



April 19, 2022

Adam Causey, AICP, Director of Planning and Development
Town of Kittery
200 Rogers Road
Kittery, Maine 03904

**RE: Town of Kittery, Planning Board Services
523 US Route 1, Aroma Joe's Site Plan Review Application
Tax Map 66, Lot 26; Mixed Use (MU) Zone
CMA #591.139**

Dear Adam:

CMA Engineers has received the following information for Assignment #139, review #3 of the Aroma Joe's Site Plan review comment responses, located at 523 US Route 1, Map 66 Lot 26 in the Mixed-Use Zone. Our previous comment letters were dated October 29, 2021, and April 5, 2022. Our April 5th letter was prepared in response to the applicant's March 9th letter. On April 15, 2022, we were forwarded the response letter below dated December 1, 2021, in apparent response to our previous two letters. (*We note that we had not previously received this information.*)

- 1) Site Plan Peer Review Comments response letter and associated documentation, prepared by Haley Ward, Inc. of Bangor, ME, dated December 1, 2021.

We have reviewed all response letters and supporting information submitted thus far for conformance with the Kittery Land Use and Development Code (LUDC) and general engineering practices and offer the comments below that correspond directly to the Town's Ordinances. It is hoped that all remaining issues are summarized in this correspondence.

The proposed development includes a drive thru coffee shop, associated infrastructure including drainage, and associated driveway and parking. The facility would be served by the Kittery Sewer Department and the Kittery Water District. The most recent information submitted includes responses to CMA Engineers' comments from November 8, 2021, Kittery TRC comments, Maine Historic Preservation Commission comments, State of Maine Department of Inland Fisheries & Wildlife comments, State of Maine Department of Agriculture, Conservation and Forestry comments, site renderings, Town of Kittery Waiver Request and Proposed Site Plan revised 2021/12/01.

We have the following remaining comments:

Full plan set: The applicant has stated that several plan sheets (cover sheet, existing conditions) are not required for submission. Further, the applicant references a detail sheet that we have not received. We reiterate that a complete plan set should be submitted in accordance with 16.10.7.2. Separate existing conditions, utilities, and landscaping plans are generally provided for clarity in discerning necessary details. Several of our comments below relate to missing plan sheets.

16.8 Design and Performance Standards-Built Environment

Article IV Streets and Pedestrian ways/Sidewalks Site Design

16.8.4.13 Sidewalks

Discussion of sidewalk installation was part of the MDOT scoping meeting and consequently, the applicant has added a proposed sidewalk on site. Details of the sidewalk should be provided.

Article VI Water Supply

The plans should provide details for the water service (size, material, bedding, curb stop, etc.)

Article VII Sewage Disposal

We note that some of our previous comments may have been addressed, but the text is located under some landscaping features and cannot be read.

The applicant should indicate the size and material of the service.

The plans should provide details for the sewer service (size, material, bedding, etc.)

Article VIII. Surface Drainage

16.8.8.2 Post-Construction Stormwater Management

The O&M plan should be reviewed and clarified specifically meet address the compliance requirements of the Post-Construction Stormwater Management section, including submitting a certification of inspection to the Town Code Enforcement Officer by July 31st. Please clarify.

The applicant states that a post-construction stormwater management plan is not required. If the applicant wishes to not provide an O&M plan, a waiver request would be necessary. We would likely not support the waiver request. There are stormwater management features on site, including a catch basin, piping and rip rap swale. The applicant should provide maintenance activities and a maintenance schedule for these features in accordance with the Ordinances.

Article XXIV. Exterior Lighting

An exterior lighting plan has been prepared for the proposed site plan and building. It appears that the maximum footcandles standard of 8 is exceeded in the drive thru (however the applicant lists the maximum footcandles as 2.9).

The applicant has stated that the drive-thru window needs additional illumination. This is a valid explanation, and the applicant should apply for a waiver.

Article III. Conservation of Wetlands Including Vernal Pools

16.9.3.1. The plan identifies wetlands. Site development and disturbance appears to avoid the setbacks associated with the wetlands however, the proper setbacks should be indicated on the plan.

The size of the wetland is not indicated but based on the setbacks shown it is assumed that it is larger than 1 acre in size. The applicant has shown the provided setbacks for the building (100' from a wetland > 1 acre) and the driveway (30' from a wetland > 1 acre) however, there are no parking area setbacks shown on the plans. The setback from a wetland greater than 1 acre for a 6-10 stall parking area without BMPs is 100', it appears that the southern-most parking area may be within the 100' setback. Please clarify.

Geotechnical Report Comments

The applicant engaged S.W. Cole to complete a geotechnical site assessment per comments from the Planning Board at the December 9th meeting. S.W. Cole completed seven borings on site. Two borings are representative of the building area while five borings are representative of the pavement/parking areas. The borings indicate areas of extensive unconsolidated fill materials of unknown origin, increasing in thickness from U.S. Route 1 towards the back of the site.

S.W. Cole has the following recommendations:


- Removing all fill from the area of the building so that foundations are placed on structural material.
- Fill beneath the pavement/parking areas could be removed to provide a stable base, or the owner would need to acknowledge and plan on the likely probability of periodic maintenance of pavement/parking areas.
- The existing steep slope on the southwest corner of the site be flattened to a maximum of 2:1.
- Utility trenches in fills should be constructed with mitigation of the fill materials.
- Pavement specifications are recommended in part to reflect fill materials.

The applicant should indicate how the project is proposed to be constructed in accordance with these recommendations. If the possibility of increased pavement maintenance remains, that should be noted on the plan and may be a condition of approval. If the existing steep slope is not flattened, the applicant should describe how it will be maintained.

Should you have any questions, please do not hesitate to call.

Very truly yours,

CMA ENGINEERS, INC.



Jodie Bray Strickland, P.E.
Senior Project Engineer

cc: Sean Thies, P.E., Haley Ward, Inc.



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ENGINEERING | ENVIRONMENTAL | SURVEYING

April 27, 2022

Town of Kittery
Attn: Adam Causey, Director of Planning and Development
200 Rogers Road
Kittery, Maine 03904
accusey@kitteryme.org

Re: Kittery Aroma Joes | Site Plan Peer Review Comments

Dear Mr. Causey:

Haley Ward, Inc. (Haley Ward) has prepared the following response to the review comments on the 523 US Route 1 Aroma Joes development, provided by Jodie Strickland (CMA Engineers) on April 19, 2022. The comments have been provided in bold italics, followed by our response.

- 1. Full plan set: The applicant has stated that several plan sheets (cover sheet, existing conditions) are not required for submission. Further, the applicant references a detail sheet that we have not received. We reiterate that a complete plan set should be submitted in accordance with 16.10.7.2. Separate existing conditions, utilities, and landscaping plans are generally provided for clarity in discerning necessary details. Several of our comments below relate to missing plan sheets.***

The plan set has been updated per this request.

- 2. Discussion of sidewalk installation was part of the MDOT scoping meeting and consequently, the applicant has added a proposed sidewalk on site. Details of the sidewalk should be provided.***

A detail of the proposed sidewalk has been provided on the Detail Sheet.

- 3. The plans should provide details for the water service (size, material, bedding, curb stop, etc.)***

A detail of the proposed service has been provided on the Detail Sheet.

Town of Kittery | 04.27.2022 | 13522.001 | Page 1



One Merchants Plaza, Suite 701, Bangor, ME 04401
T: 207.989.4824 | HALEYWARD.COM



- 4. We note that some of our previous comments on wastewater disposal may have been addressed, but the text is located under some landscaping features and cannot be read.**

The labels have been adjusted for clarity.

- 5. The applicant should indicate the size and material of the sewer service.**

A detail of the proposed service has been provided on the Detail Sheet.

- 6. The plans should provide details for the sewer service (size, material, bedding, etc.)**

A detail of the proposed service has been provided on the Detail Sheet.

- 7. The O&M plan should be reviewed and clarified specifically meet address the compliance requirements of the Post-Construction Stormwater Management section, including submitting a certification of inspection to the Town Code Enforcement Officer by July 31st. Please clarify.**

This project does not propose to disturb 1 acre or greater, therefore, it is not required to have a Post Construction Stormwater Plan. Notes have been added to the site plan indicating what inspection and maintenance measures the owner will need to do following construction, but formal reporting is not required for a project of this size by the Ordinance.

- 8. The applicant states that a post-construction stormwater management plan is not required. If the applicant wishes to not provide an O&M plan, a waiver request would be necessary. We would likely not support the waiver request. There are stormwater management features on site, including a catch basin, piping, and rip rap swale. The applicant should provide maintenance activities and a maintenance schedule for these features in accordance with the Ordinances.**

This project does not propose to disturb 1 acre or greater, therefore, it is not required to have a Post Construction Stormwater Plan. Since this is not required by the Ordinance, a waiver would not be required. We understand that this is a recommendation by the Peer Reviewer and as such, general maintenance activities to be performed after construction by the Contractor and on a regular basis by the Owner have been added as notes on the drawings. These maintenance activities are what would typically be included in an O&M plan.



9. **An exterior lighting plan has been prepared for the proposed site plan and building. It appears that the maximum footcandles standard of 8 is exceeded in the drive thru (however the applicant lists the maximum footcandles as 2.9). The applicant has stated that the drive-thru window needs additional illumination. This is a valid explanation, and the applicant should apply for a waiver.**

A waiver request form has been provided that includes this item.

10. **The plan identifies wetlands. Site development and disturbance appears to avoid the setbacks associated with the wetlands however, the proper setbacks should be indicated on the plan.**

These setbacks have been added to the plans.

11. **The size of the wetland is not indicated but based on the setbacks shown it is assumed that it is larger than 1 acre in size. The applicant has shown the provided setbacks for the building (100' from a wetland > 1 acre) and the driveway (30' from a wetland > 1 acre) however, there are no parking area setbacks shown on the plans. The setback from a wetland greater than 1 acre for a 6-10 stall parking area without BMPs is 100', it appears that the southern-most parking area may be within the 100' setback. Please clarify.**

The parking area on the south side of the building is approximately 120' away from the wetland; this setback has been added to the plan.

12. **The applicant engaged S.W. Cole to complete a geotechnical site assessment per comments from the Planning Board at the December 9th meeting. S.W. Cole completed seven borings on site. Two borings are representative of the building area while five borings are representative of the pavement/parking areas. The borings indicate areas of extensive unconsolidated fill materials of unknown origin, increasing in thickness from U.S. Route 1 towards the back of the site. Cole has the following recommendations:**

- a. **Removing all fill from the area of the building so that foundations are placed on structural material;**
- b. **Fill beneath the pavement/parking areas could be removed to provide a stable base, or the owner would need to acknowledge and plan on the likely probability of periodic maintenance of pavement/parking areas;**
- c. **The existing steep slope on the southwest corner of the site be flattened to a maximum of 2:1;**
- d. **Utility trenches in fills should be constructed with mitigation of the fill materials; Pavement specifications are recommended in part to reflect fill materials.**

The applicant should indicate how the project is proposed to be constructed in accordance with these recommendations. If the possibility of increased pavement maintenance remains, that should be noted on the plan and may be a condition



of approval. If the existing steep slope is not flattened, the applicant should describe how it will be maintained.

Existing fill will be removed and replaced in the locations of the proposed building and pavement and will be re-compacted to the necessary standards. Utility trenches will be backfilled with similar materials and compaction as adjacent materials to prevent differential settling and frost heaving. This information has been included as a note on the drawings.

The existing slope at the southwest corner of the site has been flattened as much as possible while avoiding encroachment on the adjacent wetland. This slope will also be stabilized with erosion control matting as shown on the drawings.

If you have any questions, please do not hesitate to contact the undersigned at (207) 989-4824 or sthies@haleyward.com.

Sincerely,
Haley Ward, Inc.

Sean Thies, PE
Senior Project Manager

SMT/cmj

WAIVER REQUESTS

	Title 16.7.4.1:	In granting modifications or waivers, the Planning Board must require such conditions as will, in its judgment, substantially meet the objectives of the requirements so waived or modified.
REQUESTED WAIVERS	Ordinance Section	Describe why this request is being made.
	EXAMPLE 16.32.560 (B)- OFFSTREET PARKING.	***EXAMPLE*** Requesting a waiver of this ordinance since the proposed professional offices have a written agreement with the abutting Church owned property to share parking.
	16.8.4.5 - ACCESS CONTROL AND TRAFFIC IMPACTS	Requesting a waiver of this ordinance because the proposed site will be accessed from US Route 1 instead of Parsons Lane. Reasons for this design choice include: proximity of Parsons Lane to the adjacent business to the north which has a wide open curb cut with parking directly off of Route 1 would create an unsafe situation; the proposed entrance is directly across from another entrance on the opposite side of US Route 1, and; Parsons Lane is much lower than the site and would require too steep of an entrance. MaineDOT has approved the Traffic Movement Permit with the entrance as designed. We also understand that Parson's Lane is a school bus stop to pick up kids that live on that private drive. The addition of Aroma Joe's traffic onto Parson's Lane with school age pedestrian traffic would create safety concerns.
	16.10.7.2 (H.1) - LIGHTING PLAN	Requesting a waiver of this ordinance because the proposed site will not meet the required illumination levels for roadway/ parking area. The standard is not met in the the drive-thru window area. It is necessary for these areas to have additional lighting in order for the customer to have the ability to collect their purchase and provide payment. The drive-thru lights are full cutoff to prevent any glare on adjacent properties, as demonstrated on the provided renderings. All other roadway/parking areas in the development are within the Kittery Lighting ordinance requirements.
	KITTERY DESIGN HANDBOOK - FLAT ROOF	Requesting a waiver of this standard for the following reasons: <ul style="list-style-type: none"> - There is Mechanical equipment shielded from view on the flat roof section - The flat roof section is on the back side of the building - This is a specific "model" Aroma Joe's building that is used on most sites. Changes to the roof would require redesign and the need for space on the Site to locate Mechanical equipment.

