

ABBREVIATIONS

BOTTOM OF CURB	BC
BITUMINOUS CONCRETE CURB	BCC
BEST MGMT PRACTICE	BMP
CATCH BASIN	CB
CAPE COD BERM	CCB
CORRUGATED METAL PIPE	CMP
CLEANOUT	CO
CHAIN LINK FENCE	CLF
CONCRETE SURFACE	CONC.
DOUBLE YELLOW LINE	DYL
DRILL HOLE FOUND/SET	DHF/DHS
DRAIN MANHOLE	DMH
IRON PIPE/PIN FOUND	IPF
IRON REBAR FOUND/SET	IRF/IRS
EMERGENCY SPILLWAY	ES
FLARED END SECTION	FES
HIGH DENSITY POLYETHYLENE	HDPE
INVERT ELEVATION	INV.=
LINEAL FEET	LF
LIMIT OF WORK	LOW
MATCH EXISTING	ME
METAL PICKET FENCE	MPF
NOW OR FORMERLY	N/F
OUTLET CONTROL STRUCTURE	OCS
RAILROAD SPIKE FOUND/SET	RRSF/RRSS
RIM ELEVATION	RIM=
ROOF DRAIN	RD
SINGLE WHITE LINE	SWL
SINGLE YELLOW LINE	SYL
SLIPFORM CONC. CURB	SFC
SLOPED GRANITE CURB	SOC
SLOPED CONCRETE CURB	SOC
SPLIT RAIL FENCE	SRF
TEMPORARY BENCHMARK	TBM
TOP OF CURB	TC
TOP OF FOUNDATION	TF
UNDERDRAIN	UD
UTILITY POLE	UP
VERTICAL GRANITE CURB	VGC
VINYL PICKET FENCE	VPF
VINYL STOCKADE FENCE	VSF
WOOD PICKET FENCE	WPF
WOOD STOCKADE FENCE	WSF

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
98	98	MINOR CONTOUR
100	100	MAJOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	FENCE
---	---	GUIDERAIL
---	---	CONSTRUCTION FENCE
---	---	STONE WALL
---	---	TREE LINE
+	+	SIGN
*	*	LIGHT POLE
2'R	2'R	CURB/PAVEMENT RADIUS
♿	♿	ACCESSIBLE PAVEMENT MARKINGS
○	○	IRON PIPE/IRON PIN
●	●	BOLLARD
○	○	UTILITY POLE
○	○	GUY WIRE
⊕	⊕	WATER VALVE
⊕	⊕	WATER SHUTOFF
⊕	⊕	HYDRANT
⊠	⊠	CATCH BASIN
⊙	⊙	DRAIN MANHOLE
⊙	⊙	SEWER MANHOLE
⊠	⊠	SEWER SERVICE CONNECTION
D	PD	DRAIN PIPE
G	PG	GAS LINE
OHW	OHW	OVERHEAD WIRES
UGU	UGU	UNDERGROUND UTILITIES
S	PS	SEWER LINE
W	PW	WATER LINE
FM	FM	FORCE MAIN
RD	RD	ROOF DRAIN
▽	▽	FLARED END SECTION
▭	▭	PROPOSED BUILDING PAD FOOTPRINT
▭	▭	RIPRAP AREA
▭	▭	CONSTRUCTION ENTRANCE
TP4	TP4	TEST PIT LOCATION
TC 101.5	TC 101.5	TOP/BOTTOM CURB ELEVATION
BC 100.5	BC 100.5	TOP/BOTTOM CURB ELEVATION
100.5x	100.5x	SPOT ELEVATION
W	W	WETLANDS
→	→	FLOW DIRECTION

SITE PLAN APPLICATION KITTERY CAR WASH ROUTE 236 KITTERY, MAINE

**PREPARED FOR:
ROBERT T. BRENNAN, Jr.
1911 SE 20TH STREET
CAPE CORAL, FL 33990**

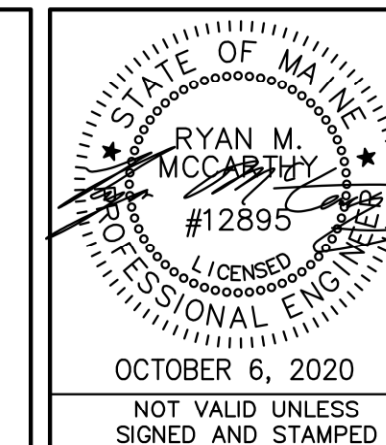


SCALE: 1" = 250'



#5, DHS, 6/21/21
See Site/Utility Plan

- SHEET INDEX:
- C1 COVER SHEET
 - C2 BOUNDARY AND EXISTING CONDITIONS PLAN
 - C3 PROPOSED SITE & UTILITY PLAN
 - C4 PROPOSED GRADING & STORMWATER PLAN
 - C5 EROSION AND SEDIMENT CONTROL PLAN
 - C6 CONSTRUCTION DETAILS
 - C7 PROPOSED LANDSCAPE PLAN
 - C8 WB-40/WB-67 TURNING MANEUVERS
 - A1 BUILDING ELEVATIONS (BY J.W.H. DRAFTING & DESIGN)



4	10/6/20	ISSUED FOR FINAL APPROVAL
3	9/3/20	MODIFIED PER TOWN REVIEW COMMENTS
2	7/31/20	ADDED RIGHT TURN LANE TO MACKENZIE LANE
1	5/6/20	ISSUED FOR REVIEW BY TOWN OF KITTERY
NO.	DATE:	SUBMISSION/REVISION DESCRIPTION



CLIENT:	ROBERT T. BRENNAN, JR. 1911 SE 20TH STREET CAPE CORAL, FL 33990
PROJECT:	KITTERY CAR WASH ROUTE 236, KITTERY, MAINE 03904
SHEET:	COVER SHEET
JOB #:	19-134
DATE:	MARCH 2020
SCALE:	AS NOTED
DRAWING	

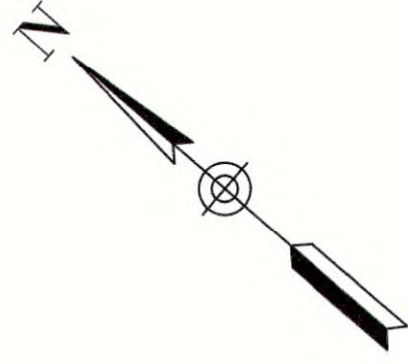


TAX MAP 28 LOT 25D

C1

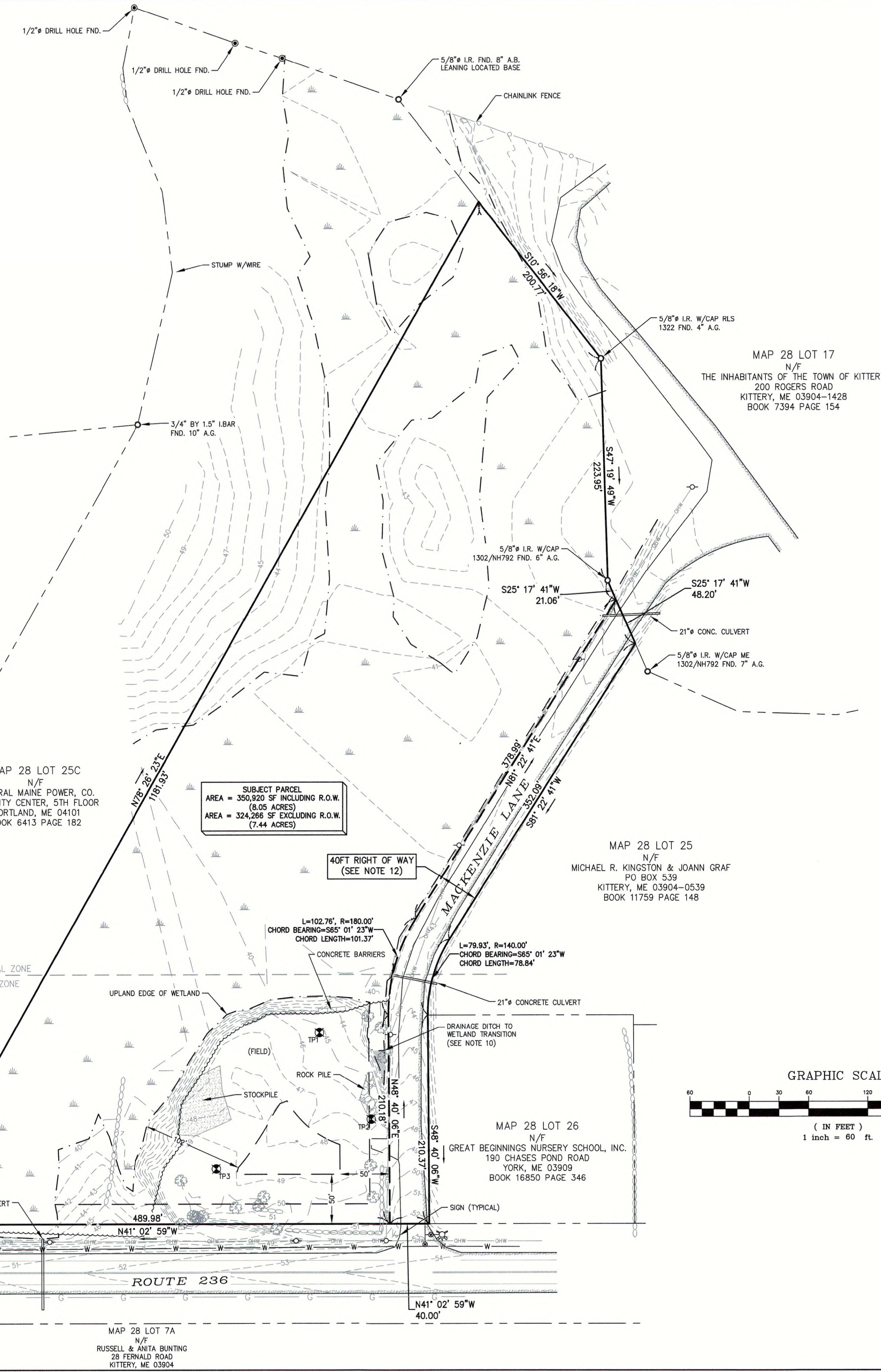


LOCUS MAP (NOT TO SCALE)



LEGEND

- SUBJECT PARCEL PROPERTY LINE
- APPROXIMATE ABUTTER'S LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- EDGE OF WETLAND
- EXISTING STONE WALL
- WETLAND SYMBOL
- IRON PIPE, ROD, OR DISK FOUND
- DRILL HOLE FOUND
- UTILITY POLE
- SIGN
- WATER VALVE
- HYDRANT
- TREE



GENERAL NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT A BOUNDARY RETRACEMENT AND EXISTING CONDITIONS SURVEY OF TAX MAP 28 LOT 25D IN THE TOWN OF KITTERY, MAINE.
- OWNER OF RECORD:
ROBERT T. BRENNAN, JR.
1911 SE 20TH STREET CAPE CORAL, FL 33990
Y.C.R.D. BOOK 18014 PAGE 294
- THE PROPERTY IS LOCATED WITHIN THE COMMERCIAL C-2 & RURAL R-RL ZONING DISTRICTS. THE FOLLOWING DIMENSIONAL REGULATIONS ARE IN EFFECT AT THE TIME OF THIS SURVEY AND ARE SUBJECT TO THE REVIEW BY THE TOWN OF KITTERY.

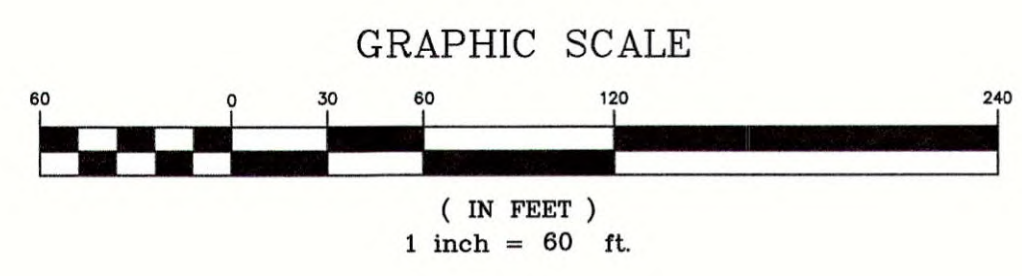
COMMERCIAL C-2:	
MINIMUM LAND AREA:	40,000 SF
MINIMUM STREET FRONTAGE:	150 FEET
MINIMUM FRONT YARD SETBACK:	50 FEET
MINIMUM SIDE/REAR YARD SETBACK:	30 FEET
MAXIMUM COVERAGE:	40%
MAXIMUM BUILDING HEIGHT:	40 FEET
RURAL R-RL:	
MINIMUM LAND AREA:	40,000 SF
MINIMUM STREET FRONTAGE:	150 FEET
MINIMUM FRONT YARD SETBACK:	40 FEET
MINIMUM SIDE/REAR YARD SETBACK:	20 FEET
MAXIMUM COVERAGE:	15%
MAXIMUM BUILDING HEIGHT:	35 FEET
- ZONING REGULATIONS ARE SUBJECT TO CHANGE. OWNER SHALL CONFIRM ALL ZONING REGULATIONS WITH THE TOWN OF KITTERY PRIOR TO ANY DEVELOPMENT.
- BASIS OF BEARING IS MAINE STATE PLANE (NAD83) WEST ZONE, US FOOT. ELEVATIONS AND TOPOGRAPHY SHOWN HEREON CORRESPOND TO NAVD88.
- THE BOUNDARY SHOWN HEREON IS DETERMINED FROM WRITTEN RECORDS AND FIELD EVIDENCE RECOVERED AT THE TIME OF THIS SURVEY BY TIDEWATER ENGINEERING & SURVEYING, INC AND MAY BE SUBJECT TO CHANGE IF OTHER EVIDENCE BECOMES AVAILABLE.
- ABUTTER LINES SHOWN HEREON SHALL BE CONSIDERED APPROXIMATE AND ARE FOR REFERENCE PURPOSES ONLY. ABUTTER LINES SHALL NOT BE RELIED UPON AS BOUNDARY INFORMATION.
- EASEMENTS OR UNWRITTEN RIGHTS MAY EXIST THAT ENCUMBER OR BENEFIT THE PROPERTY NOT SHOWN HEREON.
- THE WETLANDS SHOWN HEREON WERE DELINEATED BY JOSEPH W. NOEL, STATE OF MAINE SOIL SCIENTIST #209, ON NOVEMBER 4, 2019. THE TEST PITS SHOWN HEREON WERE CONDUCTED BY JOSEPH W. NOEL ON FEBRUARY 28, 2020. REFERENCE IS MADE TO A REPORT BY JOSEPH W. NOEL DATED MARCH 2, 2020.
- A PORTION OF THE WETLAND DELINEATED BY JOSEPH W. NOEL MEETS THE DEFINITION OF A DRAINAGE DITCH PER THE TOWN OF KITTERY LAND USE AND DEVELOPMENT CODE. SEE LETTER FROM JOSEPH W. NOEL DATED MARCH 2, 2020 FOR FURTHER DETAIL.
- UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND MAY NOT BE ENTIRELY ACCURATE OR COMPLETE.
- MACKENZIE LANE IS A 40 FOOT WIDE RIGHT OF WAY GRANTED TO THE TOWN OF KITTERY OVER THE LAND OF THE RECORD OWNER AS ESTABLISHED PER AN AGREEMENT BETWEEN HECTOR W. MACKENZIE, JR., JUDITH M. MACKENZIE AND THE TOWN OF KITTERY RECORDED AT THE Y.C.R.D. IN BOOK 2278 PAGE 17. THE AGREEMENT MAKES REFERENCE TO A SURVEY PLAN TO BE RECORDED AT THE Y.C.R.D. THAT DEPICTS THE EASEMENT LOCATION, HOWEVER NO SUCH PLAN WAS RECOVERED BY THIS OFFICE. EASEMENT LOCATION SHOWN HEREON IS BASED UPON A COMBINATION OF THE AS-BUILT LOCATION OF THE ROAD AND THE NORTHWESTERLY SIDELINE OF TAX MAP 28 LOT 26.

REFERENCE PLANS:

- "PLAN OF 'FARMINGDALE ESTATES' FERNALD ROAD KITTERY MAINE" PREPARED BY ANDERSON ASSOCIATES DATED OCTOBER 1983 AND RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS (Y.C.R.D.) IN PLAN BOOK 127 PAGE 39.
- "STANDARD BOUNDARY SURVEY OF LAND OF THE TOWN OF KITTERY" PREPARED BY CIVIL CONSULTANTS DATED APRIL 23, 1993 AND RECORDED AT THE Y.C.R.D. IN PLAN BOOK 222 PAGE 28.
- "STANDARD BOUNDARY SURVEY OF LAND OF THE TOWN OF KITTERY" PREPARED BY CIVIL CONSULTANTS DATED APRIL 23, 1993 AND RECORDED AT THE Y.C.R.D. IN PLAN BOOK 223 PAGE 37.
- "MAINE STATE HIGHWAY COMMISSION RIGHT OF WAY MAP STATE HIGHWAY '100' KITTERY-ELIOT YORK COUNTY FEDERAL AID SECONDARY PROJECT S-0100(5) S.H.C. FILE NO. 16-112 SHEETS 3-4" DATED JANUARY 1956 AND RECORDED AT THE Y.C.R.D. IN PLAN BOOK 29 PAGE 30.
- "SUBDIVISION OF LAND OF PETER J. PAUL TRUSTEE OF THE PAOLUCCI REALTY TRUST" PREPARED BY CIVIL CONSULTANTS DATED APRIL 18, 2013 AND RECORDED AT THE Y.C.R.D. IN PLAN BOOK 366 PAGE 28.
- CENTRAL MAINE POWER CO. SECTION 141 115 KV BOLT HILL-YORK MILE 2 799-T141-2, FOUND AT THE KITTERY TOWN HALL.

REFERENCE DEEDS:

- YORK COUNTY REGISTRY OF DEEDS (Y.C.R.D.) BOOK 18014 PAGE 294; LAGASSE REMOVAL, LLC TO ROBERT T. BRENNAN, JR.
- Y.C.R.D. BOOK 1408 PAGE 546, FRANK JEWETT & FRANCES JEWETT TO JOHN F. PERRY & THERESA H. PERRY.
- Y.C.R.D. BOOK 6413 PAGE 182, HECTOR W. MACKENZIE, JR. TO CENTRAL MAINE POWER COMPANY.



APPROVAL OF THE PLANNING BOARD
OF KITTERY, MAINE

[Signature]
CHAIR DATE



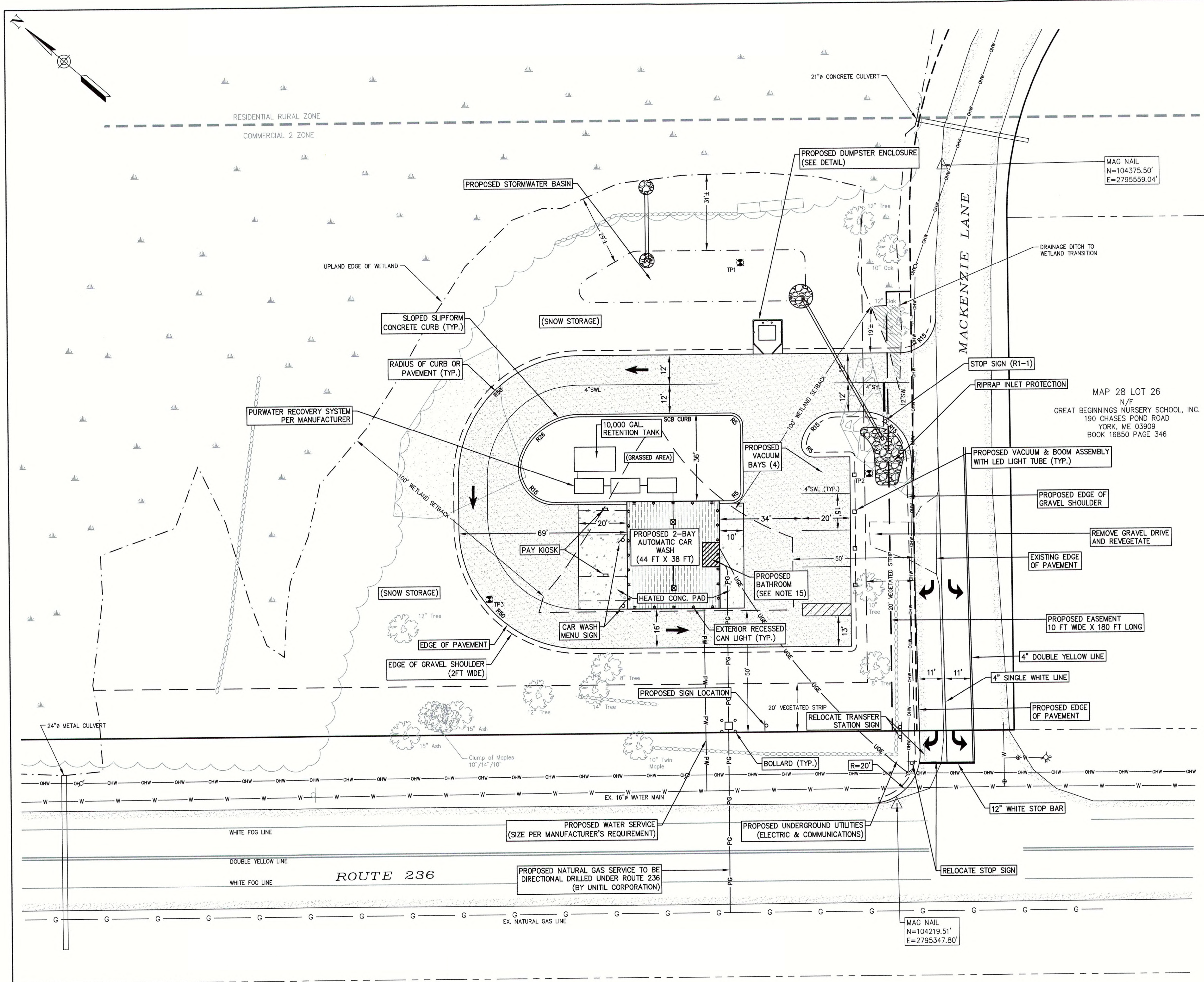
CERTIFICATION:
I HEREBY CERTIFY THAT THIS SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION AND THAT THE RESULTS DEPICTED HEREON ARE IN COMPLIANCE WITH CHAPTER 90, STANDARDS OF PRACTICE, PARTS I AND II AS ADOPTED BY THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS, WITH THE EXCEPTION THAT A WRITTEN REPORT HAS NOT BEEN PRODUCED AT THIS TIME.

