

Town of Kittery Planning Board Meeting December 14, 2023

ITEM 3—3 Walker Street—Major Site Plan — Preliminary Review

Action: accept site plan as complete. Schedule site walk/public hearing. Eric Weinrieb, on behalf of owner/applicant 3 Walker Street LLC, is proposing to redevelop an existing structure into a 1,500 sq ft. mixed-use building consisting of two floors of office space and a third floor with a residential unit located on the property of 3 Walker Street, Map 4 Lot 99, in the Mixed-Use Kittery Foreside Zone.

PROCESS SUMMARY

REQ'D	ACTION	COMMENTS	STATUS
NO	Sketch Plan Acceptance/Approval	12/8/22	Accepted
YES	Planning board determination of completeness	Scheduled for 12/14/23	Pending
NO	Site Visit		TBD
YES	Public Hearing	Required for Preliminary Site Plan or Subdivision Approval	TBD
YES	Preliminary Plan Approval		TBD
YES	Final Plan Review and Decision		TBD

Applicant: Prior to the signing of the approved Plan any **Conditions of Approval related to the Findings of Fact along with waivers and variances (by the BOA) must be placed on the Final Plan and, when applicable, recorded at the York County Registry of Deeds. PLACE THE MAP AND LOT NUMBER IN 1/4" HIGH LETTERS AT LOWER RIGHT BORDER OF ALL PLAN SHEETS.** As per Section 16.4.4.L - Grading/Construction Final Plan Required. - Grading or construction of roads, grading of land or lots, or construction of buildings is prohibited until the original copy of the approved final plan endorsed has been duly recorded in the York County registry of deeds when applicable.

OTHER PERMITS AND REQUIREMENTS

- State Fire Marshal NFPA #13 fire protection system approval.
- DEP construction permitting and site review.
- Coordination with MDOT regarding Walker Street re-design project.

PROJECT INTRODUCTION

This is the first preliminary review for a proposed 3-story mixed-use building on the property of 3 Walker Street, located in the Kittery Foreside and directly abutting the Kittery Dance Hall, Lil’s Restaurant, and other commercial businesses located in 5-12 Wallingford Square. The property currently contains a vacant 2-story building previously used as a single-family dwelling and office space. The project proposes to demolish the property and rebuild two floors of office space with a single apartment unit on a third floor. The portion of the lot behind the proposed building would provide snow storage and 3 parking spaces, with all other parking requirements met with an off-site agreement.

The planning board accepted a sketch plan for this property in December 2022. During the sketch review, the applicant originally planned to provide retail or restaurant space on first floor; the applicant has decided instead to strictly provide office space and one single apartment unit.

The applicant has provided the submission requirements for a preliminary site plan. Staff advise determining application completeness and providing initial feedback during this meeting.

WAIVERS REQUESTED

1. Drainage pipe minimums: The applicant is requesting a modification to the drainage pipe minimum size from 12 inches to 6 inches. The applicant claims 12 inches is an excessive size for the proposed development.

STAFF COMMENTS

Listed below are additional comments provided by staff in addition to general review of standards:

1. The sketch review was accepted on 12/8/22. After a preliminary site plan is approved, applicants have a 6-month deadline to resubmit a final site plan, or approval expires and the application must be resubmitted. Because a sketch review is optional for site plans, there is no such deadline after sketch acceptance of a site plan.
2. The development does not propose enough residential units to require affordable housing. Per **16.5.4.E.(2).(c)**, staff note if the single apartment unit is designated as affordable, the entire development would receive a 20% discount on planning board applications, building permits, and all other Town fees (excluding sewer connection).
3. 3 Walker directly abuts an open restaurant patio from the restaurant Lil's south of the parcel. Staff suggest swapping the proposed parking spaces with the proposed snow storage areas, to allow for contiguous green space abutting that patio.
 - a. The narrative for the original sketch plan stated an intent to provide green space that would connect to this patio.
4. The water main along the proposed property is 4 inches. Because the proposed development will require a sprinkler system, the Kittery Water District requires a fire flow test to ensure adequate water access. They suggest the test be performed using the fire hydrant located on Dame Street.
5. A Flood Insurance Rate Map has been provided, showing the proposed development is completely out of any identified flood hazard area.
6. MDOT is planning a sidewalk development project along Wentworth Street. Included in this packet is an email from project manager Brian Keezer confirming the applicant and property owners have been in contact with DOT staff. MDOT plans to send the project out to bid in November and is assuming construction will begin Spring 2024 (if a suitable contractor is chosen within that timeframe).
7. Trash will be stored inside, as stated on the site plan.

PROJECT ANALYSIS

Staff reviewed the application and provided materials and have provided their determination on the requirements and standards below. All requirements that have not been met or require further discussion are highlighted.

Code Ref.	§16.4 Land Use Zone Standards	
	Standard	Determination
§16.4.25.B/C.	Permitted/Special Exception Uses	The proposed uses are permitted in the MU-KF Zone.
§16.4.25.D.(2).(a).	Minimum land area per dwelling unit: 5,000 sq ft.	Not applicable
§16.4.25.D.(2).(b).	Lot size: 5,000 sq ft. minimum	It appears the standard is satisfied.
§16.4.25.D.(2).(c).	Street frontage: no minimum	It appears the standard is satisfied.
§16.4.25.D.(2).(d).	Front setback: 10 ft minimum if not along Government Street or Wallingford Square NOTE: Per §16.1.8.B.(6) a building setback from the street line "need not be greater than the average of the setback	The development proposes reducing the front yard setback from 10.3' to 2.6.'. The applicant will be required to show this new setback meets the average setback

	distances of the buildings on the lots next thereto on either side.	of the adjacent buildings, or modify the site plan to satisfy the standard.
§16.4.25.D.(2).(e).	Rear and side setbacks: 10 ft minimum.	The proposed development maintains the 10' setback on one side, and reduces nonconformance to the 10' setback on another side. It appears the standard is satisfied.
§16.4.25.D.(2).(g).	Building height: 40 ft maximum	It appears the standard is satisfied.
§16.4.25.D.(2).(i).	Building coverage: 60% maximum	It appears the standard is satisfied
§16.4.25.D.(2).(j).	Open space: 40% minimum	The proposed development reduces the site's nonconformance to the open space minimum. The standard appears satisfied.
§16.4.25.D.(3).	Building footprint maximum: 1,500 square feet. NOTE: if development is replacing a building existing on the lot as of April 1, 2005, the development can match the existing footprint. Width of the new building as measured parallel to the front lot line may not be greater than the width of the pre-existing building.	It appears the standard is satisfied
§16.4.25.D.(4).	Special design standards must be met for projects that expand the existing building footprint and volume in 2005 by more than 30%.	The proposed development expands the original footprint by more than 30%. Building design standards will apply to this project unless waived.
§16.4.25.D.(7).	Total off-street parking requirements: <ul style="list-style-type: none"> • 1 space for the residential unit • 7 spaces for the two office floors. • Minus 3 spaces as part of nonresidential credit (see below) • Total 5 spaces required NOTE: the proposed development is exempt for up to 3 required off-street parking spaces (3 spaces for each separate non-residential use)	The plan proposes 3 spaces on-site, and an off-site agreement for the remaining 2 spaces. The site plan states 6 spaces are required, but only 5 are required.
Code Ref.	§16.5 Performance Standards	
	Standard	Determination
§16.5.10	Essential Services	All utilities in the plan are proposed to be underground. The standard appears to be satisfied. A fire flow test is required to determine if the current water utility lines are adequate for the proposed development.

		Utility installation will be in coordination with MDOT sidewalk project.
§16.5.25	Sprinkler Systems are required in all buildings of 3 stories or more and must meet NFPA standards	Kittery Water District has sufficient capacity for sprinkler systems. Approval will be determined by State Fire Marshal.
§16.5.27	Street Standards	MDOT is currently in the process of installing sidewalks along Wentworth St. The proposed development will coordinate with MDOT to ensure utility installation does not impair state project.
Code Ref.	§16.7.10 Preliminary Site Plan Requirements	
	Standard	Determination
§16.7.10.C.(4).(a-i).	<ul style="list-style-type: none"> • Paper plan sheets no smaller than 11” x 17” • Scale of drawing no greater than 1 inch = 30 feet • Code block in right-hand corner • Standard boundary survey of existing conditions • Compass with arrow pointing true north • Locus map of property • Vicinity map and aerial photograph • Surveyed acreage of parcel(s), rights-of-way, wetlands, and amount of street frontage • Names and addresses of owners of record abutting property 	Provided
§16.7.10.C.(4).(j).	Existing conditions survey including all identified structures, natural resources, rights-of-way, and utilities located on and within 100 feet of the property.	Provided
§16.7.10.C.(4).(k).	<ul style="list-style-type: none"> • Proposed development area including: • Location and detail of proposed structures and signs • Proposed utilities including power, water, and sewer. • Sewage facilities type and placement. • Domestic water source • Lot lines, rights-of-way, and street alignments • Road and other paved area plans • Existing and proposed setbacks • Storage areas for waste or hazardous materials • Topographic contours of existing contours and finished grade elevations • Locations and dimensions of artificial features such as pedestrian ways, sidewalks, curb cuts, driveways, fences, retaining walls, 	Provided

§16.7.10.C.(4).(l).	Natural features or site elements to be preserved.	Provided
§16.7.10.C.(4).(m).	Identified property encumbrances.	Provided
§16.7.10.C.(4).(n).	Kittery Water District approval letter.	Provided
§16.7.10.C.(4).(o).	Erosion and sedimentation control plan.	Provided
§16.7.10.C.(4).(p).	Stormwater management plan and drainage analysis.	Provided
§16.7.10.C.(4).(q).	Soil survey.	Provided
§16.7.10.C.(4).(r).	Vehicular traffic report.	Provided
§16.7.10.C.(4).(s).	Traffic impact analysis.	Estimated trips do not trigger a traffic impact analysis.
§16.7.10.C.(4).(t).	Test pit analysis.	Not applicable
§16.7.10.C.(4).(u).	Approval letter from Town sewage.	Provided
§16.7.10.C.(4).(v).	Evaluation of development by Technical Review Committee department heads.	Provided
§16.7.10.C.(4).(w).	Additional submissions as required:	None requested at this time

DISCUSSION, NEXT STEPS, AND RECOMMENDATIONS

The purpose of the first meeting of a preliminary site plan is to determine the completeness of an application, provide specific feedback to the applicant, and determine whether the plan is ready to schedule a public hearing. The outstanding issues that have been identified are able to be modified at later iterations of the preliminary site plan. The application meets all submission requirements for initial acceptance and all identified issues can be resolved in future revisions. Staff suggest the planning board provide initial feedback on the full plan set, the proposed changes from sketch plan, and the phasing plan.

RECOMMENDED MOTIONS

Below are recommended motions for the Board's use and consideration:

Motion to accept the application as complete

Move to accept the preliminary site plan by Eric Weinrieb, on behalf of owner/applicant 3 Walker Street LLC.

Motion to schedule a site walk

Move to visit the site of the preliminary site plan by Eric Weinrieb, on behalf of owner/applicant 3 Walker Street LLC.

Motion to schedule a public hearing

Move to schedule a public hearing for the preliminary site plan by Eric Weinrieb, on behalf of owner/applicant 3 Walker Street LLC.



**Civil
Site Planning
Environmental
Engineering**

133 Court Street
Portsmouth, NH
03801-4413

November 22, 2023

Mazim Zakian, Town Planner
Town of Kittery
200 Rogers Road
Kittery, Maine 03904

**Re: Site Re-Development
Map 4 Lot 99
3 Walker Street
Kittery, Maine**

Dear Mr. Zakian,

On behalf of the applicant, 3 Walker Street, LLC, c/o Lane Cheney, Altus Engineering (Altus) is respectfully submitting a Preliminary Site Plan Review application for property located at 3 Walker Street. The redevelopment project will raze the existing structure, which has fallen into disrepair and proposes constructing a mixed-use building consisting of two levels of office space and a residential unit on the third level with site amenities.

If you have any questions or need additional information, please contact us. Thank you for your time and consideration. We look forward to presenting this project at the December 14th Planning Board meeting.

Sincerely,

ALTUS ENGINEERING

A handwritten signature in black ink, appearing to read "Eric D. Weinrieb".

Eric D. Weinrieb, P.E.
President

RMB/edw/5401.00a Cover.ltr.docx

Enclosures

ecopy: Lane Cheney, 3 Walker Street, LLC
Brandon Holden, Winter Holden Architecture

Preliminary Site Plan Review Application

Site Re-Development

**Tax Map 4, Lot 99
3 Walker Street
Kittery, Maine**

November 22, 2023

Prepared For:

3 Walker Street, LLC

c/o Lane Cheney
76 Exeter, Street
Newmarket NH 03857
(603) 502-8232

Prepared By:

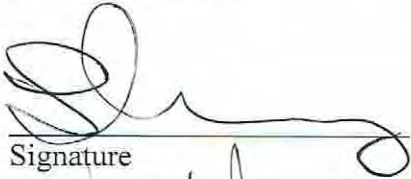
Altus Engineering

133 Court Street
Portsmouth, NH 03801
Phone: (603) 433-2335



Letter of Authorization

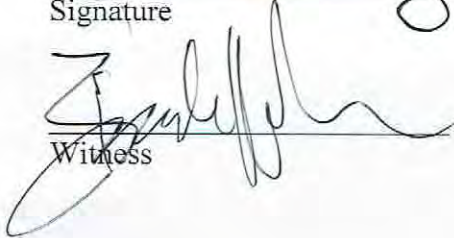
3 Walker Street, LLC, hereby authorizes Altus Engineering, LLC, Doucet Survey, LLC, and Winter Holben Design, LLC to represent us in all matters concerning the engineering, surveying and architecture, and related permitting of improvements to the property located at 3 Walker Street in Kittery, Maine on Assessors Map 4, Lot 99. This authorization shall include any signatures required for Federal, State and Municipal permit applications.



