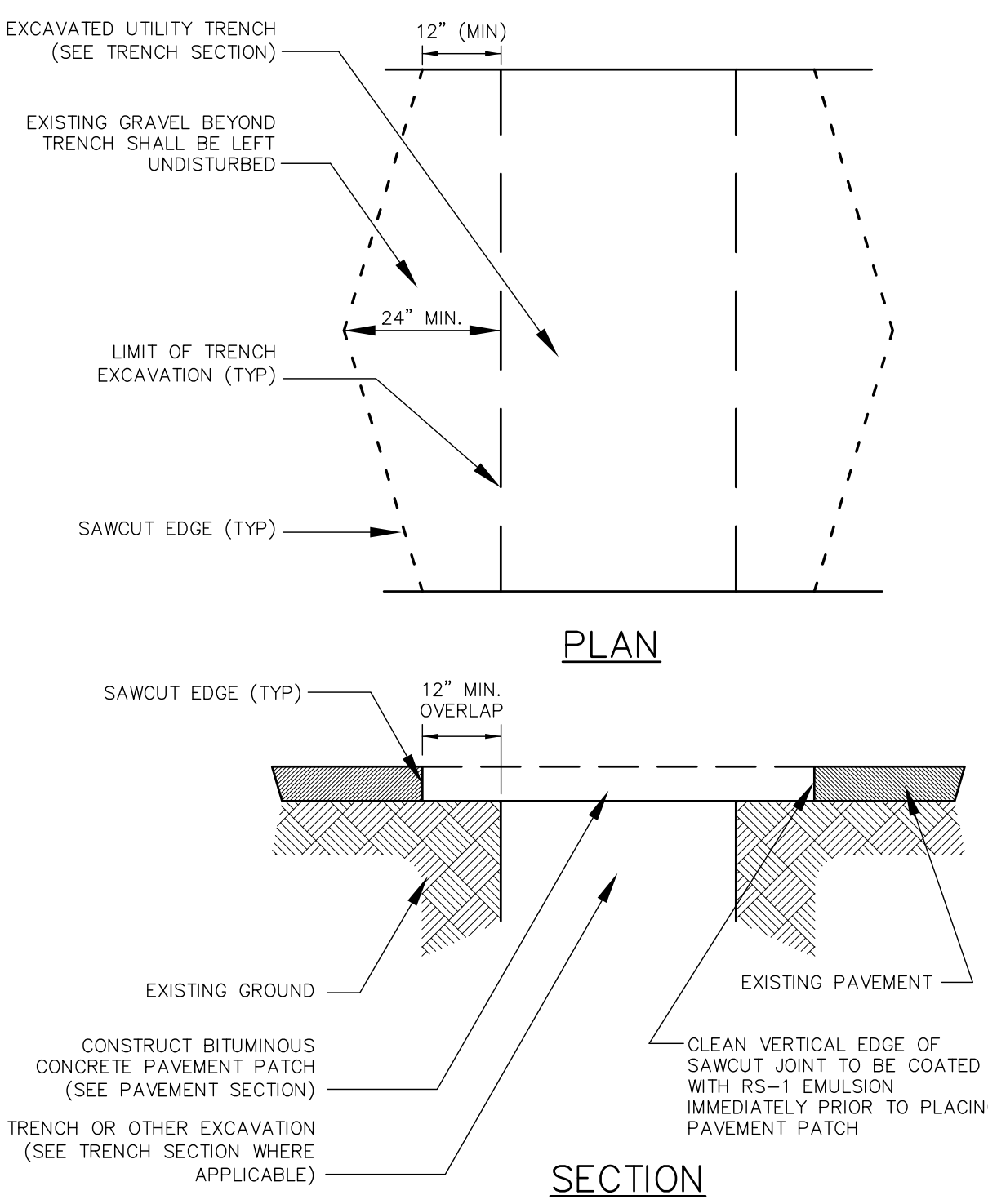


- NOTES FOR STANDARD AND HEAVY DUTY ASPHALT PAVEMENT**
- PROJECT GEOTECHNICAL REPORT MAY REQUIRE A DIFFERENT PAVEMENT CROSS SECTION(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND FOLLOWING ALL RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE EVENT THAT THE REPORT AND CIVIL PLANS DIFFER, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
  - ALL EXISTING FILL, BURIED ORGANIC MATTER, CLAY, LOAM, MUCK, AND/OR OTHER QUESTIONABLE MATERIAL SHALL BE REMOVED FROM BELOW ALL PAVEMENT, SHOULDERS AND UNDERGROUND PIPING/UTILITIES TO DEPTHS RECOMMENDED IN GEOTECHNICAL REPORT.
  - SUBGRADE SHALL BE PROOFROLLED A MINIMUM OF 6 PASSES WITH A 10-TON VIBRATORY COMPACTOR OPERATING AT PEAK RATED FREQUENCY OR BY MEANS APPROVED BY THE ENGINEER.
  - FILL BELOW PAVEMENT GRADES SHALL BE GRANULAR BORROW COMPACTED PER DOT REQUIREMENTS.
  - SIWELK CONTRACTOR SHALL COORDINATE GEOTECHNICAL ENGINEERING INSPECTIONS WITH THE CONSTRUCTION MANAGER PRIOR TO PLACING GRAVELS.
  - TACK COAT SHALL BE APPLIED BETWEEN SUCCESSIVE LIFTS OF ASPHALT.
  - THE BITUMINOUS PAVEMENT SHALL BE COMPACTED TO 95 PERCENT OF ITS THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D-2041. THE BASE AND SUBBASE MATERIALS SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THEIR MAXIMUM DRY DENSITIES AS DETERMINED BY ASTM D-1557.