[Signature] JULY 31, 2020
RYAN M. MCCARTHY, P.E.S.-2515 DATE

ISSUED FOR FINAL APPROVAL		10/6/20	NO.	4
MODIFIED PER TOWN REVIEW COMMENTS		9/3/20	NO.	3
ADDED RIGHT TURN LANE TO MACKENZIE LANE		7/31/20	NO.	2
ISSUED FOR REVIEW BY TOWN OF KITTERY		5/6/20	NO.	1
SUBMISSION/REVISION DESCRIPTION		DATE:		

TIDEWATER
ENGINEERING & SURVEYING, INC.
89 Route 236 Suite 3, Kittery, ME 03904
(207)439-2222 • www.tidewatercivil.com

CLIENT:	ROBERT T. BRENNAN, JR. 1911 SE 20TH STREET CAPE CORAL, FL 33990
PROJECT:	KITTERY CAR WASH ROUTE 236, KITTERY, MAINE 03904
SHEET:	BOUNDARY & EXISTING CONDITIONS PLAN
JOB #:	19-134
DATE:	MARCH 2020
SCALE:	1" = 60'
DRAWING	



GENERAL NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED COMMERCIAL DEVELOPMENT ON TAX MAP 28 LOT 25D IN THE TOWN OF KITTERY, MAINE.
- OWNER OF RECORD:
ROBERT T. BRENNAN, JR.
1911 SE 20TH STREET CAPE CORAL, FL 33990
Y.C.R.D. BOOK 18014 PAGE 294
- THE PROPOSED DEVELOPMENT IS LOCATED WITHIN THE COMMERCIAL C-2 ZONING DISTRICT. THE FOLLOWING DIMENSIONAL REGULATIONS ARE IN EFFECT AT THE TIME OF THIS SURVEY AND ARE SUBJECT TO THE REVIEW BY THE TOWN OF KITTERY.

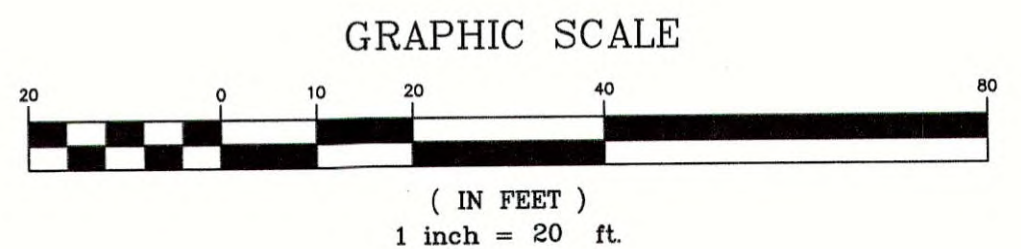
COMMERCIAL C-2:
MINIMUM LAND AREA: 40,000 SF
MINIMUM STREET FRONTAGE: 150 FEET
MINIMUM FRONT YARD SETBACK: 50 FEET
MINIMUM SIDE/REAR YARD SETBACK: 30 FEET
MAXIMUM COVERAGE: 40%
MAXIMUM BUILDING HEIGHT: 40 FEET
- ZONING REGULATIONS ARE SUBJECT TO CHANGE. OWNER SHALL CONFIRM ALL ZONING REGULATIONS WITH THE TOWN OF KITTERY PRIOR TO ANY DEVELOPMENT.
- THE BASIS OF BEARING IS MAINE STATE PLANE (NAD83) WEST ZONE, US FOOT. ELEVATIONS AND TOPOGRAPHY SHOWN HEREON CORRESPOND TO NAVD88.
- THE BOUNDARY SHOWN HEREON IS PER SHEET C2. SEE SHEET C2 FOR FURTHER DETAIL.
- UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND MAY NOT BE ENTIRELY ACCURATE OR COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES, BOTH OVERHEAD AND UNDERGROUND, THROUGHOUT THE COURSE OF THE WORK. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, AND REPORT ANY DISCREPANCIES TO TIDEWATER ENGINEERING & SURVEYING, INC. THE CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER ANY DISCREPANCIES HAVE BEEN RESOLVED BY TIDEWATER ENGINEERING & SURVEYING, INC.
- THE CONTRACTOR SHALL, ON A DAILY BASIS, THOROUGHLY SECURE ALL EXCAVATIONS UPON COMPLETION OF OPERATIONS IN THE IMMEDIATE AREA OF EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL, STATE AND FEDERAL PERMITS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT SHOWN WITHIN THIS PLAN SET. THE CONTRACTOR SHALL NOT PROCEED WITH SAID WORK UNTIL ALL CONDITIONS OF SAID PERMITS ARE MET.
- ALL WATER UTILITY WORK AND MATERIALS SHALL COMPLY WITH THE KITTERY WATER DISTRICT'S REQUIREMENTS, SPECIFICATION AND THIS PLAN SET. THE PROPOSED WATER SERVICE SHALL BE SIZED BY THE MANUFACTURER TO MEET THE USAGE DEMANDS OF THE CAR WASH EQUIPMENT TO BE INSTALLED.
- THE CONTRACTOR IS RESPONSIBLE FOR SEQUENCING OF WORK, MEANS AND METHODS OF CONSTRUCTION AND FOR IMPLEMENTATION OF A SAFETY PLAN.

THE PROPOSED DEVELOPMENT IS ANTICIPATED TO RESULT IN LESS THAN ONE ACRE OF DISTURBED AREA AND LESS THAN ONE ACRE OF IMPERVIOUS SURFACES, THEREFORE A MAINE DEP STORMWATER PERMIT IS NOT REQUIRED.

ESTIMATED DISTURBANCE AREA = 32,100 SF
ESTIMATED IMPERVIOUS AREA = 16,097 SF
- SEE LIGHTING PHOTOMETRIC PLAN AND PRODUCT SHEET BY R.A.B. LIGHTING SUBMITTED TO THE TOWN OF KITTERY AS PART OF THIS SITE PLAN APPLICATION FOR LIGHTING SPECIFICATIONS.
- SPECIAL REQUIREMENTS PERTAINING TO EXCAVATION OF EXISTING FILL MATERIALS
A. BUILDING FOUNDATION: THE PROPOSED CAR WASH SHALL BE SUPPORTED BY FOUNDATION WALLS BEARING ON FOOTINGS LOCATED BELOW THE FROST LEVEL (5 FEET BELOW GRADE AT MINIMUM) OR AT A DEPTH IN WHICH THE NATIVE UNDERLYING SOILS ARE REACHED, WHICHEVER IS GREATER. THE EXPOSED SOILS AT THE BOTTOM OF THE EXCAVATION FOR THE FOOTINGS SHALL BE INSPECTED BY AN ENGINEER AND THE TOWN OF KITTERY PRIOR TO POURING THE CONCRETE FOOTINGS. IN ADDITION, ALL NON-NATIVE MATERIAL LOCATED BETWEEN THE FOUNDATION WALLS SHALL BE REMOVED AND REPLACED WITH CLEAN GRANULAR FILL.
B. UNDERGROUND TANKS: ALL NON-NATIVE FILL MATERIAL LOCATED BELOW THE PROPOSED UNDERGROUND RELIANT AND RETENTION TANKS SHALL BE EXCAVATED TO NATIVE SOILS, BACKFILLED WITH CLEAN GRANULAR FILL AND COMPACTED IN-PLACE.
C. UNSUITABLE MATERIALS: DURING EXCAVATION OPERATIONS FOR BUILDINGS, UNDERGROUND TANKS OR SUB-BASE GRAVELS, ANY UNSUITABLE MATERIAL ENCOUNTERED SHALL BE REMOVED AND DISPOSED OF PROPERLY IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. UNSUITABLE MATERIALS SHALL INCLUDE CONSTRUCTION DEBRIS, ORGANIC MATTER, CLUMPS OF CLAY SOILS, MUCK, SOD, STUMPS, ROOTS, LARGE ROCKS/BOULDERS AND ANY OTHER MATERIAL NOT SUITABLE IN THE OPINION OF THE ENGINEER OR THE TOWN OF KITTERY.
D. INSPECTIONS: ALL SUB-GRADE SURFACES SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OR TOWN OF KITTERY PRIOR TO THE PLACEMENT OF ANY STRUCTURAL BACKFILL SUCH AS SUB-BASE GRAVELS, CRUSHED STONE AND STRUCTURAL FOUNDATION BACKFILL.
E. DISPOSAL: ALL CONSTRUCTION DEBRIS AND UNSUITABLE MATERIALS ENCOUNTERED DURING EXCAVATION OPERATIONS SHALL BE STORED ON-SITE UNTIL THEY CAN BE PROPERLY DISPOSED OF AT AN OFF-SITE LOCATION IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ONE EMPLOYEE BATHROOM SHALL BE INSTALLED WITHIN THE PROPOSED BUILDING THAT MEETS THE REQUIREMENTS OF THE UNIFORM PLUMBING CODE AND SHALL BE APPROVED BY THE LOCAL PLUMBING INSPECTOR. SAID BATHROOM SHALL UTILIZE AN INCINERATING TOILET AS AN ALTERNATE TOILET PER THE STATE OF MAINE SUBSURFACE WASTEWATER DISPOSAL RULES.

CONDITIONS OF APPROVAL:

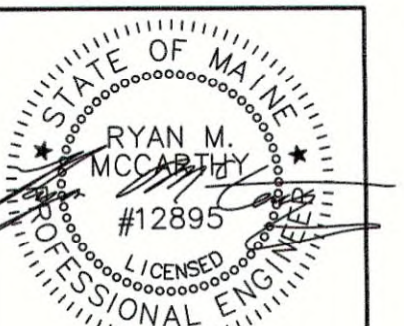
- NO CHANGES, ERASURES, MODIFICATIONS OR REVISIONS MAY BE MADE TO ANY PLANNING BOARD APPROVED FINAL PLAN UNLESS CONFORMING WITH THE PROVISION UNDER §16.10.9.1.2, §16.10.9.2 AND §16.10.9.3.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL EXECUTE AND RECORD AT THE YORK COUNTY REGISTRY OF DEEDS AN EASEMENT WITH THE TOWN OF KITTERY TO WIDEN THE EASEMENT FOR MACKENZIE LANE.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL SUBMIT A REVISED SITE PLAN, TO BE REVIEWED AND APPROVED BY THE TOWN'S CONSULTANT ENGINEER, THAT DEPICTS AND DIRECTS THE EXCAVATION AND REMOVAL OF THE EXISTING SOILS BETWEEN THE FOUNDATION WALLS UNDER THE BUILDING AND THE VOLUME OF MATERIAL BETWEEN THE BOTTOM OF THE WASH WATER TANKS AND NATIVE SOILS, AND REPLACED WITH CLEAN GRANULAR SOILS, AS DESCRIBED IN A REVIEW LETTER BY CMA ENGINEERS INC. DATED SEPTEMBER 16, 2020.
- PRIOR TO THE ISSUANCE OF FINAL PLAN ENDORSEMENT, THE APPLICANT SHALL SUBMIT A REVISED SITE PLAN SHOWING THE LOCATION OF THE PROPOSED BATHROOM.
- ALL NOTICES TO APPLICANT CONTAINED IN THE FINDINGS OF FACT (DATED 9/24/2020).



MAP 28 LOT 7A
N/F
RUSSELL & ANITA BUNTING
28 FERNALD ROAD
KITTERY, ME 03904
BOOK 3289 PAGE 298

APPROVED BY THE TOWN OF KITTERY
PLANNING BOARD ON: SEPT. 24, 2020
[Signature]
PLANNING BOARD CHAIR DATE

TAX MAP 28 LOT 25D



OCTOBER 6, 2020
NOT VALID UNLESS
SIGNED AND STAMPED

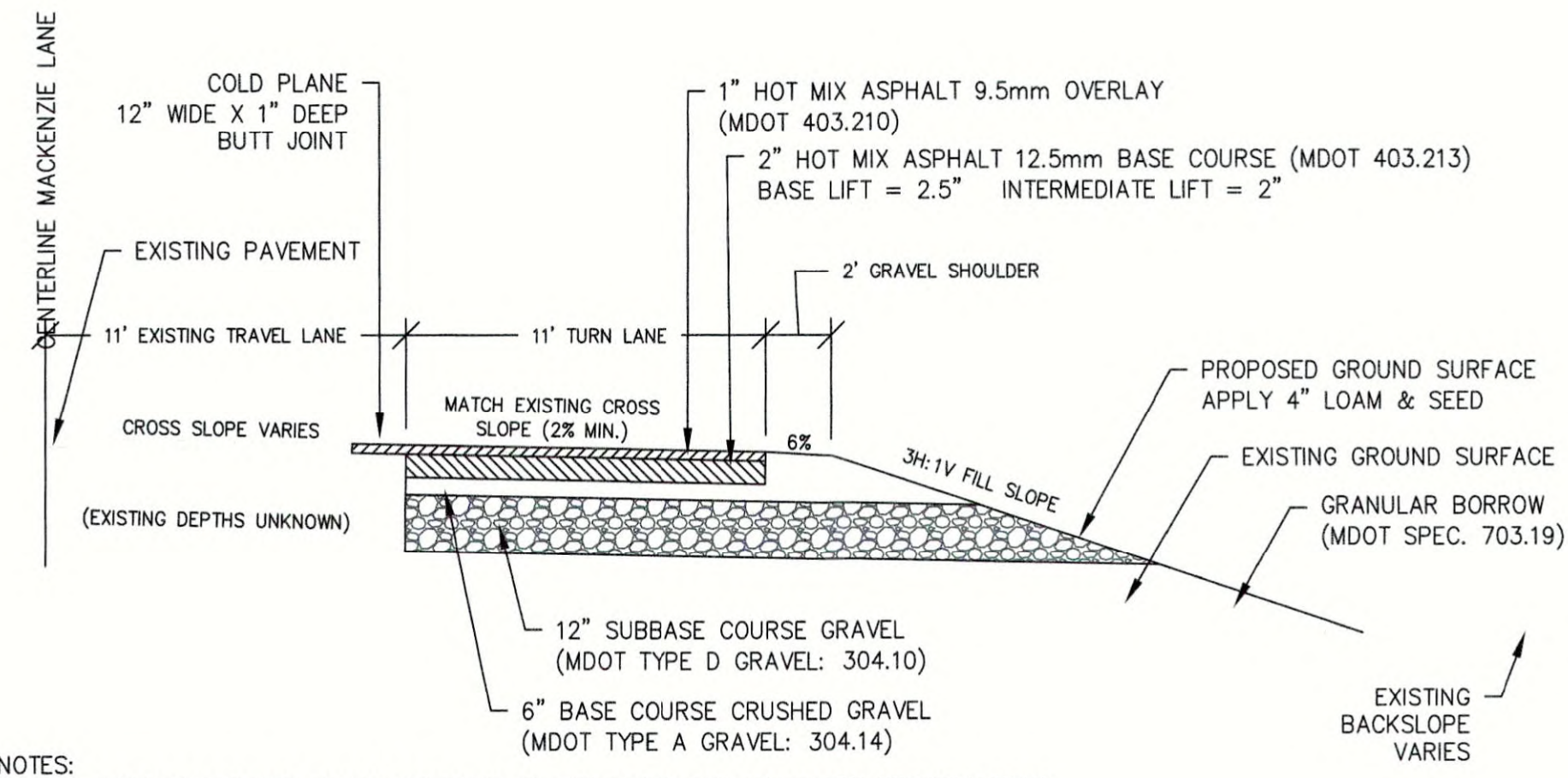
NO.	DATE	ISSUED FOR REVIEW BY TOWN OF KITTERY	SUBMISSION/REVISION DESCRIPTION
4	10/6/20		ISSUED FOR FINAL APPROVAL
3	9/30/20		MODIFIED PER TOWN REVIEW COMMENTS
2	7/31/20		ADDED RIGHT TURN LANE TO MACKENZIE LANE
1	5/6/20		ISSUED FOR REVIEW BY TOWN OF KITTERY

TIDEWATER
ENGINEERING & SURVEYING, INC.
89 Route 236 Suite 3, Kittery, ME 03904
(207) 439-2222 • www.tidewatercivil.com

CLIENT: ROBERT T. BRENNAN, JR.
1911 SE 20TH STREET
CAPE CORAL, FL 33990
PROJECT: KITTERY CAR WASH
ROUTE 236, KITTERY, MAINE 03904
SHEET: PROPOSED SITE & UTILITY PLAN