Signature

LANE CHENEY
Lane Cheney

11-21-23
Date



Witness

BRANDON HOUBEN
Print Name

11/21/23
Date



Vicinity Plan

Kittery, ME

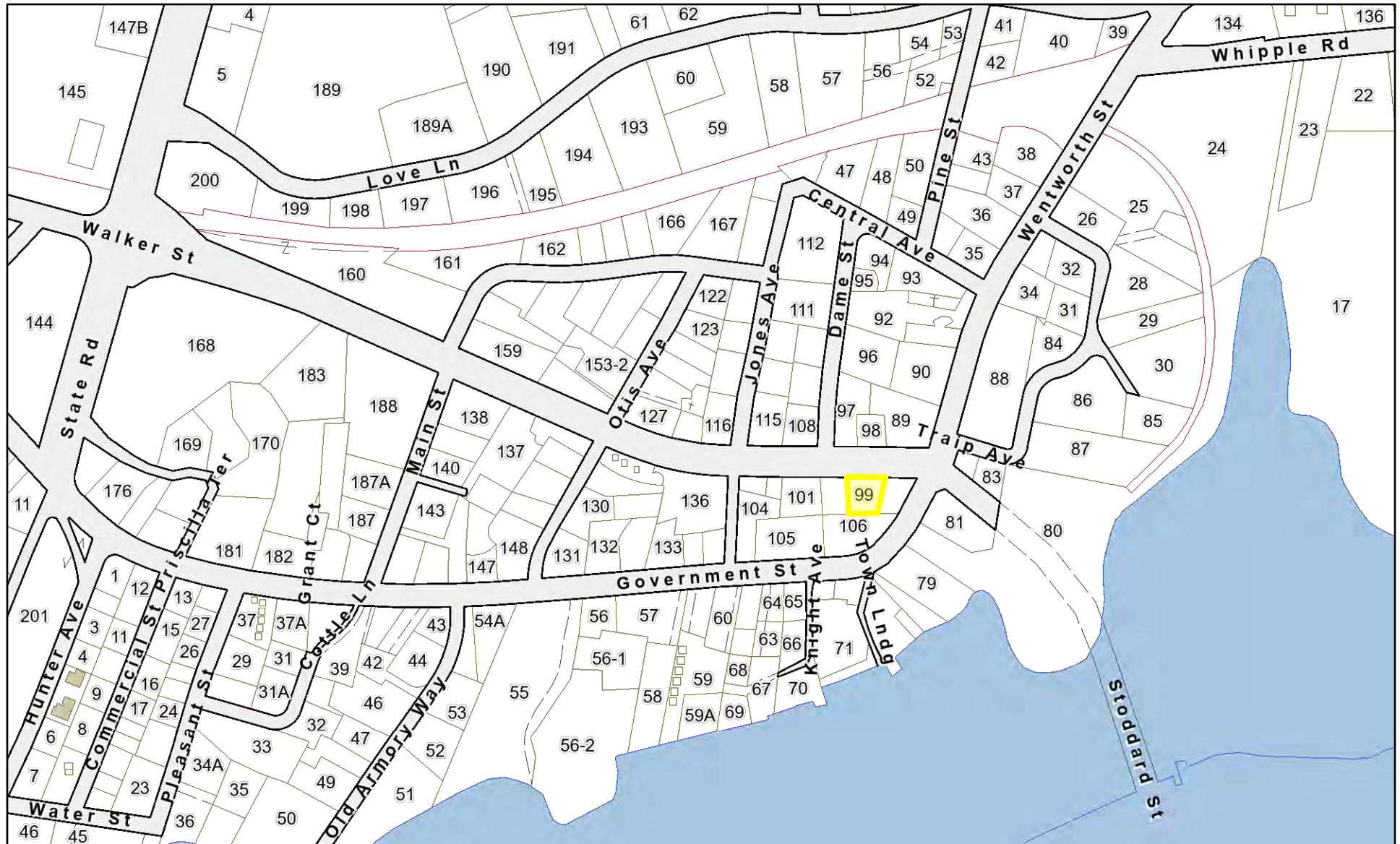
1 inch = 300 Feet



November 9, 2023

www.cai-tech.com

0 300 600 900




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Untitled Map

Write a description for your map.

Legend

 3 Walker St

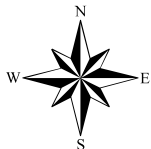
SITE

3 Walker St

Google Earth

400 ft





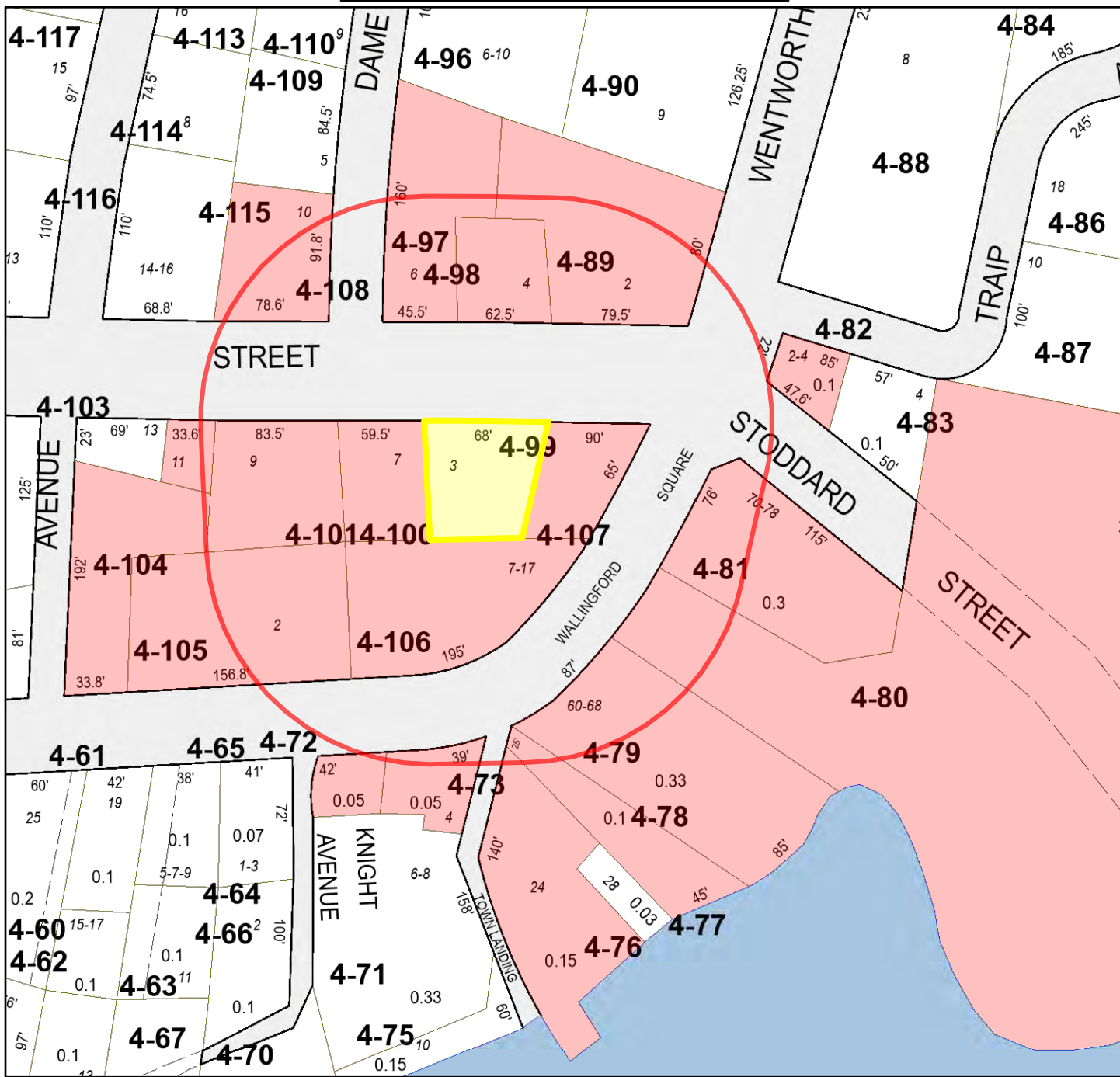
Kittery, ME

1 inch = 100 Feet



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November 9, 2023



	Water-poly
	Map - Lot Labels
	Right of Way

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150 foot Abutters List Report

Kittery, ME
November 09, 2023

Subject Property:

Parcel Number: 4-99
CAMA Number: 4-99
Property Address: 3 WALKER STREET

Mailing Address: 3 WALKER STREET LLC 3 WALKER STREET LLC
76 EXETER ROAD
NEWMARKET, NH 03857

Abutters:

Parcel Number: 4-100
CAMA Number: 4-100
Property Address: 7 WALKER STREET

Mailing Address: THE DANCE HALL THE DANCE HALL
PO BOX 691
KITTERY, ME 03904

Parcel Number: 4-101
CAMA Number: 4-101
Property Address: 9 WALKER STREET

Mailing Address: MURPHY TR, AMY E DUTTON MURPHY TR, AMY E DUTTON
420 RICHARDS AVENUE
PORTSMOUTH, NH 03801

Parcel Number: 4-102
CAMA Number: 4-102
Property Address: 11 WALKER STREET

Mailing Address: PARADIS, PAUL J PARADIS, PAUL J
11 WALKER STREET
KITTERY, ME 03904

Parcel Number: 4-104
CAMA Number: 4-104
Property Address: GOVERNMENT STREET

Mailing Address: SECOND CHRISTIAN SOCIETY SECOND CHRISTIAN SOCIETY
33 GOVERNMENT STREET
KITTERY, ME 03904-1652

Parcel Number: 4-105
CAMA Number: 4-105
Property Address: 2 GOVERNMENT STREET

Mailing Address: STUDIO VERTE LLC STUDIO VERTE LLC
172 PEPPERRELL ROAD
KITTERY POINT, ME 03905-5122

Parcel Number: 4-106
CAMA Number: 4-106
Property Address: 7-17 WALLINGFORD SQUARE

Mailing Address: WALLINGFORDKITTERY, LLC WALLINGFORDKITTERY, LLC
7 WALLINGFORD SQUARE UNIT 102
KITTERY, ME 03904

Parcel Number: 4-107
CAMA Number: 4-107
Property Address: WALLINGFORD SQUARE

Mailing Address: INHABITANTS OF KITTERY INHABITANTS OF KITTERY
200 ROGERS ROAD
KITTERY, ME 03904-1428

Parcel Number: 4-108
CAMA Number: 4-108
Property Address: 10 WALKER STREET

Mailing Address: WALKER LLC WALKER LLC
PO BOX 170998
BOSTON, MA 02117

Parcel Number: 4-72
CAMA Number: 4-72
Property Address: WALLINGFORD SQUARE

Mailing Address: GOLINI ENTERPRISES LLC GOLINI ENTERPRISES LLC
1 GOVERNMENT STREET
KITTERY, ME 03904-1653

Parcel Number: 4-73
CAMA Number: 4-73
Property Address: 4 WALLINGFORD SQUARE

Mailing Address: JEST REALTY LLC JEST REALTY LLC
23 RANDOM ROAD
BEDFORD, NH 03110

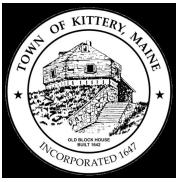


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11/9/2023

Page 1 of 2



150 foot Abutters List Report

Kittery, ME
November 09, 2023

Parcel Number: 4-76 CAMA Number: 4-76 Property Address: 24 WALLINGFORD SQUARE	Mailing Address: CRAWFORD TR, BETTY L CRAWFORD TR, BETTY L 510 US ROUTE 1 KITTERY, ME 03904-5507
Parcel Number: 4-78 CAMA Number: 4-78 Property Address: TOWN LANDING	Mailing Address: INHABITANTS OF KITTERY INHABITANTS OF KITTERY 200 ROGERS ROAD KITTERY, ME 03904-1428
Parcel Number: 4-79 CAMA Number: 4-79 Property Address: 60-68 WALLINGFORD SQUARE	Mailing Address: 60-68 WALLINGFORD SQUARE LLC 60-68 WALLINGFORD SQUARE LLC C/O LORI DAWSON 17 MADBURY ROAD STE 120 DURHAM, NH 03824
Parcel Number: 4-80 CAMA Number: 4-80 Property Address: WALLINGFORD SQUARE	Mailing Address: UNITED STATES OF AMERICA UNITED STATES OF AMERICA 300 WESTGATE CENTER DRIVE HADLEY, MA 01035
Parcel Number: 4-81 CAMA Number: 4-81 Property Address: 70-78 WALLINGFORD SQUARE	Mailing Address: WALLINGFORD RENTALS LLC WALLINGFORD RENTALS LLC 5 MELANIES COURT KITTERY, ME 03904
Parcel Number: 4-82 CAMA Number: 4-82 Property Address: 2-4 WENTWORTH STREET	Mailing Address: BRIDGE, SCOTT BRIDGE, SCOTT 165 CENTRAL ROAD RYE, NH 03870
Parcel Number: 4-89 CAMA Number: 4-89 Property Address: 2 WALKER STREET	Mailing Address: KITTERY ART ASSOCIATION KITTERY ART ASSOCIATION PO BOX 44 KITTERY POINT, ME 03905
Parcel Number: 4-97 CAMA Number: 4-97 Property Address: 6 WALKER STREET	Mailing Address: GILBRIDE, KENNETH G WALKER 6-8 LLC PO BOX 170998 BOSTON, MA 02117
Parcel Number: 4-98 CAMA Number: 4-98 Property Address: 4 WALKER STREET	Mailing Address: VALHOS, NICHOLAS G WALKER 6-8 LLC PO BOX 170998 BOSTON, MA 02117



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**Civil
Site Planning
Environmental
Engineering**

133 Court Street
Portsmouth, NH
03801-4413

November 22, 2023

**Subject: Site Re-Development
Map 4 Lot 99
3 Walker Street
Kittery, Maine**

Dear Abutter:

This letter is to notify you that 3 Walker Street, LLC is submitting an application to the Town of Kittery Planning Board for property located at 3 Walker Street. The redevelopment project will raze the existing structure, which has fallen into disrepair and proposes constructing a mixed-use building consisting of two levels of office space and a residential unit on the third level with site amenities.

Plans are available for public review at the Planning Department in the Kittery Town Hall at 200 Rogers Road. Also, you may track the application's progress by reviewing Planning Board meeting dates, agendas and minutes on the internet. Please go to internet address www.kitteryme.org and on the left hand side of the web page, click on "Agendas and Meetings" and then on the appropriate date.

Otherwise you may contact the Town Planning Department at 207-475-1323.

Sincerely,

A handwritten signature in blue ink that reads "Ronald M. Beal".