☐ **ABUTTER NOTIFICATION**

16.10.5.1.1. Preliminary Plan Application Filing and Completeness Review. The application must be accompanied by a Plan and the required fee together with a certification the applicant has notified abutters by mail of the filing of the Plan application for approval.

Submitted Applications must include a list of the names and addresses of the abutters and date notification mailed.
 The abutter Notice of Filing must include the owner/applicant name, address and description of the proposed project.

Applications will not be accepted without submittal of all plan requirements as specified herein, and without a complete, signed application page (page 5).

Prior to the issuance of building permits, Applicants shall secure performance assurances and escrow agreements. Forms for Cost Estimates (escrow) are available on line (Excel format) or at the Kittery Planning office.



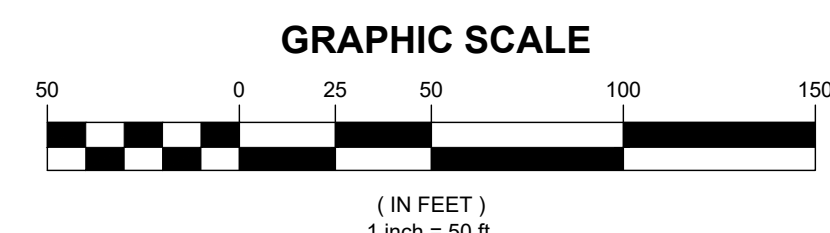
LOCATION MAP: USGS QUADRANGLE: YORK HARBOR
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SCALE: 1"=2000'
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LEGEND:

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
BENCHMARK	⊕	⊕
MANHOLE	⊙	⊙
UTILITY POLE	⊙	⊙
CATCH BASIN	□	□
HYDRANT	⊗	⊗
EDGE OF GRAVEL	- - - -	- - - -
EDGE OF PAVEMENT	- - - -	- - - -
MAJOR FOOT CONTOUR	- - - - 100 - - - -	- - - - 100 - - - -
MINOR FOOT CONTOUR	- - - - 98 - - - -	- - - - 98 - - - -
STORM DRAIN	- - - - SD - - - -	- - - - SD - - - -
SANITARY SEWER	- - - - SS - - - -	- - - - SS - - - -
OVERHEAD UTILITIES	- - - - OHU - - - -	- - - - OHU - - - -
WETLAND BOUNDARY	- - - -	- - - -

C-COAST PROPERTIES LLC
P.O. BOX 603
YORK HARBOR, ME 03911
17807/929

PLAN REFERENCE:
1. INFORMATION BASED ON SITE PLAN BY ANDERSON LIVINGSTON ENGINEERS, INC. DATED APRIL 9, 2018.
2. ON JULY 20 & 21, 2021 HALEY WARD CONDUCTED A HIGHWAY SURVEY AND SOME LIMITED TOPOGRAPHY ON THE SUBJECT PROPERTY AS WELL AS TIE INTO THE BOUNDARY SURVEY BY ANDERSON LIVINGSTON ENGINEERS, INC.



REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				

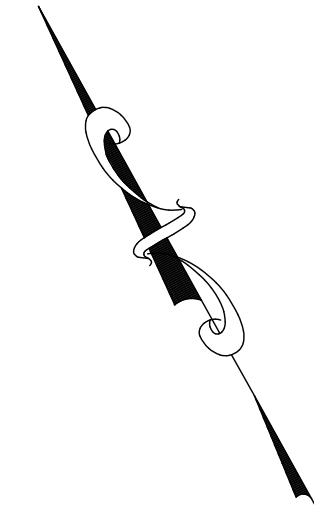
NOT FOR CONSTRUCTION

HALEY WARD
 ENGINEERING | ENVIRONMENTAL | SURVEYING
 One Merchants Plaza, Suite 701
 Bangor, Maine 04401
 207.987.4824
 WWW.HALEYWARD.COM

GCS ENTERPRISES LLC
US ROUTE 1, KITTERY, MAINE

EXISTING CONDITIONS PLAN

	DATE	2021.05.26	SCALE	1"=50'
	DRAWN BY	WAB	DESIGNED BY	WAB
	CHECKED BY	SMT	PROJECT No.	13522.001
	DRAWING No.	C100		



N/F CONRAD L. FARR
9 TARA LANE
SOUTH BERWICK, ME 03908
4289/297

N/F RUTH L. BAKER
8420 MONUMENT OAK
BOERNE, TX 78015
15859/568

N/F MYRON E. &
KAREN L. GILMAN
9 PARSONS LANE
YORK, MAINE 03909
8117/244

N/F MONICA S. FLEISCHMANN
10 OAKWOOD DRIVE
PORTSMOUTH, NH 03801
17726/420

N/F ERNEST A. GOLISANO
5 PARSONS LANE
YORK, MAINE 03909
4971/269

N/F ADAM M. &
JESSICA L. BUSSEY
3 PARSONS LANE
YORK, MAINE 03909
17293/154

N/F SEACOAST PROPERTIES HOLDINGS LLC
112 BYRAM LAKE ROAD
MOUNT KISO, NY 10549
16273/461

"BURRITO, BETTY'S"
N/F PETER & VALERIE BELESIS
1 STONE TERRACE
MARBLEHEAD, MA 01945
11681/321

N/F DONALD & AMY KENNISON
6 PARSONS LANE
KITTERY, ME 03904
16974/384

N/F KEVIN, INC.
KITTERY TRADING POST
P.O. BOX 904
KITTERY, ME 03904
8103/202

N/F WILSON 5 SERVICE COMPANY
6756/294
(FORMER RESTAURANT)

N/F STEPHEN J. HYNES
1571 BELLEVUE AVE. SUITE 210
WEST VANCOUVER, V7V1A6, B.C.
7378/62

N/F STEPHEN J. HYNES
1571 BELLEVUE AVE. SUITE 210
WEST VANCOUVER, V7V1A6, B.C.
7641/238

SITE DEVELOPMENT DATA		ALLOWED	PROPOSED
TAX MAP:	66 LOT: 26		
OWNER:	LYNCH, CHARLES S 13 POCAHONTAS ROAD KITTERY POINT, ME 03905-5300	MINIMUM FRONT YARD 30'	30'
		MINIMUM SIDE / REAR YARD 30'	100'
		MINIMUM LOT SIZE 200,000 SF	13.8 ACRES
		MINIMUM STREET FRONTAGE 250'	500'
		MAXIMUM BUILDING HEIGHT 40'	18'
LOT SIZE:	13.8 ACRES	PROJECT LEASE AREA:	66,275 SF (1.52 ACRES)
ZONE:	MIXED USE (MU)	EXISTING IMPERVIOUS AREA:	42,057 SF (0.96 ACRES) (63% OF LOT)
		PROPOSED IMPERVIOUS AREA:	25,460 SF (0.58 ACRES) (38% OF LOT)
APPLICANT:	GCS ENTERPRISES LLC 352 WARREN AVE PORTLAND, ME 04103	SITE DISTANCE	
		SITE DISTANCE LOOKING SOUTH	450' 700'
		SITE DISTANCE LOOKING WEST	450' 1000'+
ENGINEER:	HALEY WARD (FORMERLY CES, INC.) ATTN: SEAN THIES, PE ONE MERCHANTS PLAZA, SUITE 701 BANGOR, MAINE 04401	NOTES:	
		1. THERE ARE NO PROPOSED SOIL DISTURBANCES TO WETLANDS OR VERNAL POOLS.	
		2. PARKING: THIS IS A DRIVE-THROUGH RESTAURANT WITH NO CUSTOMER SEATING. ONLY EMPLOYEE-PARKING HAS BEEN PROPOSED.	

- NOTE:
- OPEN SPACE AREA REQUIRED: 23,174 SF / OPEN SPACE PROVIDED 24,000 SF (APPROXIMATE)
 - ANY FUTURE DEVELOPMENT OF THE PROPERTY OUTSIDE THE LEASED AREA WILL BE REQUIRED TO COMPLY WITH THE KITTERY LAND USE ORDINANCE.
 - SNOW WILL BE REMOVED FROM SITE IF DESIGNATED SNOW STORAGE AREAS ARE INSUFFICIENT.



LOCATION MAP: USGS QUADRANGLE: YORK HARBOR
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SCALE: 1"=2000'
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LEGEND:

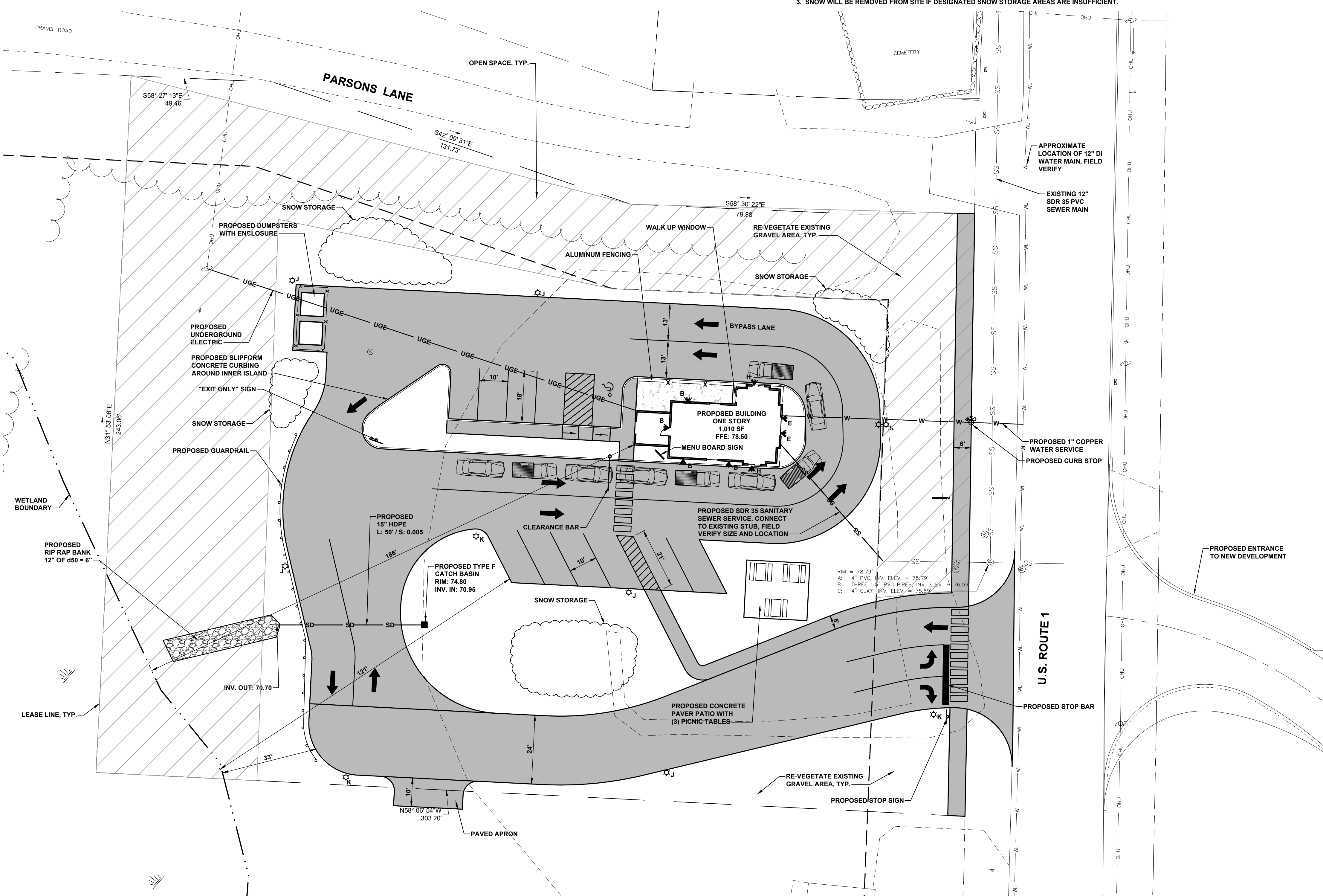
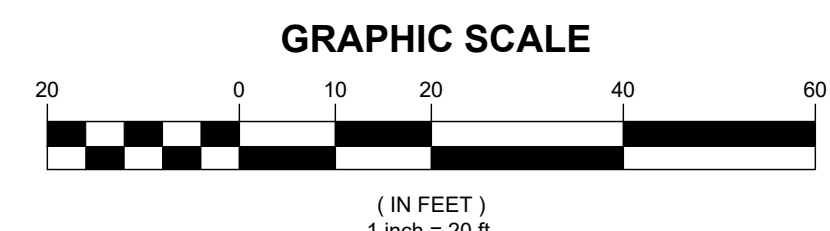
DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
BENCHMARK	⊕	⊕
MANHOLE	⊙	⊙
UTILITY POLE	⊕	⊕
CATCH BASIN	⊙	⊙
HYDRANT	⊕	⊕
EDGE OF GRAVEL	---	---
EDGE OF PAVEMENT	---	---
MAJOR FOOT CONTOUR	--- 100 ---	--- 100 ---
MINOR FOOT CONTOUR	--- 98 ---	--- 98 ---
STORM DRAIN	SD	SD
SANITARY SEWER	SS	SS
OVERHEAD UTILITIES	OHU	OHU
UNDERGROUND UTILITIES	UGU	UGU
WETLAND BOUNDARY	---	---
SILT FENCE	---	SF
PAVED SURFACE	---	---
SITE LIGHTING	⊕	⊕

NOTE:

- PER S.W. COMMENTS, EXISTING GRAVEL MATERIAL IN THE PROPOSED BUILDING AND PAVEMENT LOCATIONS SHOULD BE REMOVED AND REINSTALLED IN 12" LIFTS TO MEET STABILITY COMPACTION REQUIREMENTS, AND UTILITY TRENCHES TO BE BACKFILLED AND COMPACTED IN A SIMILAR FASHION AS ADJACENT MATERIAL TO PREVENT DIFFERENTIAL SETTLING.