**STANDARD DUTY ASPHALT PAVEMENT NOT TO SCALE**

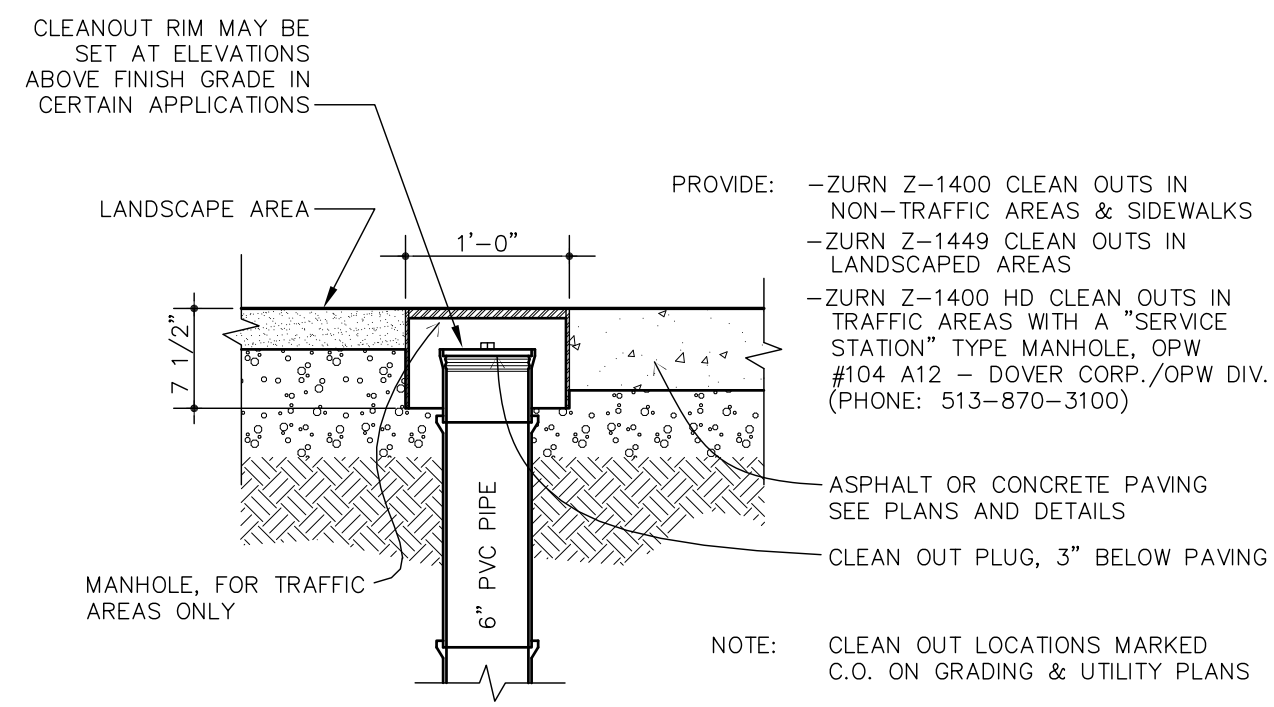


**TYPICAL PAVEMENT SAWCUT NOT TO SCALE**



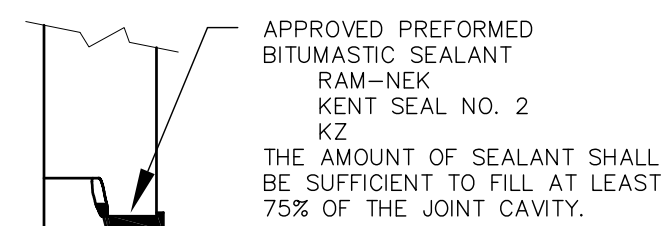
- NOTES**
- MACHINE CUT EXISTING PAVEMENT.
  - ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT OF PERMANENT TRENCH REPAIRS.
  - DIAMOND PATCHES, SHALL BE REQUIRED FOR ALL TRENCHES CROSSING ROADWAY. DIAMOND PATCHES SHALL MEET MDOT REQUIREMENTS.