Ronald M. Beal, P.E.
Project Engineer

RMB\edw\5401.03c Abut.ltr.docx

CERTIFIED MAIL

60-68 WALLINGFORD SQUARE
60-68 WALLINGFORD SQUARE
C/O LORI DAWSON
17 MADBURY ROAD STE 120
DURHAM, NH 03824

SECOND CHRISTIAN SOCIETY
SECOND CHRISTIAN SOCIETY
33 GOVERNMENT STREET
KITTERY, ME 03904-1652

BRIDGE, SCOTT
BRIDGE, SCOTT
165 CENTRAL ROAD
RYE, NH 03870

STUDIO VERTE LLC
STUDIO VERTE LLC
172 PEPPERRELL ROAD
KITTERY POINT, ME 03905-5122

CRAWFORD TR, BETTY L
CRAWFORD TR, BETTY L
510 US ROUTE 1
KITTERY, ME 03904-5507

THE DANCE HALL
THE DANCE HALL
PO BOX 691
KITTERY, ME 03904

GILBRIDE, KENNETH G
WALKER 6-8 LLC
PO BOX 170998
BOSTON, MA 02117

UNITED STATES OF AMERICA
UNITED STATES OF AMERICA
300 WESTGATE CENTER DRIVE
HADLEY, MA 01035

GOLINI ENTERPRISES LLC
GOLINI ENTERPRISES LLC
1 GOVERNMENT STREET
KITTERY, ME 03904-1653

VALHOS, NICHOLAS G
WALKER 6-8 LLC
PO BOX 170998
BOSTON, MA 02117

INHABITANTS OF KITTERY
INHABITANTS OF KITTERY
200 ROGERS ROAD
KITTERY, ME 03904-1428

WALKER LLC
WALKER LLC
PO BOX 170998
BOSTON, MA 02117

JEST REALTY LLC
JEST REALTY LLC
23 RANDOM ROAD
BEDFORD, NH 03110

WALLINGFORD RENTALS LLC
WALLINGFORD RENTALS LLC
5 MELANIES COURT
KITTERY, ME 03904

KITTERY ART ASSOCIATION
KITTERY ART ASSOCIATION
PO BOX 44
KITTERY POINT, ME 03905

WALLINGFORDKITTERY, LLC
WALLINGFORDKITTERY, LLC
7 WALLINGFORD SQUARE UNIT
102
KITTERY, ME 03904

MURPHY TR, AMY E DUTTON
MURPHY TR, AMY E DUTTON
420 RICHARDS AVENUE
PORTSMOUTH, NH 03801

PARADIS, PAUL J
PARADIS, PAUL J
11 WALKER STREET
KITTERY, ME 03904

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.62

Total \$5.01

Sent To
Street
City, State

GOLINI ENTERPRISES LLC
GOLINI ENTERPRISES LLC
1 GOVERNMENT STREET
KITTERY, ME 03904-1653

11/22/2023

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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.62

Total \$5.01

Sent To
Street
City, State

GILBRIDE, KENNETH G
WALKER 6-8 LLC
PO BOX 170998
BOSTON, MA 02117

11/22/2023

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Durham, NH 03824

Certified Mail Fee \$4.35

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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.62

Total \$5.01

Sent To
Street
City, State

60-68 WALLINGFORD SQUARE
60-68 WALLINGFORD SQUARE
C/O LORI DAWSON
17 MADBURY ROAD STE 120
DURHAM, NH 03824

11/22/2023

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Kittery, ME 03904

Certified Mail Fee \$4.35

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.62

Total \$5.01

Sent To
Street
City, State

CRAWFORD TR, BETTY L
CRAWFORD TR, BETTY L
510 US ROUTE 1
KITTERY, ME 03904-5507

11/22/2023

PS Form Instructions

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**
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For delivery information, visit our website at www.usps.com®.

OFFICIAL USE
Kittery, ME 03904

Certified Mail Fee \$4.35

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.62

Total \$5.01

Sent To
Street
City, State

WALLINGFORDKITTERY, LLC
WALLINGFORDKITTERY, LLC
7 WALLINGFORD SQUARE UNIT
102
KITTERY, ME 03904

11/22/2023

PS Form Instructions

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**
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OFFICIAL USE
Rye, NH 03870

Certified Mail Fee \$4.35

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.62

Total \$5.01

Sent To
Street
City, State

BRIDGE, SCOTT
BRIDGE, SCOTT
165 CENTRAL ROAD
RYE, NH 03870

11/22/2023

PS Form Instructions

7020 0640 0001 3192 7400

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Kittery, ME 03904

Certified Mail Fee	\$4.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
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<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

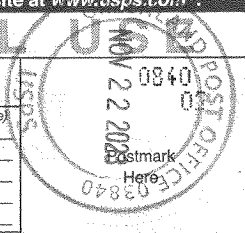
Postage \$0.62

Total Postage and Fees \$5.01

11/22/2023

Sent To: WALLINGFORD RENTALS LLC
 Street: WALLINGFORD RENTALS LLC
 5 MELANIES COURT
 City, State: KITTERY, ME 03904

PS Form Instructions



7020 0640 0001 3192 7417

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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For delivery information, visit our website at www.usps.com®.

Boston, MA 02117

Certified Mail Fee	\$4.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
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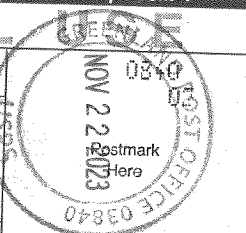
Postage \$0.62

Total Postage and Fees \$5.01

11/22/2023

Sent To: WALKER LLC
 Street: WALKER LLC
 PO BOX 170998
 City, State: BOSTON, MA 02117

PS Form Instructions



7020 0640 0001 3192 7424

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Boston, MA 02117

Certified Mail Fee	\$4.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
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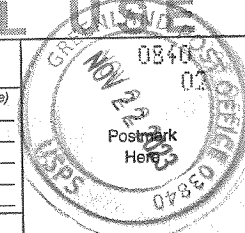
Postage \$0.62

Total Postage and Fees \$5.01

11/22/2023

Sent To: VALHOS, NICHOLAS G
 Street: WALKER 6-8 LLC
 PO BOX 170998
 City, State: BOSTON, MA 02117

PS Form Instructions



7020 0640 0001 3192 7431

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Hadley, MA 01035

Certified Mail Fee	\$4.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

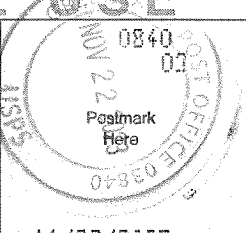
Postage \$0.62

Total Postage and Fees \$5.01

11/22/2023

Sent To: UNITED STATES OF AMERICA
 Street and: UNITED STATES OF AMERICA
 300 WESTGATE CENTER DRIVE
 City, State: HADLEY, MA 01035

PS Form Instructions



7020 0640 0001 3192 7448

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Kittery, ME 03904

Certified Mail Fee	\$4.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
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<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

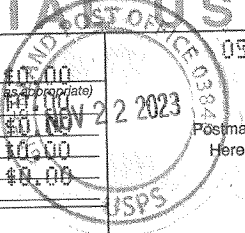
Postage \$0.62

Total Postage and Fees \$5.01

11/22/2023

Sent To: THE DANCE HALL
 Street: THE DANCE HALL
 PO BOX 691
 City, State: KITTERY, ME 03904

PS Form Instructions



7020 0640 0001 3192 7455

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Kittery Point, ME 03907

Certified Mail Fee	\$4.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
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<input type="checkbox"/> Adult Signature Required	\$0.00
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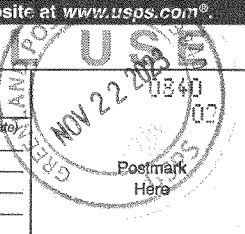
Postage \$0.62

Total Postage and Fees \$5.01

11/22/2023

Sent To: STUDIO VERTE LLC
 Street: STUDIO VERTE LLC
 172 PEPPERRELL ROAD
 City, State: KITTERY POINT, ME 03905-5122

PS Form Instructions



7020 0640 0001 3192 7295

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OFFICIAL USE

Kittery, ME 03904

Certified Mail Fee	\$14.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.67
Total	\$15.01

Postmark Here
 NOV 2 2023
 GREENLAND POST OFFICE 03840

11/22/2023

Sent To: PARADIS, PAUL J
 PARADIS, PAUL J
 11 WALKER STREET
 KITTERY, ME 03904

PS Form 38 Instructions

7020 0640 0001 3192 7462

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OFFICIAL USE

Kittery, ME 03904

Certified Mail Fee	\$14.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.67
Total	\$15.01

Postmark Here
 NOV 22 2023
 GREENLAND POST OFFICE 03840

11/22/2023

Sent To: SECOND CHRISTIAN SOCIETY
 SECOND CHRISTIAN SOCIETY
 33 GOVERNMENT STREET
 KITTERY, ME 03904-1652

PS Form 38 Instructions

7020 0640 0001 3192 7316

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OFFICIAL USE

Kittery Point, ME 03905

Certified Mail Fee	\$14.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.67
Total	\$15.01

Postmark Here
 NOV 2 2023
 GREENLAND POST OFFICE 03840

11/22/2023

Sent To: KITTERY ART ASSOCIATION
 KITTERY ART ASSOCIATION
 PO BOX 44
 KITTERY POINT, ME 03905

PS Form 38 Instructions

7020 0640 0001 3192 7302

U.S. Postal Service™
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OFFICIAL USE

Portsmouth, NH 03801

Certified Mail Fee	\$14.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.67
Total	\$15.01

Postmark Here
 NOV 22 2023
 GREENLAND POST OFFICE 03840

11/22/2023

Sent To: MURPHY TR, AMY E DUTTON
 MURPHY TR, AMY E DUTTON
 420 RICHARDS AVENUE
 PORTSMOUTH, NH 03801

PS Form 38 Instructions

7020 0640 0001 3192 7332

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Kittery, ME 03904

Certified Mail Fee	\$14.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.67
Total	\$15.01

Postmark Here
 NOV 2 2023
 GREENLAND POST OFFICE 03840

11/22/2023

Sent To: INHABITANTS OF KITTERY
 INHABITANTS OF KITTERY
 200 ROGERS ROAD
 KITTERY, ME 03904-1428

PS Form 38 Instructions

7020 0640 0001 3192 7325

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Bedford, NH 03110

Certified Mail Fee	\$14.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
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<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.67
Total	\$15.01

Postmark Here
 NOV 2 2023
 GREENLAND POST OFFICE 03840

11/22/2023

Sent To: JEST REALTY LLC
 JEST REALTY LLC
 23 RANDOM ROAD
 BEDFORD, NH 03110

PS Form 38 Instructions

DLN: 1002240208579

MUNICIPAL QUITCLAIM DEED

TOWN OF KITTERY, a municipality organized under the laws of Maine, located in Kittery, York County, Maine, for consideration paid, releases to **3 WALKER STREET LLC**, a New Hampshire limited liability company, with a mailing address of 76 Exeter Road, Newmarket, New Hampshire, 03857, the real property located in Kittery, York County, Maine, more particularly bounded and described as follows:

Being a certain lot or parcel of land, together with any buildings thereon, situated on Walker Street in the Town of Kittery, and being more particularly bounded and described as follows:

Beginning at a concrete post which is set in the ground at said Walker Street at intersection of land now or formerly of Constitutional Aid Society, and thence running in a general southerly direction by said land now or formerly of the Constitutional Aid Society to a granite post which is set in the ground at land now or formerly of the Kittery Masonic Temple Association; thence turning and running in general westerly direction by said land now or formerly of the said Kittery Masonic Temple Association, to a hub at land now or formerly of the Kittery Grange Building Corporation; thence turning and running in a general northerly direction, by said land now or formerly of the said Kittery Grange Building Corporation, to said Walker Street; thence turning and running in a general easterly direction, by said Walker Street, to a concrete post and the point of beginning.

EXCEPTING, however, that portion of the premises taken during 1953 on said Walker Street for highway purposes.

Meaning and intending to convey and hereby conveying the same premises granted by Kimberly E. Sylvester, Personal Representative of the Estate of Diana T. Sylvester, to Town of Kittery, dated July 30, 2020, and recorded in the York County Registry of Deeds in Book 18331, Page 565.

The property herein conveyed (the "Property") is expressly SUBJECT TO the perpetual restriction, and the grantee, for itself, and its successors and assigns (collectively, the "Grantee"), forever, covenant that the Property shall not be used, or allowed to be used for surface parking, provided, however, surface parking ancillary to the approved development of the Property shall be permitted. This restriction and covenant runs with, binds and burdens the

land herein conveyed. This restriction and covenant shall be specifically enforceable by the Town.

The said Town of Kittery has caused this instrument to be signed in its corporate name by Kendra Amaral, Town Manager, duly authorized, this 1 day of September 2022.

WITNESS:

[Signature]

TOWN OF KITTERY

By: [Signature]

Kendra Amaral, Town Manager
Duly authorized

STATE OF ~~MAINE~~ NEW HAMPSHIRE
COUNTY OF ~~YORK~~ ROCKINGHAM

SEPT 1, 2022

Then personally appeared the above-named Kendra Amaral, Town Manager of the Town of Kittery, and acknowledged the foregoing instrument to be her free act and deed in her said capacity, and the free act and deed of Town of Kittery.

Before me,

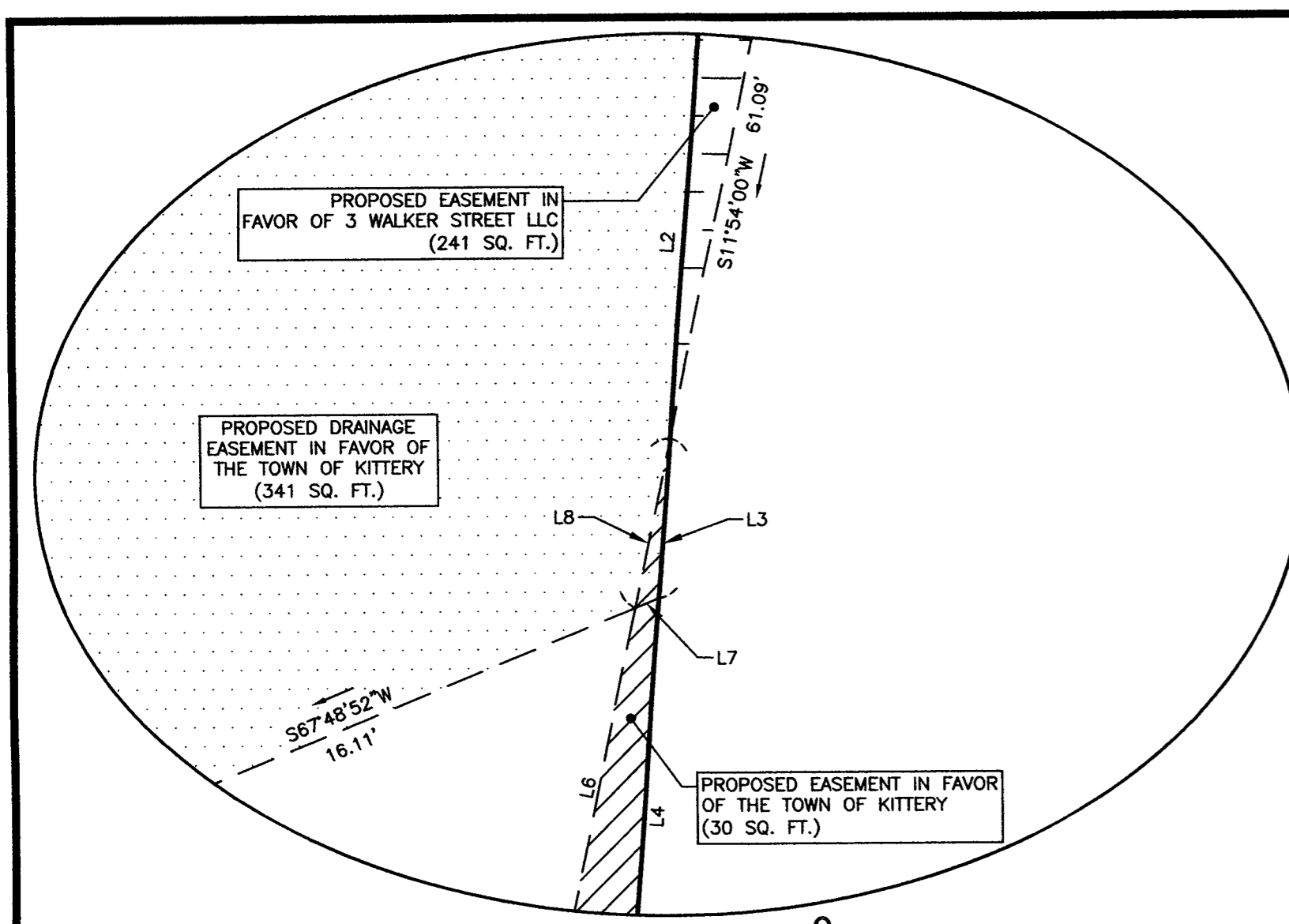
[Signature]