PLAN REFERENCE:

- INFORMATION BASED ON SITE PLAN BY ANDERSON LIVINGSTON ENGINEERS, INC. DATED APRIL 9, 2018.
- ON JULY 20 & 21, 2021 HALEY WARD CONDUCTED A HIGHWAY SURVEY AND SOME LIMITED TOPOGRAPHY ON THE SUBJECT PROPERTY AS WELL AS TIE INTO THE BOUNDARY SURVEY BY ANDERSON LIVINGSTON ENGINEERS, INC.



SITE PLAN
SCALE: 1"=20'

REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
NOT FOR CONSTRUCTION				
		HALEY WARD		
ENGINEERING ENVIRONMENTAL SURVEYING		One Merchants Plaza, Suite 701 Bangor, Maine 04401 207.987.4824		
PROJECT				
GCS ENTERPRISES LLC US ROUTE 1, KITTERY, MAINE				
TITLE				
PROPOSED SITE AND UTILITIES PLAN				
DATE		SCALE		
2022.04.25		1"=20'		
DRAWN BY		DESIGNED BY		CHECKED BY
WAB		WAB		SMT
PROJECT No.		13522.001		
DRAWING No.		REV.		
		C101		

FILE LOCATION: P:\33252-SPARK_FRANCHISE_SOLUTIONS\001-AROMA_JDS-ROUTE_1_KITTERY-SMT\02-CAD_DRAWINGS\04-UTIL\DWG\13522.001-C-SP-DWG_2022.04.27_8.06.AM

LANDSCAPING SCHEDULE

QUANTITY	TYPE	SPECIES	COMMON NAME	SIZE
2	TREE	ACER SACCHARUM	SUGAR MAPLE	12" HEIGHT, 2.5" CALIPER
4	TREE	PINUS STROBUS	EASTERN WHITE PINE	12" HEIGHT, 2.5" CALIPER
2	TREE	BETULA NIGRA	RIVER BIRCH	12" HEIGHT, 2.5" CALIPER
5	SHRUB	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	2'-3" HIGH
5	SHRUB	MYRICA PENNSYLVANICA	BAYBERRY	2'-3" HIGH
11	SHRUB	ILEX VERTICILLATA	WINTERBERRY	2'-3" HIGH
5	SHRUB	FORSYTHIA 'SUNRISE'	SUNRISE FORSYTHIA	2'-3" HIGH
9	PERENNIAL	HEMEROCALLIS SPECIES	DAY LILLY	#2 POT
19	TREE	THULA OCCIDENTALIS HEDGE	AMERICAN ARBORVITAE	2'-3" HIGH

NOTE: PROPOSED LANDSCAPING SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE DEVELOPMENT.

STORMWATER & EROSION CONTROL MANAGEMENT AND MAINTENANCE NOTES

- THE FOLLOWING NOTES DESCRIBE EROSION CONTROL AND STORMWATER MANAGEMENT MAINTENANCE ACTIVITIES TO BE CONDUCTED DURING CONSTRUCTION BY THE CONTRACTOR, AND AFTER CONSTRUCTION IS AN ONGOING REQUIREMENT OF THE OWNER. FEATURES ON THE SITE TO BE MAINTAINED INCLUDE PAVED AREAS, VEGETATED SWALES, A CATCH BASIN, A CULVERT, AND A CULVERT OUTLET.
- REMOVE ACCUMULATED SEDIMENTS AND DEBRIS FROM CATCH BASIN SUMP, GRATE AND COLLECTION AREA.
- ENSURE DITCHES AND SWALES ARE PERMANENTLY STABILIZED AFTER CONSTRUCTION AND ONGOING.
- CLEAR DITCHES OF OBSTRUCTIONS, ACCUMULATED SEDIMENTS OR DEBRIS AFTER CONSTRUCTION AND ONGOING.
- ENSURE DITCH LINING/BOTTOMS ARE FREE OF EROSION AFTER CONSTRUCTION AND ONGOING.
- CLEAR CULVERT OF OBSTRUCTIONS, ACCUMULATED SEDIMENTS OR DEBRIS AFTER CONSTRUCTION AND ONGOING.
- ENSURE SLOPE IS STABLE AND IS NOT SHOWING SIGNS OF EROSION.
- ENSURE RUNOFF IS FLOWING IN DITCHES AS INTENDED.



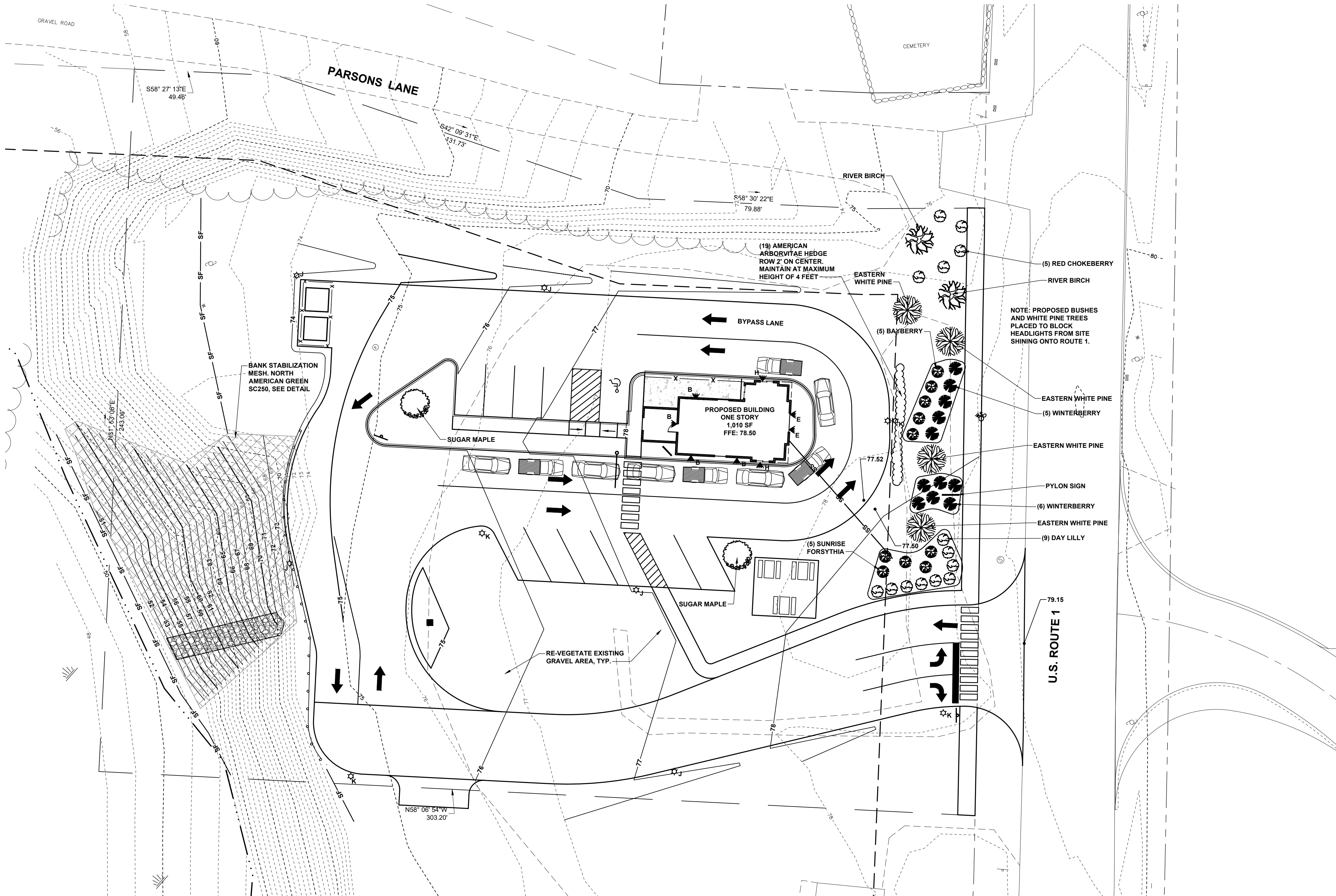
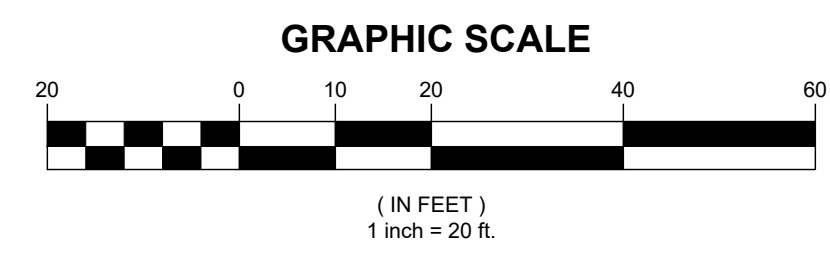
LOCATION MAP: USGS QUADRANGLE: YORK HARBOR
 MAPTECH® USGS TOPOGRAPHIC SERIES™
 SCALE: 1"=2000'
 ©MAPTECH®, INC. 978-933-3000
 WWW.MAPTECH.COM/TOPO

LEGEND:

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
BENCHMARK	⊕	⊕
MANHOLE	⊙	⊙
UTILITY POLE	⊕	⊕
CATCH BASIN	⊕	⊕
HYDRANT	⊕	⊕
EDGE OF GRAVEL	---	---
EDGE OF PAVEMENT	---	---
MAJOR FOOT CONTOUR	--- 100 ---	--- 100 ---
MINOR FOOT CONTOUR	--- 98 ---	--- 98 ---
STORM DRAIN	---	---
SANITARY SEWER	---	---
OVERHEAD UTILITIES	---	---
UNDERGROUND UTILITIES	---	---
WETLAND BOUNDARY	---	---
SILT FENCE	---	---
PAVED SURFACE	---	---
SITE LIGHTING	⊕	⊕

PLAN REFERENCE:

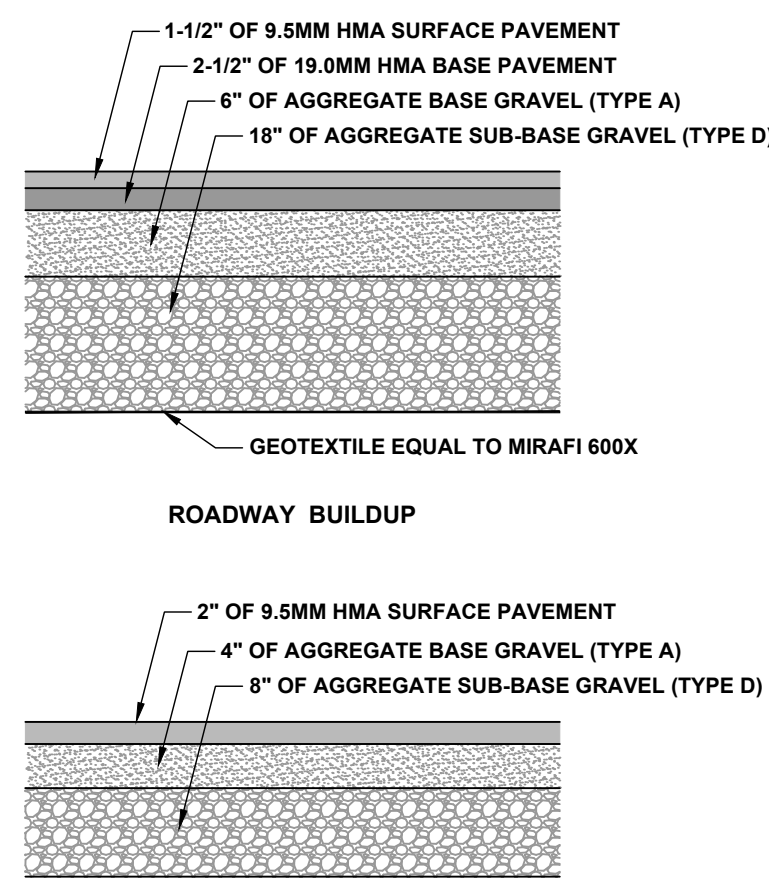
- INFORMATION BASED ON SITE PLAN BY ANDERSON LIVINGSTON ENGINEERS, INC. DATED APRIL 9, 2018.
- ON JULY 20 & 21, 2021 HALEY WARD CONDUCTED A HIGHWAY SURVEY AND SOME LIMITED TOPOGRAPHY ON THE SUBJECT PROPERTY AS WELL AS TIE INTO THE BOUNDARY SURVEY BY ANDERSON LIVINGSTON ENGINEERS, INC.