**TYPICAL TRENCH PATCH NOT TO SCALE**



**CLEANOUT**

NOT TO SCALE

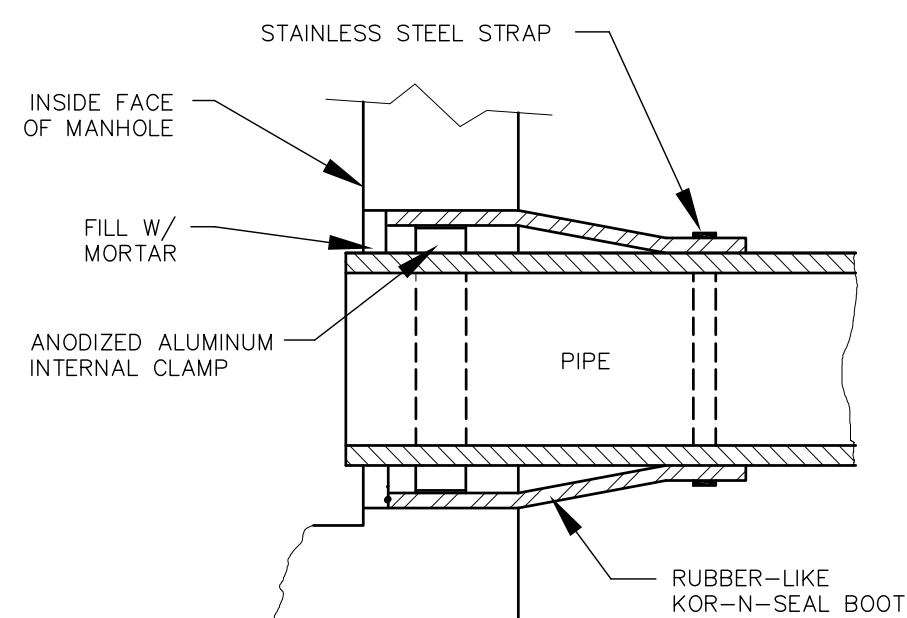


**BITUMASTIC**

NOTE: ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

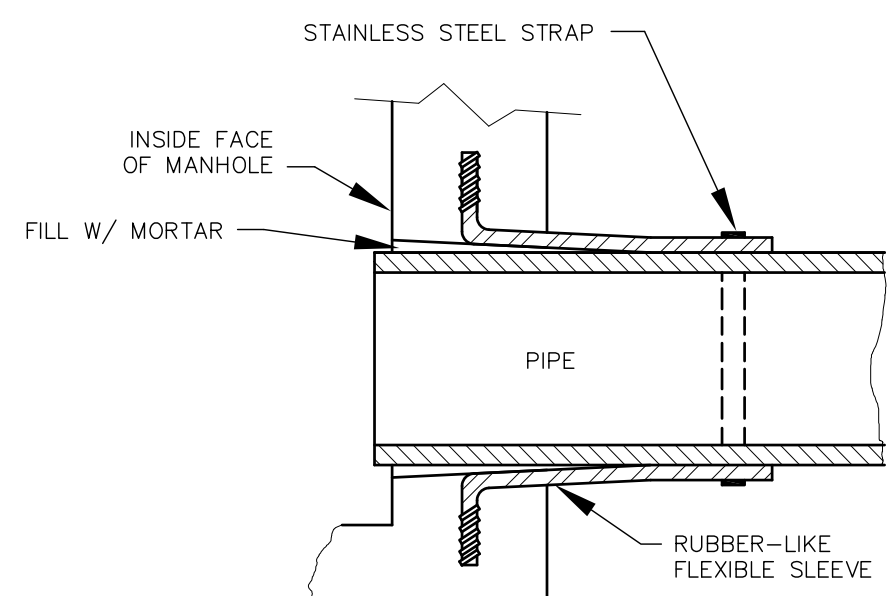
**SEWER MANHOLE DETAIL B**

NOT TO SCALE



**KOR-N-SEAL JOINT SLEEVE (OR EQUAL)**

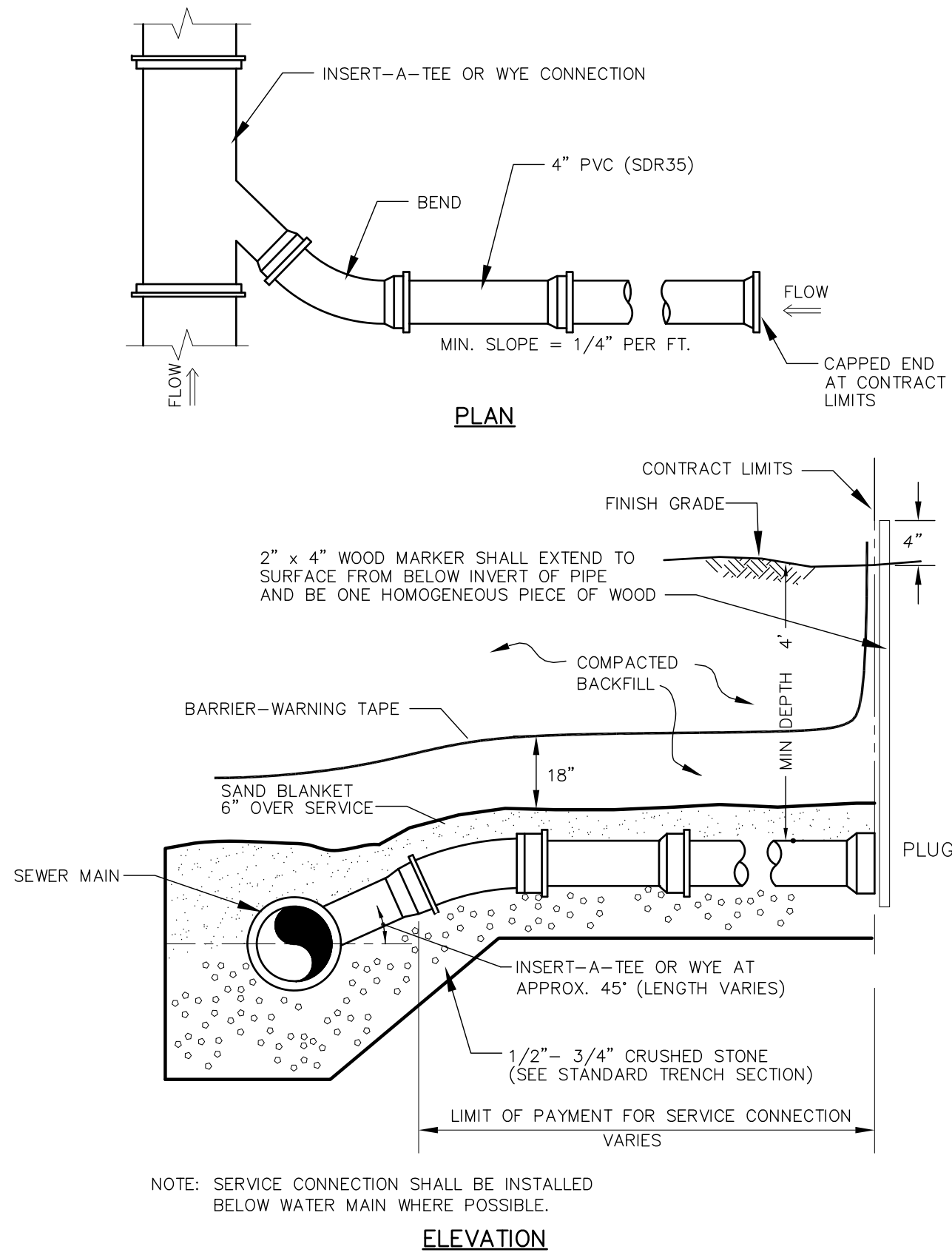
NOTE: ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.



**LOCK-JOINT FLEXIBLE MANHOLE SLEEVE (OR EQUAL)**

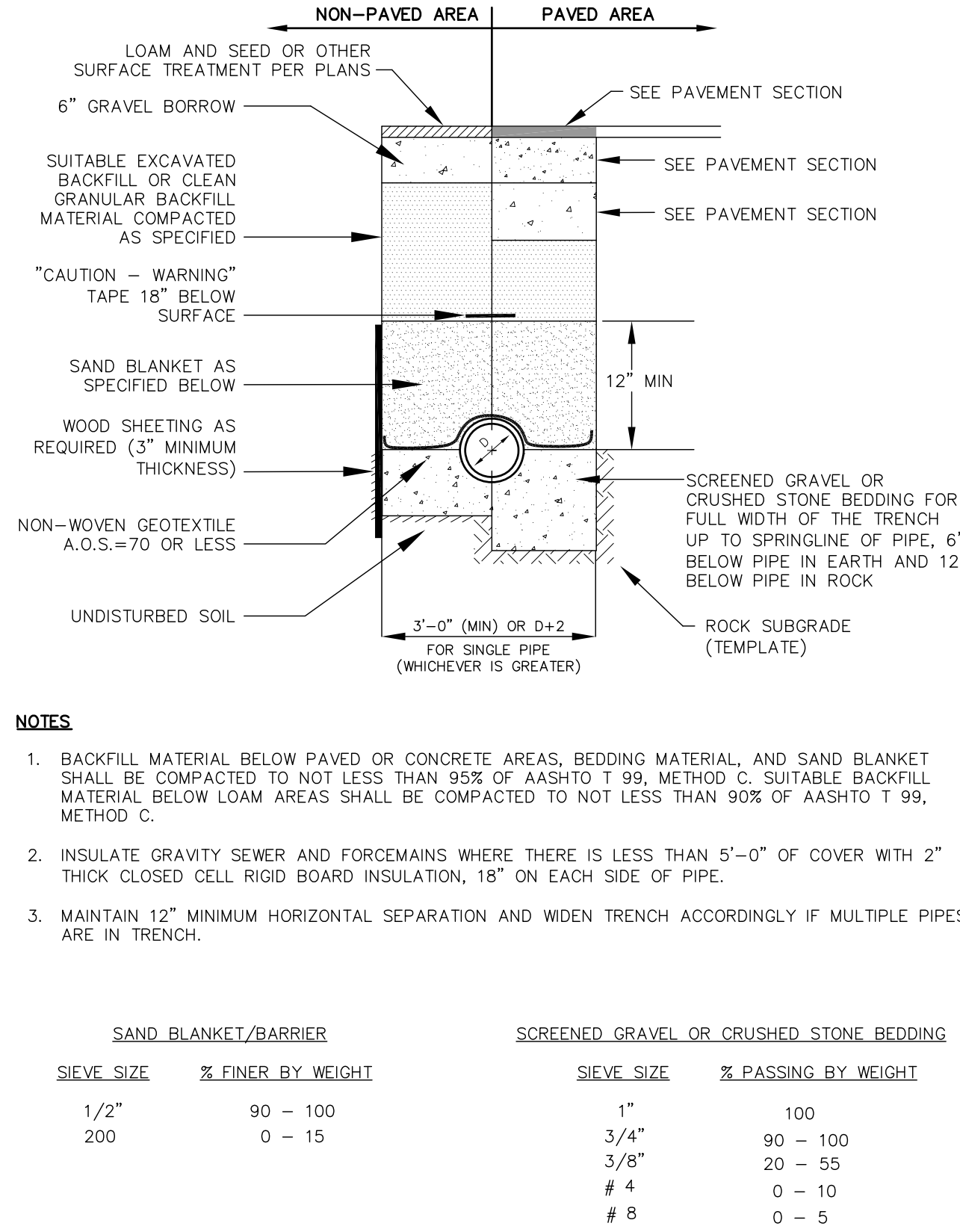
**SEWER MANHOLE DETAIL A**

NOT TO SCALE



**SEWER SERVICE CONNECTION**

NOT TO SCALE



**NOTES**

- BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
- INSULATE GRAVITY SEWER AND FORCEMAINS WHERE THERE IS LESS THAN 5'-0" OF COVER WITH 2" THICK CLOSED CELL RIGID BOARD INSULATION, 18" ON EACH SIDE OF PIPE.
- MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION AND WIDEN TRENCH ACCORDINGLY IF MULTIPLE PIPES ARE IN TRENCH.