Notary Public/Maine Attorney-at-law

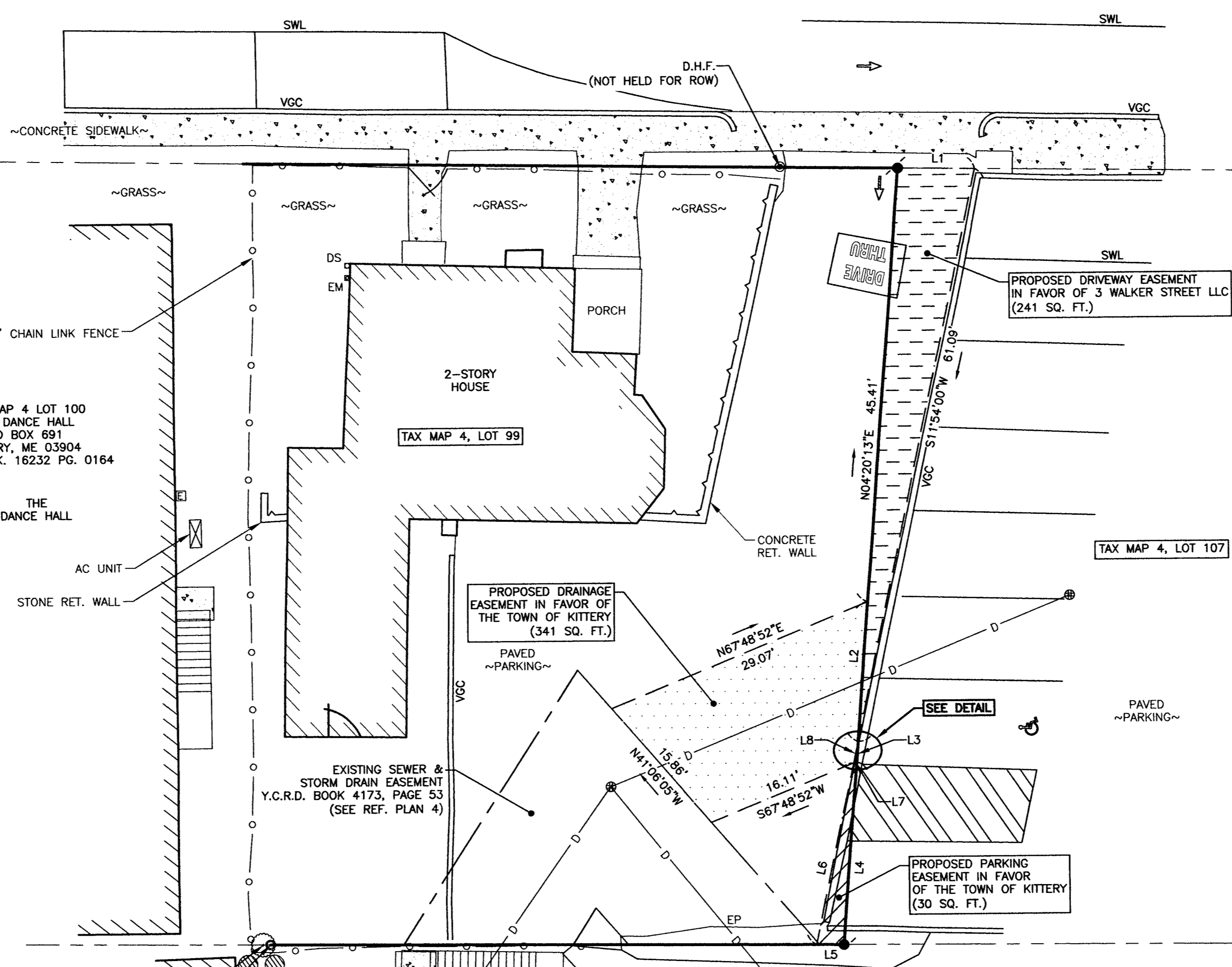
Print Name: _____

Commission Expires: _____
(Affix notarial seal)



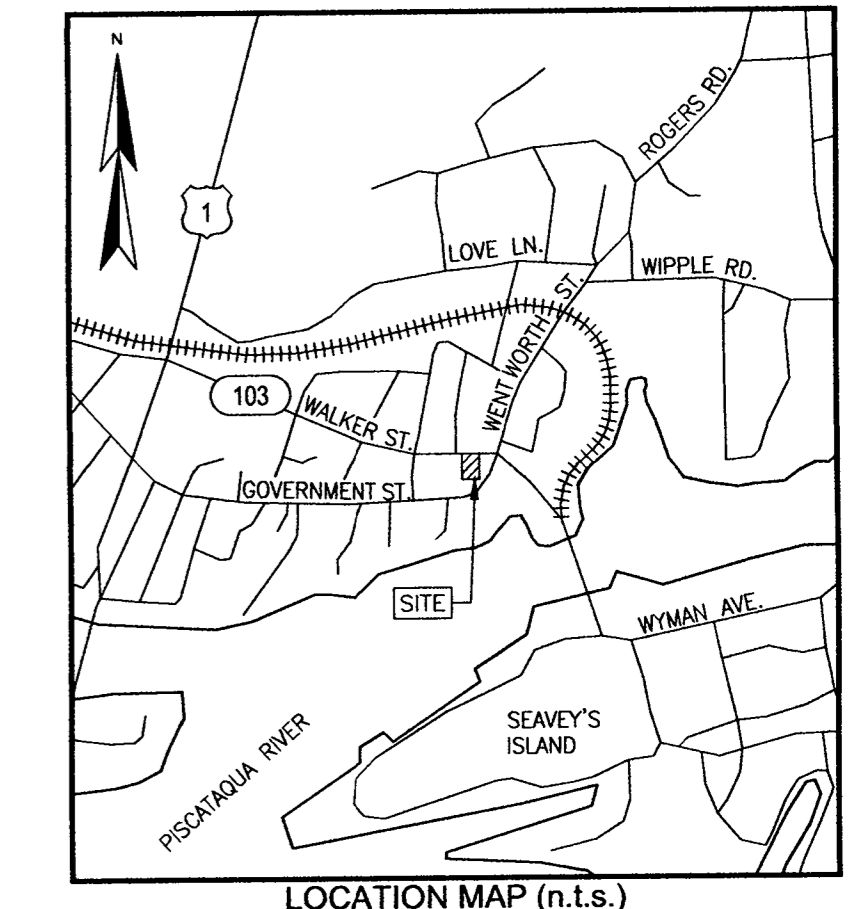
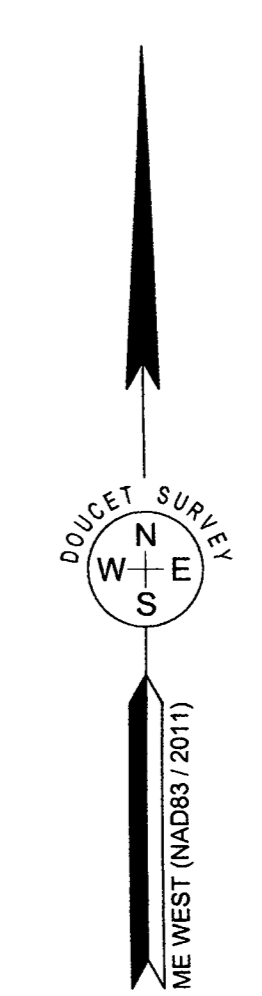


WALKER STREET (ROUTE 103)
(SEE NOTE 7)



- NOTES:
- REFERENCE: TAX MAP 4, LOT 99 & 107 KITTERY, MAINE
 - OWNER OF RECORD: TAX MAP 4, LOT 99 3 WALKER STREET LLC 76 EXETER ROAD NEWMARKET, NH 03857 Y.C.R.D. BK. 19105 PG. 610
TAX MAP 4, LOT 107 INHABITANTS OF KITTERY 200 ROGERS ROAD KITTERY, ME 03904-1428 Y.C.R.D. BK. 15921, PG. 853
 - FIELD SURVEY PERFORMED BY L.P.S. & A.K.H. (DOUCET SURVEY) ON AUGUST 22, 2022 USING A TRIMBLE S7 TOTAL STATION AND A TRIMBLE R10 SURVEY GRADE GPS WITH A TRIMBLE TSC3 DATA COLLECTOR AND A TRIMBLE DINI DIGITAL AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
 - HORIZONTAL DATUM BASED ON NAD83(2011) MAINE WEST STATE PLANE COORDINATE ZONE (1802) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVED PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
 - THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED LOCATION OF EASEMENTS BETWEEN THE SUBJECT PARTIES. A COMPLETE BOUNDARY SURVEY OF TAX MAP 4, LOT 107 WAS NOT COMPLETED AS PART OF THIS PROJECT.
 - DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF WALKER STREET AS DEPICTED HEREON IS/ARE BASED ON RESEARCH CONDUCTED AT THE YORK COUNTY REGISTRY OF DEEDS AND MAINE DEPARTMENT OF TRANSPORTATION.
THE LIMITS OF RIGHT OF WAY OF WALKER STREET ARE BASED ON THE ALIGNMENT OF THE ROW PER REFERENCE PLAN 3 TO HIGHWAY BOUND FOUND AT STATION 76+08.27(PC) AND THE BUILDING CORNER AT STATION 75+35.
 - ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL. WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.
- REFERENCE PLANS:
- "ALTA/ACSM LAND TITLE SURVEY, WALKER STREET, KITTERY MAINE, BOA KITTERY" DATED 08-02-10 BY HOLDEN ENGINEERING & SURVEYING INC.
 - "STATE OF MAINE DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS RIGHT OF WAY MAP, STATE HIGHWAY "100" KITTERY YORK COUNTY, D.O.T. FILE NO. 16-261" DATED MAY 1981 Y.C.R.D. PLAN BOOK 139 PAGE 57.
 - "MAINE STATE HIGHWAY COMMISSION, RIGHT OF WAY MAP, STATE HIGHWAY "A-3", KITTERY, YORK COUNTY, ACCESS ROAD AD-2", DATED SEPTEMBER 1952, Y.C.R.D. PLAN BOOK 34, PAGE 44.
 - "TOWN OF KITTERY, MAINE, LOWER GOVERNMENT STREET, SEWER AND STORM DRAIN EASEMENT PLAN NO. 6", BY SEA CONSULTANTS, INC., DATED AUGUST 1986, Y.C.R.D. PLAN BOOK 189, PAGE 25.
 - "PLAN SHOWING A PORTION OF PROPERTY OF JAMES H. & RUTH E. DINEEN, WALKER STREET, KITTERY, MAINE, LEASE TO FIRST NATIONAL BANK OF PORTLAND, MAINE", BY MOULTON ENGINEERING CO. INC., DATED AUGUST 28, 1963, Y.C.R.D. PLAN BOOK 32, PAGE 50. LEASE TERMINATED AFTER 25 YEARS PER Y.C.R.D. BOOK 1565, PAGE 293
 - STANDARD BOUNDARY SURVEY OF LAND FOR MAINE NATIONAL BANK, WALKER STREET & GOVERNMENT STREET, KITTERY, MAINE, BY ANDERSON ASSOCIATES, DATED AUGUST 1988, UNRECORDED.

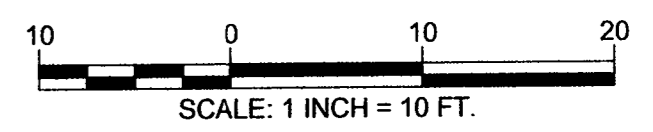
YORK ss REGISTRY OF DEEDS
RECEIVED May 11 2023
AT 8 H 37 M A M., AND
RECORDED IN BOOK 431 PAGE 48
ATTEST: Nancy E. Hammond
REGISTER



- LEGEND
- EXISTING LOT LINE
 - PROPOSED EASEMENT LINE
 - EXISTING EASEMENT LINE
 - RETAINING WALL
 - CHAIN LINK FENCE
 - DRAIN LINE
 - CONCRETE
 - 5/8" REBAR W/ID CAP TO BE SET
 - CATCH BASIN
 - ELECTRIC METER
 - ACCESSIBLE PARKING SPACE
 - DOWN SPOUT
 - DOUBLE YELLOW LINE
 - EDGE OF PAVEMENT
 - RETAINING WALL
 - SINGLE WHITE LINE
 - VERTICAL GRANITE CURB
 - RIGHT OF WAY

LINE TABLE

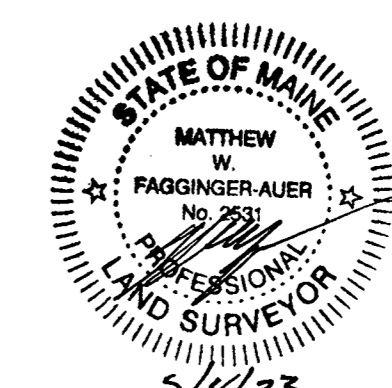
LINE	BEARING	DISTANCE
L1	S89°09'00"E	8.05'
L2	N04°20'13"E	14.65'
L3	S04°20'13"W	2.11'
L4	S04°20'13"W	19.14'
L5	N89°34'47"W	2.85'
L6	N11°54'00"E	19.35'
L7	S67°48'52"W	0.34'
L8	N11°54'00"E	2.28'



EASEMENT PLAN
FOR
3 WALKER STREET LLC
(TAX MAP 4 LOT 99)
AND
INHABITANTS OF KITTERY
(TAX MAP 4, LOT 107)
WALKER STREET / ME ROUTE 103
KITTERY, MAINE