JOB #:	19-134
DATE:	MARCH 2020
SCALE:	1" = 20'
DRAWING	





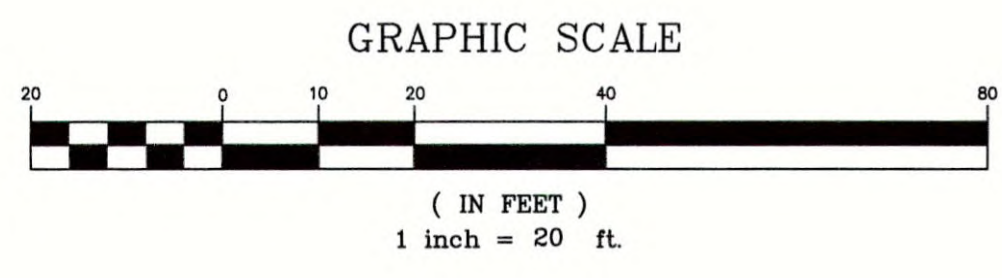
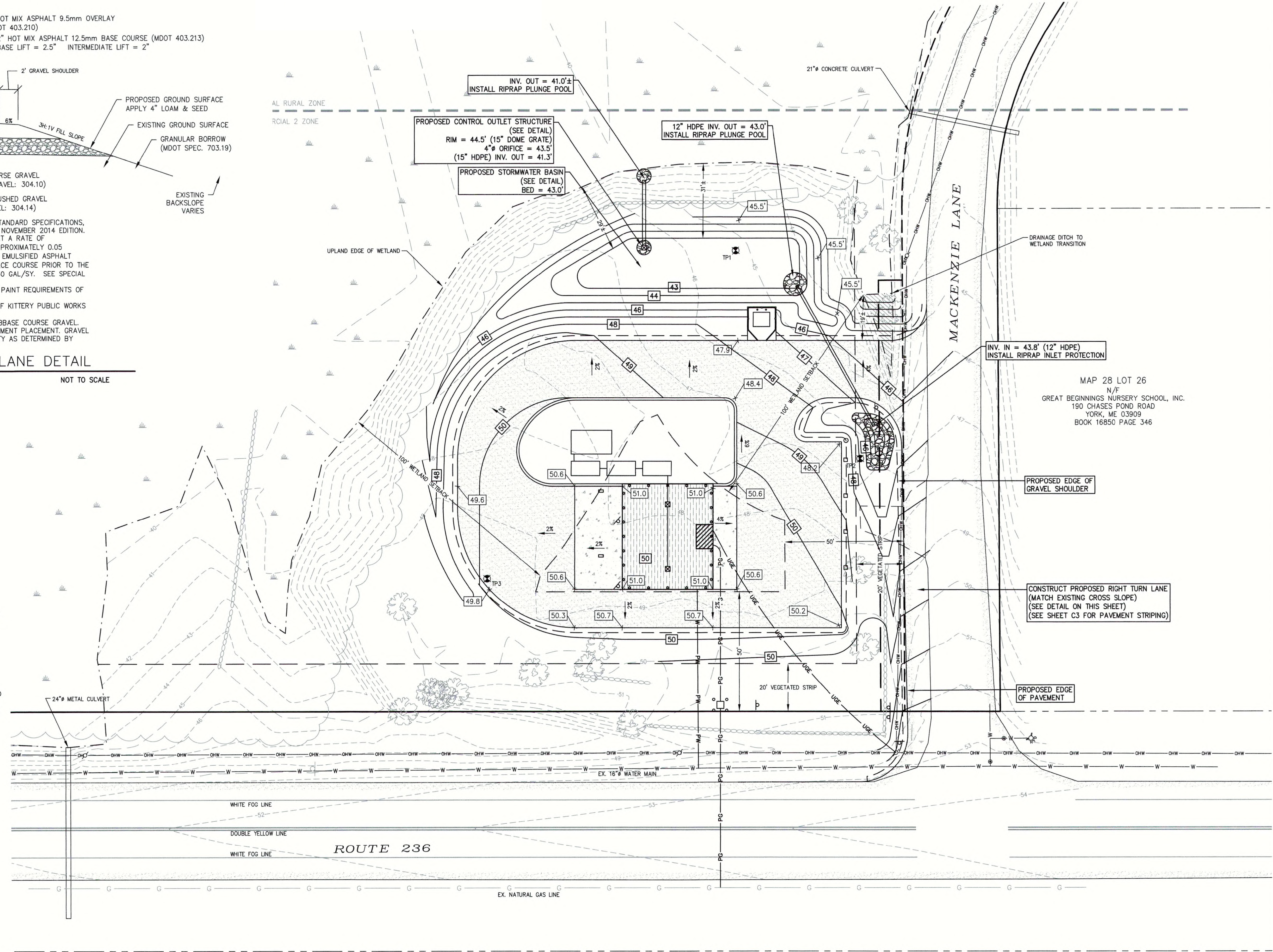
- NOTES:
- ALL WORK COMPLETED SHALL CONFORM TO THE MAINE DOT STANDARD SPECIFICATIONS, NOVEMBER 2014 EDITION AND MAINE DOT STANDARD DETAILS, NOVEMBER 2014 EDITION.
 - APPLY BITUMINOUS TACK COAT TO ANY EXISTING PAVEMENT AT A RATE OF APPROXIMATELY 0.030 GAL/SY, AND ON MILLED PAVEMENT APPROXIMATELY 0.05 GAL/SF PRIOR TO PLACING A NEW COURSE. A FOG COAT OF EMULSIFIED ASPHALT SHALL BE APPLIED BETWEEN SHIM/BASE COURSES AND SURFACE COURSE PRIOR TO THE PLACEMENT OF HMA LAYERS AT A RATE NOT TO EXCEED 0.030 GAL/SY. SEE SPECIAL PROVISION 403 SPECIFIC TO THIS PROJECT.
 - ALL PAVEMENT MARKINGS SHALL MEET THE APPLICATION AND PAINT REQUIREMENTS OF SECTION 627 OF THE MDT STANDARD SPECIFICATIONS.
 - ALL TESTING TO BE COMPLETED AS DIRECTED BY THE TOWN OF KITTERY PUBLIC WORKS DEPARTMENT. THIS WILL INCLUDE THE FOLLOWING...
 - SIEVE ANALYSIS/GRADATION REPORT ON BASE AND SUBBASE COURSE GRAVEL.
 - MINIMUM OF THREE COMPACTION TESTS PRIOR TO PAVEMENT PLACEMENT. GRAVEL MUST BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T180, METHOD C OR D.

RIGHT-TURN LANE DETAIL

NOT TO SCALE

CONDITIONS OF APPROVAL:

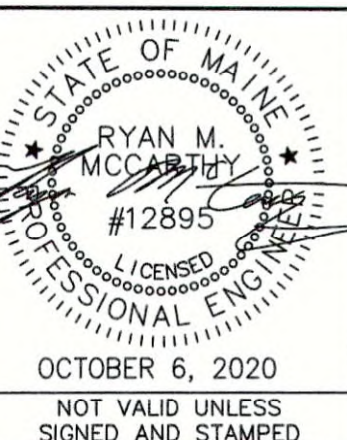
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- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL EXECUTE AND RECORD AT THE YORK COUNTY REGISTRY OF DEEDS AN EASEMENT WITH THE TOWN OF KITTERY TO WIDEN THE EASEMENT FOR MACKENZIE LANE.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL SUBMIT A REVISED SITE PLAN, TO BE REVIEWED AND APPROVED BY THE TOWN'S CONSULTANT ENGINEER, THAT DEPICTS AND DIRECTS THE EXCAVATION AND REMOVAL OF THE EXISTING SOILS BETWEEN THE FOUNDATION WALLS UNDER THE BUILDING AND THE VOLUME OF MATERIAL BETWEEN THE BOTTOM OF THE WASH WATER TANKS AND NATIVE SOILS, AND REPLACED WITH CLEAN GRANULAR SOILS, AS DESCRIBED IN A REVIEW LETTER BY CMA ENGINEERS INC. DATED SEPTEMBER 16, 2020.
- PRIOR TO THE ISSUANCE OF FINAL PLAN ENDORSEMENT, THE APPLICANT SHALL SUBMIT A REVISED SITE PLAN SHOWING THE LOCATION OF THE PROPOSED BATHROOM.
- ALL NOTICES TO APPLICANT CONTAINED IN THE FINDINGS OF FACT (DATED 9/24/2020).



MAP 28 LOT 7A
N/F
RUSSELL & ANITA BUNTING
28 FERNALD ROAD
KITTERY, ME 03904
BOOK 3289 PAGE 298

APPROVED BY THE TOWN OF KITTERY
PLANNING BOARD ON: SEPT. 24, 2020
[Signature]
PLANNING BOARD CHAIR DATE

TAX MAP 28 LOT 25D



OCTOBER 6, 2020
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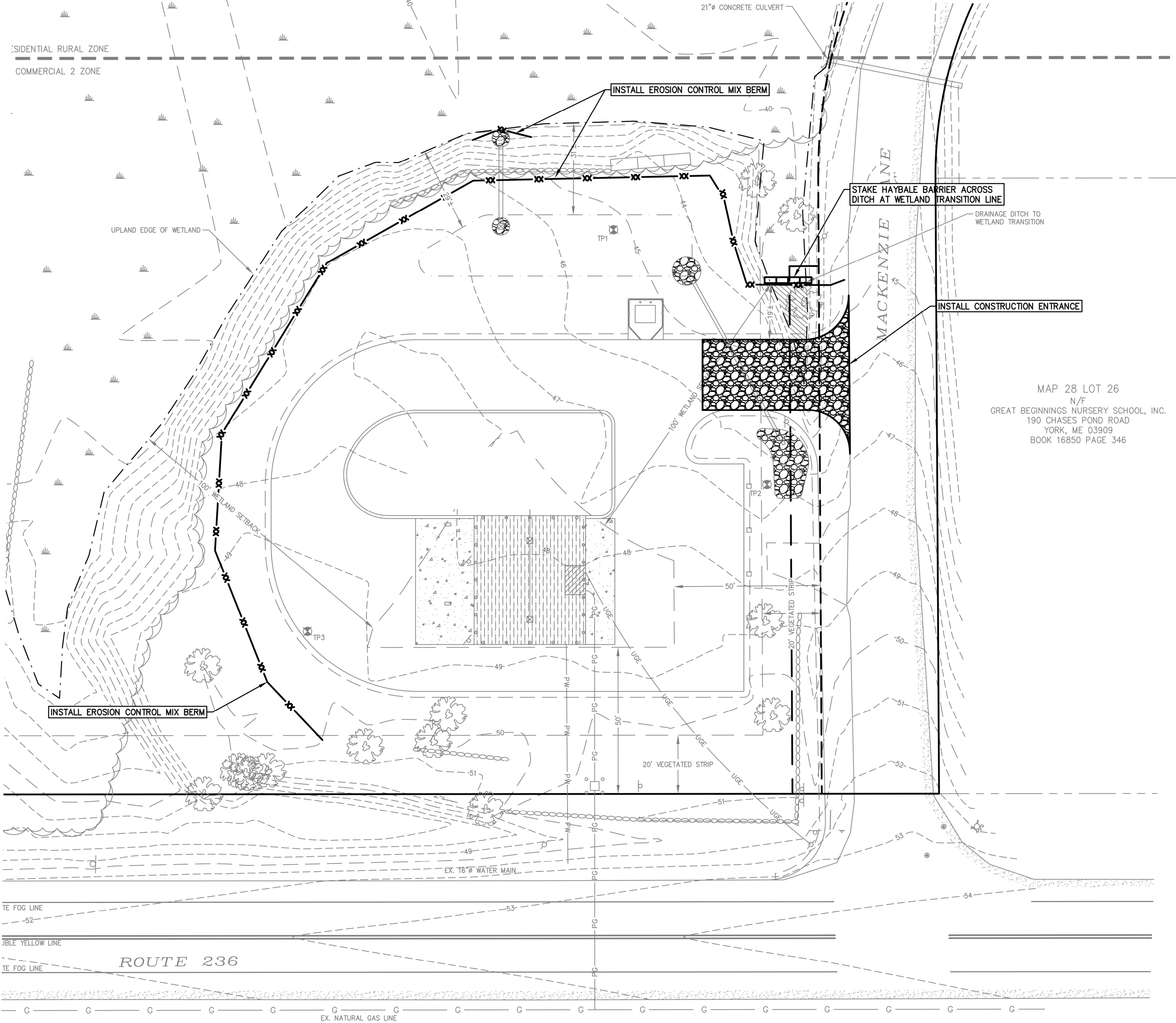
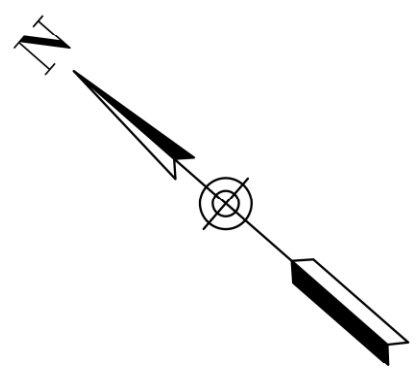
NO.	DATE	SUBMISSION/REVISION DESCRIPTION
4	10/6/20	ISSUED FOR FINAL APPROVAL
3	9/3/20	MODIFIED PER TOWN REVIEW COMMENTS
2	7/31/20	ADDED RIGHT TURN LANE TO MACKENZIE LANE
1	5/6/20	ISSUED FOR REVIEW BY TOWN OF KITTERY



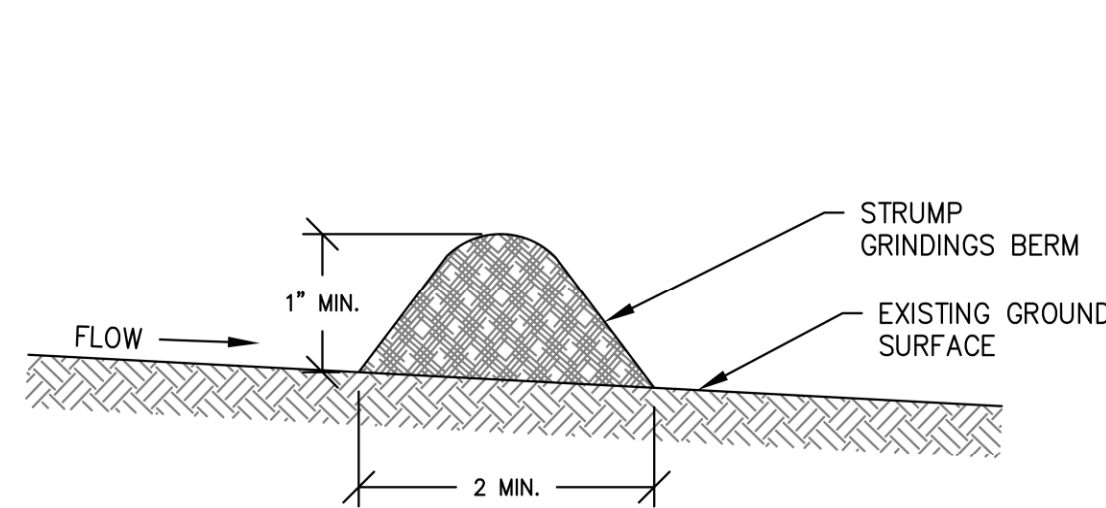
CLIENT: ROBERT T. BRENNAN, JR.
1911 SE 20TH STREET
CAPE CORAL, FL 33990
PROJECT: KITTERY CAR WASH
ROUTE 236, KITTERY, MAINE 03904
SHEET: PROPOSED GRADING & STORMWATER PLAN

JOB #:	19-134
DATE:	MARCH 2020
SCALE:	1" = 20'

DRAWING
C4

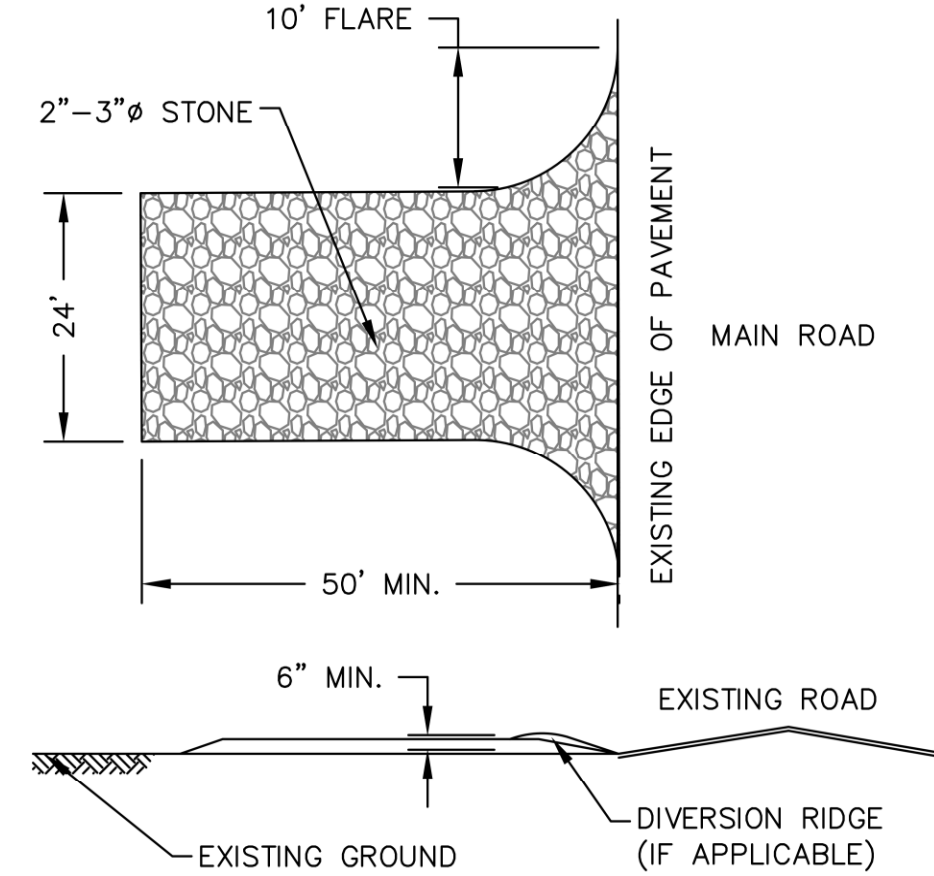


MAP 28 LOT 26
N/F
GREAT BEGINNINGS NURSERY SCHOOL, INC.
190 CHASES POND ROAD
YORK, ME 03909
BOOK 16850 PAGE 346



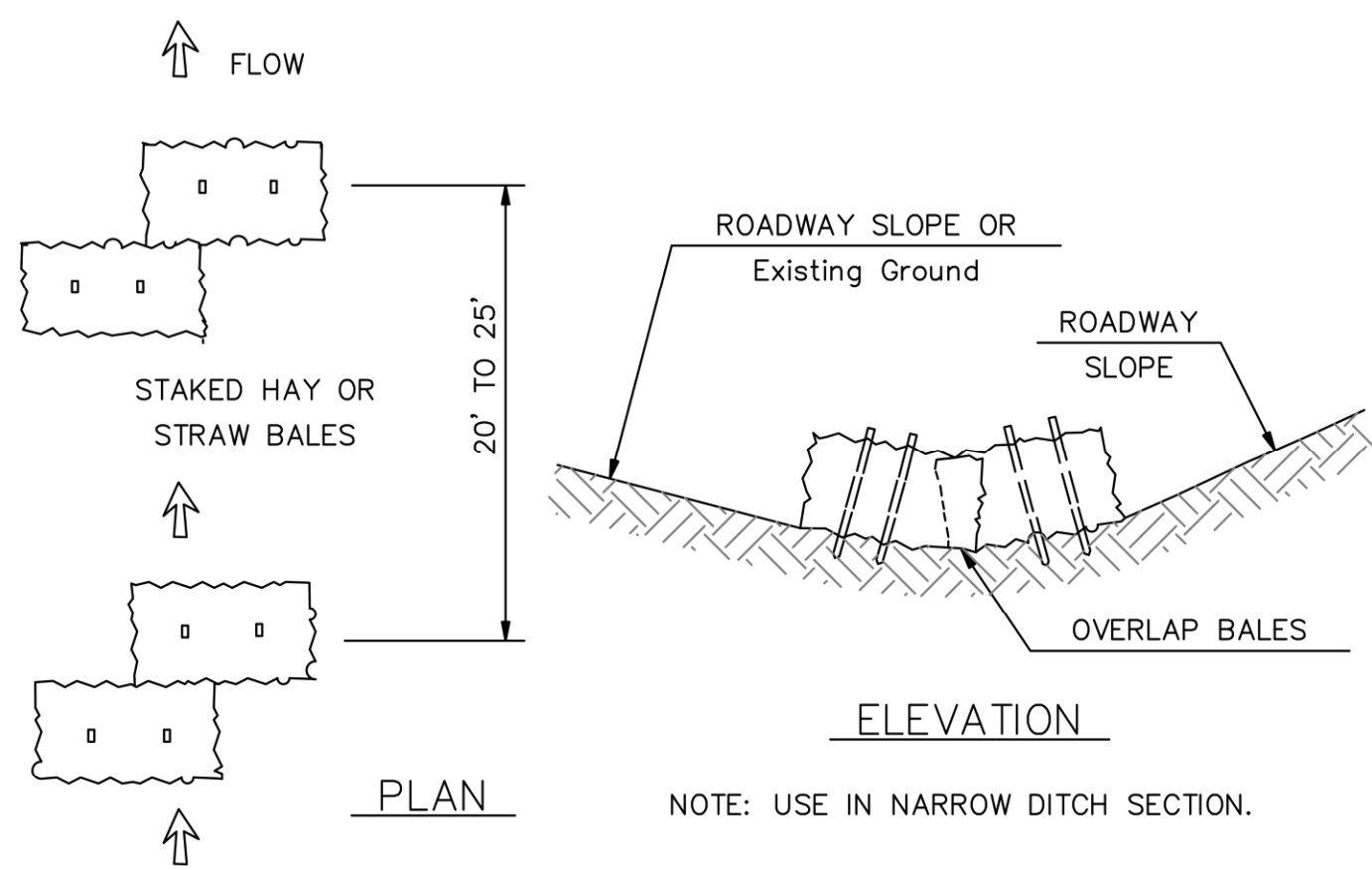
- NOTES:
- IT MAY BE NECESSARY TO CUT, PACK DOWN OR REMOVE TALL GRASSES, BRUSH OR WOODY VEGETATION TO AVOID VOIDS AND BRIDGES THAT ALLOW THE WASHING AWAY OF FINE SOIL PARTICLES.
 - THE ECM BERM SHOULD BE A MINIMUM OF 12" HIGH AND A MINIMUM OF 2' WIDE. ON LONGER OR STEEPER SLOPES, THE BERM WILL NEED TO BE WIDER AND HIGHER.
 - BERMS COMPOSED OF ECM CAN BE RESHAPED WHEN NECESSARY.

EROSION CONTROL MIX (ECM) BERM DETAIL
NOT TO SCALE



TEMPORARY CONSTRUCTION ENTRANCE
NOT TO SCALE

- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP.
 - STONE SHALL BE 2"-3" COURSE AGGREGATE AND A MINIMUM OF 6" THICK.
 - DIVERSION BERM REQUIRED WHERE SLOPE OF DRIVEWAY EXCEED 2% TOWARDS MAIN ROAD.