SAND BLANKET/BARRIER		SCREENED GRAVEL OR CRUSHED STONE BEDDING	
SIEVE SIZE	% FINER BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	90 - 100
		3/8"	20 - 55
		# 4	0 - 10
		# 8	0 - 5

**DRAINAGE & SEWER TRENCH**

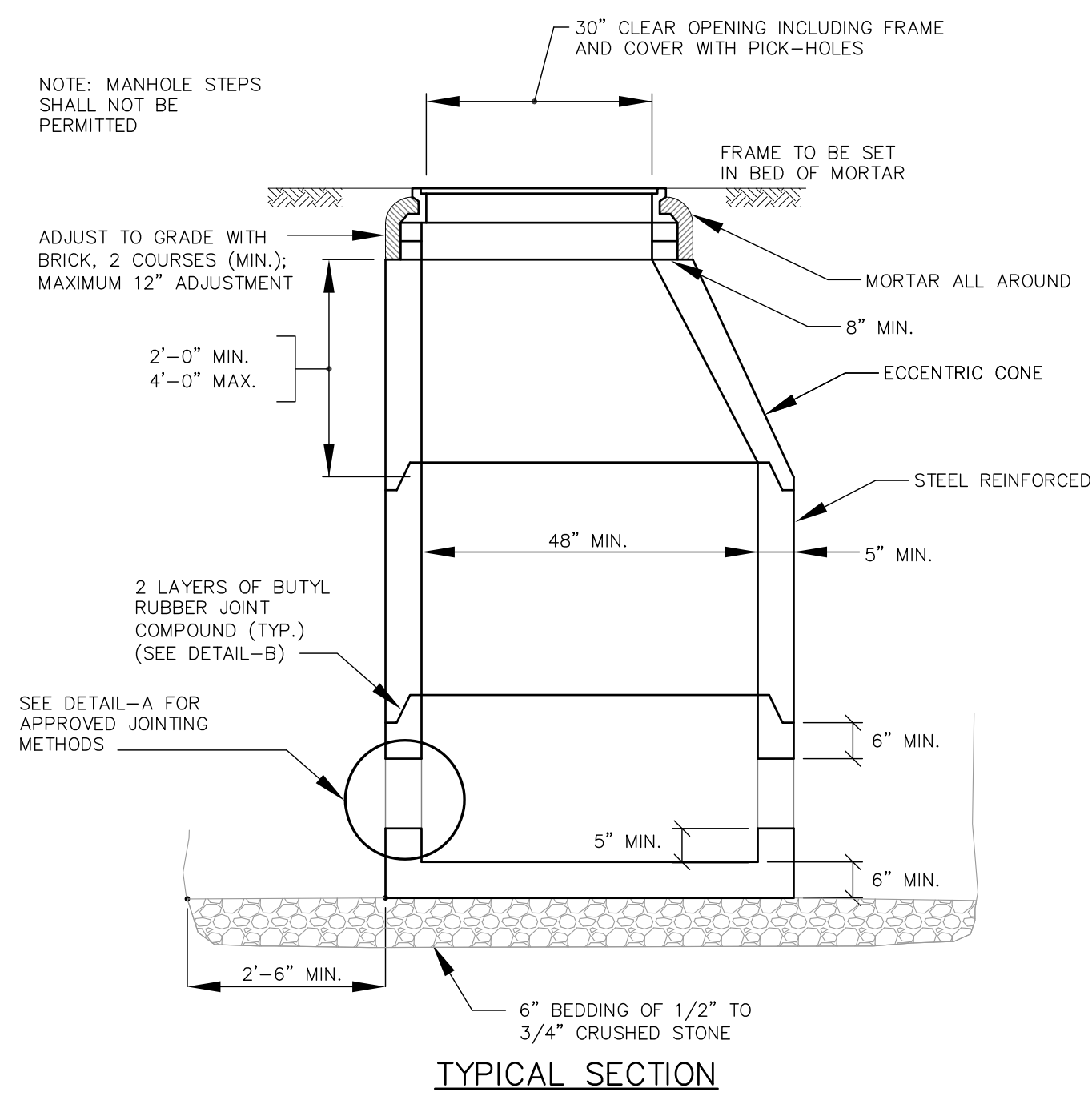
NOT TO SCALE

**STANDARD TRENCH NOTES**

- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE: BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN ON THE DRAWING.
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING THE GRADATION SHOWN IN THE TRENCH DETAIL. WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2 INCH TO 1/2 INCH SHALL BE USED.
- SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER MEETING THE GRADATION SHOWN IN THE TRENCH DETAIL. BLANKET MAY BE REPLACED WITH BEDDING MATERIAL FOR CAST-IRON, DUCTILE IRON, AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE AND THE GEOTEXTILE IS RELOCATED ACCORDINGLY.
- SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT, OR CLAY. ALL EXCAVATED LEDE MATERIAL, ALL ROCKS OVER 8 INCHES IN LARGEST DIMENSION, AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. IN CROSS COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK, OR PEAT, IF SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLE RECONSTRUCTION WILL BE PRESERVED.
- BASE COURSE AND PAVEMENT SHALL MEET THE REQUIREMENTS OF THE MAINE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISION 700.
- SHEETING, IF REQUIRED: WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION 1 FOOT ABOVE THE TOP OF PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES IN NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE OUTSIDE DIAMETER (O.D.) ALSO, W SHALL BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
- FOR CROSS COUNTRY CONSTRUCTION, BACKFILL, FILL AND/OR LOAM SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- CONCRETE FOR ENCASEMENT SHALL CONFORM TO THE MAINE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATION REQUIREMENTS FOR CLASS A (3000#) CONCRETE AS FOLLOWS:  
CEMENT: 6.0 BAGS PER CUBIC YARD  
WATER: 5.75 GALLONS PER BAG  
CEMENT MAXIMUM SIZE OF AGGREGATE: 1 INCH  
CONCRETE ENCASEMENT IS NOT ALLOWED FOR PVC PIPE.
- CONCRETE FULL ENCASEMENT: IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MINIMUM). BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
- MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION DESIGN STANDARDS REQUIRE TEN FEET (10') SEPARATION BETWEEN WATER AND SEWER. REFER TO TOWN'S STANDARD SPECIFICATIONS FOR METHODS OF PROTECTION IN AREAS THAT CANNOT MEET THESE REQUIREMENTS.
- IN AREAS WHERE DEWATERING IS REQUIRED OR THE TRENCH SLOPE EXCEEDS 5%, THE CONTRACTOR SHALL INSTALL TRENCH DAMS IN ACCORDANCE WITH MEDEP REGULATIONS.