NO.	DATE	DESCRIPTION	BY

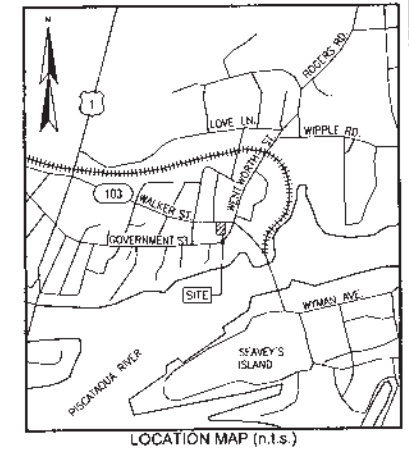
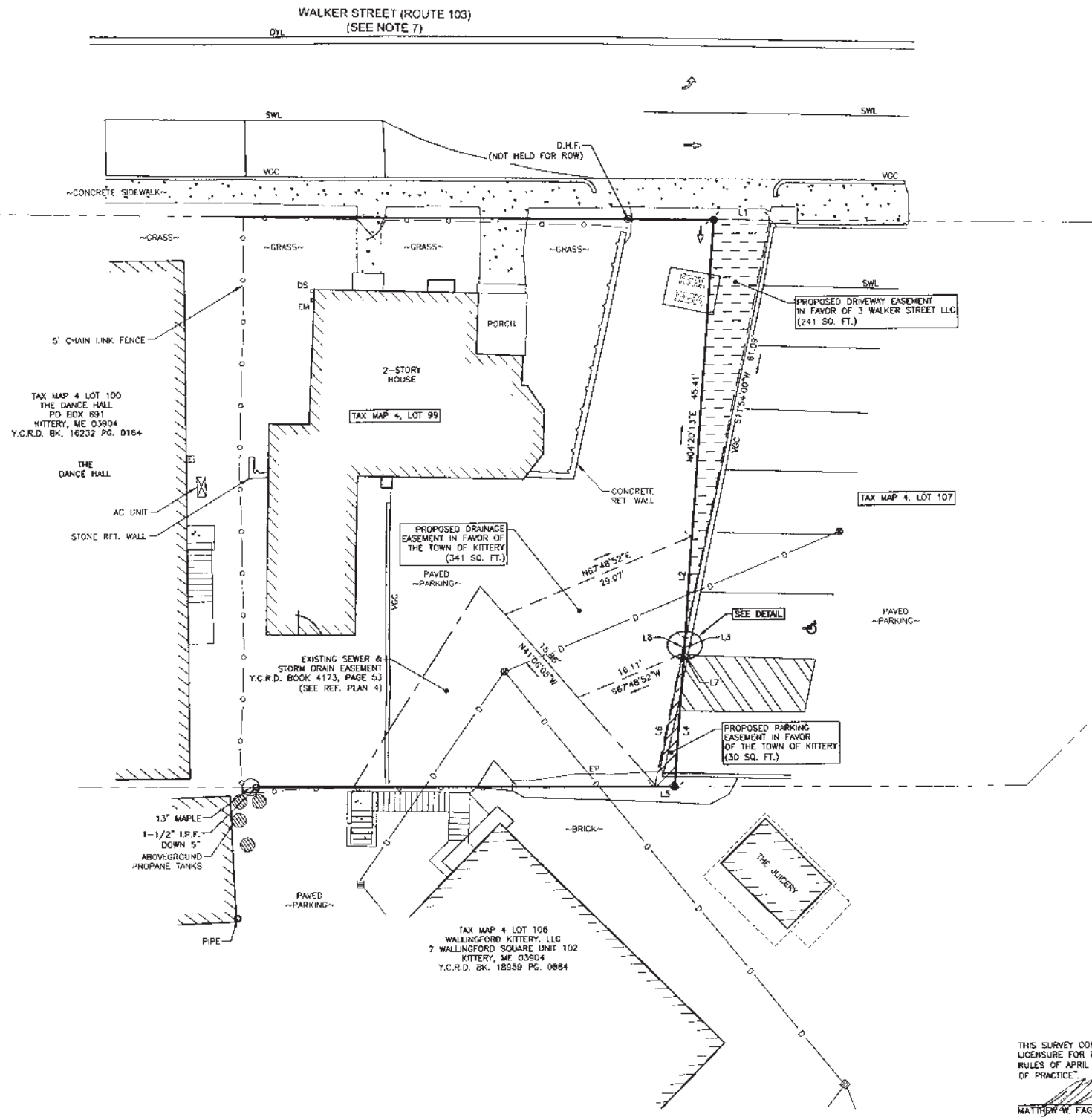
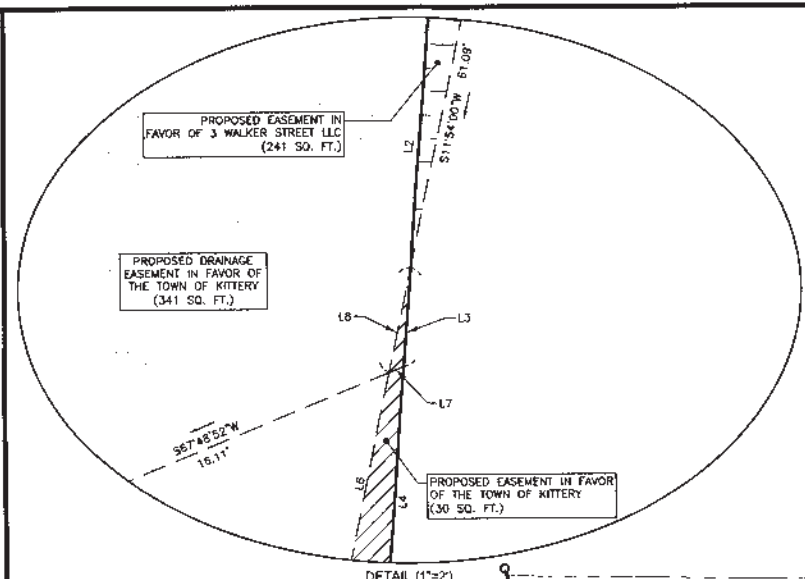
DRAWN BY: M.T.L.	DATE: JANUARY 19, 2023
CHECKED BY: M.W.F.	DRAWING NO. 7620B
JOB NO. 7620	SHEET 1 OF 1



THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS RULES OF APRIL 2001, CHAPTER 90 "STANDARDS OF PRACTICE".
MATTHEW W. FAGGINGER-AUER, P.L.S. 2530
THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

DOUCET SURVEY
Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857 (603) 859-6560
Offices in Bedford & Keene, NH and Canaan, VT
http://www.doucetsurvey.com

FILE NAME: Y:\PROJECTS\7620_CAD\DWG\7620.dwg, PLOTTED DATE: 1/19/23, 10:15am

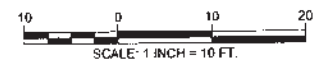


LEGEND

- EXISTING LOT LINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - RETAINING WALL
- CHAIN LINK FENCE
- DRAIN LINE
- CONCRETE
- 5/8" REBAR W/D CAP TO BE SET
- CATCH BASIN
- ELECTRIC METER
- ACCESSIBLE PARKING SPACE
- DOWN SPOUT
- DYL
- EP
- RET. WALL
- SWL
- VCC
- ROW

LINE TABLE

LINE	BEARING	DISTANCE
L1	S89°09'00"E	8.05'
L2	N04°20'13"W	14.65'
L3	S04°20'13"W	2.11'
L4	S04°20'13"W	19.14'
L5	N88°34'47"W	2.05'
L6	N11°54'00"E	19.35'
L7	S67°48'52"W	0.34'
L8	N11°54'00"E	2.28'



EASEMENT PLAN
 FOR
3 WALKER STREET LLC
 (TAX MAP 4 LOT 99)
 AND
INHABITANTS OF KITTERY
 (TAX MAP 4, LOT 107)
 WALKER STREET / ME ROUTE 103
 KITTERY, MAINE

NO.	DATE	DESCRIPTION	BY

DRAWN BY: M.T.L. DATE: JANUARY 19, 2023
 CHECKED BY: M.W.F. DRAWING NO.: 7620B
 JOB NO.: 7620 SHEET 1 OF 1



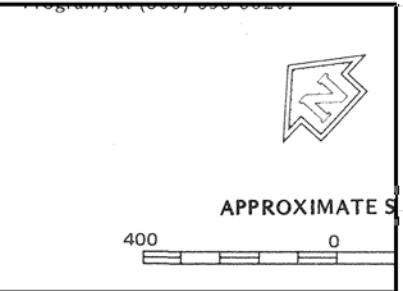
THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS RULES OF APRIL 2001, CHAPTER 90 "STANDARDS OF PRACTICE".

MATTHEW W. FAGGNER-AUER, P.L.S. 2530
 THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

DOUCET SURVEY LLC
 Serving Your Professional Surveying & Mapping Needs
 102 Kent Place, Newmarket, NH 03857 (603) 659-6506
 Offices in Bedford & Keene, NH and Kennebunk, ME
 http://www.doucetsurvey.com

- NOTES:**
- REFERENCE: TAX MAP 4, LOT 99 & 107 KITTERY, MAINE
 - OWNER OF RECORD: TAX MAP 4, LOT 99 3 WALKER STREET LLC 76 EXETER ROAD NEWMARKET, NH 03857 Y.C.R.D. BK. 1910S PG. 610
 TAX MAP 4, LOT 107 INHABITANTS OF KITTERY 200 ROGERS ROAD KITTERY, ME 03904-1428 Y.C.R.D. BK. 15921, PG. 853
 - FIELD SURVEY PERFORMED BY L.P.S. & A.K.H. (DOUCET SURVEY) ON AUGUST 22, 2022 USING A TRIMBLE S7 TOTAL STATION AND A TRIMBLE R10 SURVEY GRADE GPS WITH A TRIMBLE TSC3 DATA COLLECTOR AND A TRIMBLE DINI DIGITAL AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
 - HORIZONTAL DATUM BASED ON NAD83(2011) MAINE WEST STATE PLANE COORDINATE ZONE (1902) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYMET GPS VRS NETWORK.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVED PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
 - THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED LOCATION OF EASEMENTS BETWEEN THE SUBJECT PARTIES. A COMPLETE BOUNDARY SURVEY OF TAX MAP 4, LOT 107 WAS NOT COMPLETED AS PART OF THIS PROJECT.
 - DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF WALKER STREET AS DEPICTED HEREON IS/ARE BASED ON RESEARCH CONDUCTED AT THE YORK COUNTY REGISTRY OF DEEDS AND MAINE DEPARTMENT OF TRANSPORTATION.
 THE LIMITS OF RIGHT OF WAY OF WALKER STREET ARE BASED ON THE ALIGNMENT OF THE ROW PER REFERENCE PLAN 3 TO HIGHWAY BOUND FOUND AT STATION 76+08.27(PC) AND THE BUILDING CORNER AT STATION 75+35.
 - ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL, WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.
- REFERENCE PLANS:**
- "ALTA/ACSM LAND TITLE SURVEY, WALKER STREET, KITTERY MAINE. BOA KITTERY DATED 08-02-10 BY HOLDEN ENGINEERING & SURVEYING INC.
 - "STATE OF MAINE DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS RIGHT OF WAY MAP, STATE HIGHWAY "100" KITTERY YORK COUNTY, D.O.T. FILE NO. 16-261" DATED MAY 1981 Y.C.R.D. PLAN BOOK 139 PAGE 57.
 - "MAINE STATE HIGHWAY COMMISSION, RIGHT OF WAY MAP, STATE HIGHWAY "A-3", KITTERY, YORK COUNTY, ACCESS ROAD AD-2", DATED SEPTEMBER 1952, Y.C.R.D. PLAN BOOK 34, PAGE 44.
 - "TOWN OF KITTERY, MAINE, LOWER GOVERNMENT STREET, SEWER AND STORM DRAIN EASEMENT PLAN NO. 6", BY SEA CONSULTANTS, INC., DATED AUGUST 1986, Y.C.R.D. PLAN BOOK 189, PAGE 25.
 - "PLAN SHOWING A PORTION OF PROPERTY OF JAMES H. & RUTH E. DINEEN, WALKER STREET, KITTERY, MAINE, LEASE TO FIRST NATIONAL BANK OF PORTLAND, MAINE", BY MOULTON ENGINEERING CO. INC., DATED AUGUST 28, 1963, Y.C.R.D. PLAN BOOK 37, PAGE 50. LEASE TERMINATED AFTER 25 YEARS PER Y.C.R.D. BOOK 1565, PAGE 293.
 - STANDARD BOUNDARY SURVEY OF LAND FOR MAINE NATIONAL BANK, WALKER STREET & GOVERNMENT STREET, KITTERY, MAINE, BY ANDERSON ASSOCIATES, DATED AUGUST 1988, UNRECORDED.

YORK ss REGISTRY OF DEEDS
 RECEIVED MAY 11 2023
 AT 8 H 37 A.M. A.J.
 RECORDED IN BOOK 431 PAGE 118
 ATTEST: Nancy E. Hammond



NATIONAL FLOOD INSURANCE PROGRAM


FIRM
FLOOD INSURANCE RATE MAP

TOWN OF
KITTERY, MAINE
YORK COUNTY

PANEL 8 OF 10
(SEE MAP INDEX FOR PANELS NOT PRINTED)

COMMUNITY-PANEL NUMBER
230171 0008 D

MAP REVISED:
JULY 3, 1986



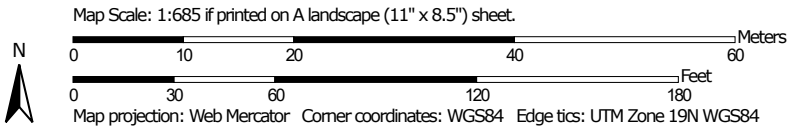
Federal Emergency Management Agency

This is an official FIRMette showing a portion of the above-referenced flood map created from the MSC FIRMette Web tool. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For additional information about how to make sure the map is current, please see the Flood Hazard Mapping Updates Overview Fact Sheet available on the FEMA Flood Map Service Center home page at <https://msc.fema.gov>.

Soil Map—York County, Maine
(3 Walker Street, Kittery, Maine)




Soil Map may not be valid at this scale.




MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: York County, Maine

Survey Area Data: Version 22, Sep 5, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 19, 2020—Sep 20, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Ur	Urban land	2.2	100.0%
Totals for Area of Interest		2.2	100.0%

Site Re-Development

**3 Walker Street
Kittery, Maine**

Traffic Generator Summary

November 22, 2023

(Institute of Transportation Engineers, Parking Generation Manual, 5th Edition).

Section 712 – Small Office Building – residential traffic
Peak hour per 1,000 s.f., 2.58 trips per day

Road Name	Quantity	Peak hour ADT
Residences	1	2
2,200 s.f. total	2.2	6
Total		8

Site Re-Development

**3 Walker Street
Kittery, Maine**

Traffic Generator Summary

November 22, 2023

(Institute of Transportation Engineers, Parking Generation Manual, January 2019, 5th Edition).

Section 712 – Small Office Building – residential traffic

Peak hour per 1,000 s.f., 2.58 trips per day

Road Name	Quantity	Peak hour ADT
Residences	1	2
2,200 s.f. total	2.2	6
Total		8

Small Office Building (712)

Peak Period Parking Demand vs: 1000 Sq. Ft. GFA

On a: Weekday (Monday - Friday)

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 10:00 a.m. - 5:00 p.m.