TEMPORARY HAY BALE BARRIER
NOT TO SCALE

STANDARD EROSION AND SEDIMENTATION CONTROL MEASURES:

- ALL WORK SHALL COMPLY WITH THE CURRENT VERSION OF THE MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL PUBLISHED BY MAINE DEP. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH SAID MANUAL.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY SOIL DISTURBING ACTIVITIES.
- THE CONTRACTOR SHALL STRIP AND GRADE ONLY THOSE AREAS SUBJECT TO IMMEDIATE CONSTRUCTION. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING. ANY EXPOSED SOIL THAT WILL NOT BE WORKED FOR MORE THAN 7 DAYS SHALL BE STABILIZED WITH MULCH. STABILIZE AREAS WITHIN 75 FEET OF A WETLAND OR WATER BODY WITHIN 48 HOURS OF THE INITIAL DISTURBANCE OF THE SOIL OR PRIOR TO ANY STORM EVENT, WHICHEVER COMES FIRST.
- ALL TOPSOIL STRIPPED FROM THE AREA SHALL BE STOCKPILED, TEMPORARILY MULCHED WITH HAY AND SURROUNDED BY A HAY BALE BARRIER UNTIL IT IS SPREAD AND FINAL GRADING IS COMPLETE.
- PERMANENT STABILIZATION MUST BE IMPLEMENTED WITHIN 60 DAYS OF SOIL DISTURBANCE OR BY OCTOBER 1, WHICH EVER IS EARLIER.
- PERMANENT SEEDING WILL BE DONE AS EARLY AS POSSIBLE IN THE GROWING SEASON. PERMANENT SEEDING SHOULD BE MADE PRIOR TO AUGUST 15. IF SEEDING CANNOT BE DONE PRIOR TO OCTOBER 1, DORMANT SEEDING WILL BE DONE ACCORDING TO THE MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL WITH TEMPORARY MULCHING.
- TOPSOIL WILL BE UNIFORMLY SPREAD A MINIMUM OF 4 INCHES DEEP OVER ALL AREAS TO BE RE-VEGETATED, WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
- LIME SHALL BE APPLIED AS FAR IN ADVANCE OF SEEDING AS POSSIBLE. WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES EITHER BEFORE OR DURING FINAL SEED BED PREPARATION.
- IF SEEDING DOES NOT TAKE AT LEAST 80% IN ANY AREA WITHIN 30 DAYS IT SHOULD BE RESEEDED IMMEDIATELY OR TEMPORARILY MULCHED AND RESEEDED WITHIN ONE PLANTING SEASON.
- SEDIMENT CONTROL BARRIERS CAN BE REMOVED UPON STABILIZATION OF THE FINISHED GRADES AND USED AS ADDITIONAL MULCHING MATERIAL (IF APPLICABLE).
- THE SEEDED AREAS SHALL BE INSPECTED EVERY 15 DAYS AND MAINTAINED BY WATERING, WEEDING, MOWING, TRIMMING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A LAWN FREE OF ERODED OR BARE AREAS.
- BIODEGRADABLE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL SLOPES TO BE VEGETATED THAT ARE GREATER THAN 3:1 SLOPE UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- MINIMUM APPLICATION RATES:

TEMPORARY HAY OR STRAW MULCH:	2 BALES PER 1,000 SF (DOUBLE IN WINTER)
EROSION CONTROL MIX:	< 3:1 SLOPE = 2 INCHES 3:1-2:1 SLOPE = 4 INCHES
TEMPORARY SEEDING:	
WINTER RYE	112 LB/ACRE (FALL)
OATS	80 LB/ACRE (SPRING)
ANNUAL RYEGRASS	40 LB/ACRE
SUDANGRASS	40 LB/ACRE (SUMMER)
PERENNIAL	40 LB/ACRE
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEED (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING.
- ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED. REMOVE ANY ACCUMULATED SEDIMENTS AND RESTABILIZE IF NECESSARY.

MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

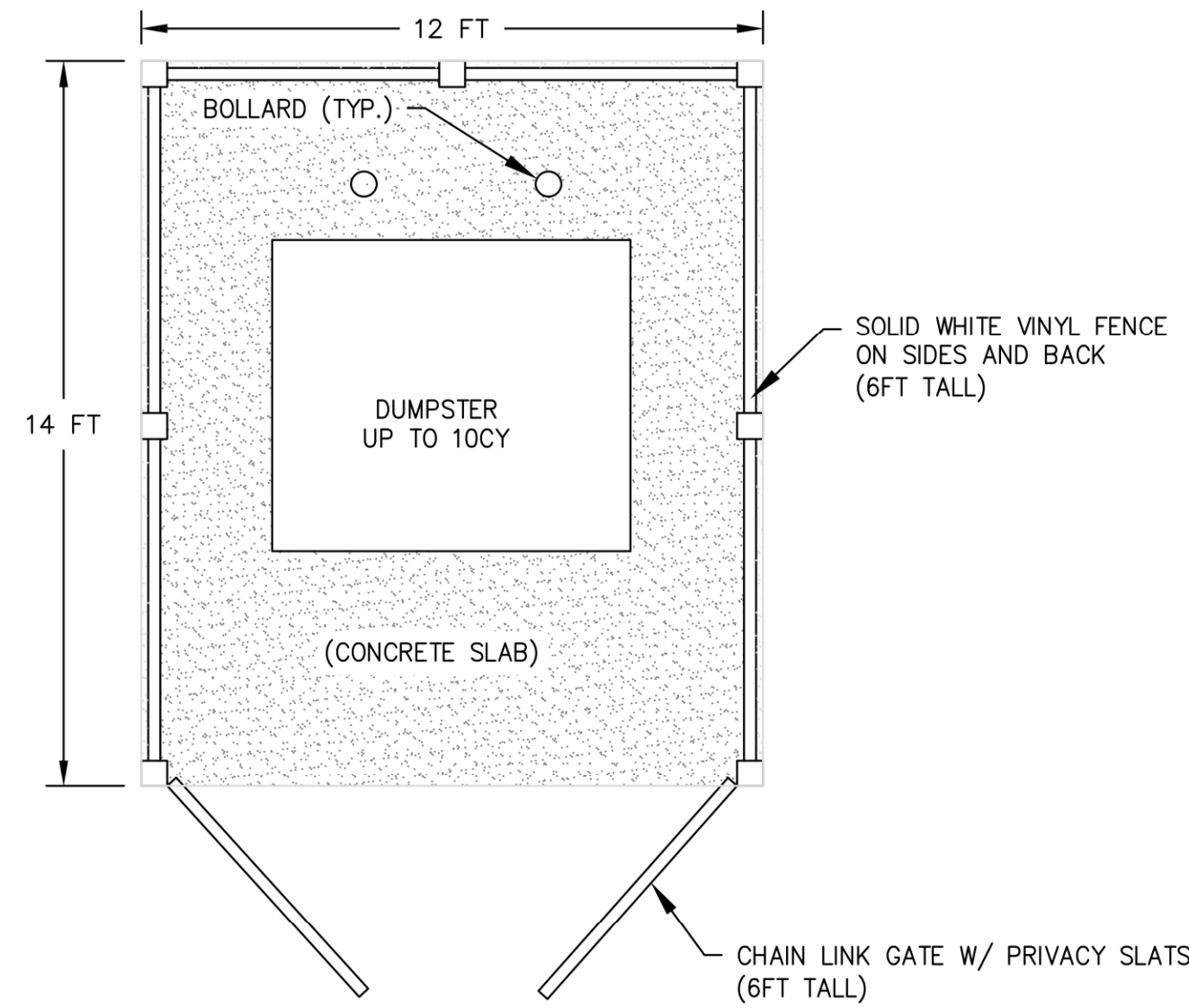
- A. GENERAL: THE FOLLOWING GENERAL INSPECTION AND MAINTENANCE PRACTICES SHALL BE USED THROUGHOUT THE PROJECT.
- ALL CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER.
 - ALL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT SHALL BE COMPLETED WITHIN 24 HOURS.
 - BUILT UP SEDIMENT SHALL BE REMOVED FROM SILT FENCE OR SEDIMENT BARRIERS WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE FENCE OR BALE, OR WHEN "BULGES" OCCURS.
 - ALL DIVERSION DIKES SHALL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
 - TEMPORARY SEEDING AND PLANTING SHALL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
 - A MAINTENANCE INSPECTION REPORT SHALL BE MADE AFTER EACH INSPECTION.
 - THE CONTRACTOR'S SITE SUPERINTENDENT SHALL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.
 - THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL INSPECT THE SITE ON A PERIODIC BASIS TO REVIEW COMPLIANCE WITH THE PLANS.
 - AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED,
 - SODDING - SODDING IS DONE WHERE IT IS DESIRABLE TO RAPIDLY ESTABLISH COVER ON A DISTURBED AREA. SODDING AN AREA MAY BE SUBSTITUTED FOR PERMANENT SEEDING PROCEDURES ANYWHERE ON SITE. PREPARATION, FERTILIZING, AND PLACEMENT OF SOD SHALL BE PERFORMED ACCORDING TO SUPPLIER'S SPECIFICATIONS. SODDING IS RECOMMENDED FOR STEEP SLOPED AREAS. AREAS IMMEDIATELY ADJACENT TO SENSITIVE WATER COURSES, ESILY ERODIBLE SOILS (FINE SAND/SILT) ETC.

OCTOBER 6, 2020
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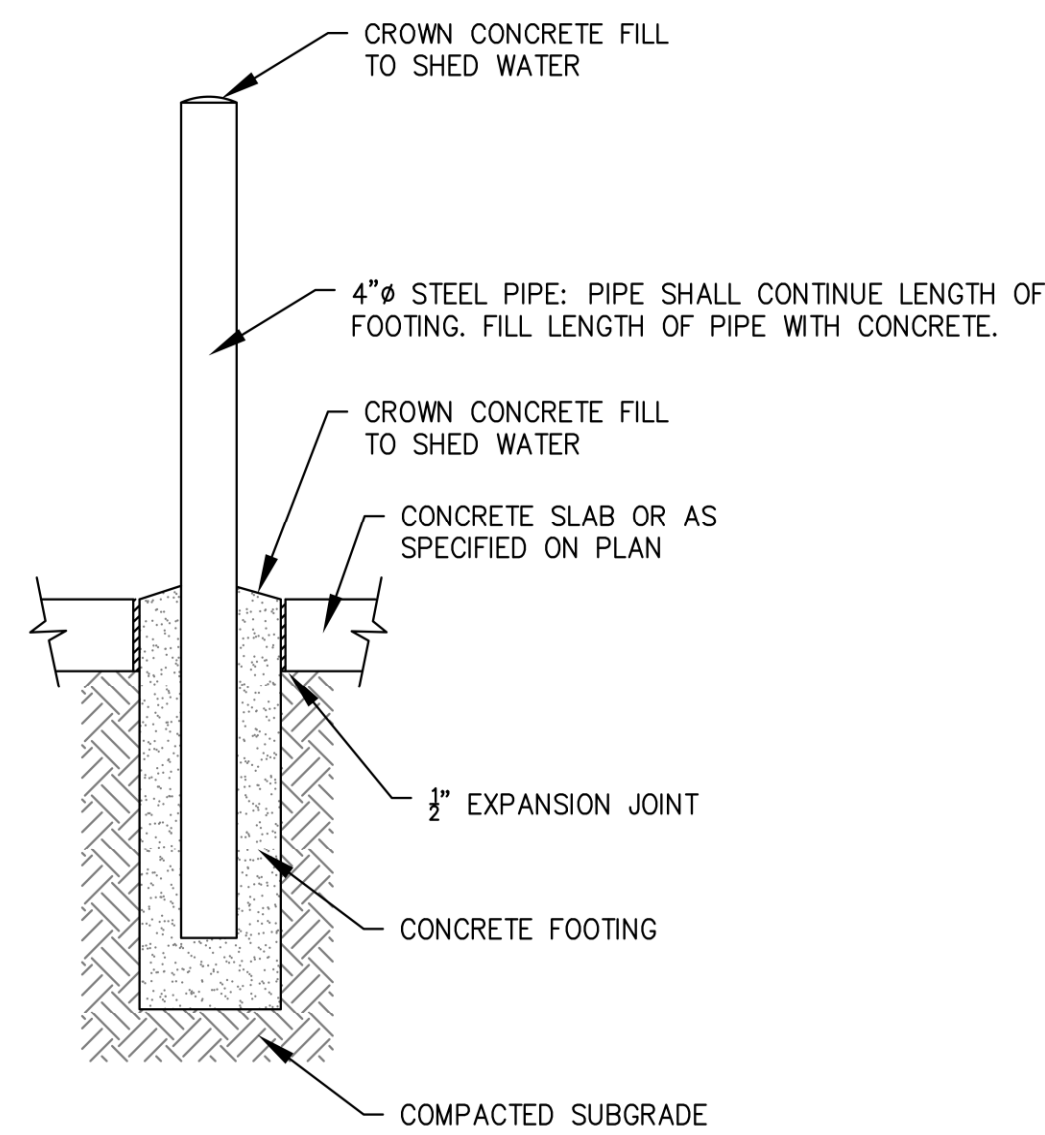
	ISSUED FOR FINAL APPROVAL	MODIFIED PER TOWN REVIEW COMMENTS	ADDED RIGHT TURN LANE TO MACKENZIE LANE	ISSUED FOR REVIEW BY TOWN OF KITTERY	SUBMISSION/REVISION DESCRIPTION
4	10/6/20	9/3/20	7/31/20	5/6/20	DATE:
NO.	NO.	NO.	NO.	NO.	NO.

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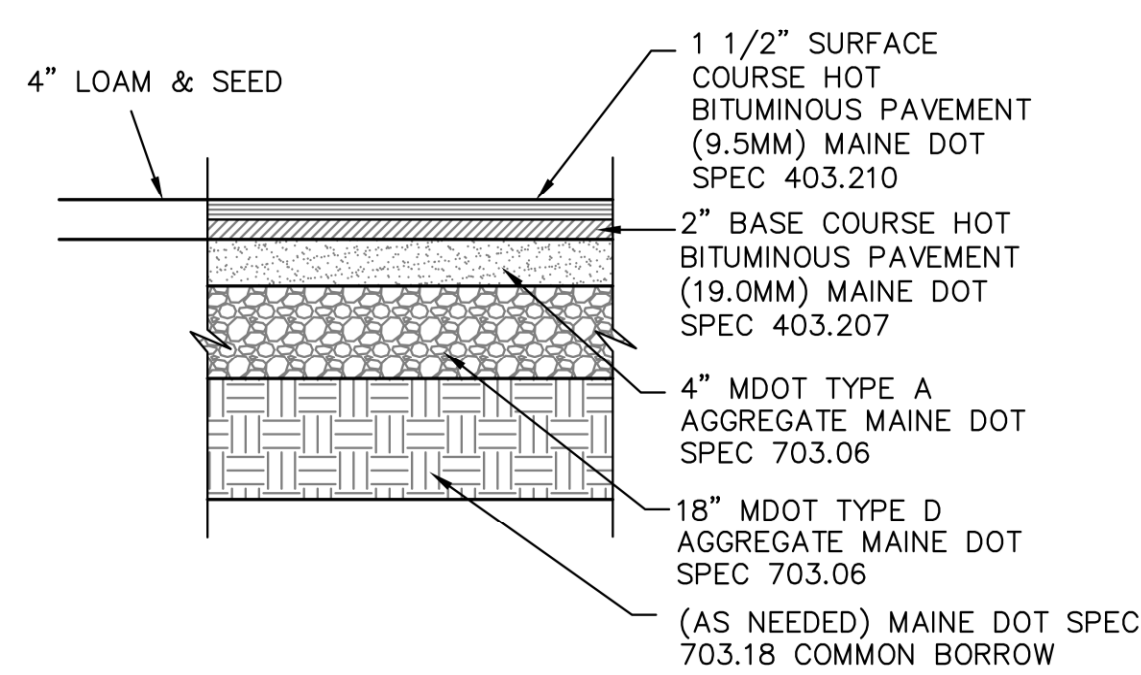
CLIENT: ROBERT T. BRENNAN, JR. 1911 SE 20TH STREET CAPE CORAL, FL 33990	PROJECT: KITTERY CAR WASH ROUTE 236, KITTERY, MAINE 03904
SHEET: EROSION AND SEDIMENT CONTROL PLAN	
JOB #: 19-134 DATE: MARCH 2020 SCALE: 1" = 20' DRAWING	



DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE



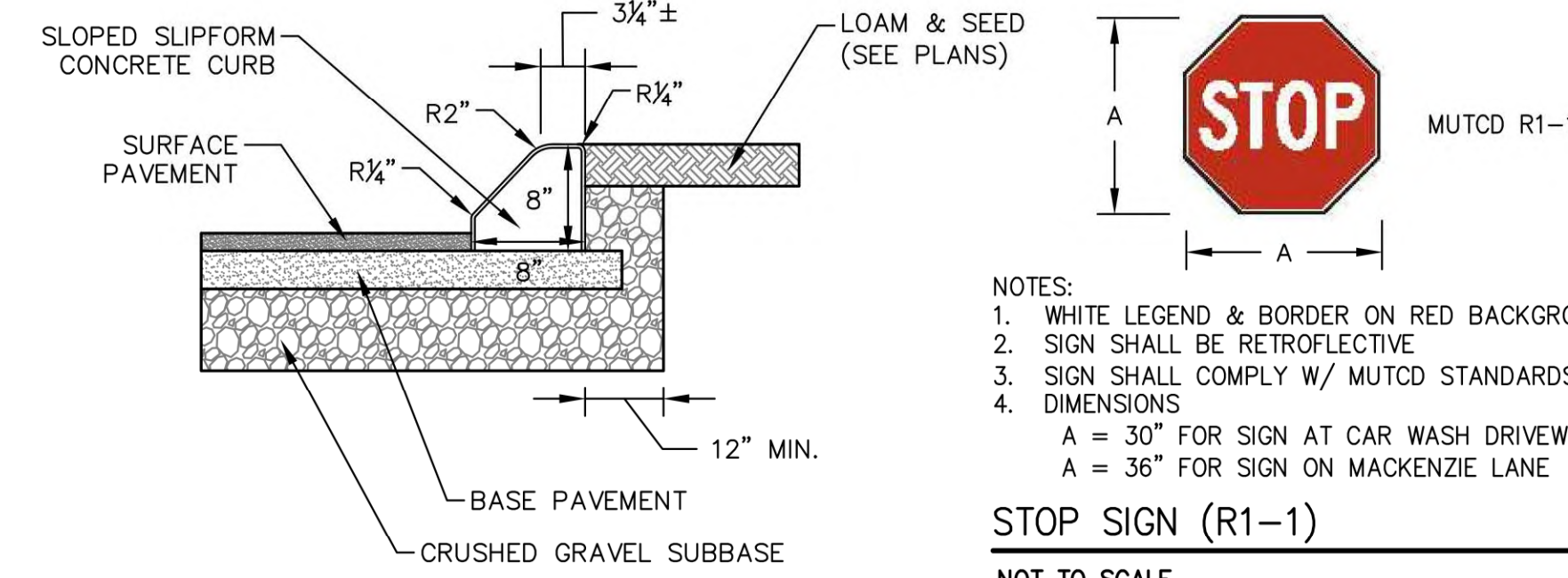
BOLLARD DETAIL
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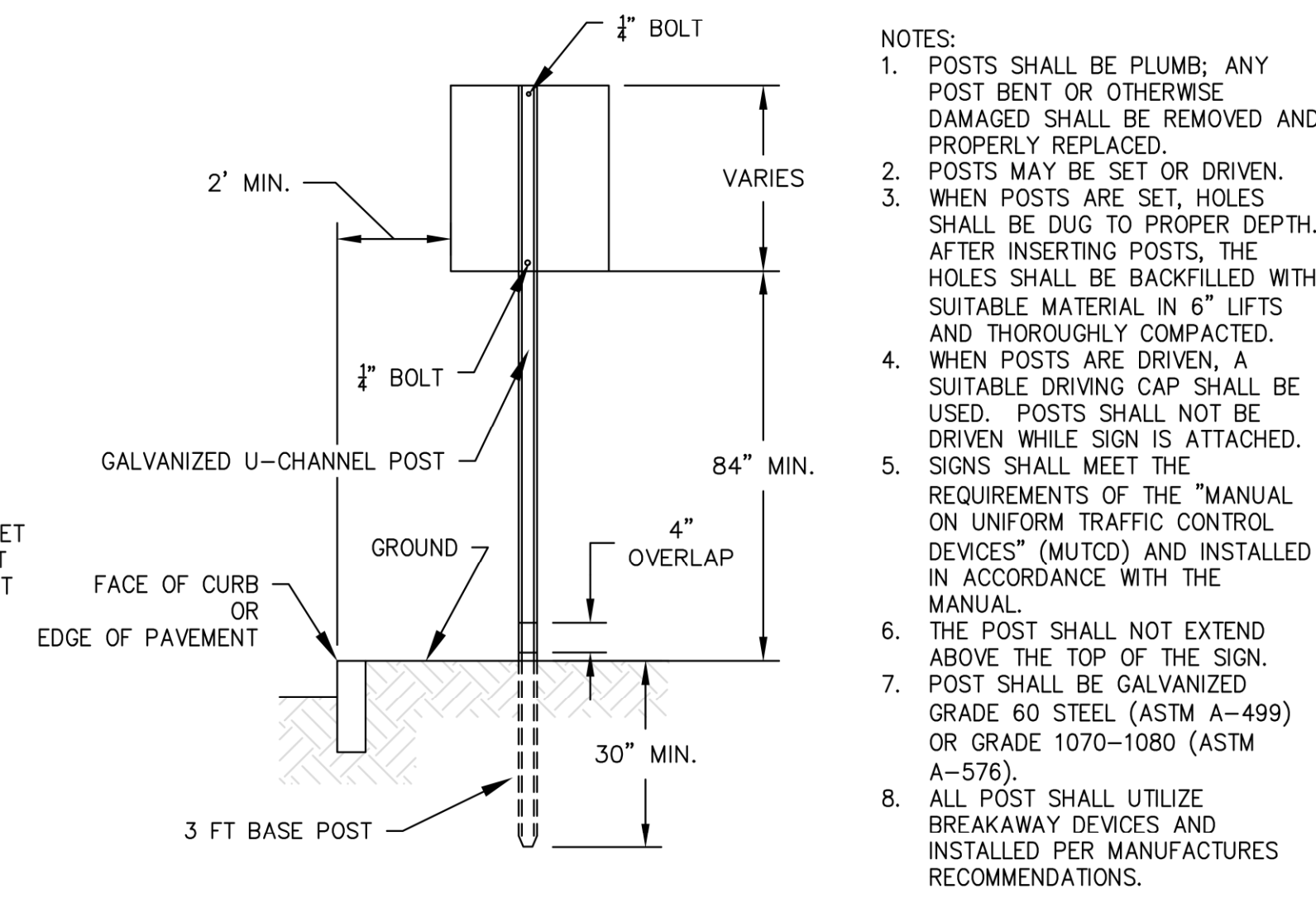
TYPICAL PAVEMENT SECTION
NOT TO SCALE

GENERAL MATERIAL NOTES — APPLIED TO ALL DETAILS UNLESS OTHERWISE NOTED.