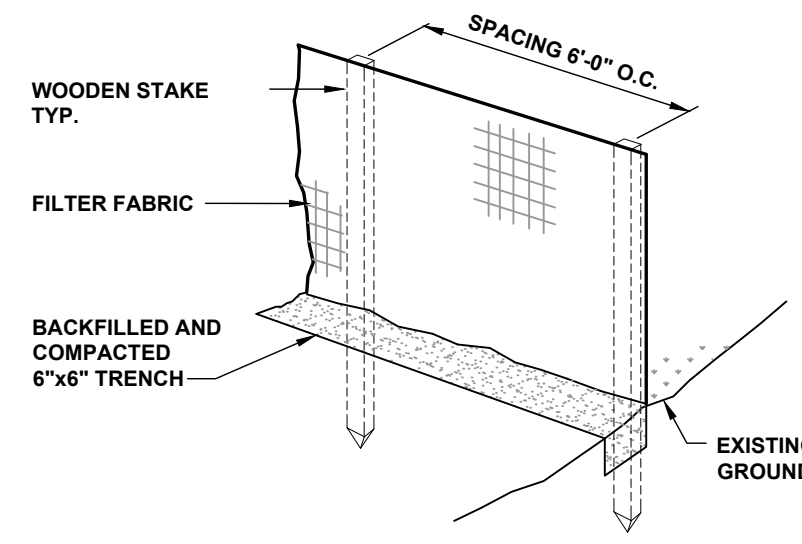
SITE PLAN
 SCALE: 1"=20'

REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
NOT FOR CONSTRUCTION				
		HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING One Merchants Plaza, Suite 701 Bangor, Maine 04401 207.989.4824 WWW.HALEYWARD.COM		
PROJECT				
GCS ENTERPRISES LLC US ROUTE 1, KITTERY, MAINE				
TITLE				
PROPOSED GRADING AND LANDSCAPING PLAN				
DATE		2022.04.25		SCALE
				1"=20'
DRAWN BY		DESIGNED BY		CHECKED BY
WAB		WAB		SMT
PROJECT No.		13522.001		
DRAWING No.		C102		

FILE LOCATION: P:\3325\SPARK_FRANCHISE_SOLUTIONS\001-AROMA_JONES-ROUTE1_KITTERY-SMT\02-CAD_DRAWINGS\04-LANDSCAPING\01-2022\04-27_1636.dwg

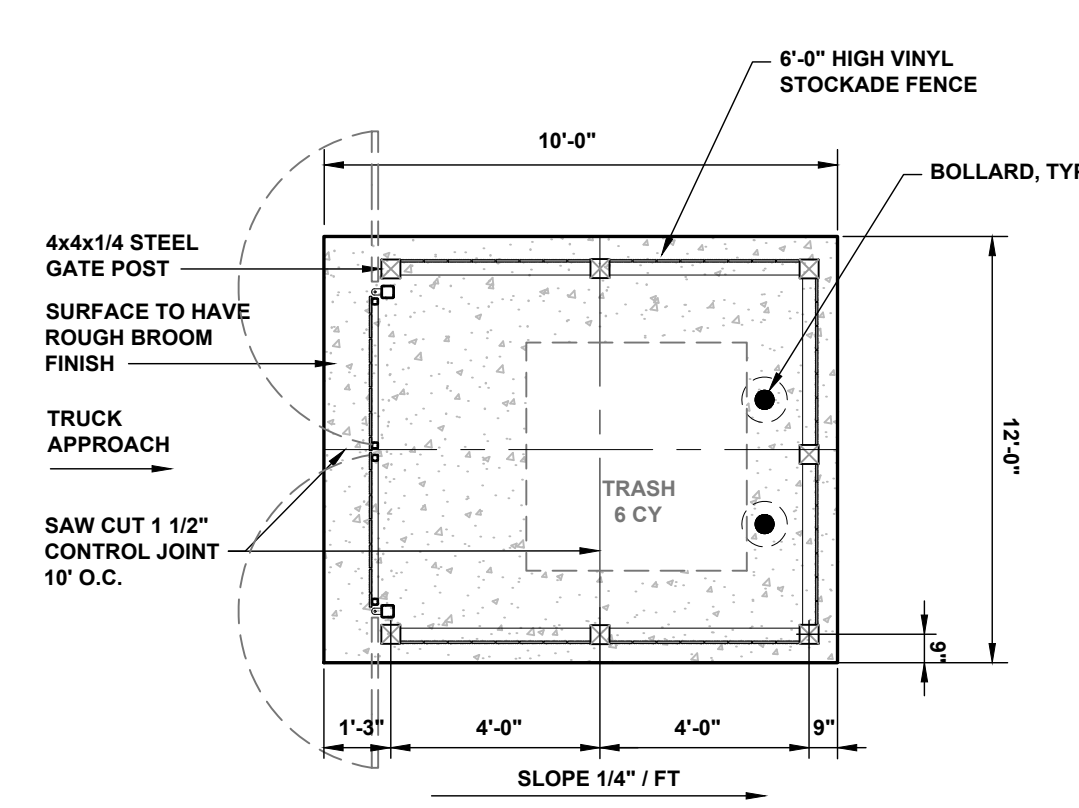


TYPICAL ROADWAY/SIDEWALK BUILDUP DETAIL
N.T.S.

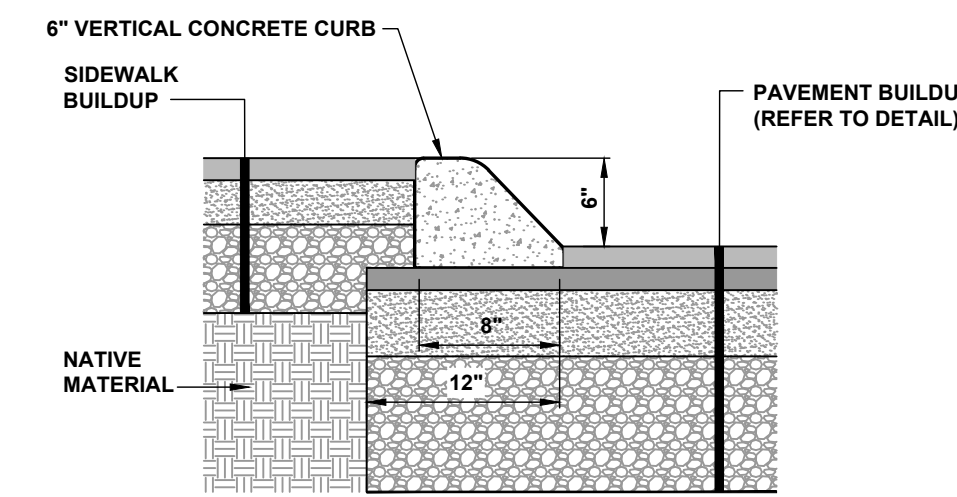


- NOTES:
1. KEY FABRIC IN A 6"x6" TRENCH W/BACKFILL AND COMPACT.
 2. SILT FENCE SHALL BE A 3' FENCE WITH A MINIMUM GRAB STRENGTH OF 120 LBS.

SILT FENCE DETAIL
N.T.S.



DUMPSTER PAD AND ENCLOSURE DETAIL
N.T.S.



- NOTES:
1. ALL CURBING AND TERMINATION IN CONJUNCTION WITH SIDEWALKS MUST MEET ADA REQUIREMENTS.

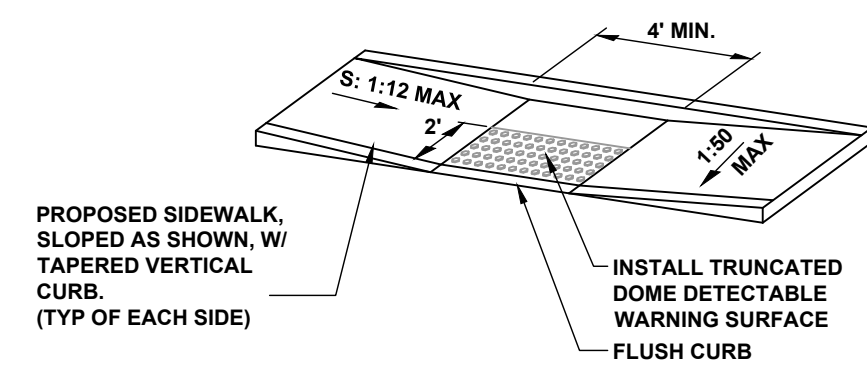
SLIP FORM CONCRETE CURB DETAIL
N.T.S.

EROSION CONTROL NOTES

1. ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES (BMPs), PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION.
 2. SILT FENCE WILL BE INSPECTED, REPLACED AND/OR REPAIRED IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR LOSS OF SERVICEABILITY DUE TO SEDIMENT ACCUMULATION. AT A MINIMUM, ALL EROSION CONTROL DEVICES WILL BE OBSERVED WEEKLY.
 3. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO CONSTRUCTION SITE.
 4. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPLOPSE ARE STABILIZED BY A SUITABLE GROWTH OF GRASS. ONCE A SUITABLE GROWTH OF GRASS HAS BEEN OBTAINED, ALL TEMPORARY EROSION CONTROL ITEMS SHALL BE REMOVED BY THE CONTRACTOR. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THEY ARE REMOVED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, SEED, AND MULCHED IMMEDIATELY.
 5. ALL DISTURBED AREAS WILL BE SEED WITH 2.5 LBS. RED FESCUE AND 0.5 LBS. RYE GRASS PER 1,000 SQUARE FEET AND MULCHED AT A RATE OF 90 LBS. PER 1,000 SQUARE FEET OR EQUIVALENT APPLICATION OF SEED AND MULCH.
 6. A SUITABLE BINDER SUCH AS CURASOL OR TERRACK WILL BE USED ON THE HAY MULCH FOR WIND CONTROL.
 7. IF FINAL SEEDING OF DISTURBED AREAS IS NOT COMPLETED BY SEPTEMBER 15th OF THE YEAR OF CONSTRUCTION, THEN ON THAT DATE THESE AREAS WILL BE GRADED AND SEED WITH WINTER RYE AT THE RATE OF 112 POUNDS PER ACRE OR 3 POUNDS PER 1000 SQUARE FEET. THE RYE SEEDING WILL BE PRECEDED BY AN APPLICATION OF 3 TONS OF LIME AND 800 LBS. OF 10-20-20 FERTILIZER OR ITS EQUIVALENT. MULCH WILL BE APPLIED AT A RATE OF 90 POUNDS PER 1000 SQUARE FEET.
 8. IF THE RYE SEEDING CANNOT BE COMPLETED BY OCTOBER 1st OR IF THE RYE DOES NOT MAKE ADEQUATE GROWTH BY DECEMBER 1st, THEN ON THOSE DATES, HAY MULCH WILL BE APPLIED AT 150 POUNDS PER 1000 SQUARE FEET.
 9. INTERIOR SILT FENCES ALONG CONTOUR DIVIDING FLAT AND STEEP SLOPES. AREAS WITH DIFFERENT DISTURBANCE SCHEDULES, AROUND TEMPORARY STOCKPILES OR IN OTHER UNSPECIFIED POSSIBLE CIRCUMSTANCES SHOULD BE CONSIDERED BY THE CONTRACTOR. THE INTENT OF SUCH INTERIOR SILT FENCES IS TO LIMIT SEDIMENT TRANSPORT WITHIN THE SITE TOWARD THE PROTECTED CATCH BASIN INLETS TO MINIMIZE SEDIMENT REMOVAL REQUIRED BY THE EROSION CONTROL NOTE 9 PROTECTIONS AND EXTEND LIFE OF SUCH DEVICES.
 10. THE CONTRACTOR SHALL PROVIDE A SEDIMENT BASIN FOR ALL WATER PUMPED FROM EXCAVATIONS. BASIN SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES". THE CONTRACTOR SHALL SUBMIT FOR REVIEW/APPROVAL PRIOR TO BEGINNING ANY PROJECT WORK.
 11. MINIMUM EROSION CONTROL MEASURES WILL NEED TO BE IMPLEMENTED AND THE CONTRACTOR WILL BE RESPONSIBLE TO MAINTAIN ALL COMPONENTS OF THE EROSION CONTROL PLAN UNTIL THE SITE IS FULLY STABILIZED. HOWEVER, BASED ON SITE AND WEATHER CONDITIONS DURING CONSTRUCTION, ADDITIONAL EROSION CONTROL MEASURES MAY NEED TO BE IMPLEMENTED. ALL AREAS OF INSTABILITY AND EROSION MUST BE REPAIRED IMMEDIATELY DURING CONSTRUCTION AND NEED TO BE MAINTAINED UNTIL THE SITE IS FULLY STABILIZED OR VEGETATION IS ESTABLISHED. A CONSTRUCTION LOG MUST BE MAINTAINED FOR THE EROSION AND SEDIMENTATION CONTROL INSPECTIONS AND MAINTENANCE
- CONTRACTOR WILL BE RESPONSIBLE FOR FOLLOWING PROCEDURES FOUND IN THE "MAINE EROSION AND SEDIMENT CONTROL PRACTICES FIELD GUIDE FOR CONTRACTORS" (PUBLISHED MARCH 2015). THE PUBLICATION CAN BE FOUND AT: [HTTP://WWW.MAINE.GOV/DEPLAND/EROSION/ESCBMPS/INDEX.HTML](http://www.maine.gov/depland/erosion/escbmps/index.html)

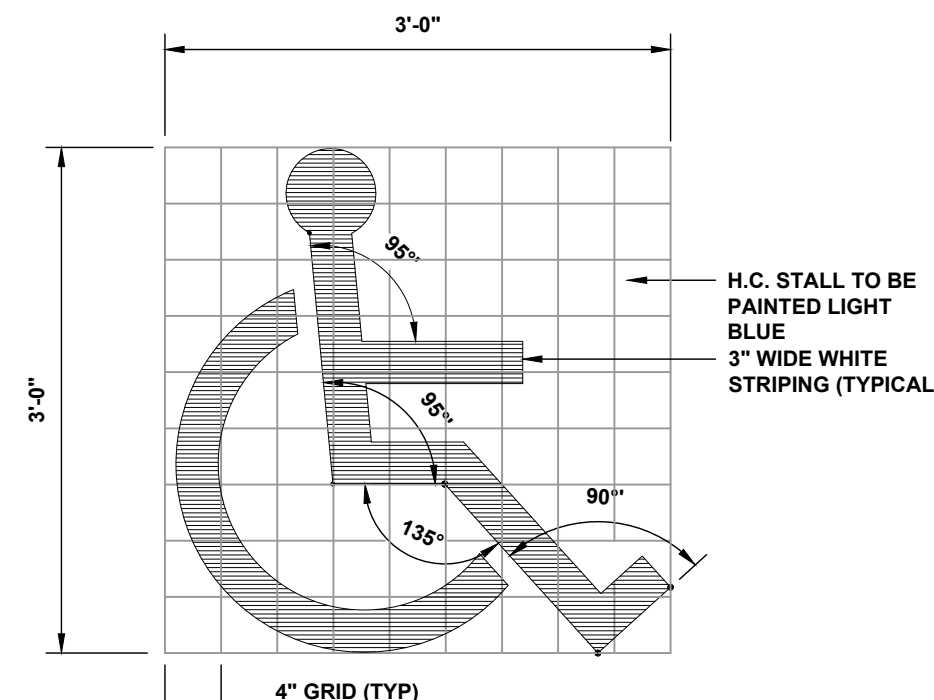
STORMWATER & EROSION CONTROL MANAGEMENT AND MAINTENANCE NOTES

1. THE FOLLOWING NOTES DESCRIBE EROSION CONTROL AND STORMWATER MANAGEMENT MAINTENANCE ACTIVITIES TO BE CONDUCTED DURING CONSTRUCTION BY THE CONTRACTOR, AND AFTER CONSTRUCTION IS AN ONGOING REQUIREMENT OF THE OWNER. FEATURES ON THE SITE TO BE MAINTAINED INCLUDE PAVED AREAS, VEGETATED SWALES, A CATCH BASIN, A CULVERT, AND A CULVERT OUTLET.
2. REMOVE ACCUMULATED SEDIMENTS AND DEBRIS FROM CATCH BASIN SUMP, GRATE AND COLLECTION AREA.
3. ENSURE DITCHES AND SWALES ARE PERMANENTLY STABILIZED AFTER CONSTRUCTION AND ONGOING.
4. CLEAR DITCHES OF OBSTRUCTIONS, ACCUMULATED SEDIMENTS, OR DEBRIS AFTER CONSTRUCTION AND ONGOING.
5. ENSURE DITCH LINING/BOTTOMS ARE FREE OF EROSION AFTER CONSTRUCTION AND ONGOING.
6. CLEAR CULVERT OF OBSTRUCTIONS, ACCUMULATED SEDIMENTS OR DEBRIS AFTER CONSTRUCTION AND ONGOING.
7. ENSURE SLOPE IS STABLE AND IS NOT SHOWING SIGNS OF EROSION.
8. ENSURE RUNOFF IS FLOWING IN DITCHES AS INTENDED.