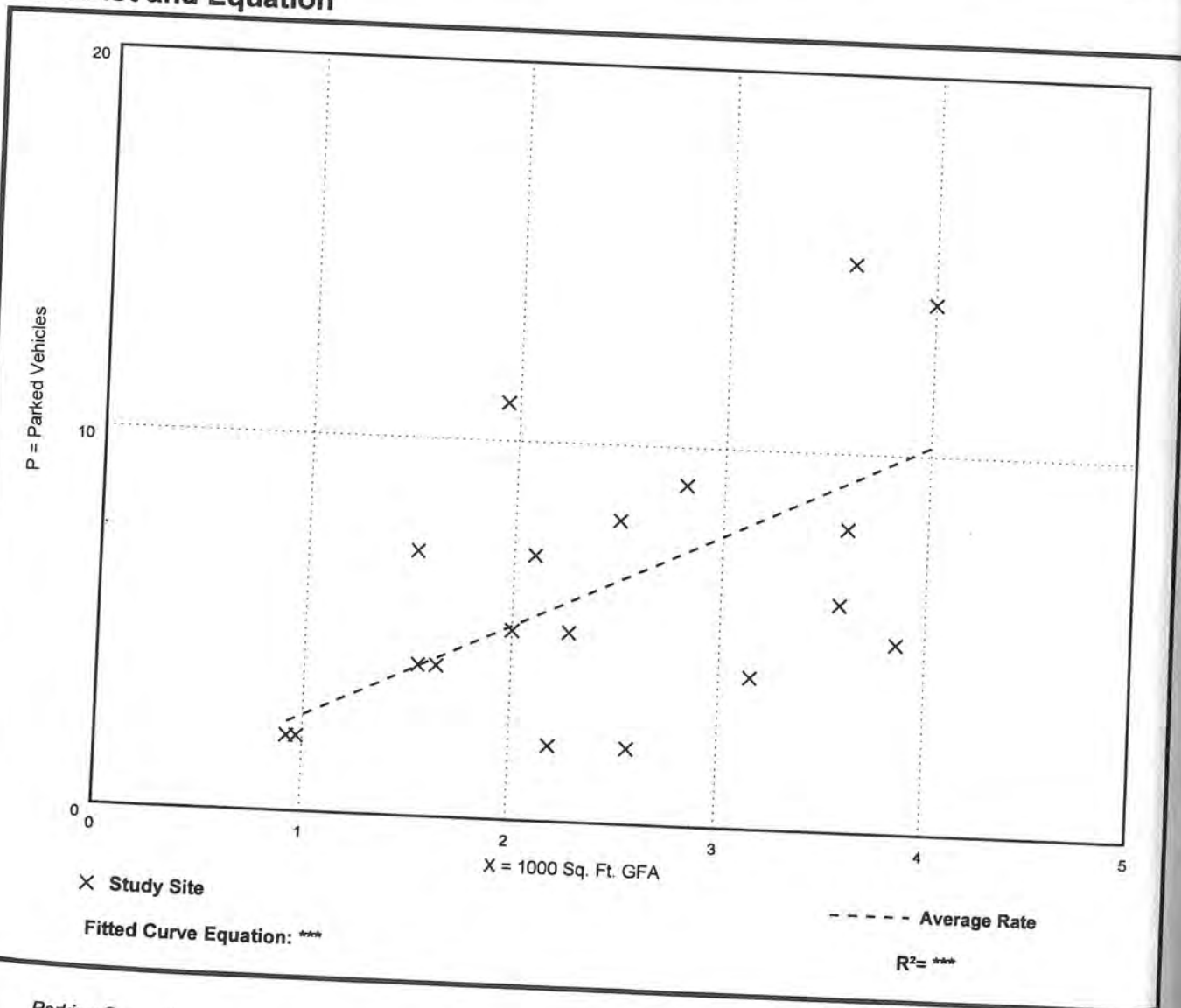
Number of Studies: 19

Avg. 1000 Sq. Ft. GFA: 2.5

Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
2.56	0.78 - 5.66	2.12 / 4.17	***	1.26 (49%)

Data Plot and Equation





TOWN OF KITTERY, MAINE

SEWER DEPARTMENT

200 Rogers Road, Kittery, ME 03904

Telephone: (207) 439-4646 Fax: (207) 439-2799

November 21, 2023

Re: Treatment Plant Capacity-Acceptance letter
3 Walker Street
Kittery, ME 03904

This letter is to confirm the acceptance of sanitary sewer discharge for the proposed Project at 3 Walker Street in the Town of Kittery Maine. The sewer system (piping and pumping stations) and the treatment plant will have the capacity and ability to handle the discharge flow requiring treatment and disposal.

This project must follow all specifications in accordance with design and performance standards set by the Kittery Sewer Department found in Title 13 of the Town Code.

Before the connection to the Kittery Sewer line, you will need to obtain a sewer permit from the Town of Kittery and pay all Impact and Entrance fees.

During the engineering and construction process plans may change, if they do, consideration for acceptance may change. Please notify me of any changes in design or construction.

If you have further questions or concerns, please contact me.

Sincerely,

Timothy Babkirk
Town of Kittery
Superintendent of Sewer Services
1-207-439-4646
tbabkirk@kitteryme.org

John C. Perry, President
James E. Golter, Treasurer
Robert A. Gray, Clerk
Michael H. Melhorn, Trustee
Carla J. Robinson, Trustee



Michael S. Rogers, Superintendent
Carl B. Palm, Assistant Superintendent
Melissa J. Locke, Office Manager

OFFICE OF

KITTERY WATER DISTRICT

17 State Road
Kittery, ME 03904-1565
TEL: 207-439-1128
FAX: 207-439-8549
Email: info@kitterywater.org

Kittery Planning Board
200 Rogers Road
Kittery, ME 03904

November 15, 2023

Re: Proposed Redevelopment of 3 Walker Street

Dear Planning Board Members,

Please accept this letter as verification that the Kittery Water District does have the capacity to supply municipal water service to the proposed redevelopment of 3 Walker Street, Kittery.

Sincerely,

A handwritten signature in blue ink that reads "Michael S. Rogers". The signature is written in a cursive, flowing style.

Michael S. Rogers
Superintendent

cc: Ronald M. Beal, P.E. – Altus Engineering



**Civil
Site Planning
Environmental
Engineering**

133 Court Street
Portsmouth, NH
03801-4413

November 16, 2023

Chief Robert V. Richter
Kittery Police Department
200 Rogers Road
Kittery, Maine 03904

**Re: Site Re-Development
Map 4 Lot 99
3 Walker Street
Kittery, Maine**

Dear Chief Richter:

Per the requirements of the Town of Kittery Land Use and Development 16.10.5.2.C.12.b, this letter is to inform you of the pending Site Plan Review Application before the Planning Board. The applicant, 3 Walker Street, LLC, is submitting a Preliminary Site Plan Review application for property located at 3 Walker Street. The redevelopment project will raze the existing structure, which has fallen into disrepair and proposes constructing a mixed-use building consisting of two levels of office space and a residential unit on the third level with site amenities. Enclosed for your review is a partial set of the engineered drawings to be submitted to the Planning Board for preliminary approval.

Please review and provide a letter of evaluation to Maxim Zakian, Town Planner. Please call if you have any questions, need additional information, or would like to meet to discuss the project.

Sincerely,

A handwritten signature in blue ink that reads "Ronald M. Beal".

Ronald M. Beal, P.E.
Project Engineer

5401.10b Dept.PD.ltr.docx

Enclosure

cc: Mazim Zakian, Town Planner
Lane Cheney, 3 Walker Street, LLC



**Civil
Site Planning
Environmental
Engineering**

133 Court Street
Portsmouth, NH
03801-4413

November 16, 2023

Chief David O'Brien
Kittery Fire Department
3 Gorges Road
Kittery, Maine 03904

**Re: The Foreside Inn
Map 9 Lots 37 & 38
27 & 29 Wentworth Street
Kittery, Maine**

Dear Chief O'Brien:

Per the requirements of the Town of Kittery Land Use and Development 16.10.5.2.C.12.b, this letter is to inform you of the pending Site Plan Review Application before the Planning Board. The applicant, 3 Walker Street, LLC, is submitting a Preliminary Site Plan Review application for property located at 3 Walker Street. The redevelopment project will raze the existing structure, which has fallen into disrepair and proposes constructing a mixed-use building consisting of two levels of office space and a residential unit on the third level with site amenities. Enclosed for your review is a partial set of the engineered drawings to be submitted to the Planning Board for preliminary approval.

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Sincerely,

A handwritten signature in blue ink that reads "Ronald M. Beal".

Ronald M. Beal, P.E.
Project Engineer

5401.10c Dept.FD.ltr.docx

Enclosure

cc: Mazim Zakian, Town Planner
Lane Cheney, 3 Walker Street, LLC



**Civil
Site Planning
Environmental
Engineering**

133 Court Street
Portsmouth, NH
03801-4413

November 16, 2023

Mr. David Rich
Commissioner of Public Works
200 Rogers Road
Kittery, Maine 03904

**Re: The Foreside Inn
Map 9 Lots 37 & 38
27 & 29 Wentworth Street
Kittery, Maine**

Dear Mr. Rich:

Per the requirements of the Town of Kittery Land Use and Development 16.10.5.2.C.12.b, this letter is to inform you of the pending Site Plan Review Application before the Planning Board. The applicant, 3 Walker Street, LLC, is submitting a Preliminary Site Plan Review application for property located at 3 Walker Street. The redevelopment project will raze the existing structure, which has fallen into disrepair and proposes constructing a mixed-use building consisting of two levels of office space and a residential unit on the third level with site amenities. Enclosed for your review is a partial set of the engineered drawings to be submitted to the Planning Board for preliminary approval.

Please review and provide a letter of evaluation to Maxim Zakian, Town Planner. Please call if you have any questions, need additional information, or would like to meet to discuss the project.

Sincerely,

A handwritten signature in blue ink that reads "Ronald M. Beal".

Ronald M. Beal, P.E.
Project Engineer

5401.10c Dept.FD.ltr.docx

Enclosure

cc: Mazim Zakian, Town Planner
Lane Cheney, 3 Walker Street, LLC



**Civil
Site Planning
Environmental
Engineering**

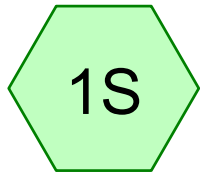
133 Court Street
Portsmouth, NH
03801-4413

Drainage Summary November 22, 2023

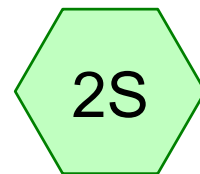
The property is located at 3 Walker Street. This redevelopment project will raze the existing structure, which has fallen into disrepair and proposes constructing a mixed-use building consisting of two levels of office space and a residential unit on the third level with site amenities. The lot area is 5,289 square feet and consists of one watershed. The runoff flows from the site via an existing catch basin into the municipal closed drainage before finally discharge into the Piscataqua River.

The proposed project will increase the green space by 100 square feet (1.89%), therefore there will be a diminutive reduction to the post-development runoff. Additionally, a new 4-foot-deep sump catch basin is proposed, which will provide stormwater pre-treatment where none currently exist. This site development will not have an adverse effect on abutting properties and infrastructure because of stormwater runoff or siltation.

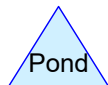
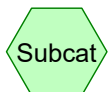
rmb/5401 DS-Memo.docx



Pre-Development



Post-Development



5401watershed

Prepared by Altus Engineering, Inc.

HydroCAD® 10.00-26 s/n 01222 © 2020 HydroCAD Software Solutions LLC

Type III 24-hr 2-yr Rainfall=3.21"

Printed 11/22/2023

Page 3

Summary for Subcatchment 1S: Pre-Development

Runoff = 0.31 cfs @ 12.09 hrs, Volume= 0.022 af, Depth> 2.14"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 2-yr Rainfall=3.21"

Area (sf)	CN	Description
1,511	74	>75% Grass cover, Good, HSG C
1,179	98	Roofs, HSG C
2,599	98	Paved parking, HSG C
5,289	91	Weighted Average
1,511		28.57% Pervious Area
3,778		71.43% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

Summary for Subcatchment 2S: Post-Development

Runoff = 0.31 cfs @ 12.09 hrs, Volume= 0.022 af, Depth> 2.14"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 2-yr Rainfall=3.21"

Area (sf)	CN	Description
1,611	74	>75% Grass cover, Good, HSG C
1,514	98	Roofs, HSG C
2,164	98	Paved parking, HSG C
5,289	91	Weighted Average
1,611		30.46% Pervious Area
3,678		69.54% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

5401watershed

Prepared by Altus Engineering, Inc.

HydroCAD® 10.00-26 s/n 01222 © 2020 HydroCAD Software Solutions LLC

Type III 24-hr 25-yr Rainfall=6.17"

Printed 11/22/2023

Page 5

Summary for Subcatchment 1S: Pre-Development

Runoff = 0.67 cfs @ 12.09 hrs, Volume= 0.049 af, Depth> 4.84"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 25-yr Rainfall=6.17"

Area (sf)	CN	Description
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1,179	98	Roofs, HSG C
2,599	98	Paved parking, HSG C
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1,511		28.57% Pervious Area
3,778		71.43% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

Summary for Subcatchment 2S: Post-Development

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Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
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Area (sf)	CN	Description
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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

SITE RE-DEVELOPMENT

3 Walker Street
Kittery, Maine 03904

Assessor's Parcel 4, Lot 99

Plan Issue Date:

November 22, 2023 Preliminary Submission

Owner/Applicant:

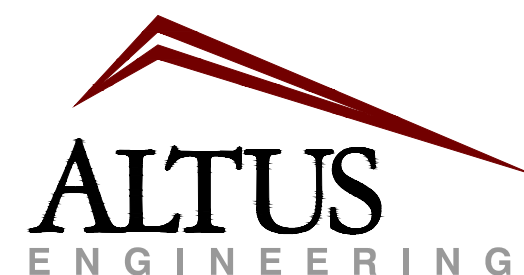
3 WALKER STREET, LLC

c/o LANE CHENEY
76 EXETER STREET
NEWMARKET, NH 03857

Architect:

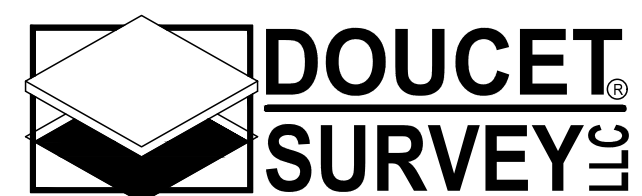
**WINTER
HOLBEN** 7 Wallingford Square
Unit 2099
Kittery, ME 03904
architecture + design (207) 994-3104

Civil Engineer:

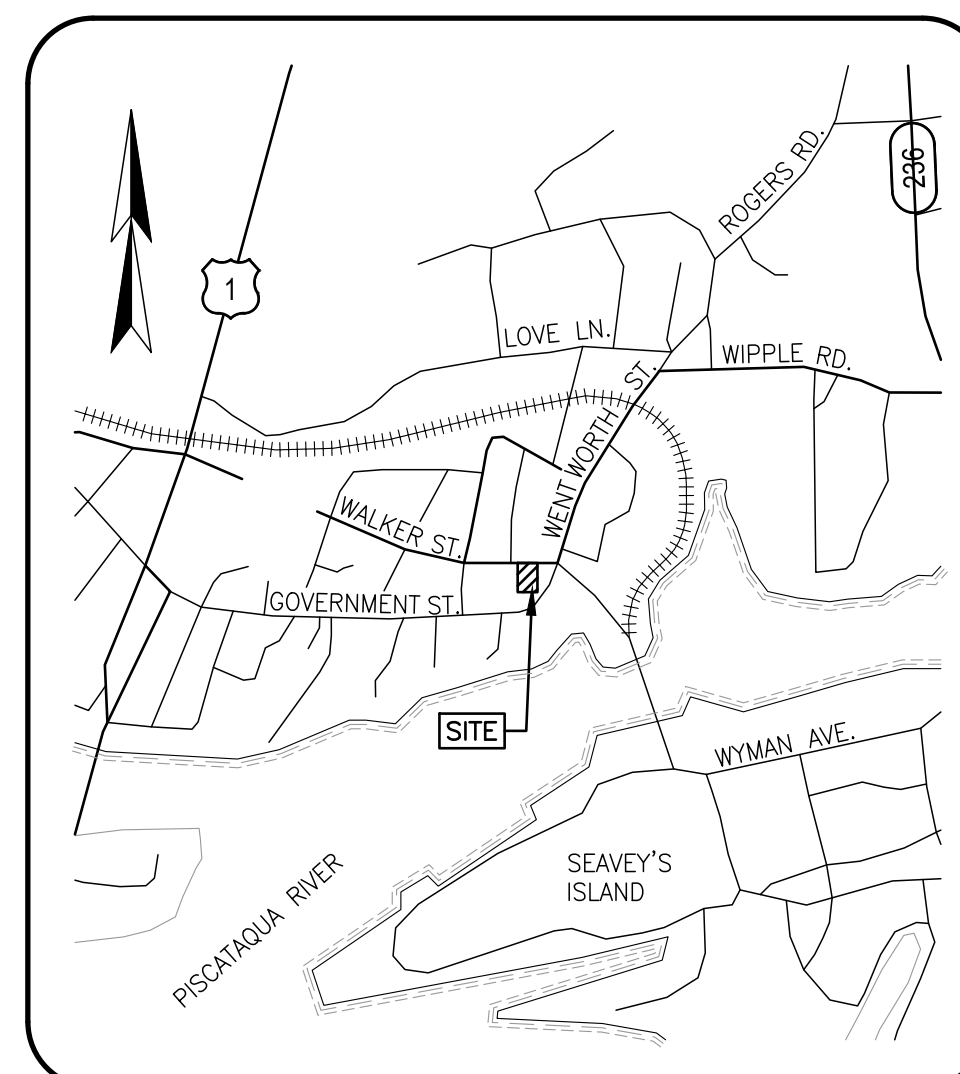


133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

Surveyor:



Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857 (603) 659-6560
Offices in Bedford & Keene, NH and Kennebunk, ME
<http://www.doucetsurvey.com>



LOCUS NOT TO SCALE

Sheet Index

Title	Sheet No.:	Rev.	Date
Existing Conditions Plan	1 of 1	0	11/15/23
Site Preparation Plan	C-1	0	11/22/23
Site Plan	C-2	0	11/22/23
Grading and Utility Plan	C-3	0	11/22/23
Detail Sheet	C-4	0	11/22/23
Detail Sheet	C-5	0	11/22/23
Detail Sheet	C-6	0	11/22/23

- NOTES:**
- REFERENCE: TAX MAP 4, LOT 99
3 WALKER STREET
KITTERY, MAINE
 - TOTAL PARCEL AREA: 5,289 SQ. FT. (SEE NOTE 11)
 - OWNER OF RECORD: 3 WALKER STREET LLC
76 EXETER ROAD
NEWMARKET, NH 03857
Y.C.R.D. BK. 19105 PG. 610
 - FIELD SURVEY PERFORMED BY L.P.S. & A.K.H. (DOUCET SURVEY) ON AUGUST 22, 2022 USING A TRIMBLE S7 TOTAL STATION AND A TRIMBLE R10 SURVEY GRADE GPS WITH A TRIMBLE TSC3 DATA COLLECTOR AND A TRIMBLE DINI DIGITAL AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
 - HORIZONTAL DATUM BASED ON NAD83(2011) MAINE WEST STATE PLANE COORDINATE ZONE (1802) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
 - VERTICAL DATUM IS BASED ON APPROXIMATE NAVD83(CEOID18) ($\pm 2'$) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
 - FLOOD HAZARD ZONE: "X", PER FIRM MAP #2321710008D, DATED 7/3/1986. REVISED OCTOBER 14, 2021.
 - PROPER FIELD PROCEDURES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 1' INTERVALS. ANY MODIFICATION OF THIS INTERVAL WILL DIMINISH THE INTEGRITY OF THE DATA, AND DOUCET SURVEY, WILL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION PERFORMED BY THE USER.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVED PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
 - THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING; THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
 - THE BOUNDARY LINES AS SHOWN ARE A REPRESENTATION OF THE DEEDED BOUNDARIES BASED ON THE OPERATIVE RECORDS AND THE LIMITED BOUNDARY EVIDENCE FOUND IN THE FIELD. UNWRITTEN RIGHTS MAY APPLY WHERE LINES OF OCCUPATION DIFFER FROM THE BOUNDARY LINES AS SHOWN. LAND OWNER SHOULD CONSULT WITH AN ATTORNEY PRIOR TO DEVELOPMENT NEAR LINES OF OCCUPATION.

THE WESTERLY BOUNDARY LINE WAS UNABLE TO BE DETERMINED DUE TO VAGUE DEED DESCRIPTIONS AND LIMITED BOUNDARY MONUMENTS FOUND IN THE FIELD. A BOUNDARY LINE AGREEMENT WAS THE RECOMMENDED COURSE OF ACTION.

PARCEL AREA AND THE SETBACKS ALONG THE WESTERLY BOUNDARY ARE BASED ON THE EXISTING CHAIN LINK FENCE AND FENCE AS THE LIMITS OF OCCUPATION FOR THE SUBJECT AND ADJUTING PARCELS.

12. DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF WALKER STREET AS DEPICTED HEREON IS/BASED ON RESEARCH CONDUCTED AT THE YORK COUNTY REGISTRY OF DEEDS AND MAINE DEPARTMENT OF TRANSPORTATION.

THE LIMITS OF RIGHT OF WAY OF WALKER STREET ARE BASED ON THE ALIGNMENT OF THE ROW PER REFERENCE PLAN 3 TO HIGHWAY BOUND FOUND AT STATION 76+08.27(PC) AND THE BUILDING CORNER AT STATION 75+35.

13. ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL, WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

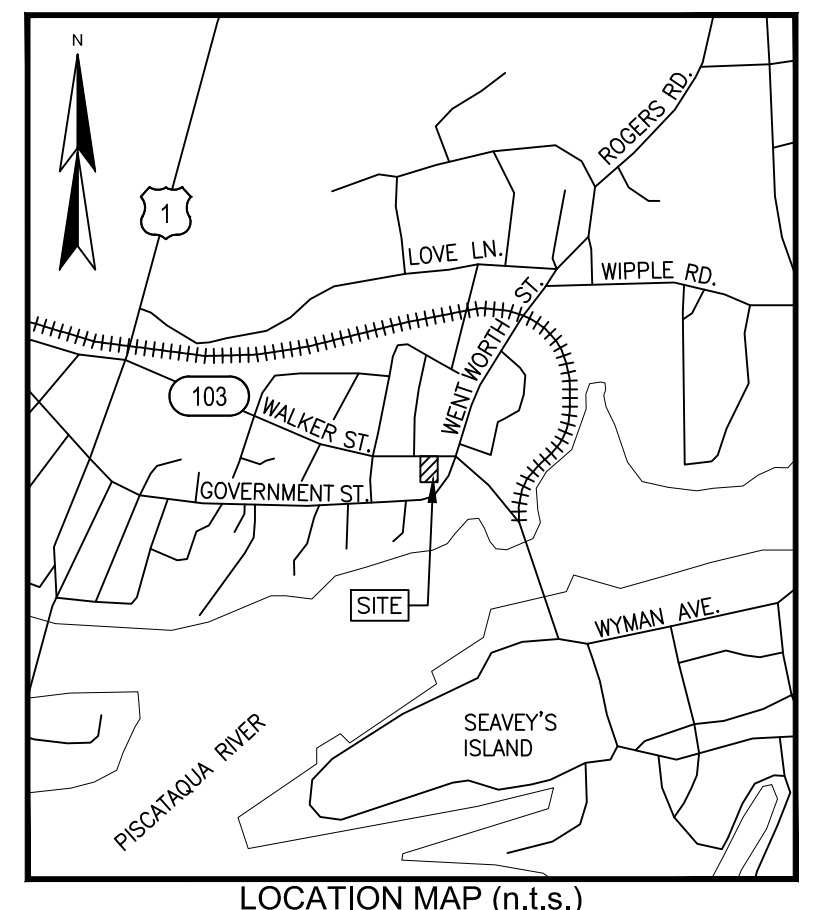
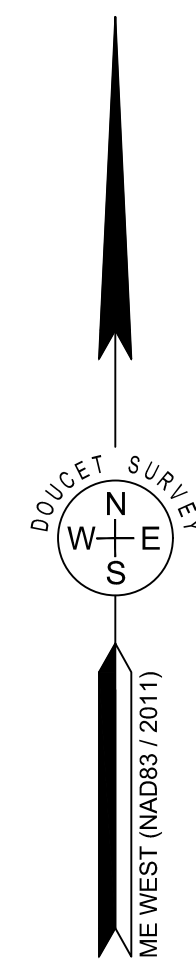
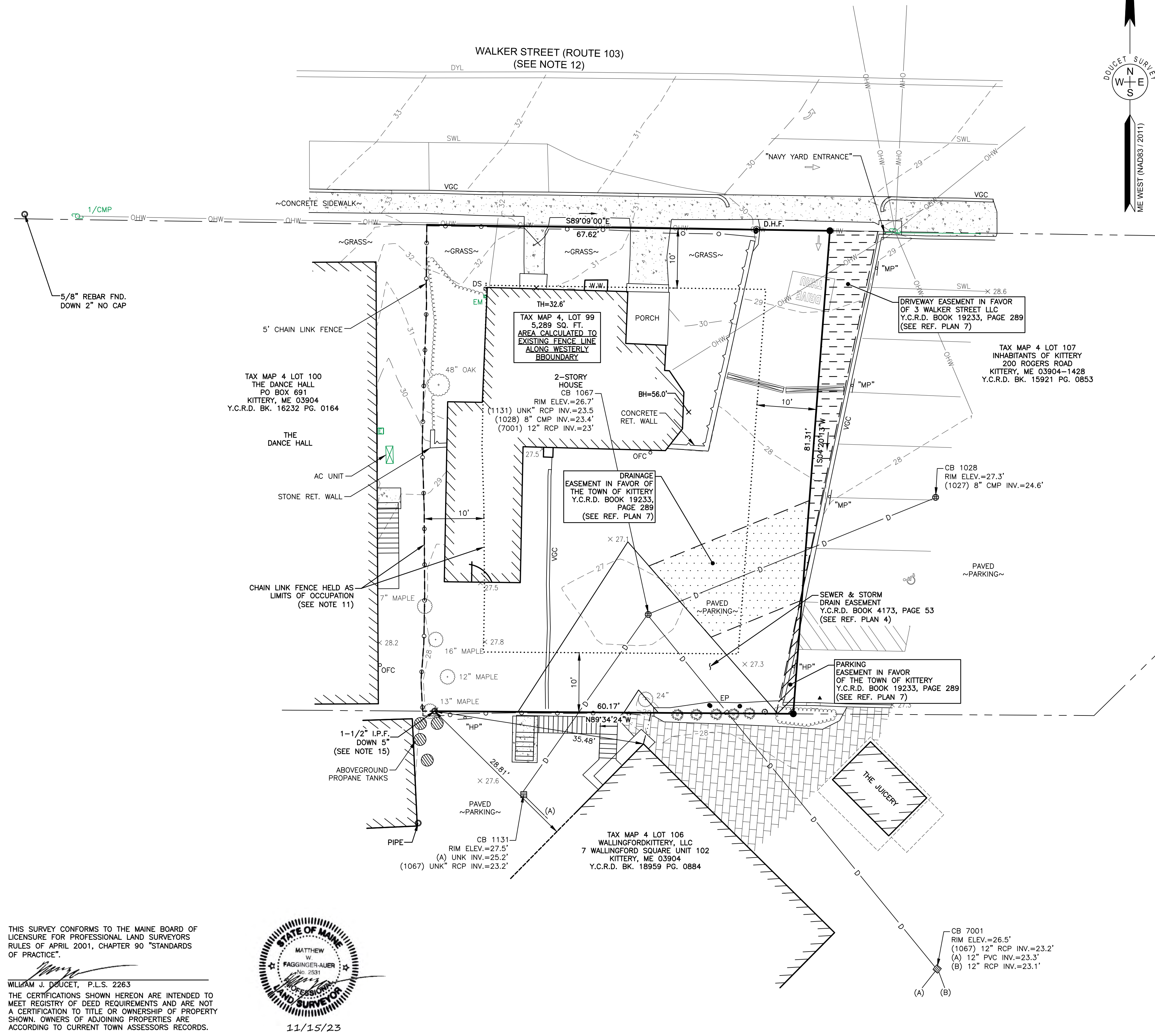
14. ZONE: MU-KF (MIXED USE - KITTERY FORESIDE)
DIMENSIONAL REQUIREMENTS:

MIN. LOT AREA	5,000 sq.ft.
MIN. FRONTAGE	0 ft.
MIN. FRONT SETBACK	10 ft.
MIN. SIDE/REAR SETBACK	10 ft.
MAX. BUILDING HEIGHT	40 ft.
MAX. BUILDING COVERAGE	60%

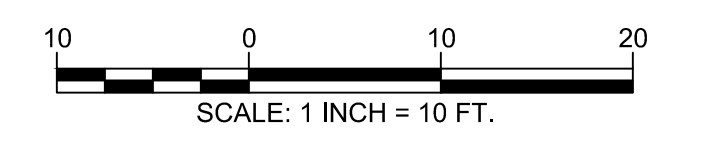
ZONING INFORMATION LISTED HEREON IS BASED ON THE TOWN OF KITTERY ZONING ORDINANCE DATED JANUARY 24, 2022 AS AVAILABLE ON THE TOWN WEBSITE ON SEPTEMBER 11, 2023. ADDITIONAL REGULATIONS MAY APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.

15. IRON PIPE APPEARS TO BE THE BASIS FOR THE TIE DIMENSIONS SHOWN ON REFERENCE PLAN 4 AND LOCATED ON THE SOUTHERLY LOT LINE OF THE SUBJECT PARCEL. NO EVIDENCE WAS FOUND TO SUPPORT THE IRON PIPE AS THE SOUTHWEST LOT CORNER OF THE SUBJECT PARCEL.