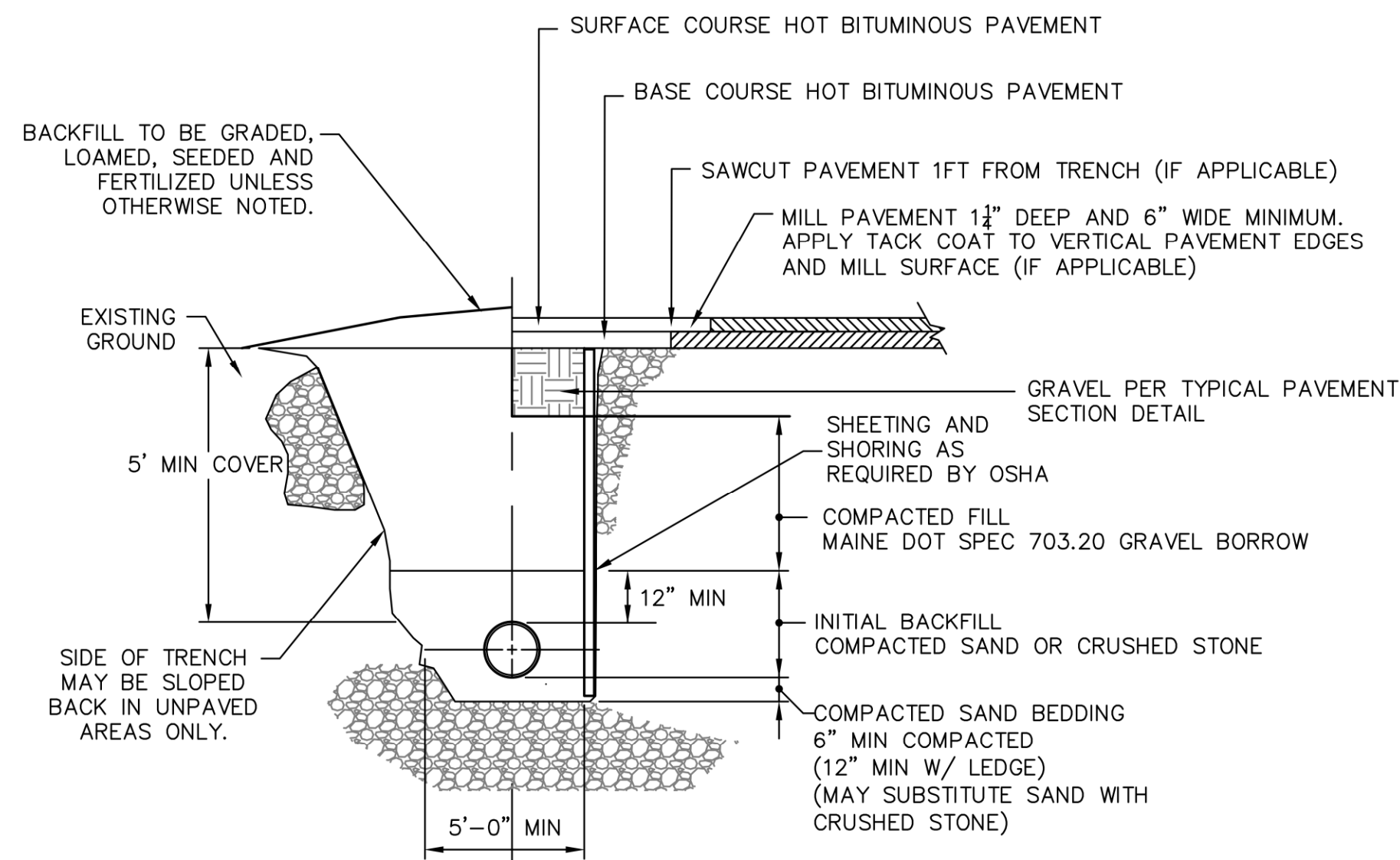
- MATERIAL AND CONSTRUCTION METHODS SHALL CONFORM TO THE STATE OF MAINE STANDARD SPECIFICATIONS REVISION OF NOV. 2014.
- ALL ORGANIC MATERIALS, ROCKS, DEBRIS/RUBBISH AND BOULDERS WITHIN TWO FEET BELOW THE SUBGRADE OF THE ROAD MUST BE REMOVED AND REPLACED WITH SUITABLE COMPACTED FILL MEETING MAINE DOT SPEC 703.20 GRAVEL BORROW.
- FILL UNDER PAVEMENT OR CONCRETE AREAS SHALL BE INSTALLED AND COMPACTED IN ACCORDANCE WITH THE STATE OF MAINE STANDARD SPECIFICATIONS.



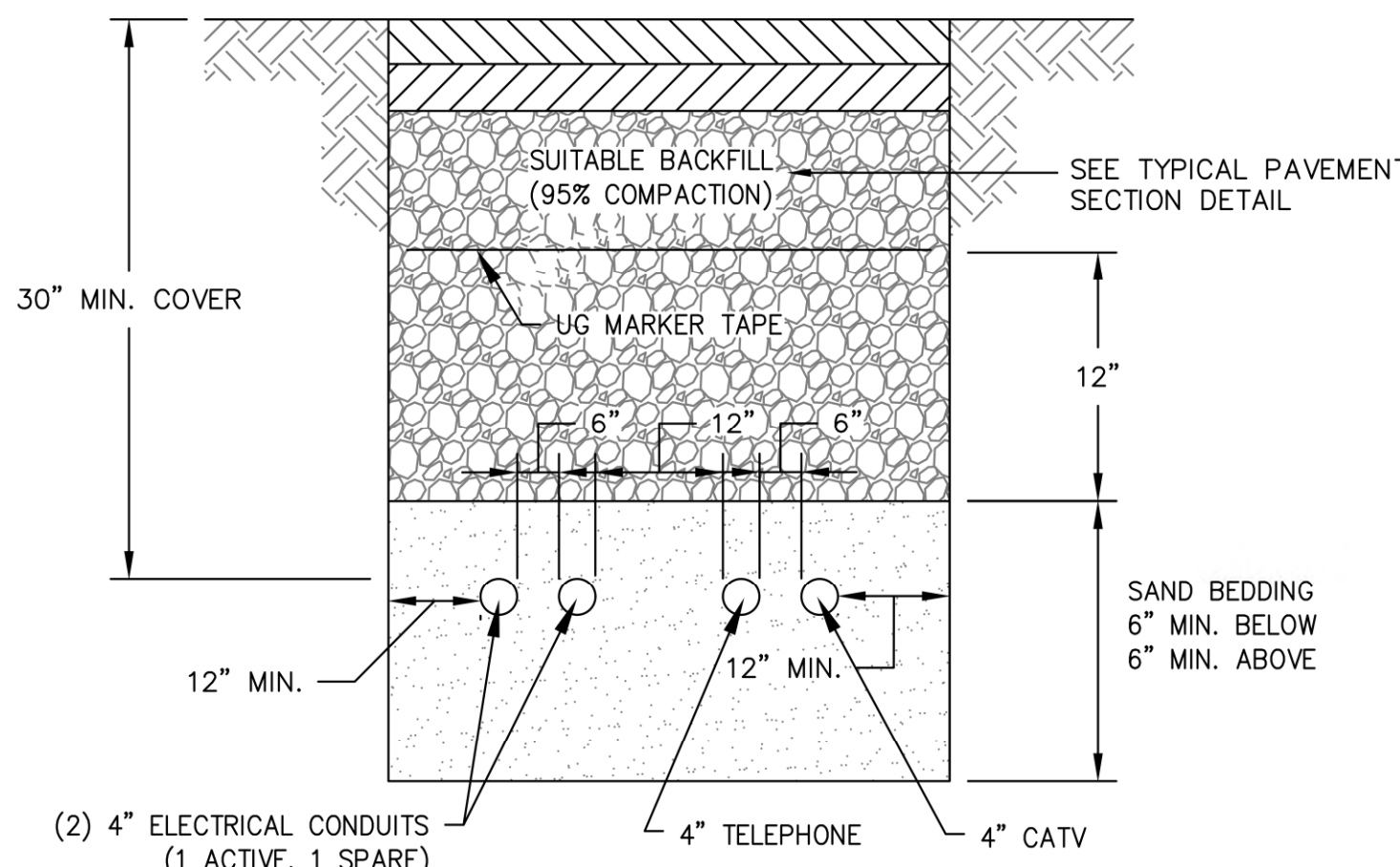
SLOPED SLIPFORM CONCRETE CURB DETAIL
NOT TO SCALE



BREAK AWAY SIGN POST
NOT TO SCALE

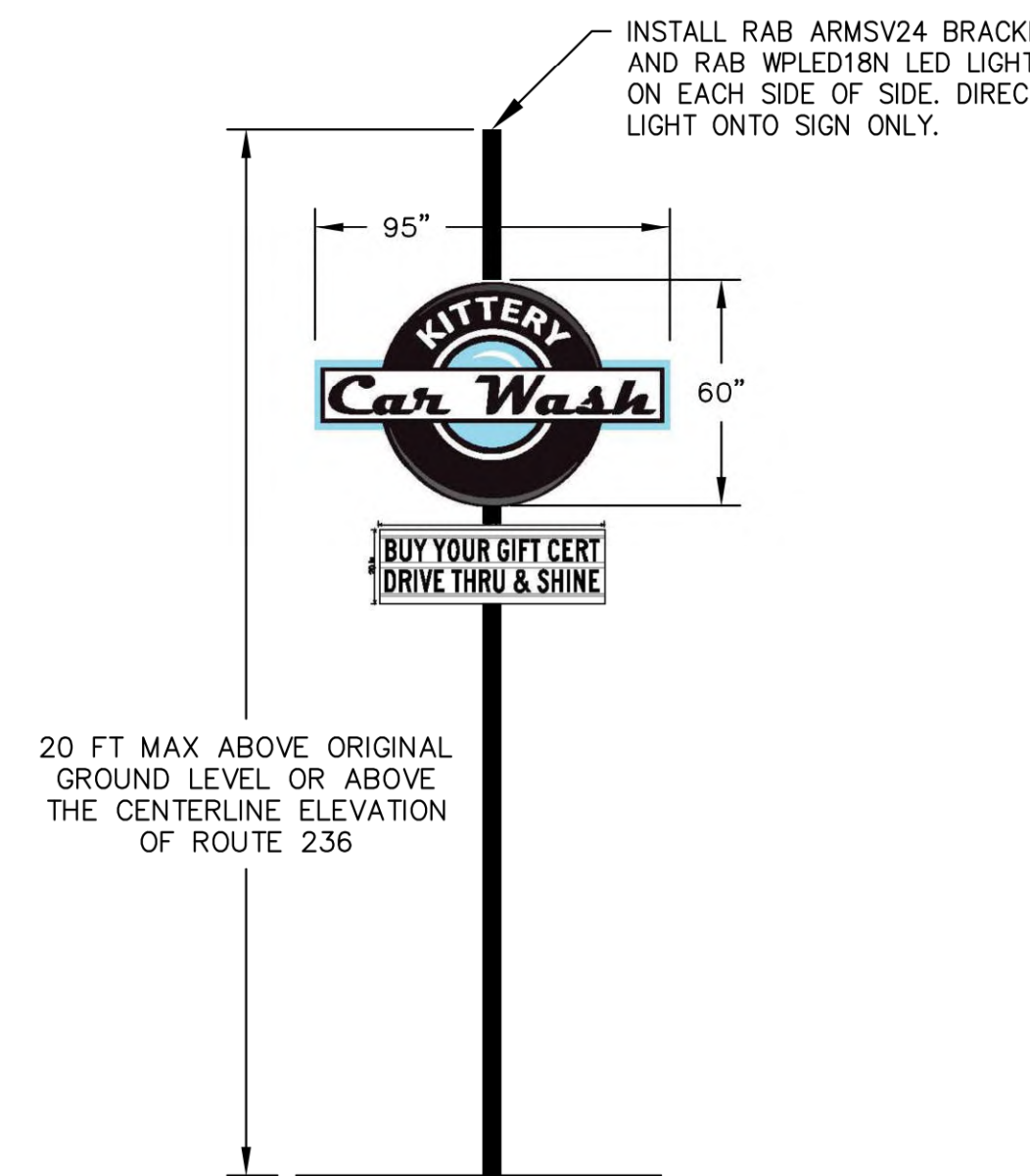


PIPE TRENCH DETAIL
NOT TO SCALE



UNDERGROUND UTILITY TRENCH
NOT TO SCALE

- INSTALL CONDUIT PER THE REQUIREMENTS AND SPECIFICATION OF RESPECTIVE UTILITY COMPANY.
- CONDUIT SHALL BE SCH. 80 PIPE UNLESS OTHERWISE SPECIFIED BY UTILITY COMPANY.
- ADDITIONAL SPARE CONDUITS MAY BE INSTALLED PROVIDED A MINIMUM OF 6" OF CLEARANCE IS PROVIDED BETWEEN CONDUIT.
- BACKFILL MATERIAL SHALL CONFORM TO TYPICAL PAVEMENT SECTION DETAIL IF LOCATED UNDER THE ROAD.
- ALL UTILITIES AND CONDUIT SHALL BE REVIEWED AND APPROVED PRIOR TO INSTALLATION AND INSPECTED PRIOR TO BACKFILLING.
- CONCRETE ENCASEMENT MAY BE REQUIRED IN REPLY OF THE SAND BEDDING PER THE UTILITY COMPANY.

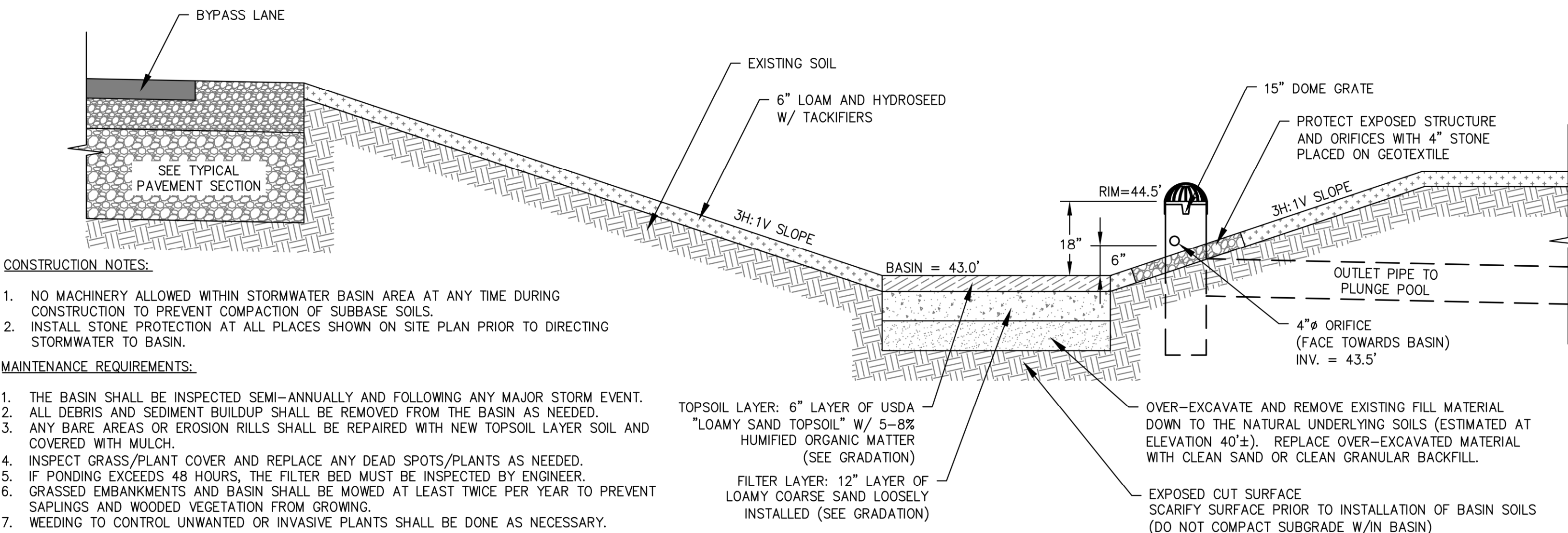


FREESTANDING SIGN DETAIL
NOT TO SCALE

PLUNGE POOL SIZING (MINIMUM)				
SIZE	RIPRAP SIZING D50	WIDTH OF PLUNGE POOL OR APRON	LENGTH FOR SLOW FLOWS (NO PRESSURE HEAD)	LENGTH FOR HIGH FLOWS (WITH PRESSURE HEAD)
12"	5"	3-4'	4-6'	8-10'
18"	8"	4-6'	6-8'	12-18'
24"	10"	6-8'	8-10'	18-22'
30"	12"	8-10'	12-14'	22-28'
36"	14"	10-12'	14-16'	28-32'

THE DIAMETER OF THE LARGEST STONE SIZE IN THE MIX SHOULD BE ABOUT 1.5 TIMES THE D50 AND THE SMALLEST ONE ABOUT ONE HALF THE SIZE. THE THICKNESS OF RIPRAP SHOULD NEVER BE LESS THAN 2 TIMES THE ROCK D50.

- CONSTRUCTION SPECIFICATIONS
- IF THE PIPE DISCHARGES ONTO A FLAT AREA THE APRON SHOULD HAVE A WIDTH THAT IS THREE TIMES THE OUTLET PIPE'S DIAMETER. IF THE PIPE FLOWS HAVE THE POTENTIAL OF CAUSING A GULLY, A LEVEL SPREADER SHOULD BE PROVIDED.
 - THE CHANNEL SIDE SLOPES SHOULD BE NO STEEPER THAN 2:1. RIPRAP ON THE SIDES OF THE PLUNGE POOL SHOULD EXTEND TO THE TOP OF THE CHANNEL.
 - THE PLUNGE POOL SIZING AND THE MEDIAN SIZED RIPRAP CAN BE DETERMINED FROM THE FOLLOWING TABLE. THE THICKNESS OF RIPRAP SHOULD NOT BE LESS THAN 2 TIMES THE ROCK D50
 - A GEOTEXTILE OR APPROPRIATE GRAVEL FILTER SHOULD BE USED TO PROTECT AGAINST PIPING OF SOIL FINES FROM BENEATH THE ROCK.
 - IN A CHANNEL THAT CAN BE REVEGETATED, SEED AND MULCH SHOULD BE APPLIED WITHIN 7 DAYS FROM FINAL CONSTRUCTION.