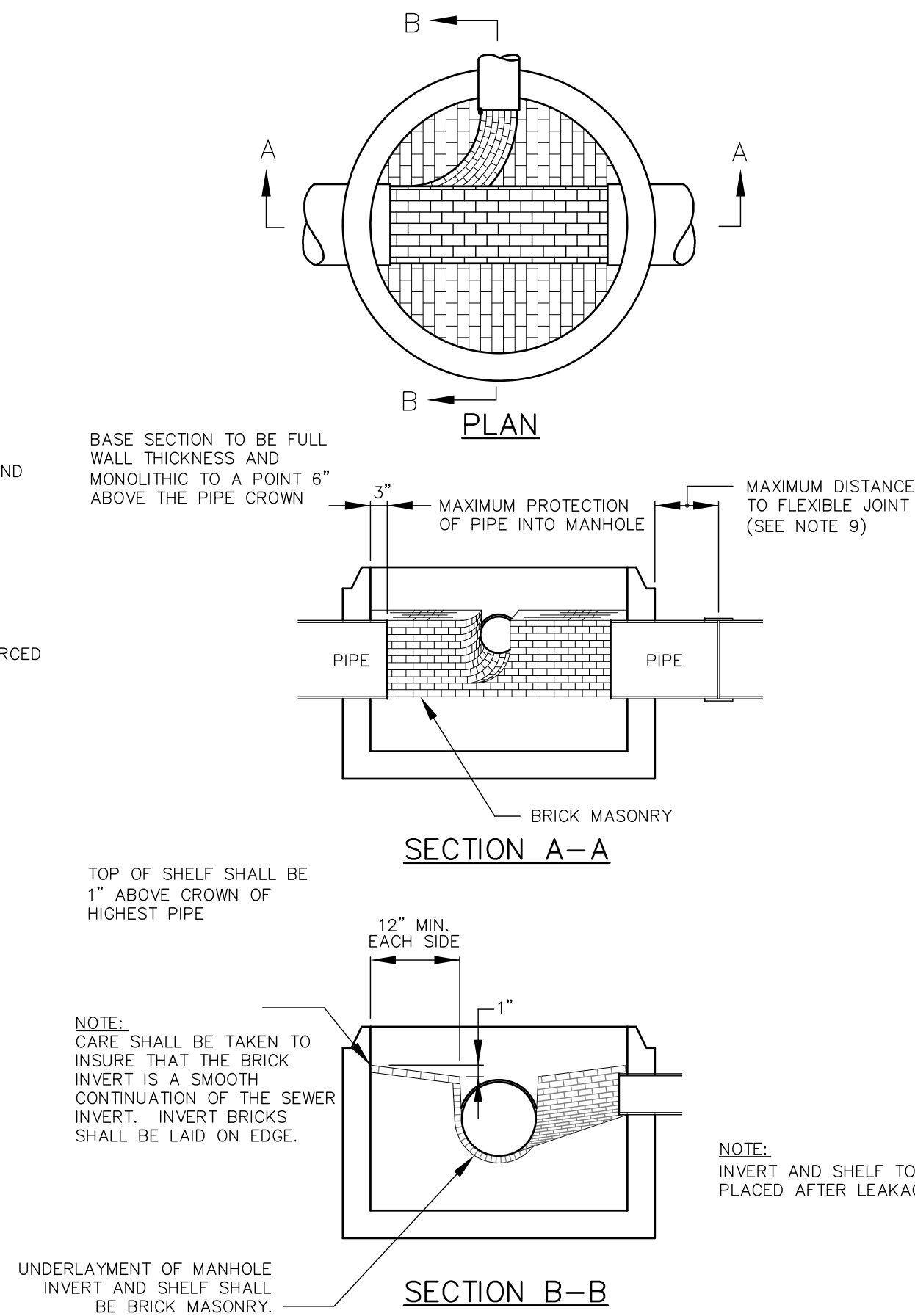
**MANHOLE NOTES:**

- IT IS THE INTENTION OF THE MAINE DEP THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY BY THE COMMISSION FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH OR WITHOUT STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT IN ANY APPROVED MANHOLE. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H=20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MAN-HOLE CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE, A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
- BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED.
- PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478.
- LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN'S STANDARD SPECIFICATIONS AND WITH MAINE DEP 10-144 CMR 241.
- INVERTS AND SHELVES MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES, OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY. BRICK MASONRY SHALL CONFORM WITH ASTM C32.
- MORTAR MORTAR USED FOR MANHOLE CONSTRUCTION SHALL CONFORM WITH MAINE DEP 10-144 CMR 241.
- FRAMES AND COVERS MANHOLE FRAMES AND COVERS SHALL CONFORM WITH ASTM A48/48M, BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) LETTER "S" FOR SEWERS OR "D" FOR DRAINS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
- BEDDING SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33.  
100% PASSING 1 INCH SCREEN 0-10% PASSING #4 SIEVE  
90-100% PASSING 3/4 INCH SCREEN 0-5% PASSING #8 SIEVE  
20- 55% PASSING 3/8 INCH SCREEN  
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2" TO 1/2" SHALL BE USED.
- CONCRETE FOR DROP SUPPORT SHALL CONFORM TO THE REQUIREMENT FOR CLASS A (3000 LBS.) CONCRETE OF THE MAINE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:  
CEMENT 6.0 BAGS PER CUBIC YARD  
WATER 5.75 GALLONS PER BAG CEMENT  
MAXIMUM SIZE OF AGGREGATE 1 INCH 9.
- FLEXIBLE JOINT A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:  
PVC PIPE - 60"  
RCP & CI PIPE - ALL SIZES - 48"  
AC & VC PIPE - UP THROUGH 12" DIAMETER - 18"  
AC & VC PIPE - LARGER THAN 12" DIAMETER - 36"
- SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H=20 LOADS.