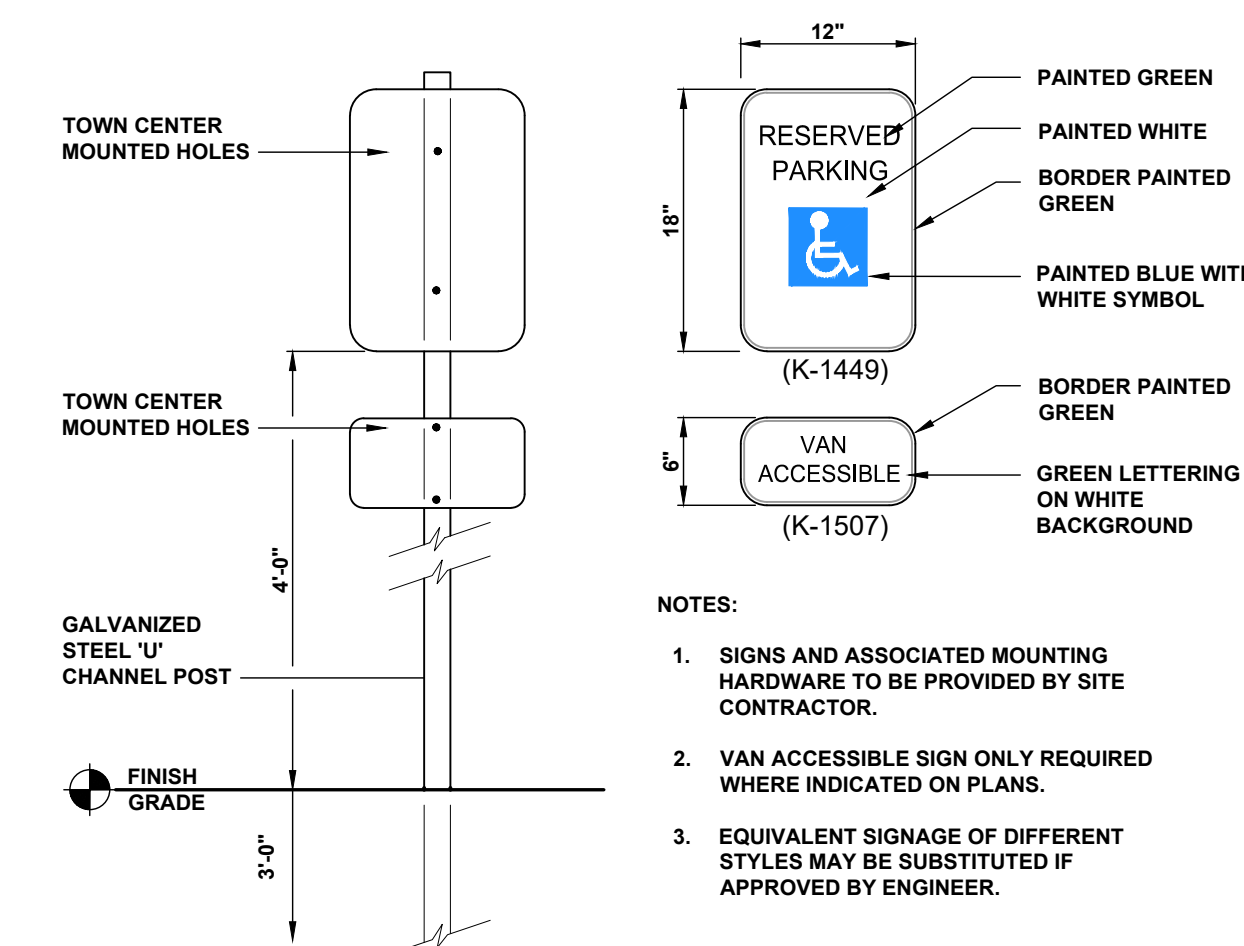


- NOTES:
1. THE TEXTURE OF THE WARNING FEATURE MUST CONTRAST WITH THE SURROUNDING SURFACES (EITHER LIGHT ON DARK, OR DARK ON LIGHT).
 2. SIZE OF DETECTABLE SURFACE TO BE 24" MIN. HEIGHT x THE FULL WIDTH OF THE RAMP / WALK.
 3. CAST IRON DETECTABLE WARNING PAVEMENT SURFACE SHALL BE EQUAL TO NEENAH FOUNDRY, UN-PAINTED.
 4. PAVERS SHALL BE INSTALLED IN ACCORDANCE WITH ADA GUIDELINES, AND PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

TYPICAL HANDICAP CURB RAMP DETAILS
N.T.S.

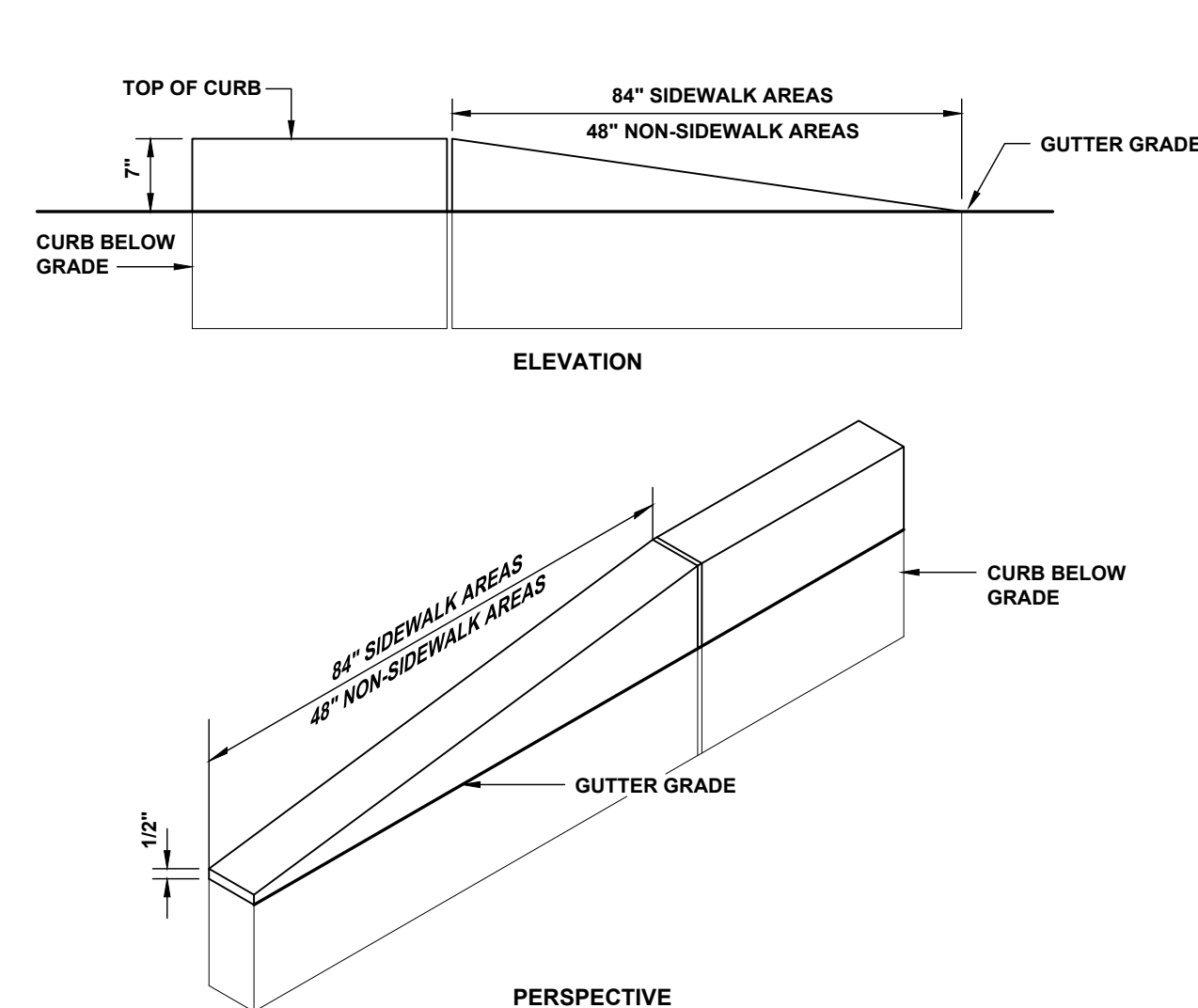


TYPICAL HANDICAP PARKING STALL SYMBOL
N.T.S.

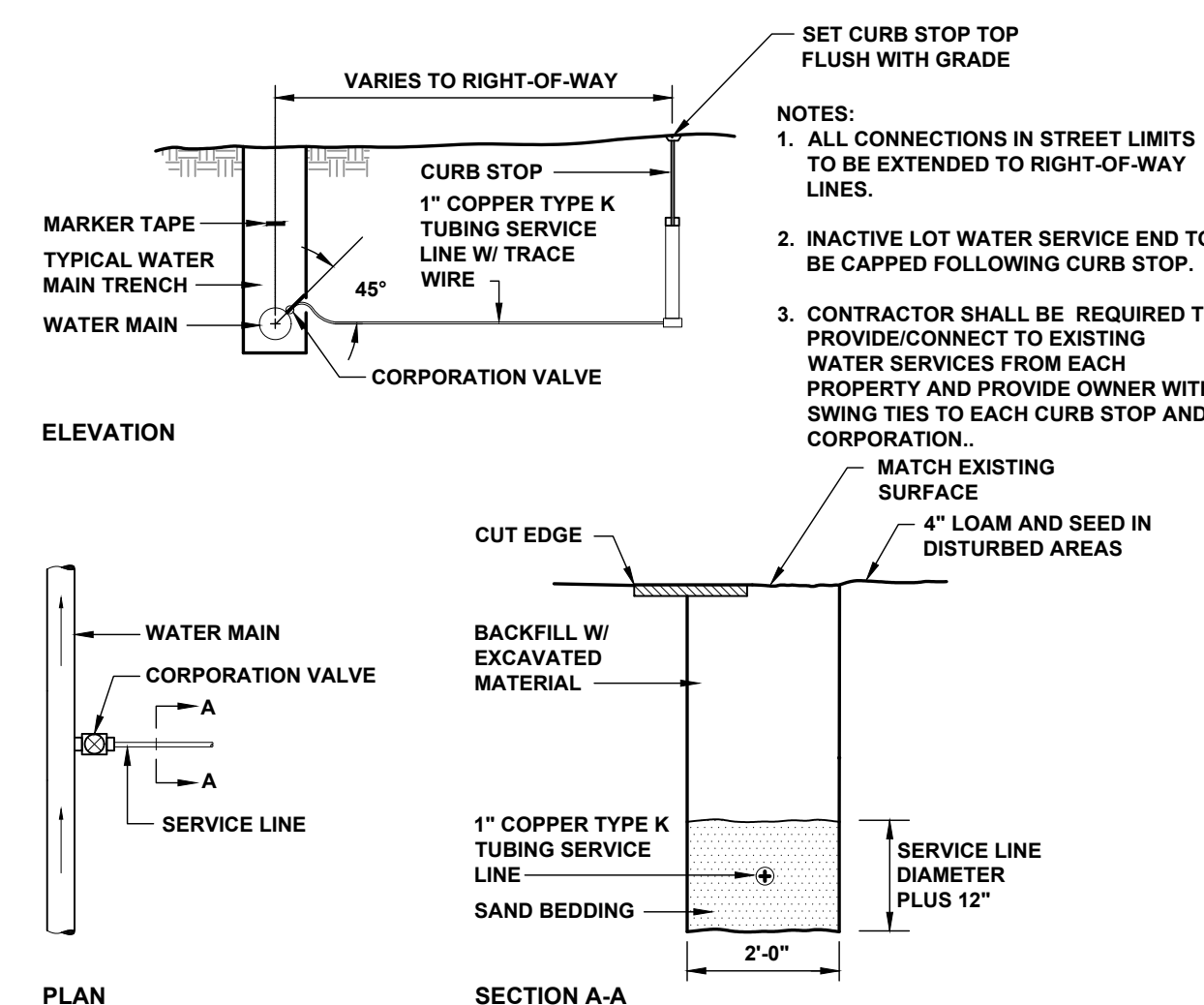


- NOTES:
1. SIGNS AND ASSOCIATED MOUNTING HARDWARE TO BE PROVIDED BY SITE CONTRACTOR.
 2. VAN ACCESSIBLE SIGN ONLY REQUIRED WHERE INDICATED ON PLANS.
 3. EQUIVALENT SIGNAGE OF DIFFERENT STYLES MAY BE SUBSTITUTED IF APPROVED BY ENGINEER.