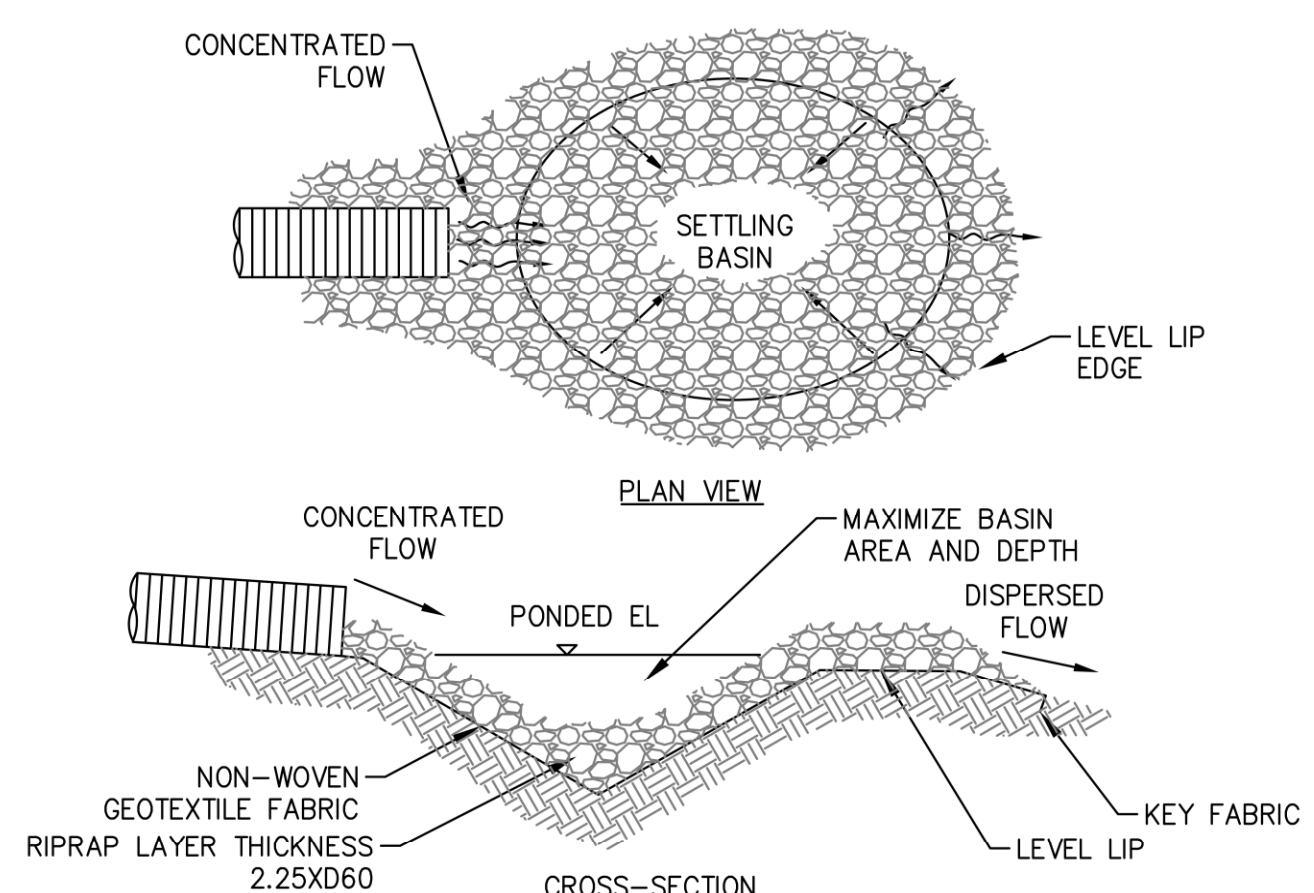


- CONSTRUCTION NOTES:
- NO MACHINERY ALLOWED WITHIN STORMWATER BASIN AREA AT ANY TIME DURING CONSTRUCTION TO PREVENT COMPACTION OF SUBBASE SOILS.
 - INSTALL STONE PROTECTION AT ALL PLACES SHOWN ON SITE PLAN PRIOR TO DIRECTING STORMWATER TO BASIN.
- MAINTENANCE REQUIREMENTS:
- THE BASIN SHALL BE INSPECTED SEMI-ANNUALLY AND FOLLOWING ANY MAJOR STORM EVENT.
 - ALL DEBRIS AND SEDIMENT BUILDUP SHALL BE REMOVED FROM THE BASIN AS NEEDED.
 - ANY BARE AREAS OR EROSION RILLS SHALL BE REPAIRED WITH NEW TOPSOIL LAYER SOIL AND COVERED WITH MULCH.
 - INSPECT GRASS/PLANT COVER AND REPLACE ANY DEAD SPOTS/PLANTS AS NEEDED.
 - IF PONDING EXCEEDS 48 HOURS, THE FILTER BED MUST BE INSPECTED BY ENGINEER.
 - GRASSSED EMBANKMENTS AND BASIN SHALL BE MOWED AT LEAST TWICE PER YEAR TO PREVENT SAPLINGS AND WOODED VEGETATION FROM GROWING.
 - WEEDING TO CONTROL UNWANTED OR INVASIVE PLANTS SHALL BE DONE AS NECESSARY.

STORMWATER BASIN CROSS SECTION
NOT TO SCALE

TOPSOIL LAYER GRADATION	
SIEVE #	% PASSING BY WEIGHT
4	75-95
10	60-90
40	35-85
200 (CLAY)	25-70
200 (CLAY)	< 5.0

FILTER LAYER GRADATION	
SIEVE #	% PASSING BY WEIGHT
10	85-100
20	70-100
60	15-40
200	8-15
200 (CLAY)	< 5.0



PLUNGE POOL DETAIL
NOT TO SCALE

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NO.	DATE:	SUBMISSION/REVISION DESCRIPTION
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3	9/3/20	MODIFIED PER TOWN REVIEW COMMENTS
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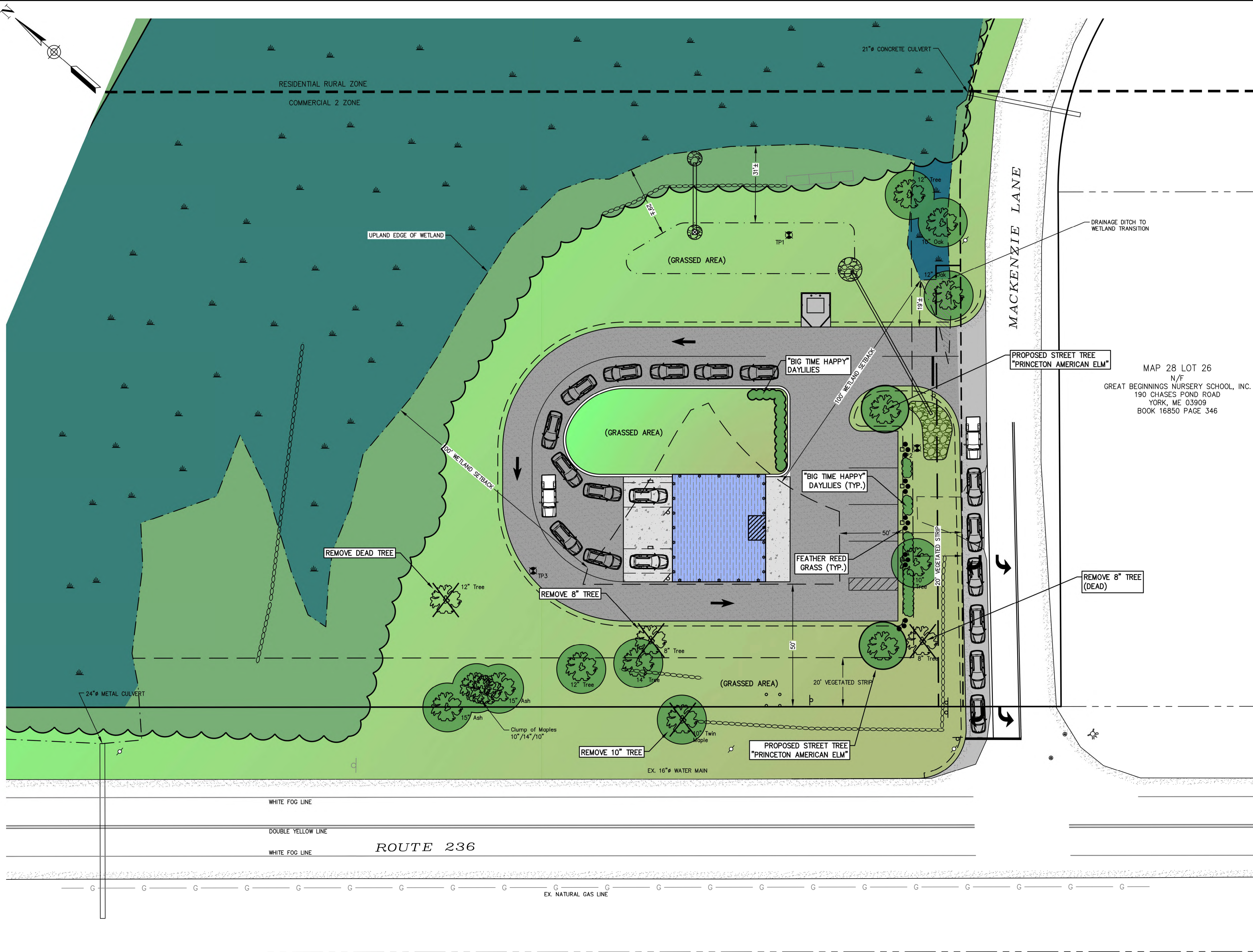
CLIENT: ROBERT T. BRENNAN, JR.
1911 SE 20TH STREET
CAPE CORAL, FL 33990

PROJECT: KITTERY CAR WASH
ROUTE 236, KITTERY, MAINE 03904

SHEET: CONSTRUCTION DETAILS

JOB #:	19-134
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SCALE:	1" = 20'

TAX MAP 28 LOT 25D



MAP 28 LOT 26
 N/F
 GREAT BEGINNINGS NURSERY SCHOOL, INC.
 190 CHASES POND ROAD
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 BOOK 16850 PAGE 346

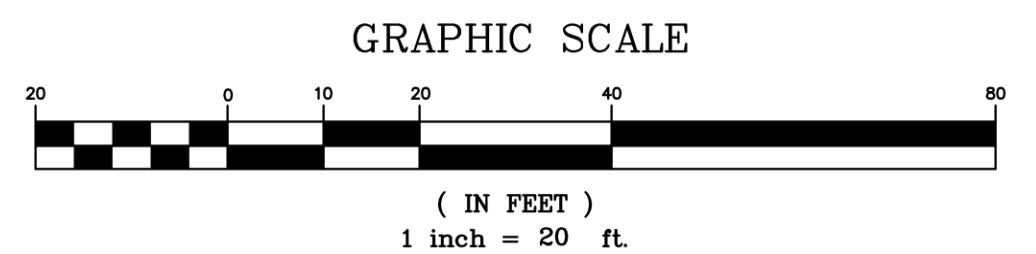
- LANDSCAPING NOTES:
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING WOODED AREAS, EXISTING TREES AND PROPOSED ADDITIONAL LANDSCAPING ASSOCIATED WITH THE PROPOSED KITTERY CAR WASH DEVELOPMENT.
 2. ALL EXISTING TREES WITHIN THE CONSTRUCTION AREA SHALL BE PROTECTED FROM DAMAGE BY INSTALLING SNOW FENCE OR SIMILAR MATERIAL AROUND EACH TREE. SAID SNOW FENCE SHALL BE LOCATED ALONG THE DRIP EDGE OF THE TREE'S CANOPY. CONTRACTOR TO AVOID SOIL COMPACTION OVER THE TREE'S ROOT SYSTEM.
 3. THE STUMPS OF ALL TREES SHOWN ON THIS PLAN TO BE REMOVED SHALL BE GROUND TO AT LEAST 6 INCHES BELOW GRADE OR REMOVED BY EXCAVATION.
 4. ALL PROPOSED TREES AND PLANTS MUST BE MAINTAINED FOR THE LIFETIME OF THE PROPOSED CAR WASH DEVELOPMENT. ANY PROPOSED TREE OR PLANTING THAT DOES NOT SURVIVE SHALL BE REPLACED BY THE OWNER AT THE EARLIEST SUITABLE PLANTING SEASON. THIS NOTE IS NOT INTENDED TO RELIEVE THE OWNER'S CONTRACTOR FROM ANY WARRANTY PERIOD PROVIDED AS PART OF THE INITIAL INSTALLATION.
 5. ALL AREAS TO BE MAINTAINED AS GRASS SHALL BE COVERED WITH SIX INCHES OF LOAM AND HYDROSEEDDED. HYDROSEED SHALL INCLUDE TACKIFIERS. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING HYDROSEEDDED AREAS ON A DAILY BASIS OR AS RECOMMENDED BY INSTALLER.
 6. REFERENCE IS MADE TO SHEET C5 FOR EROSION AND SEDIMENT CONTROL REQUIREMENTS.
 7. PROPOSED PLANTS SELECTED FROM THE APPROVED PLANT MATERIALS LIST FOUND WITHIN SECTION III OF THE KITTERY DESIGN HANDBOOK.
 8. LANDSCAPE REQUIREMENTS PER §16.3.2.11.D(4) C-2 ZONE STANDARDS:
 - (a) PARKING: THE PROPOSED VACUUM BAY PARKING STALLS TO BE SCREENED AS SHOWN ON THE PLAN.
 - (c) LANDSCAPING SITE IMPROVEMENTS:
 - [1] LANDSCAPE PLANTER STRIP: A 20 FOOT DEEP VEGETATED LANDSCAPE PLANTER STRIP IS PROVIDED ALONG BOTH ROUTE 236 AND MACKENZIE LANE. THIS LANDSCAPE STRIP INCLUDES A COMBINATION OF MOWED GRASS SURFACES, TREES AND PLANTS. ALL VEGETATION SHALL BE MAINTAINED IN GOOD CONDITION.
 - [1]b STREET-SIDE TREES: A MINIMUM OF ONE STREET TREE PER 50 FEET OF STREET FRONTAGE REQUIRED.

ROUTE 236:
 240 LF OF OPEN FRONTAGE / 50 = 5 TREES REQUIRED
 NUMBER OF EXISTING TREES = 11 TREES
 NUMBER OF TREES TO BE REMOVED = 4 TREES
 NUMBER OF TREES TO BE PLANTED = 1 TREE
 TOTAL NUMBER OF TREES PROVIDED = 8 TREES

MACKENZIE LANE:
 220 LF OF OPEN FRONTAGE / 50 = 5 TREES REQUIRED
 NUMBER OF EXISTING TREES = 6 TREES
 NUMBER OF TREES TO BE REMOVED = 1 TREES
 NUMBER OF TREES TO BE PLANTED = 1 TREE
 TOTAL NUMBER OF TREES PROVIDED = 6 TREES

TREE AND PLANT SCHEDULE:

BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
ULMUS AMERICANA	PRINCETON AMERICAN ELM	2	2-2 1/2" CALIPER
CALAMOGROSTIS ACUTIFLORA	REED GRASS	15	1 GALLON
HEMEROCALLIS	BIG TIME HAPPY DAYLILY	50	1 GALLON



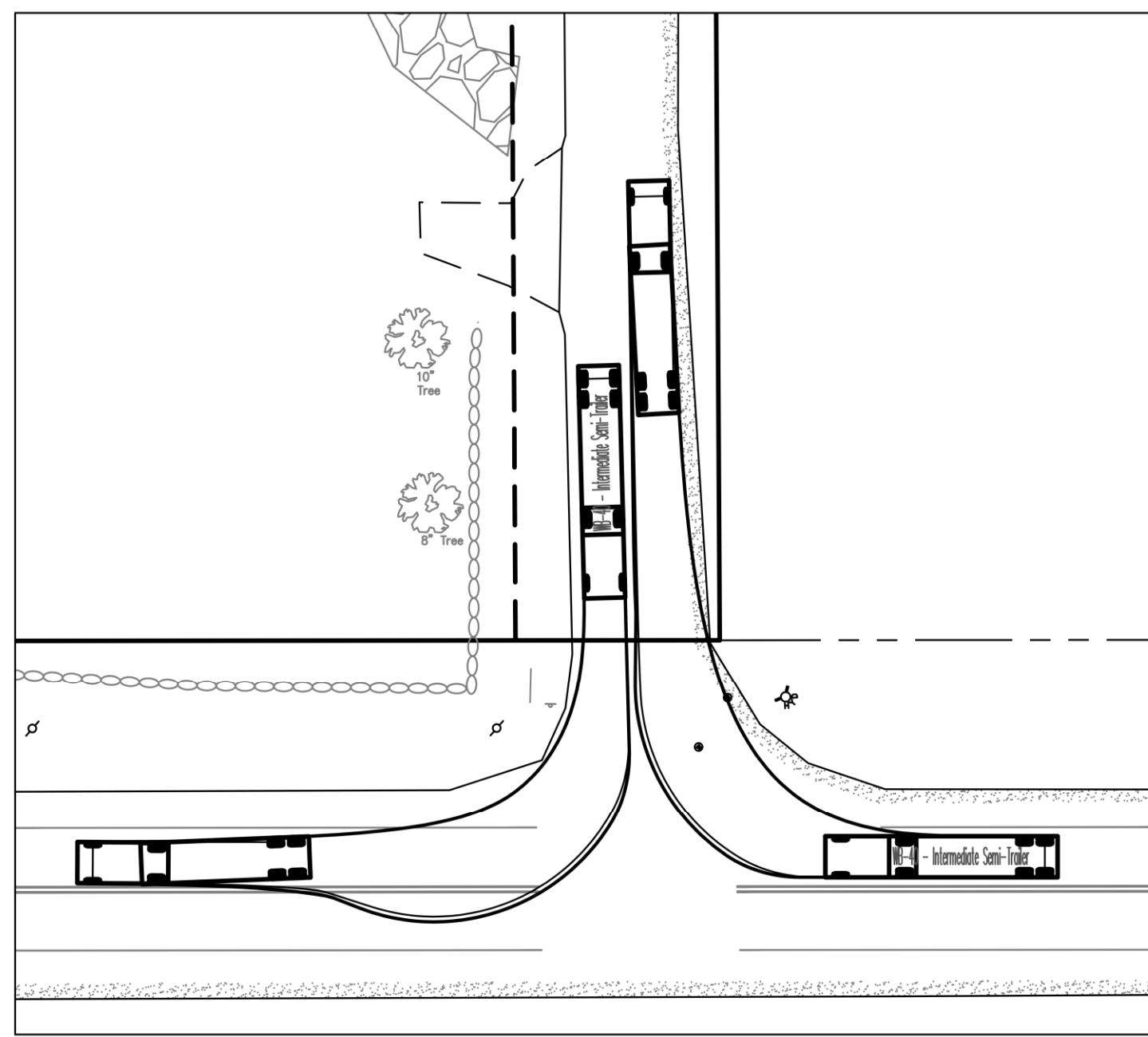
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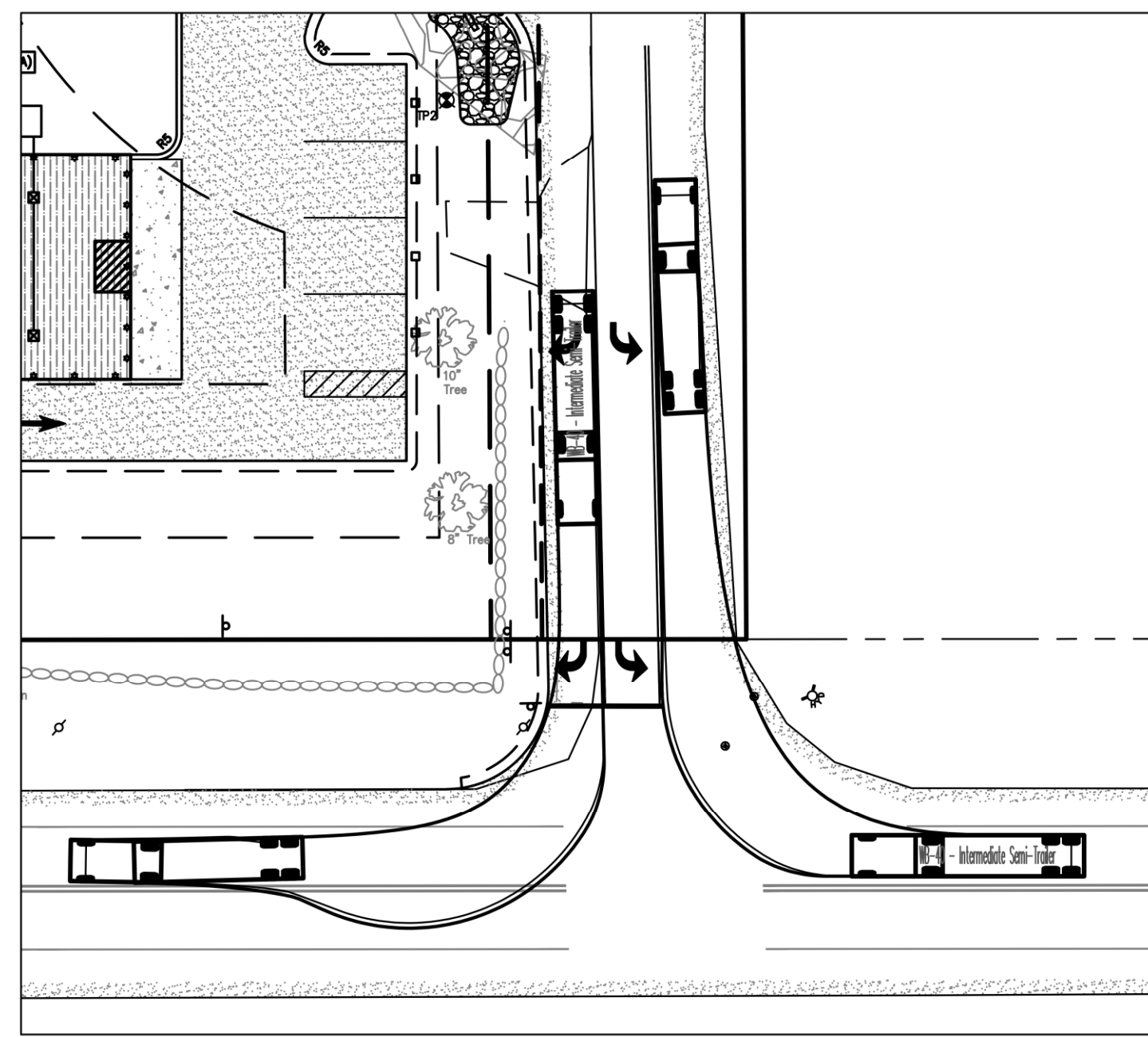
SHEET: PROPOSED LANDSCAPING PLAN