**SEWER MANHOLE**

NOT TO SCALE



**SEWER MANHOLE DETAIL A**

NOT TO SCALE

ENGINEER:

**ALTUS ENGINEERING, INC.**

133 Court Street Portsmouth, NH 03801  
(603) 433-2335 www.altus-eng.com

THIS DRAWING HAS NOT BEEN RELEASED FOR CONSTRUCTION

ISSUED FOR: \_\_\_\_\_

REVIEW

ISSUE DATE: AUGUST 11, 2022

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EBS	12/22/21
1	GENERAL REVISION	EBS	08/11/22

DRAWN BY: \_\_\_\_\_ RMB

APPROVED BY: \_\_\_\_\_ EBS

DRAWING FILE: 5235DETAILS.DWG

SCALE: NOT TO SCALE

OWNER/APPLICANT:

LUSITANO, LLC

JIM HIGGINS

119 KINGS HIGHWAY NO.

ELIOT, MAINE 03903

PROJECT:

**RE-DEVELOPMENT PLAN**

TAX MAP 16, LOT 148

28 WYMAN AVENUE

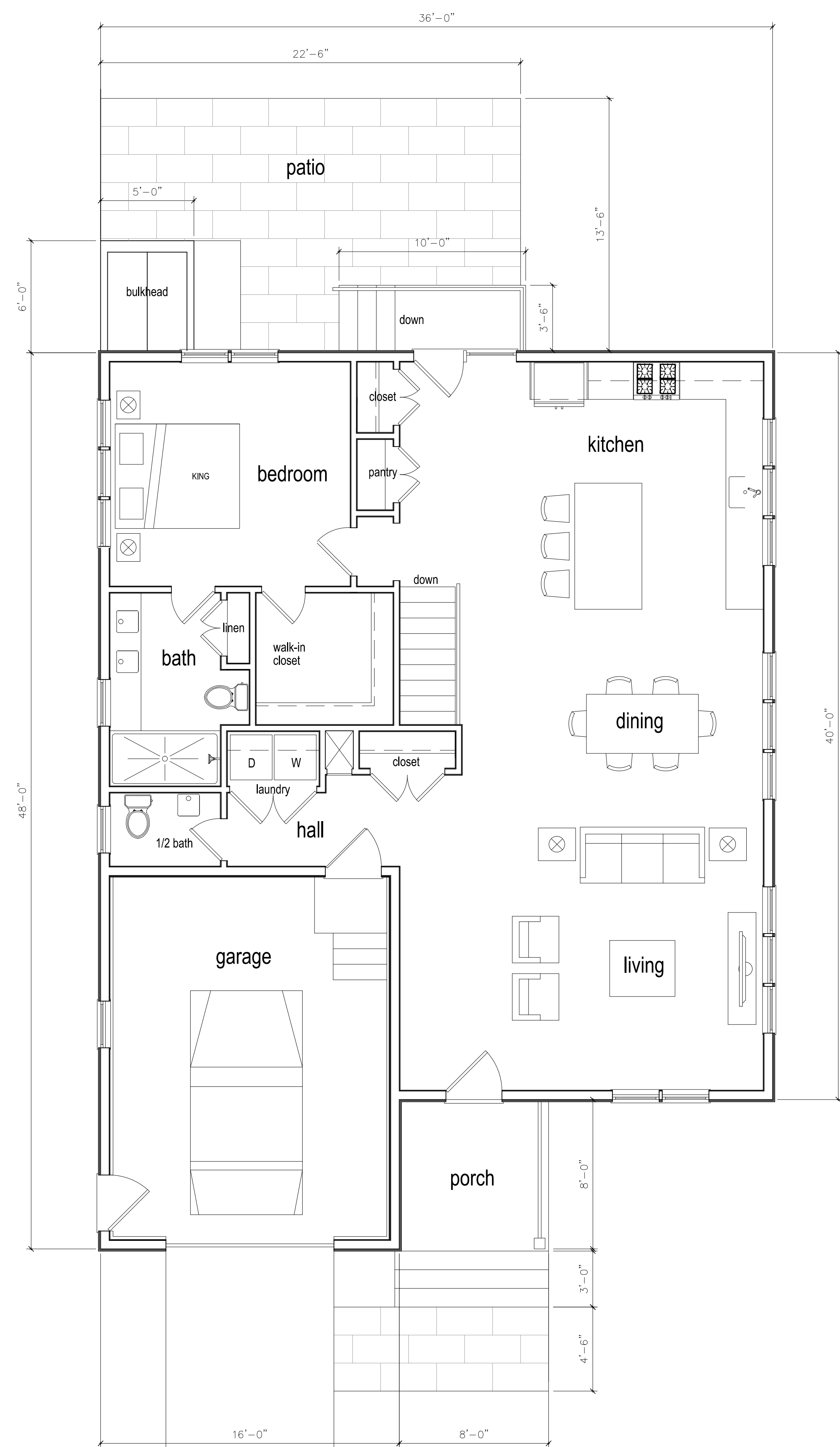
KITTERY, MAINE

TITLE:

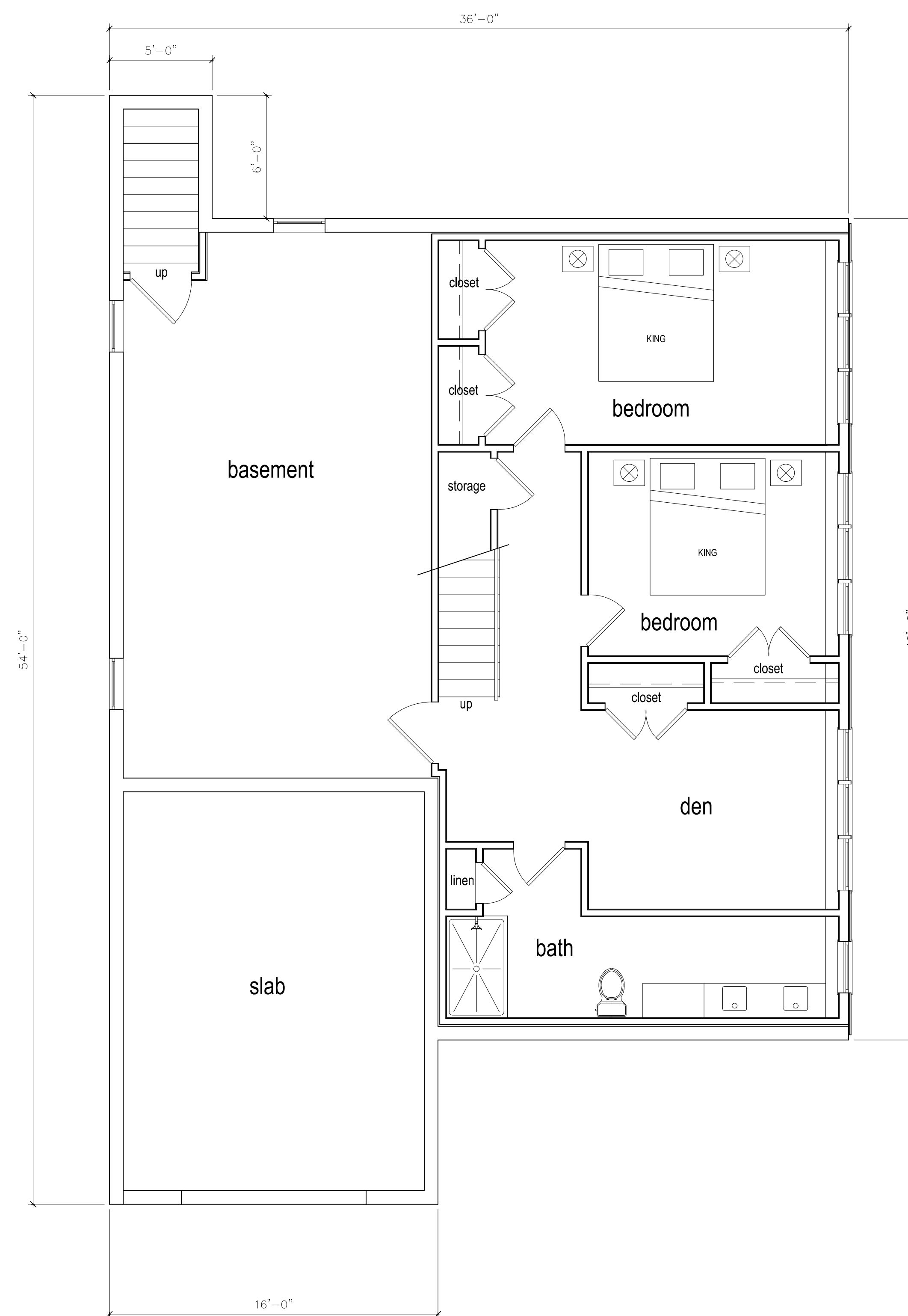
DETAIL SHEET

SHEET NUMBER:

**C - 8**



**PROPOSED 1ST FLOOR**  
(Living Space: 1177 sq. ft.)



**PROPOSED LOWER LEVEL**  
(Living Space: 729 sq. ft.)

**Wyman Hill**  
**Residential Unit**  
28 Wyman Avenue  
Kittery Maine

architectural designer  
**HIGGINS + DESIGN**

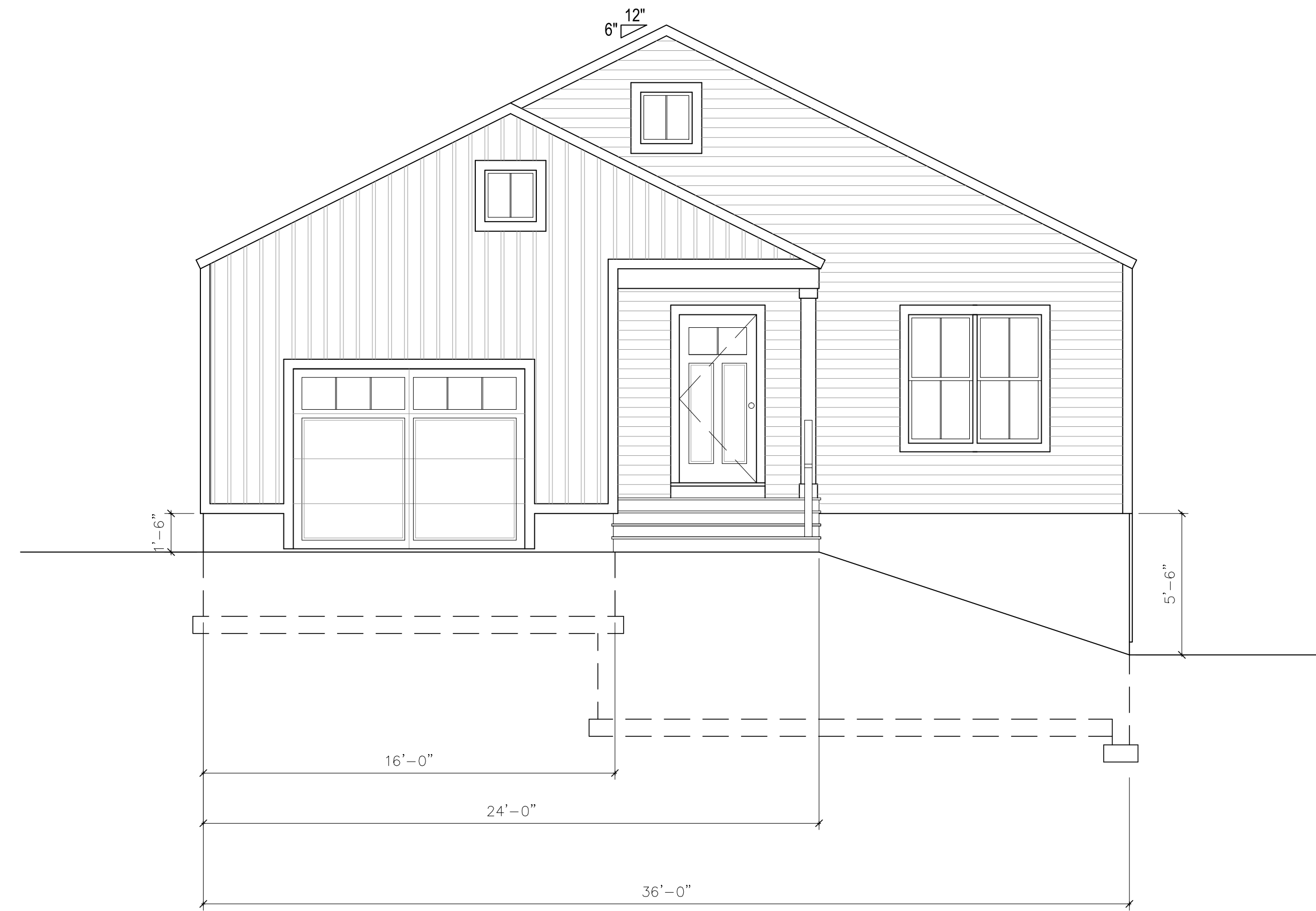
119 Kings Highway North  
Eliot, ME 03903  
Tel 617.501.6149  
jimhiggins05@comcast.net