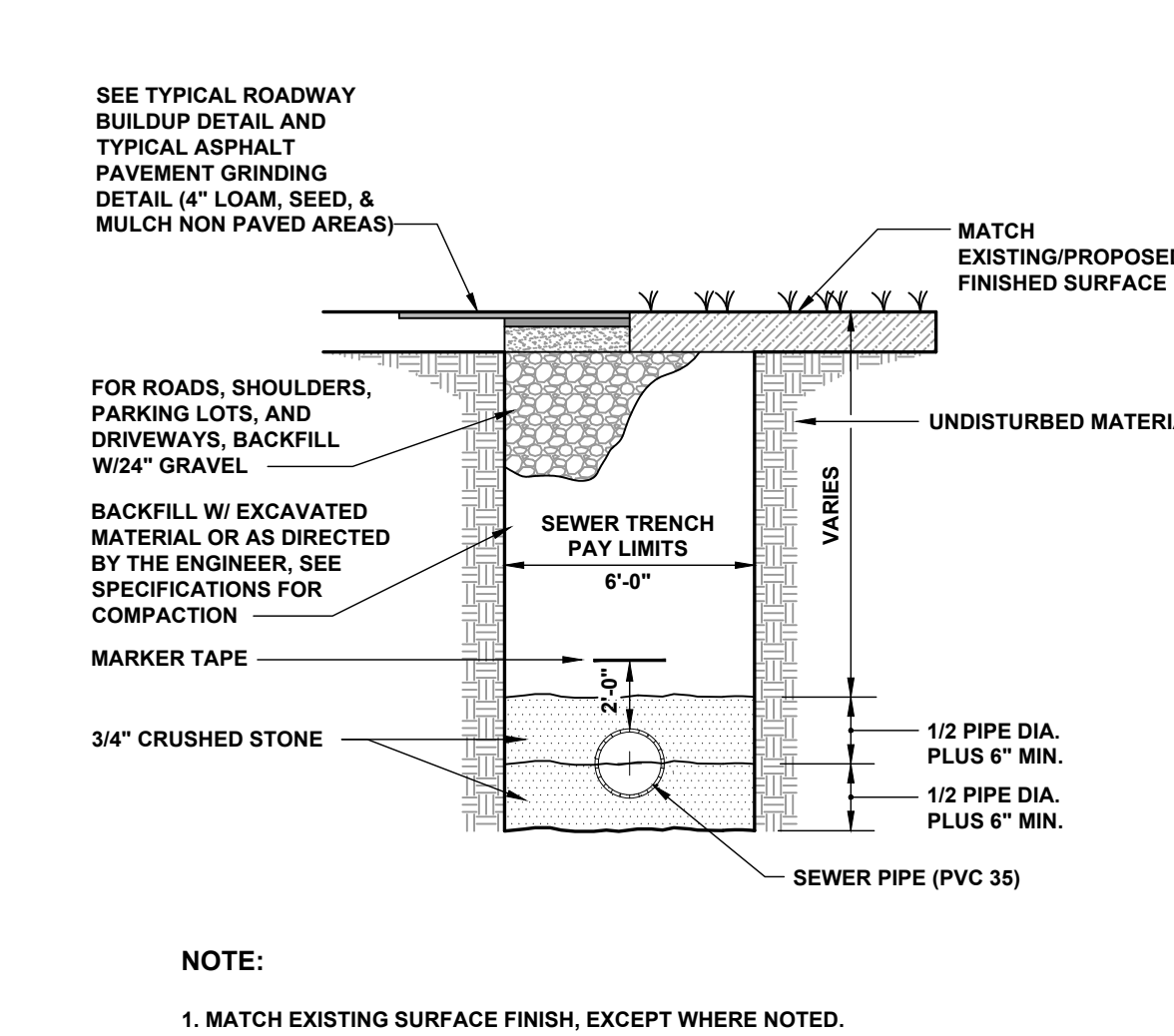
TYPICAL HANDICAP PARKING SIGN DETAIL
N.T.S.



TYPICAL CURB TERMINATION DETAIL
N.T.S.



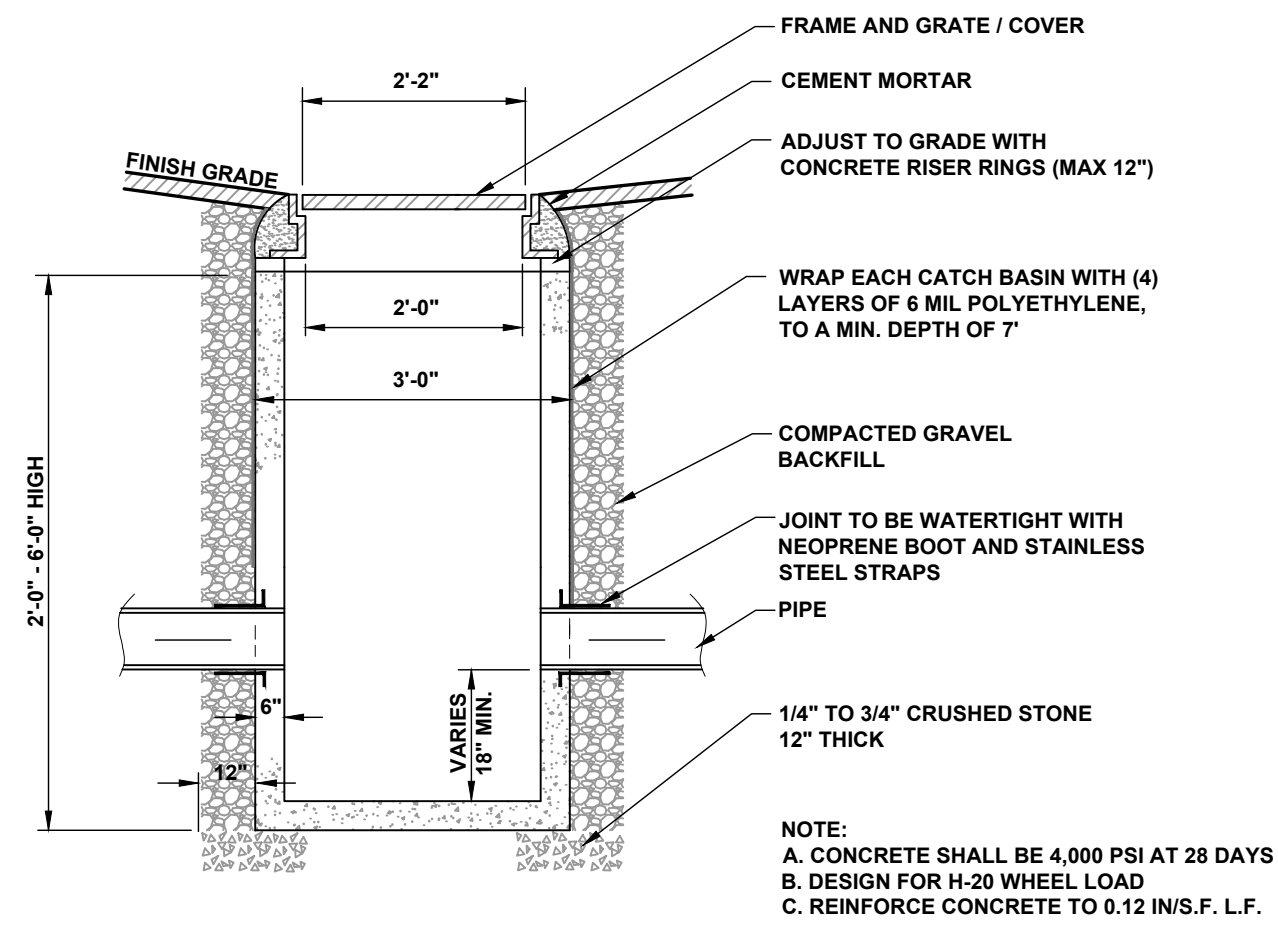
TYPICAL WATER SERVICE DETAIL
N.T.S.



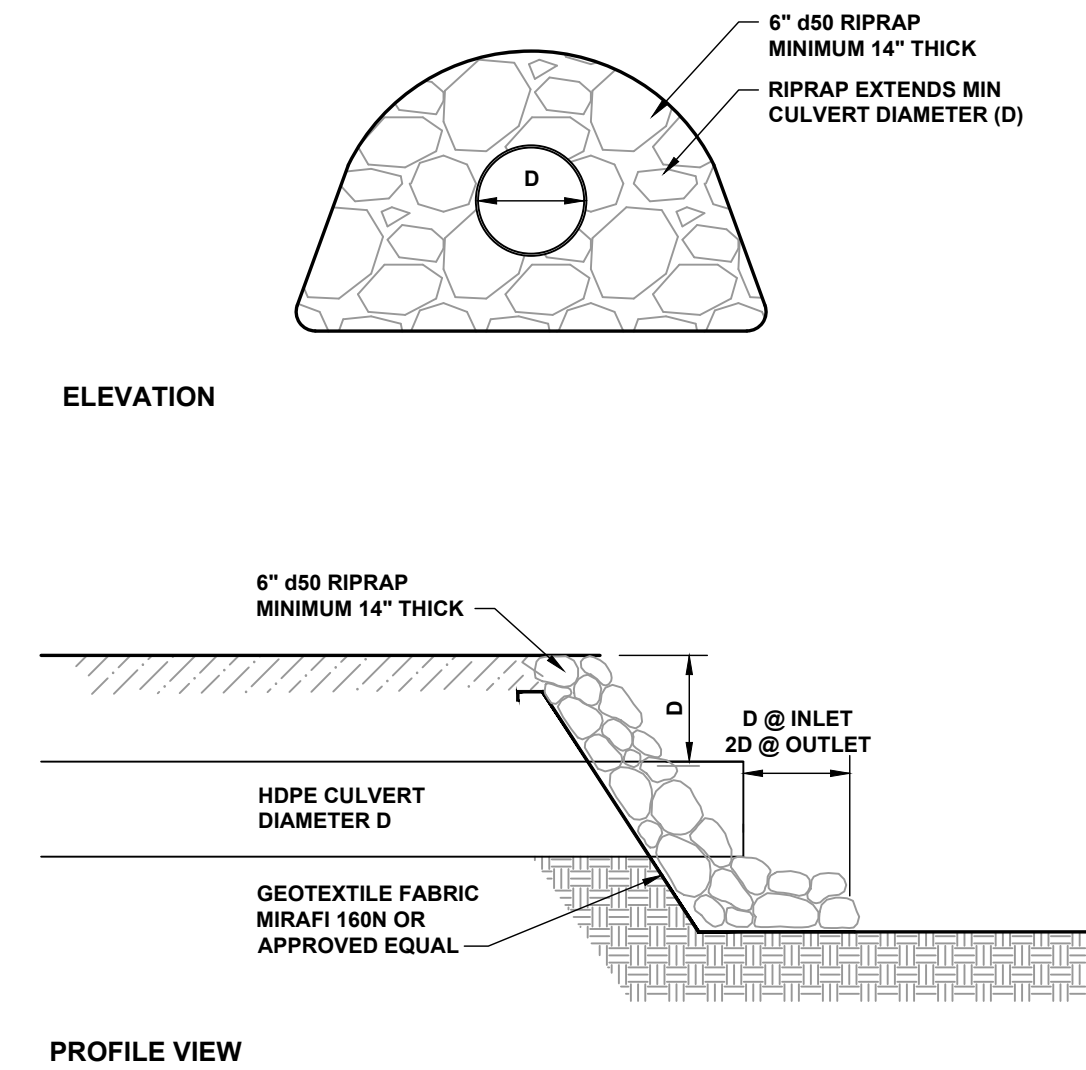
TYPICAL SEWER TRENCH DETAIL
N.T.S.

REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
NOT FOR CONSTRUCTION				
 HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING One Merchants Plaza, Suite 701 Bangor, Maine 04401 207.989.4824 WWW.HALLEYWARD.COM				
GCS ENTERPRISES LLC US ROUTE 1, KITTEERY, MAINE				
SITE DETAILS				
DATE: 2021.05.26		SCALE: NTS		
DRAWN BY: WAB	DESIGNED BY: WAB	CHECKED BY: SMT		
PROJECT No.: 13522.001				
DRAWING No.:		C501		

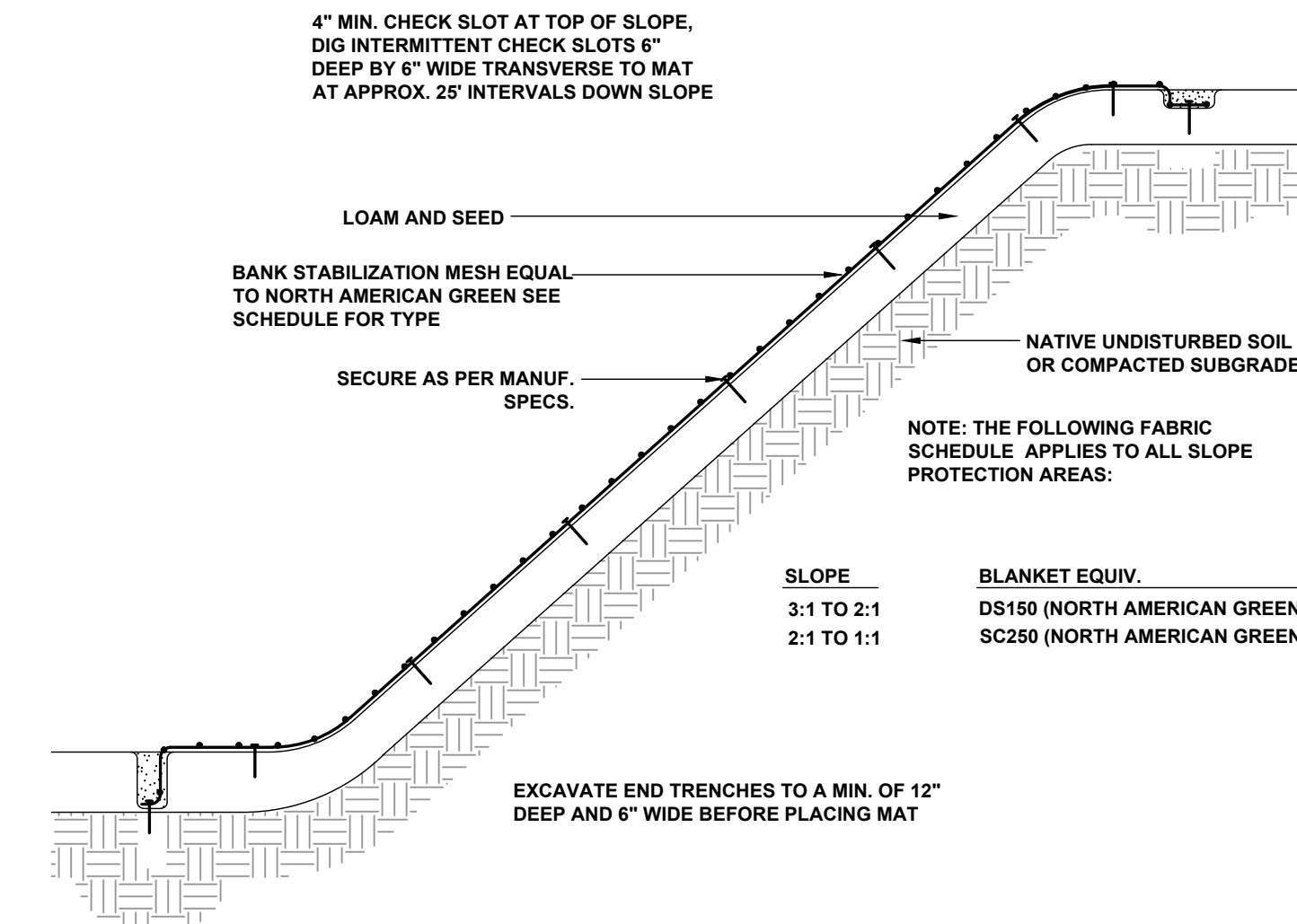
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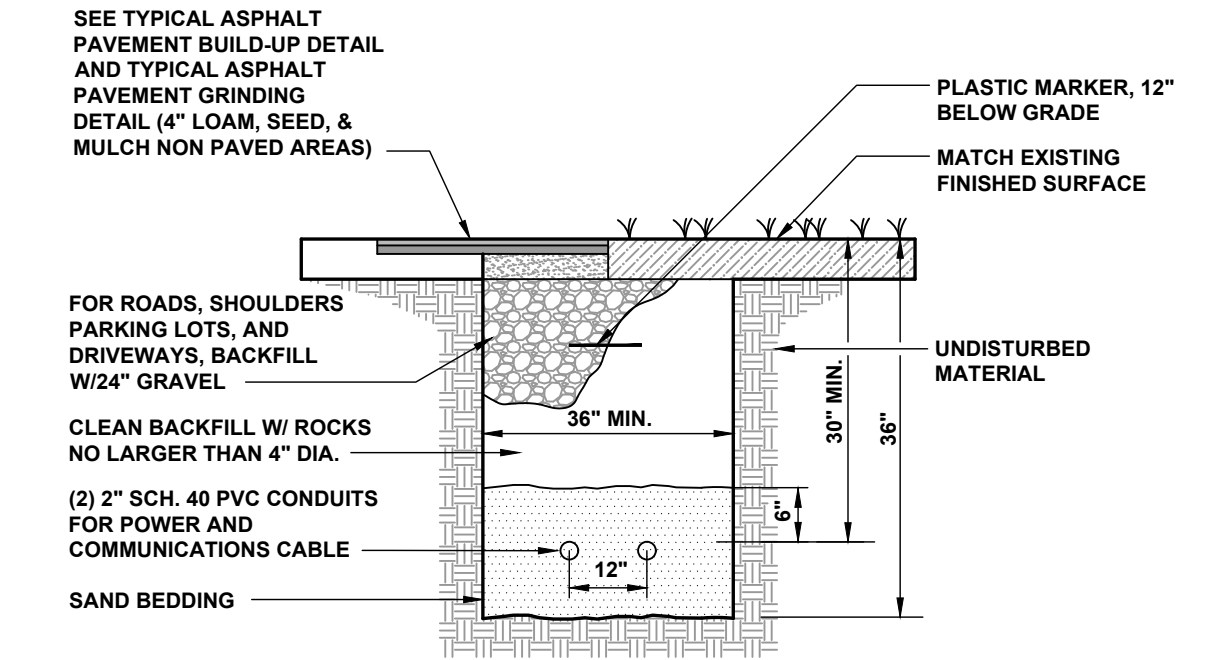
TYPICAL TYPE 'F' CATCH BASIN DETAIL
N.T.S.



TYPICAL CULVERT INLET/OUTLET PROTECTION DETAIL
N.T.S.

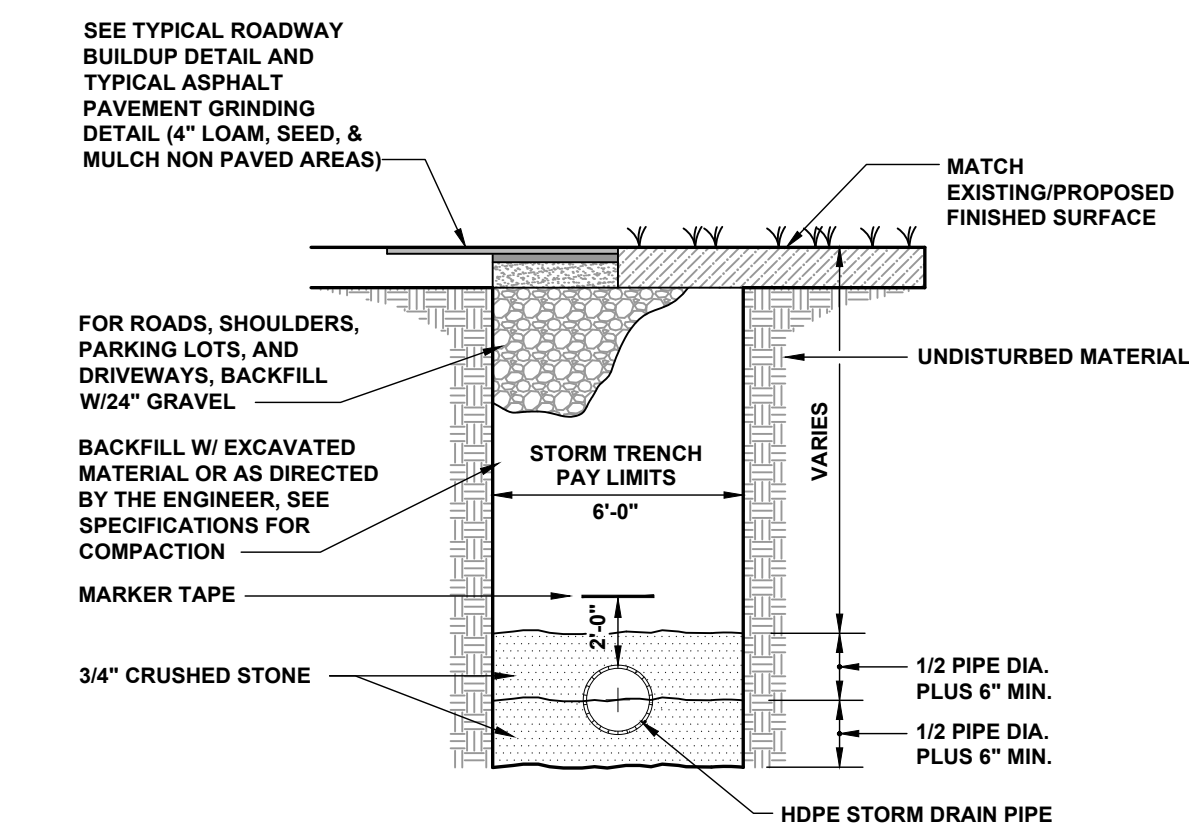


BANK STABILIZATION DETAIL
N.T.S.

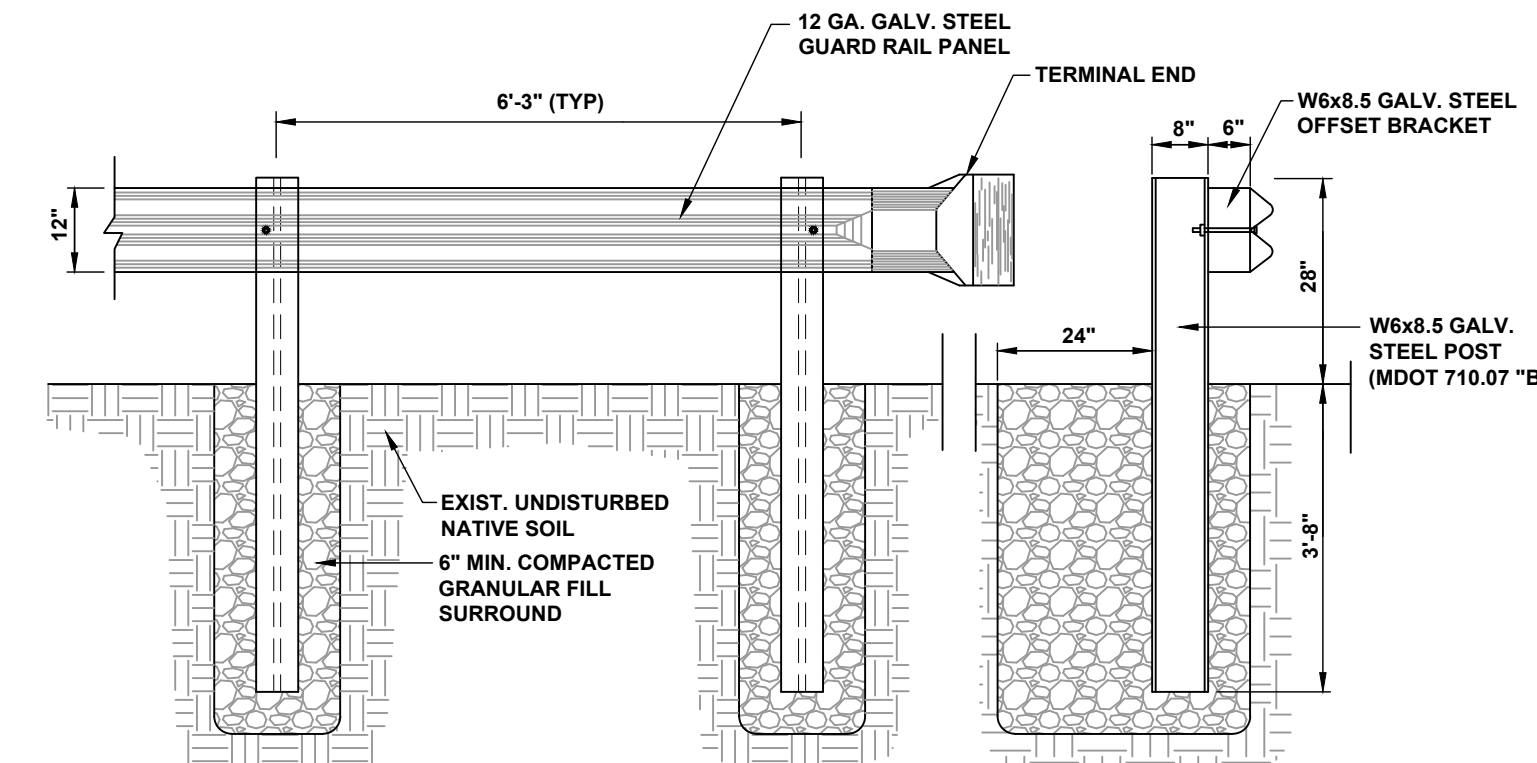


- NOTES:
1. SIZE, NUMBER, MATERIAL, AND ARRANGEMENT OF CONDUIT SHALL BE COORDINATED WITH INDIVIDUAL UTILITIES.
 2. ALL ELECTRICAL CONDUIT AND STRUCTURES SHALL BE WATER TIGHT.
 3. CONDUITS SHALL EXCLUSIVELY SERVE EITHER POWER OR COMMUNICATIONS.

TYPICAL UNDERGROUND UTILITY TRENCH DETAIL
N.T.S.