JOB #: 19-134
 DATE: MARCH 2020
 SCALE: 1" = 20'
 DRAWING

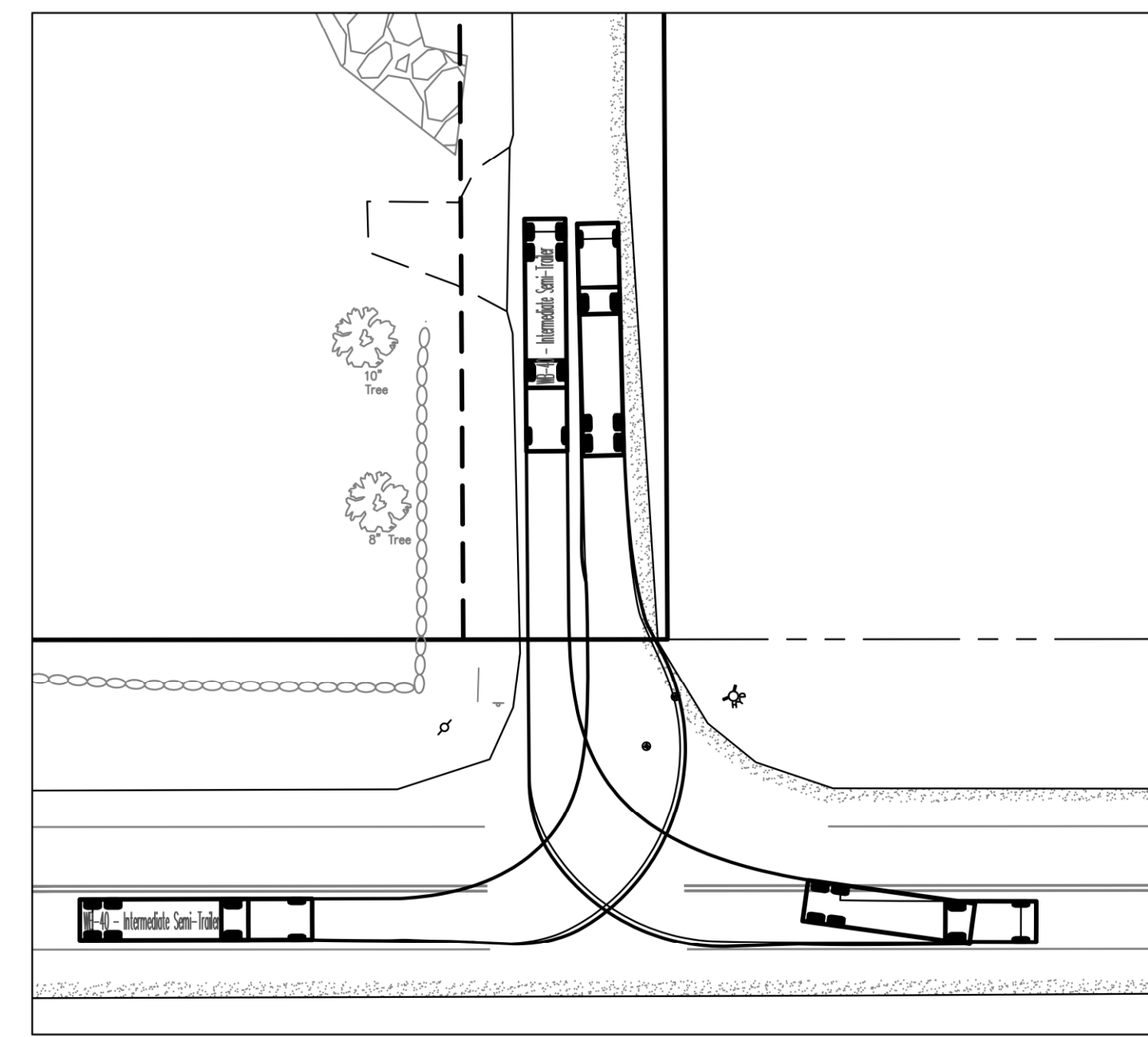




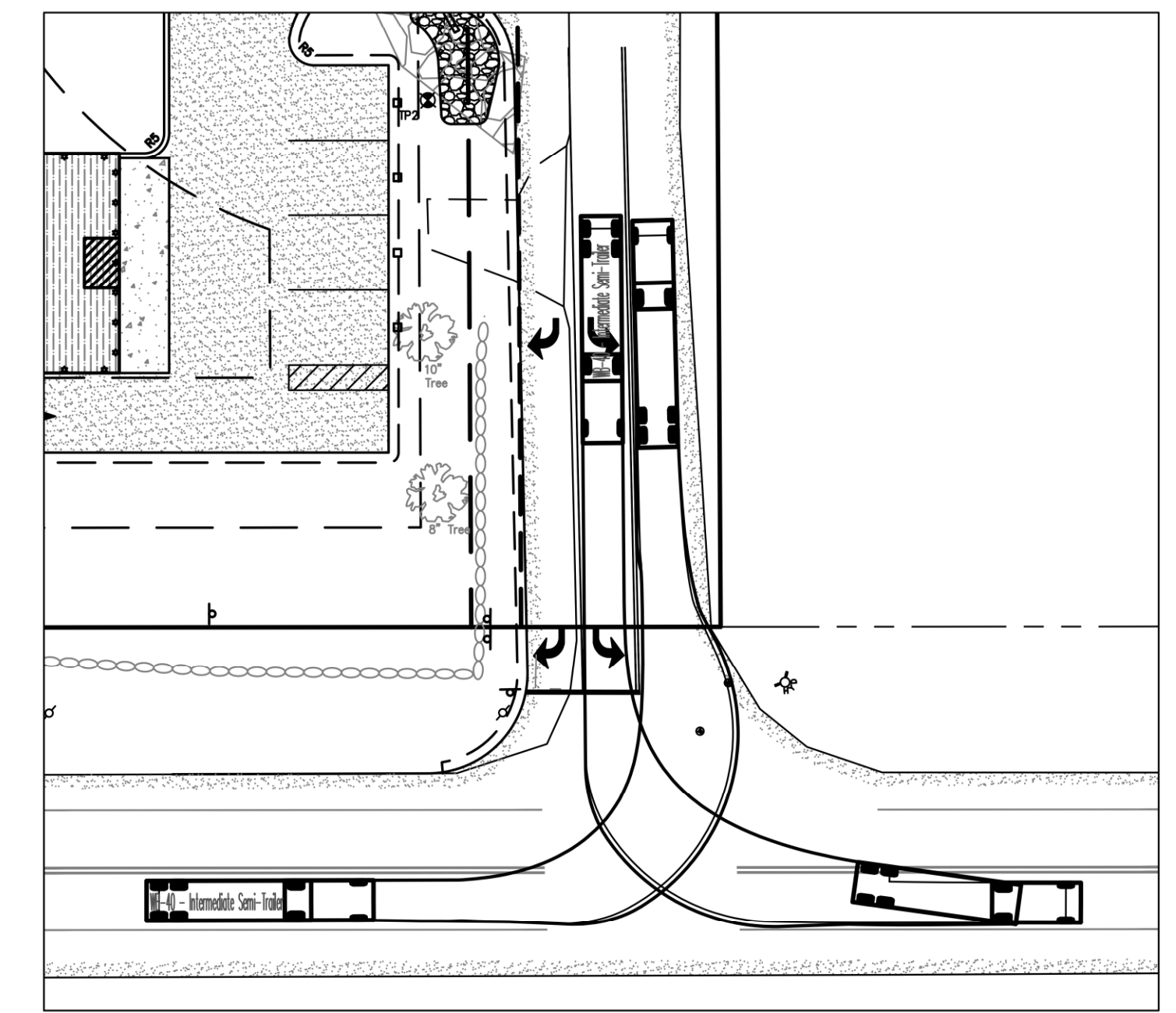
WB-40: RIGHT TURN MOVEMENTS (EXISTING CONDITIONS)



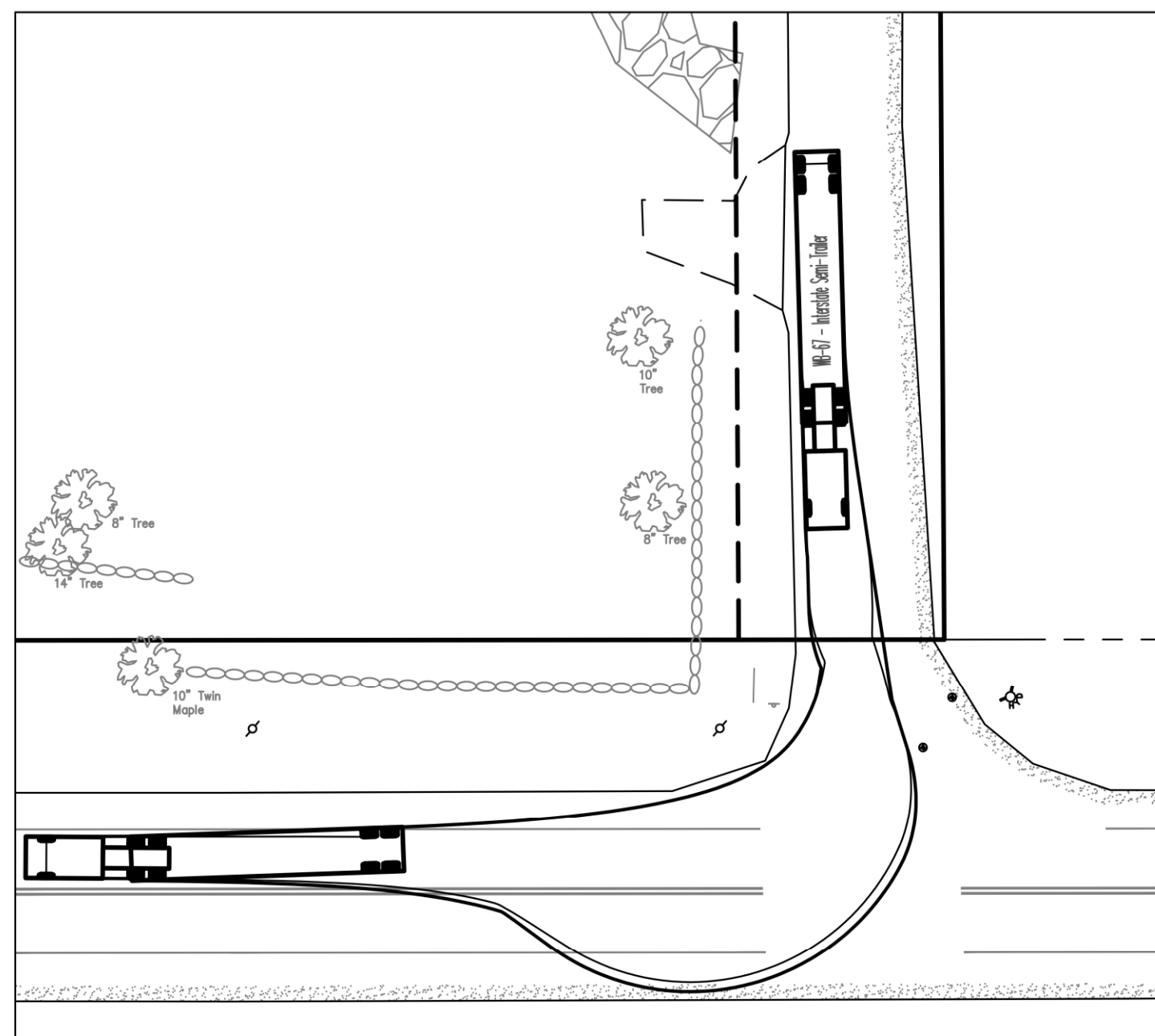
WB-40: RIGHT TURN MOVEMENTS (PROPOSED CONDITIONS)



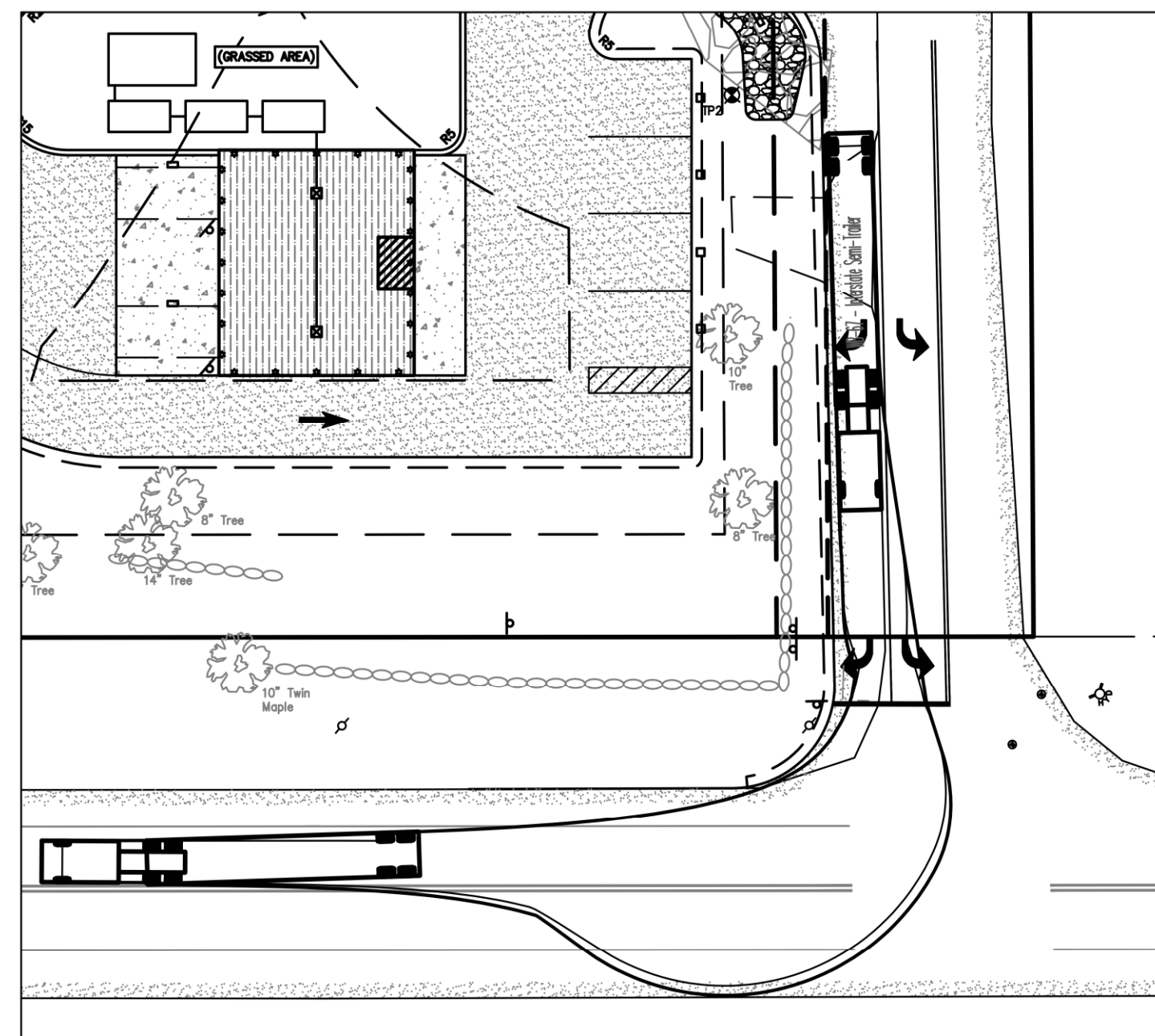
WB-40: LEFT TURN MOVEMENTS (EXISTING CONDITIONS)



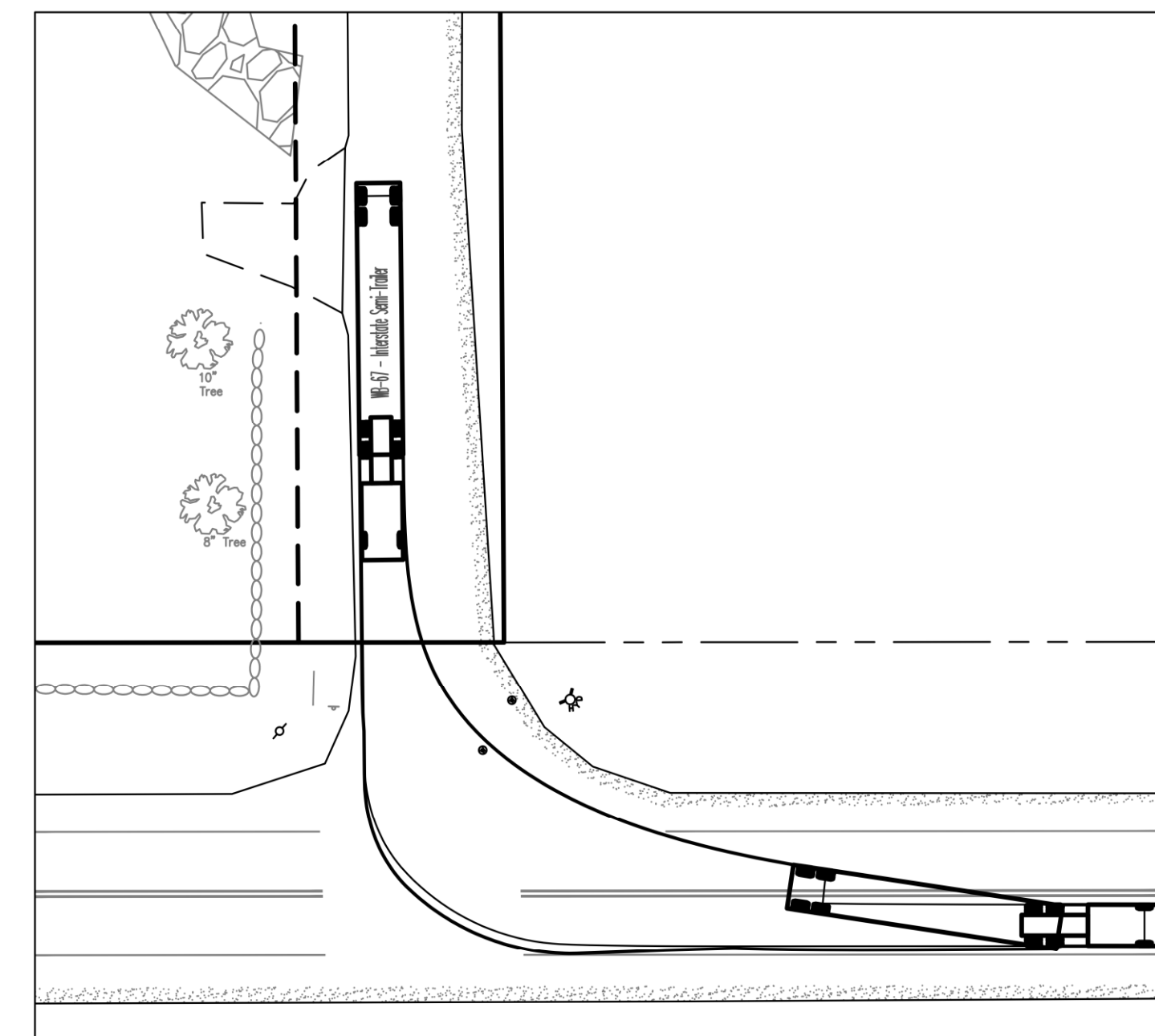
WB-40: LEFT TURN MOVEMENTS (PROPOSED CONDITIONS)