**Proposed Residential Unit**

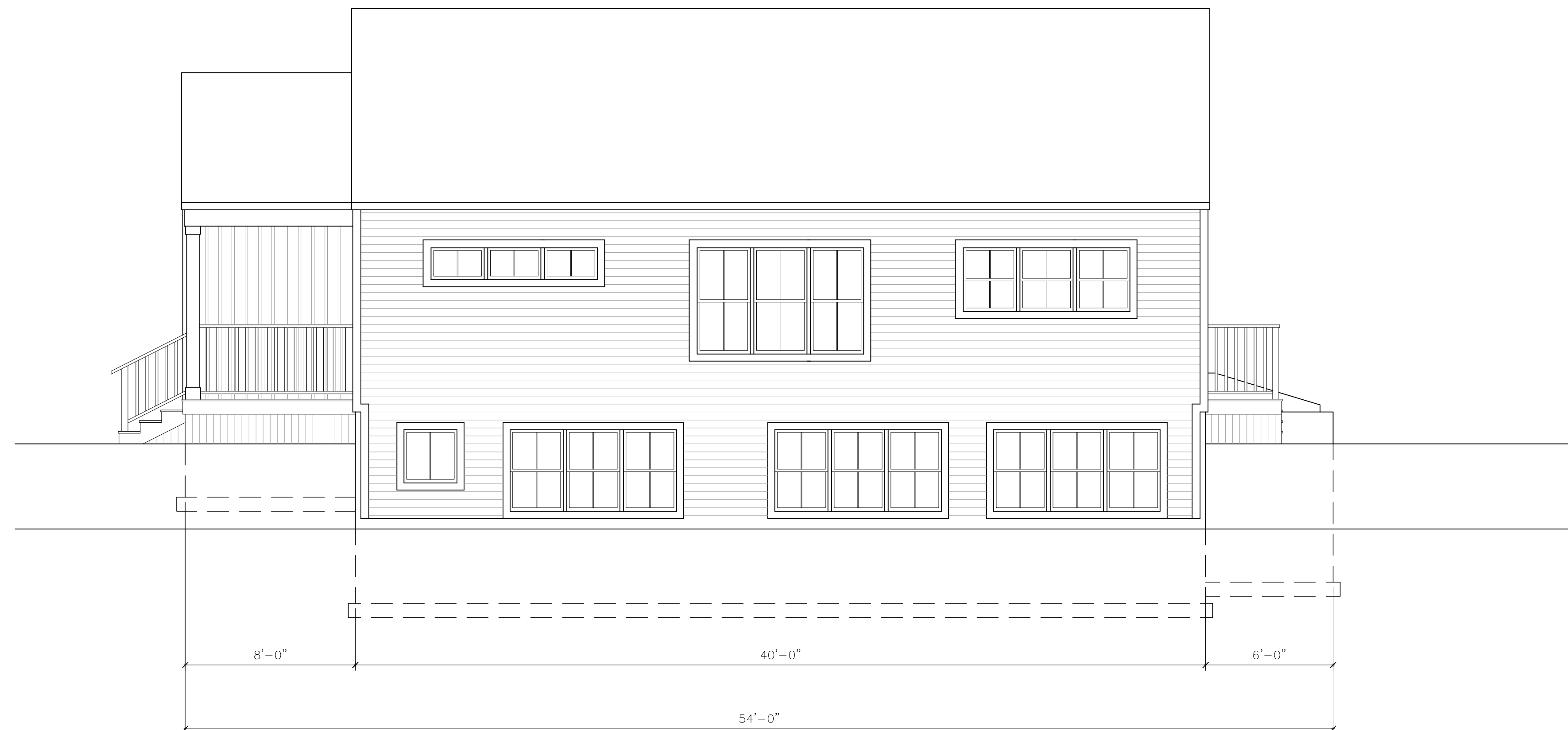
**LAYOUT PLANS**

scale  
1/4"=1'-0"  
date  
November 22, 2021  
project  
Kittery01

**A01**



FRONT ELEVATION



RIGHT SIDE ELEVATION

# Wyman Hill

## Residential Unit

28 Wyman Avenue  
Kittery Maine

architectural designer

## HIGGINS + DESIGN

119 Kings Highway North  
Eliot, ME 03903  
Tel 617.501.6149  
jimhiggins05@comcast.net

## Proposed Residential Unit

## ELEVATIONS

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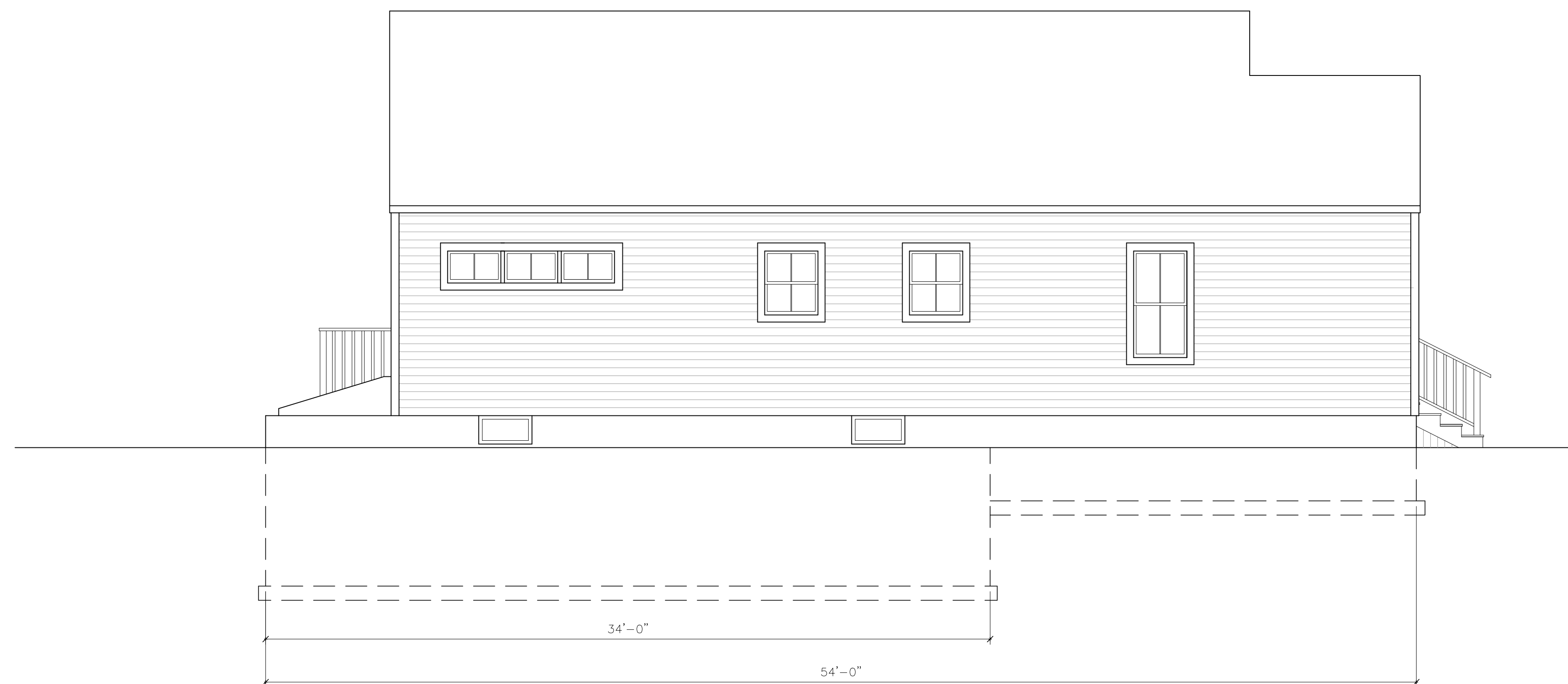
date  
November 22, 2021

project  
Kittery01

# A02



BACK ELEVATION



LEFT SIDE ELEVATION

# Wyman Hill

## Residential Unit

28 Wyman Avenue  
Kittery Maine

architectural designer

## HIGGINS + DESIGN

119 Kings Highway North  
Eliot, ME 03903  
Tel 617.501.6149  
jimhiggins05@comcast.net

## Proposed Residential Unit

## ELEVATIONS

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date  
November 22, 2021

project  
Kittery01

# A03