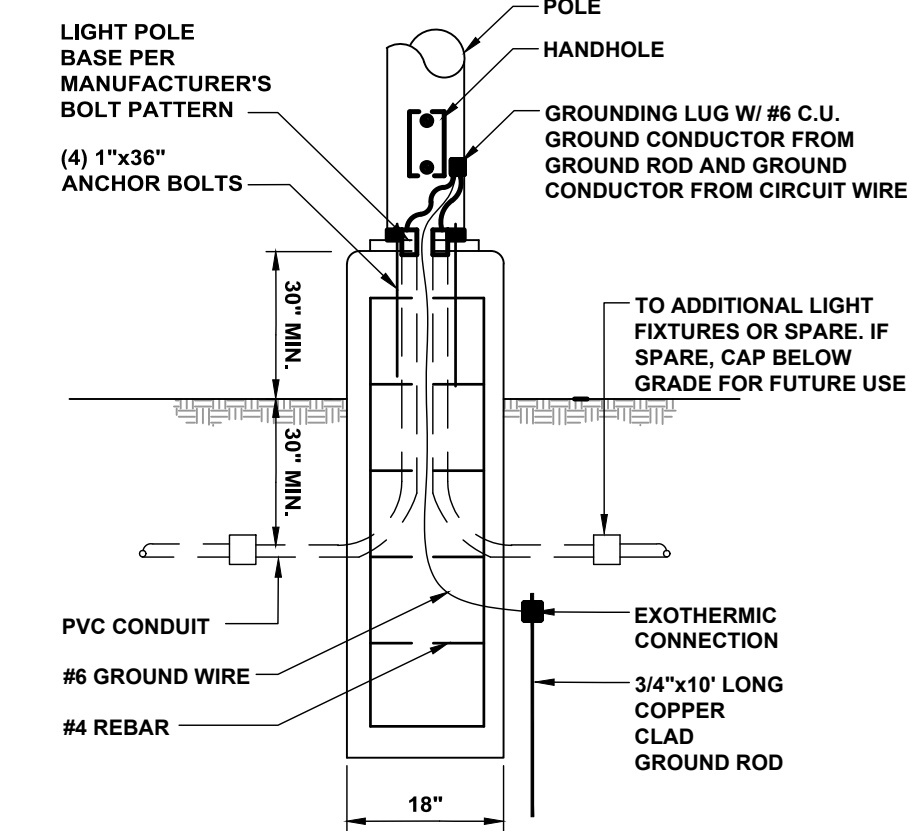


TYPICAL STORM DRAIN TRENCH DETAIL
N.T.S.

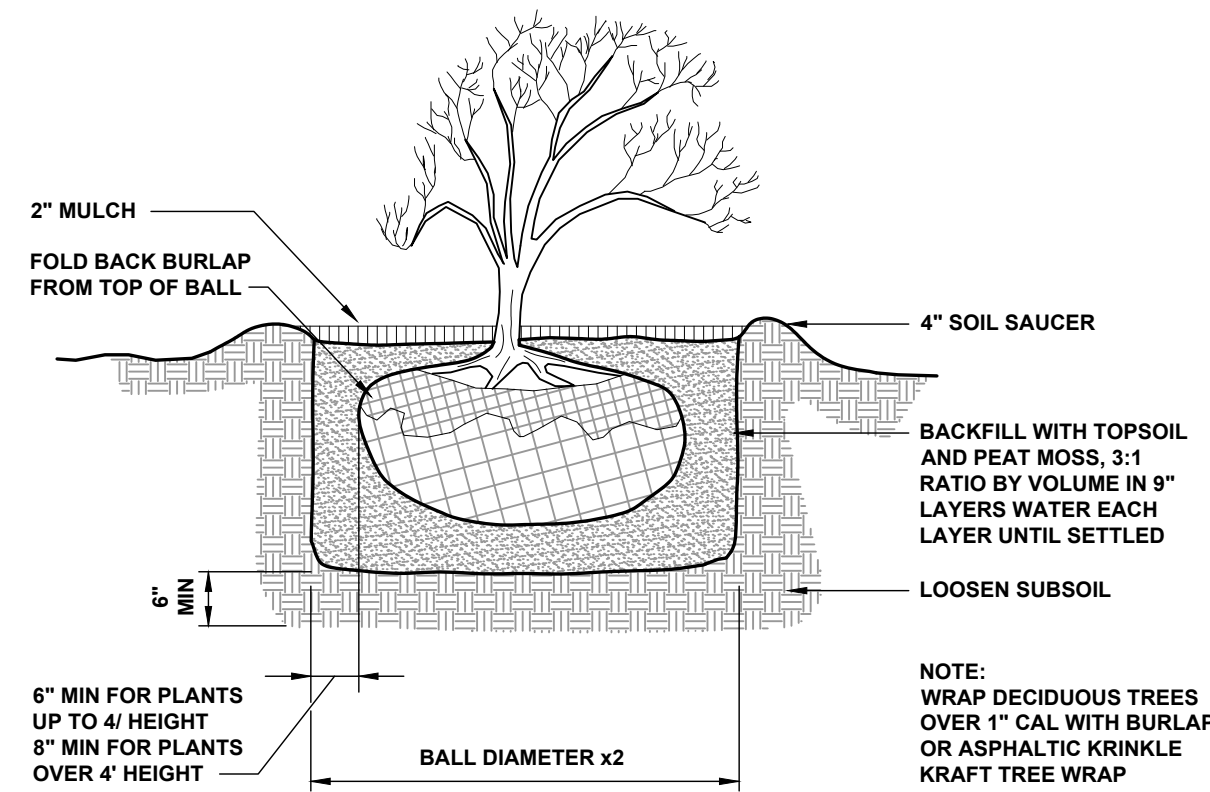


- NOTES:
1. CHEVRON STICK SHALL BE INSTALLED ON EACH TERMINAL END.
 2. REFLECTORIZED FLEXIBLE GUARDRAIL MARKERS SHALL BE MOUNTED ON ALL GUARDRAILS AT THE FLARED END TREATMENT TERMINALS AND ITS TANGENT POINTS, AT BOTH THE LEADING AND TRAILING ENDS OF EACH GUARDRAIL.
 3. REFLECTORIZED BEAM GUARDRAIL DELINEATOR SHALL BE MOUNTED WITHIN THE GUARDRAIL BEAM AT A MINIMUM EVERY OTHER GUARDRAIL POST.
 4. GUARDRAIL COMPONENTS SHALL MEET MDT SECTION 606 SPECIFICATIONS.

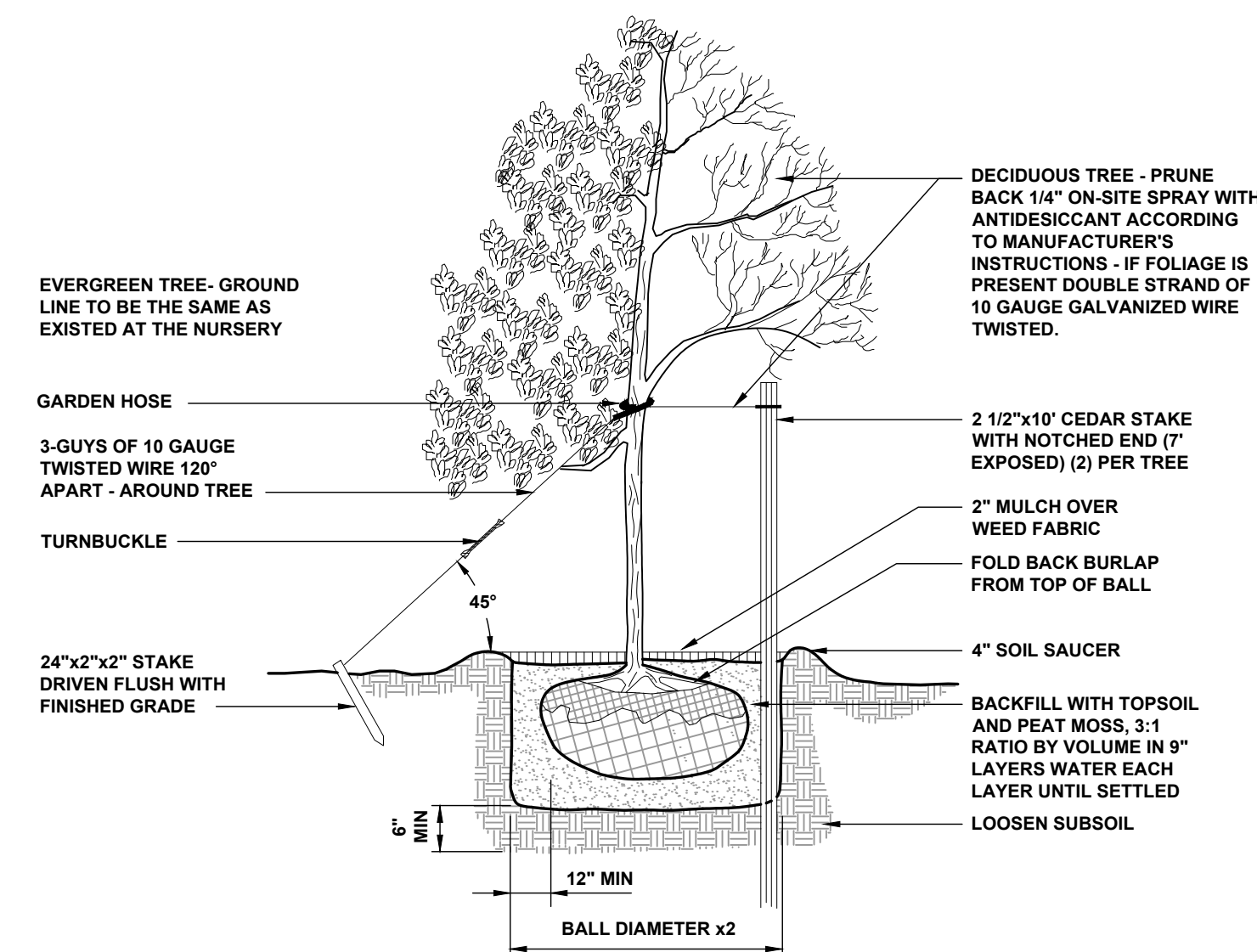
STEEL GUARDRAIL DETAIL
N.T.S.



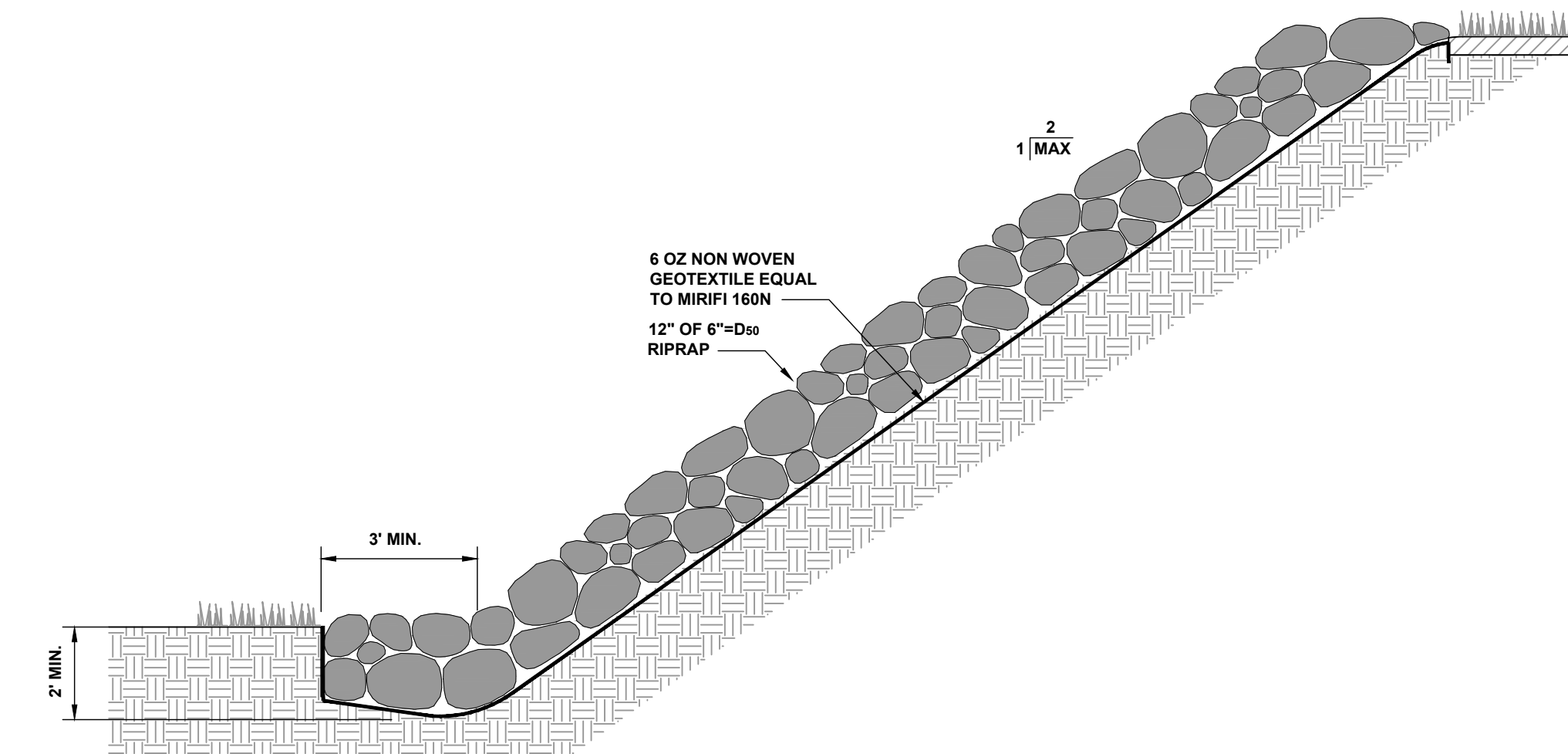
TYPICAL LIGHT POLE BASE DETAIL
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.



TYPICAL PLANTING DETAIL
N.T.S.



RIP RAPPED SLOPE STABILIZATION DETAIL
N.T.S.

REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
NOT FOR CONSTRUCTION				
 HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING One Merchants Plaza, Suite 701 Bangor, Maine 04401 207.989.4824 WWW.HALEYWARD.COM				
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SITE DETAILS				
DATE: 2021.05.26		SCALE: NTS		
DRAWN BY: WAB	DESIGNED BY: WAB	CHECKED BY: SMT		
PROJECT No: 13522.001		DRAWING No: C502		