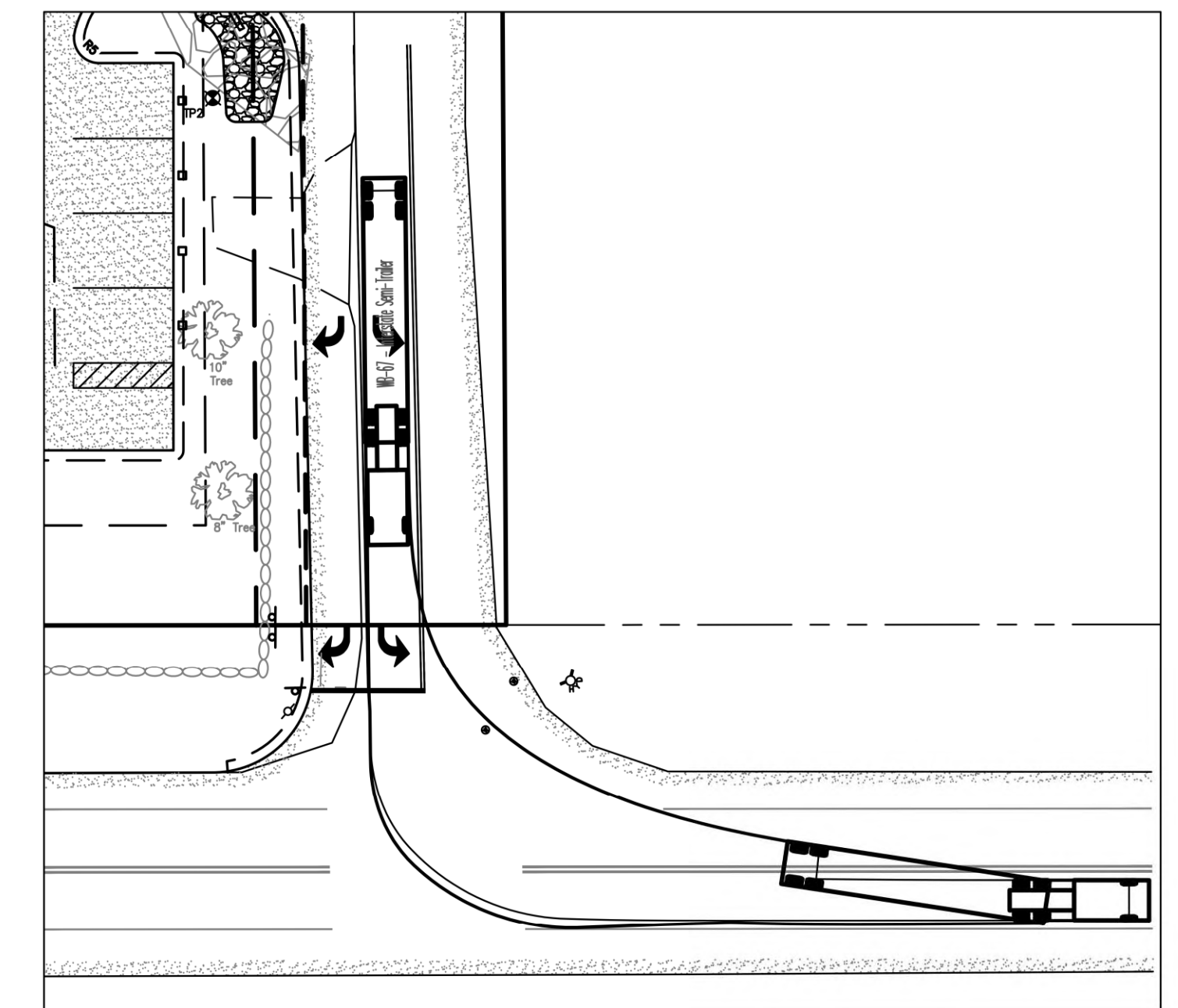
WB-67: RIGHT TURN MOVEMENT (EXISTING CONDITIONS)



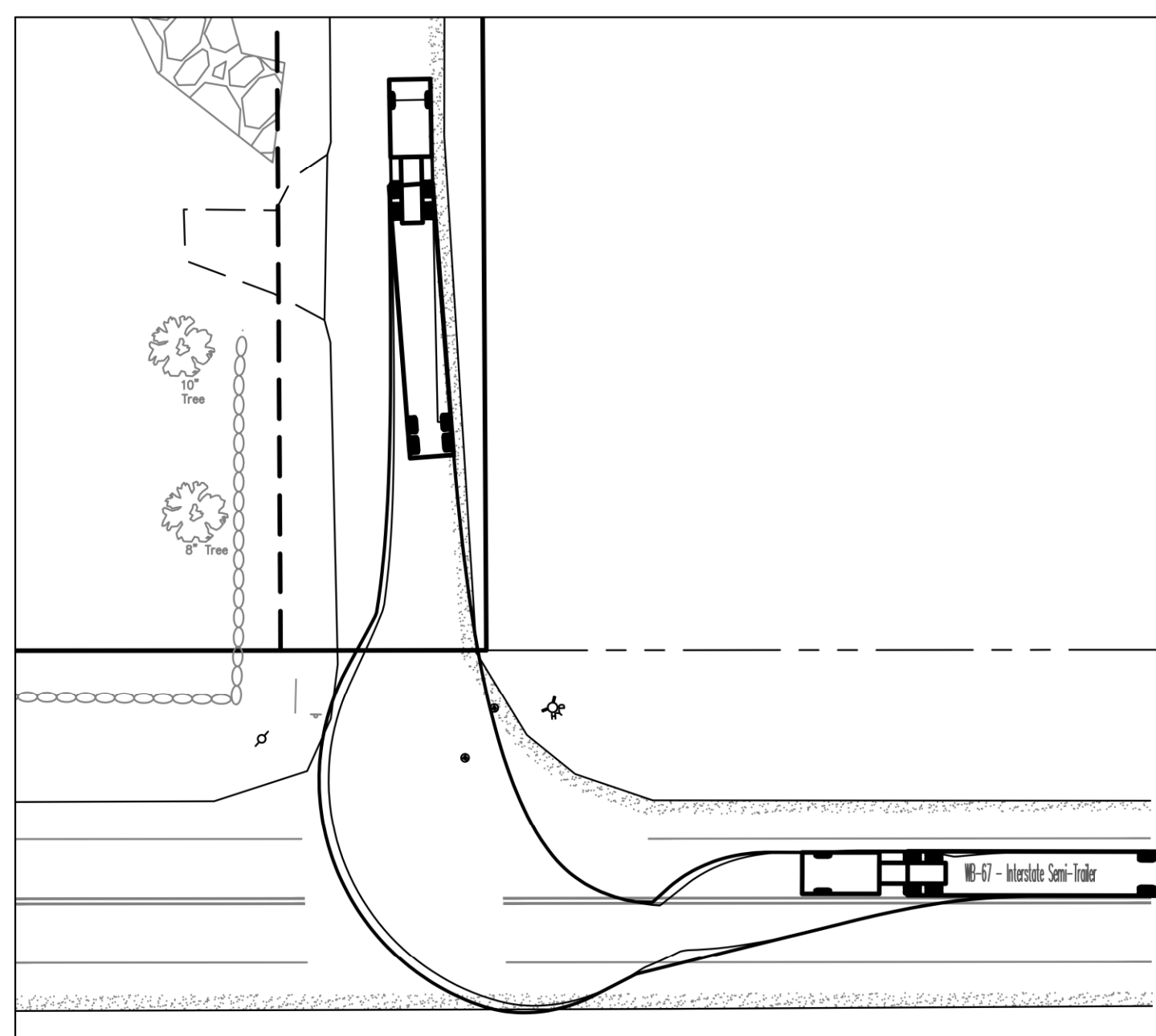
WB-67: RIGHT TURN MOVEMENT (PROPOSED CONDITIONS)



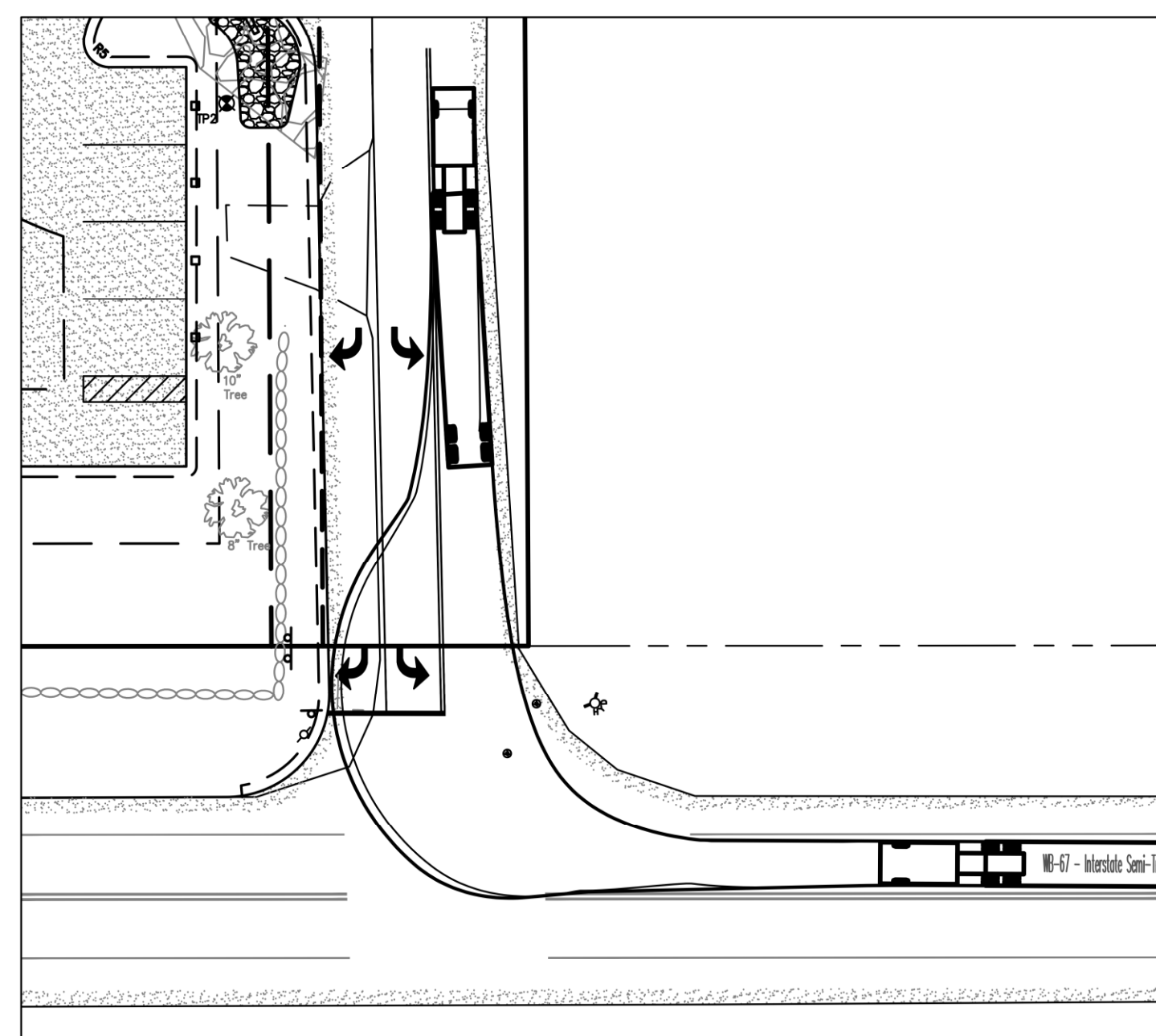
WB-67: LEFT TURN MOVEMENT (EXISTING CONDITIONS)



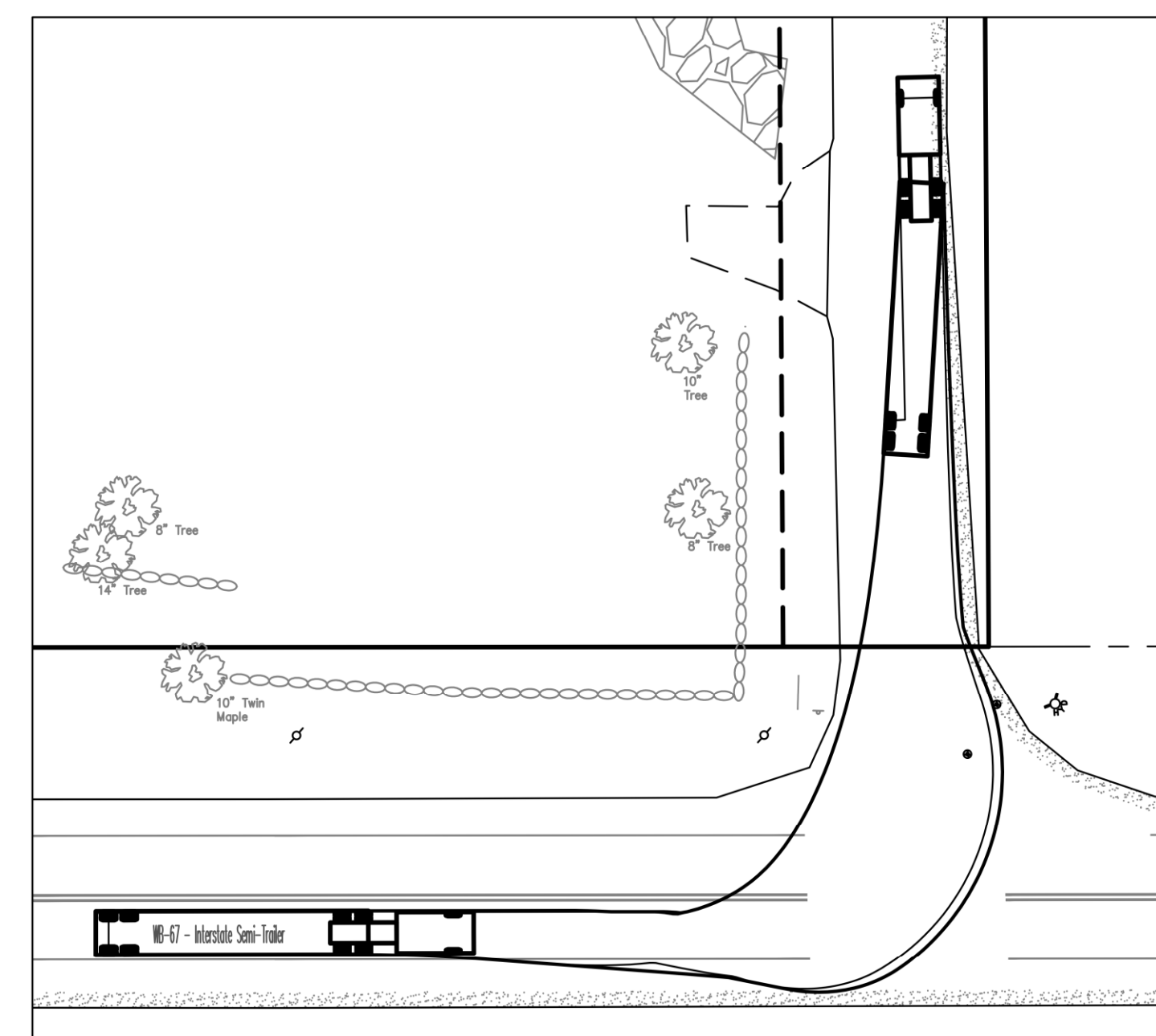
WB-67: LEFT TURN MOVEMENT (PROPOSED CONDITIONS)



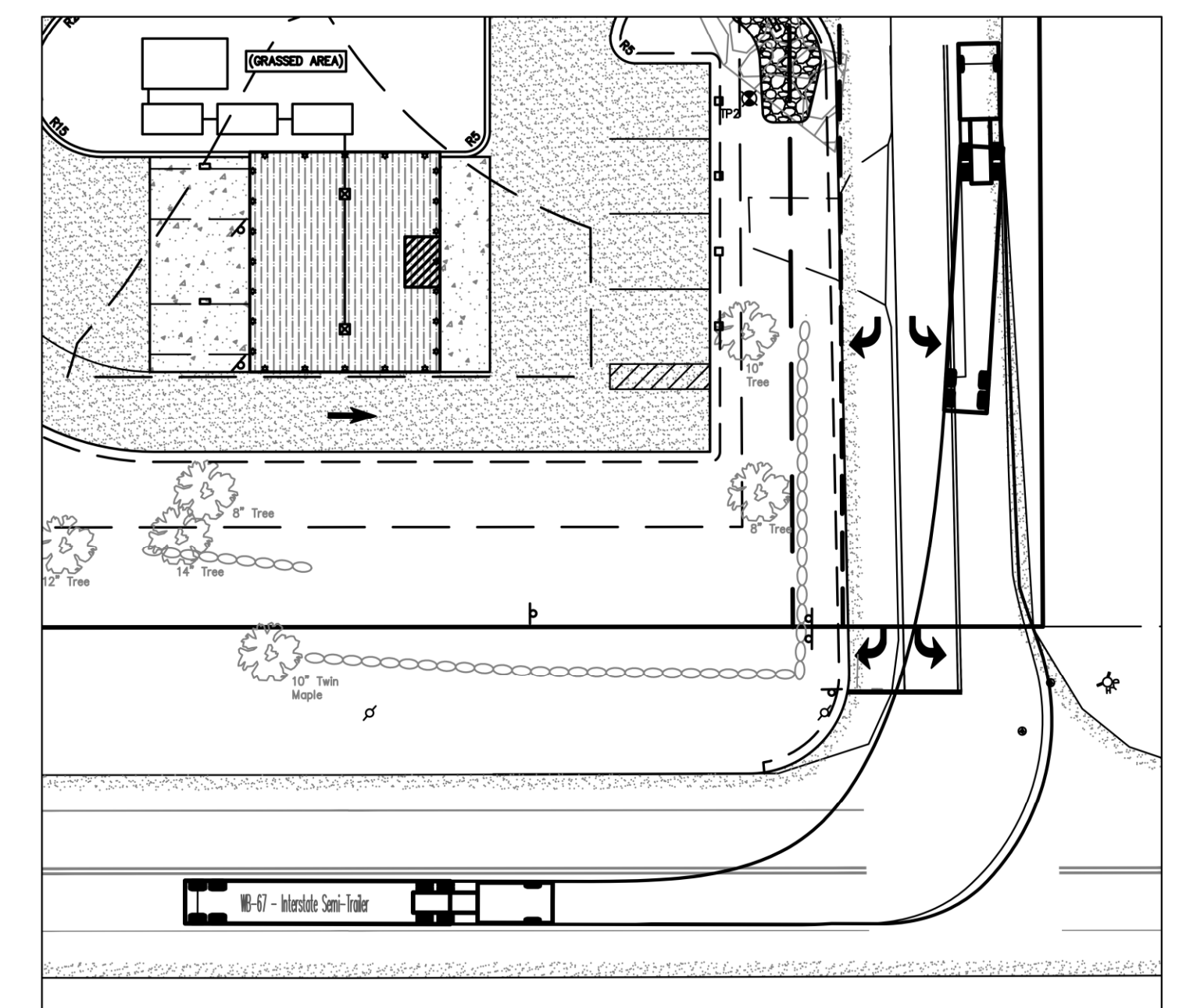
WB-67: RIGHT TURN MOVEMENT (EXISTING CONDITIONS)



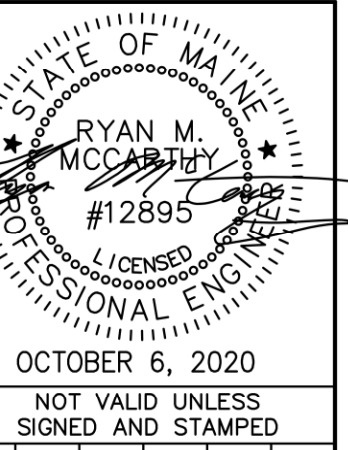
WB-67: RIGHT TURN MOVEMENT (PROPOSED CONDITIONS)



WB-67: LEFT TURN MOVEMENT (EXISTING CONDITIONS)



WB-67: LEFT TURN MOVEMENT (PROPOSED CONDITIONS)



ISSUED FOR FINAL APPROVAL	10/6/20	4
MODIFIED PER TOWN REVIEW COMMENTS	9/3/20	3
ADDED RIGHT TURN LANE TO MACKENZIE LANE	7/31/20	2
ISSUED FOR REVIEW BY TOWN OF KITTEERY	5/6/20	1
SUBMISSION/REVISION DESCRIPTION	NO.	NO.

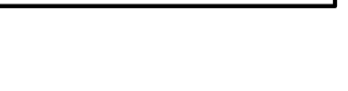


CLIENT: ROBERT T. BRENNAN, JR.
 1911 SE 20TH STREET
 CAPE CORAL, FL 33990

PROJECT: KITTEERY CAR WASH
 ROUTE 236, KITTEERY, MAINE 03904

SHEET: WB-40 & WB-67 TURNING MANEUVERS

JOB #: 19-134
 DATE: MARCH 2020
 SCALE: 1" = 20'
 DRAWING



John W. Hutchins
P: 207-608-2171
E: jwhutchins@yahoo.com
A: 455 Main Street
Springvale, ME 04083

PROJECT LOCATION:
McKenzie Lane
Kittery, Maine

CLIENT:
Aaron Wiswell
P.O. Box 623
North Berwick 03906

PROJECT NAME
Two Bay Carwash

DISCLAIMER:
All plans provided are based on information given by the client. Dimensions and specifications shown hereon should be verified by a contractor before construction begins. Client and contractor are responsible for errors or omissions. Contractor assumes all liability for building construction. Plans and specifications have not been prepared by a registered architect or engineer of their choice if stamp is required.

ISSUED: 03/04/2020
RE: 07/29/2020

SHEET:
A1

SCALE:
1/4" = 1'