- REFERENCE PLANS:**
- "ALTA/ACSM LAND TITLE SURVEY, WALKER STREET, KITTERY MAINE, BOA KITTERY" DATED 08-02-10 BY HOLDEN ENGINEERING & SURVEYING INC.
 - "STATE OF MAINE DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS RIGHT OF WAY MAP, STATE HIGHWAY 100" KITTERY YORK COUNTY, D.O.T. FILE NO. 16-261" DATED MAY 1981 Y.C.R.D. PLAN BOOK 139 PAGE 57.
 - "MAINE STATE HIGHWAY COMMISSION, RIGHT OF WAY MAP, STATE HIGHWAY "A-3", KITTERY, YORK COUNTY, ACCESS ROAD AD-2", DATED SEPTEMBER 1952, Y.C.R.D. PLAN BOOK 34, PAGE 44.
 - "TOWN OF KITTERY, MAINE, LOWER GOVERNMENT STREET, SEWER AND STORM DRAIN EASEMENT PLAN NO. 6", BY SEA CONSULTANTS, INC., DATED AUGUST 1986, Y.C.R.D. PLAN BOOK 189, PAGE 25.
 - "PLAN SHOWING A PORTION OF PROPERTY OF JAMES H. & RUTH E. DINIEN, WALKER STREET, KITTERY, MAINE, LEASE TO FIRST NATIONAL BANK OF PORTLAND, MAINE", BY MOULTON ENGINEERING CO. INC., DATED AUGUST 28, 1963, Y.C.R.D. PLAN BOOK 32, PAGE 50.
 - STANDARD BOUNDARY SURVEY OF LAND FOR MAINE NATIONAL BANK, WALKER STREET & GOVERNMENT STREET, KITTERY, MAINE, BY ANDERSON ASSOCIATES, DATED AUGUST 1988, UNRECORDED.
 - "EASEMENT PLAN FOR 3 WALKER STREET LLC (TAX MAP 4, LOT 99) AND INHABITANTS OF KITTERY (TAX MAP 4, LOT 107), WALKER STREET/ME ROUTE 103, KITTERY, MAINE" BY DOUCET SURVEY, LLC, DATED JANUARY 19, 2023, Y.C.R.D. PLAN BOOK 431, PLAN 48.



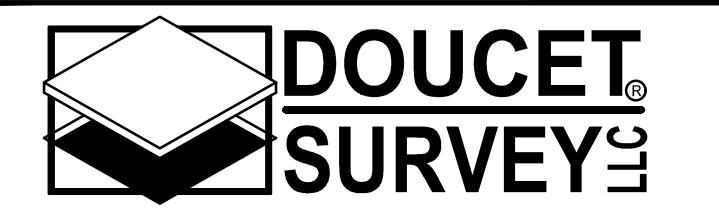
- LEGEND**
- EXISTING LOT LINE
 - MAJOR CONTOUR LINE
 - MINOR CONTOUR LINE
 - RETAINING WALL
 - CHAIN LINK FENCE
 - OVERHEAD WIRE
 - DRAIN LINE
 - SHRUB LINE/LANDSCAPE AREA
 - CONCRETE
 - BRICK
 - SPOT GRADE
 - UTILITY POLE
 - UTILITY POLE & GUY WIRE
 - CATCH BASIN
 - ELECTRIC METER
 - SIGN
 - BOLLARD
 - COLUMN/SUPPORT
 - ACCESSIBLE PARKING SPACE
 - DECIDUOUS TREE
 - CONIFEROUS SHRUB
 - JERSEY BARRIER
 - BUILDING HEIGHT ELEVATION
 - CORRUGATED METAL PIPE
 - DS
 - DOWL
 - DOUBLE YELLOW LINE
 - EDGE OF PAVEMENT
 - "HP"
 - "MP"
 - "NP"
 - POLYVITIL CHLORIDE PIPE
 - RCP
 - REINFORCED CONCRETE PIPE
 - RET. WALL
 - RETAINING WALL
 - SINGLE WHITE LINE
 - THRESHOLD ELEVATION
 - UNKNOWN
 - VGC
 - VERTICAL GRANITE CURB
 - W.W.
 - WING WALL
 - (X) INVERT I.D. CONNECTION UNKNOWN



EXISTING CONDITIONS PLAN
FOR
3 WALKER STREET, LLC
(TAX MAP 4 LOT 99)
3 WALKER STREET / ME ROUTE 103
KITTERY, MAINE

NO.	DATE	DESCRIPTION	BY
1	11/15/23	ADD CONVEYED EASEMENTS	MWF

DRAWN BY:	M.T.L.	DATE:	AUGUST 25, 2022
CHECKED BY:	D.C.B.	DRAWING NO.	7620A
JOB NO.	7620	SHEET	1 OF 1



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THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS RULES OF APRIL 2001, CHAPTER 90 "STANDARDS OF PRACTICE".

WILLIAM J. DOUCET, P.L.S. 2263

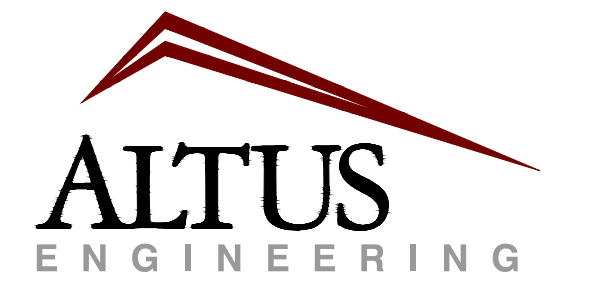
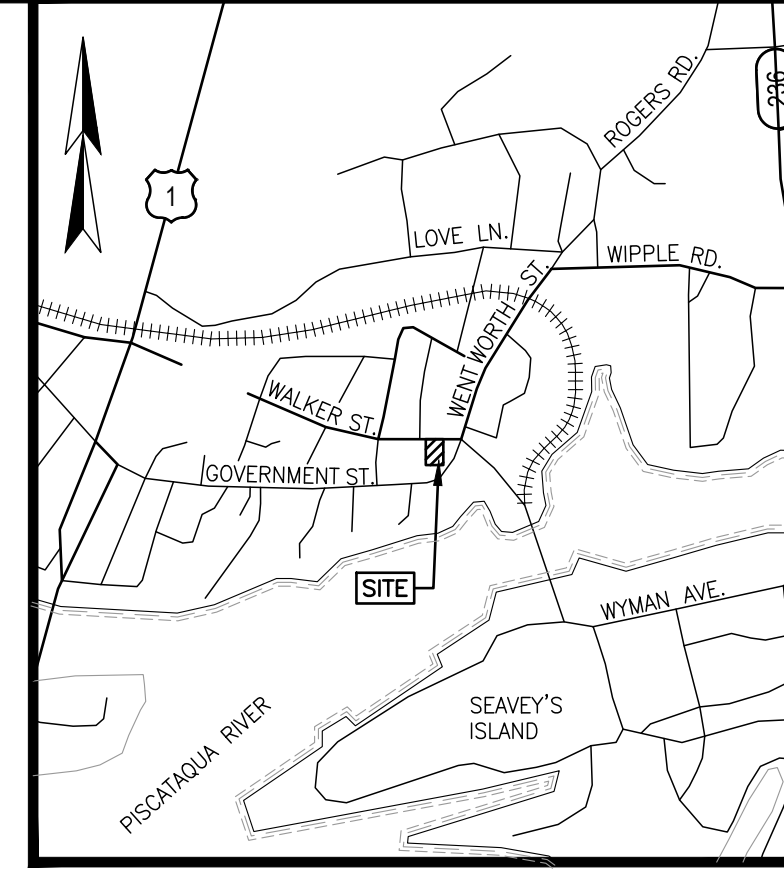
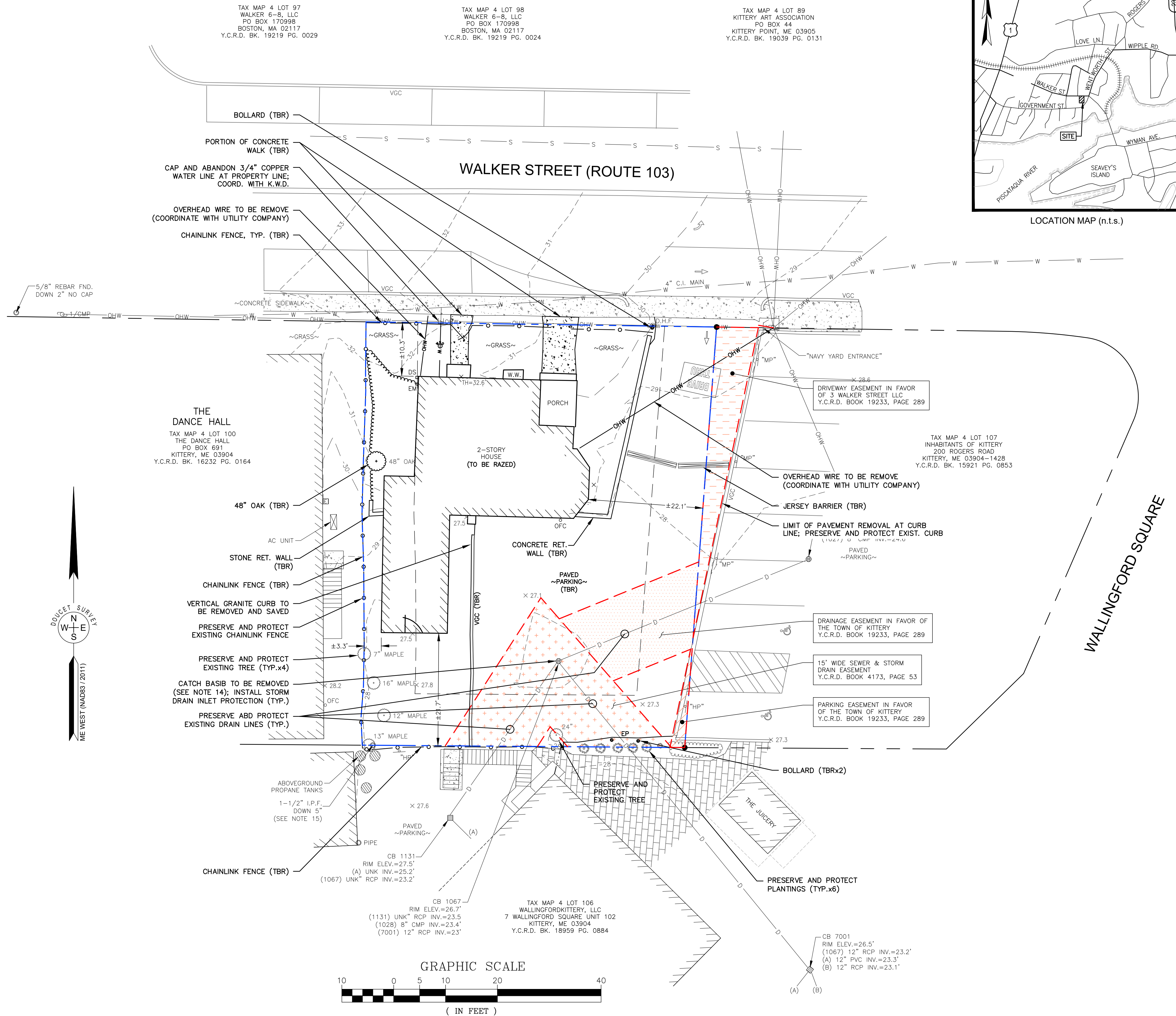
THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



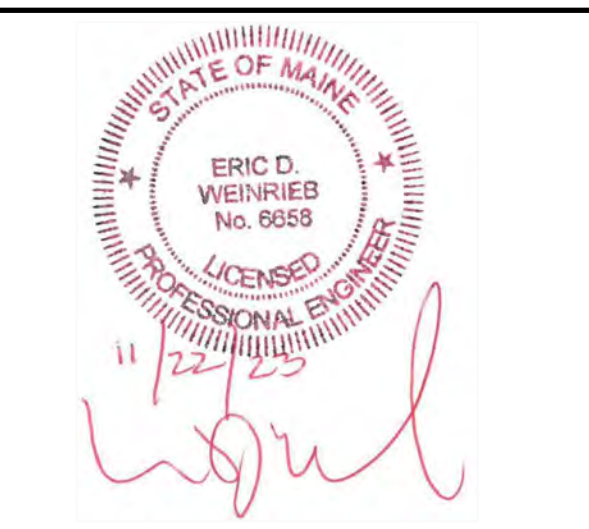
11/15/23

DEMOLITION NOTES

- ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL. WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.
- DEMOLITION PERMIT REQUIRED PRIOR TO ANY BUILDING DEMOLITION ACTIVITIES. CONTRACTOR IS NOTIFIED THAT THIS PERMIT PROCESS MAY REQUIRE A 30-DAY LEAD TIME.
- CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY NOTIFICATION OF ALL PARTIES, CORPORATIONS, COMPANIES, INDIVIDUALS AND STATE AND LOCAL AUTHORITIES OWNING AND/OR HAVING JURISDICTION OVER ANY UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES WHETHER OR NOT SAID UTILITIES ARE SUBJECT TO DEMOLITION, RELOCATION, MODIFICATION AND/OR CONSTRUCTION.
- ALL UTILITY DISCONNECTIONS/DEMOLITIONS/RELOCATIONS SHALL BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES, KITTERY DPW AND ABUTTING PROPERTY OWNERS. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXCAVATION, TRENCHING AND BACKFILLING.
- WHERE SPECIFIED TO REMAIN, MANHOLE RIMS, CATCH BASIN GRATES, VALVE COVERS, HANDHOLES, ETC. SHALL BE ADJUSTED TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- ALL MATERIALS SCHEDULED FOR DEMOLITION OR REMOVAL ON PRIVATE PROPERTY SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
- ALL MATERIAL SCHEDULED TO BE REMOVED SHALL BE LEGALLY DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS/CODES.
- NO BURNING SHALL BE PERMITTED PER LOCAL REGULATIONS.
- HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ABATED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
- EXISTING UTILITIES TO BE DISCONTINUED SHALL BE ABANDONED IN PLACE UNLESS OTHERWISE NOTED TO BE REMOVED OR ENCOUNTERED DURING THE INSTALLATION OF NEW WORK.
- SHOULD GROUNDWATER BE ENCOUNTERED DURING EXCAVATION, APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED TO ENSURE SEDIMENT LADEN WATER IS NOT DISCHARGED INTO THE TOWN DRAINAGE SYSTEM. A DISCHARGE PERMIT SHALL BE OBTAINED PRIOR TO DISCHARGING GROUNDWATER.
- THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR THE DEMOLITION OF EXISTING SITE FEATURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL BUILDINGS, PAVEMENT, CONCRETE, CURBING, SIGNS, POLES, UTILITIES, FENCES, VEGETATION AND OTHER EXISTING FEATURES AS NECESSARY TO FULLY CONSTRUCT THE PROJECT.
- CATCH BASIN TO BE REPLACED WITH NEW 4'x4' STRUCTURE (SEE SHEET C-3). CONTRACTOR SHALL LEAVE EXISTING CB IN-PLACE UNTIL NEW CB IS READY FOR INSTALLATION TO PRESERVE CLOSED DRAINAGE FLOW PATTERNS.



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ISSUED FOR: **PRELIMINARY APPROVAL**
ISSUE DATE: **NOVEMBER 22, 2023**

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EDW	11/22/23

DRAWN BY: _____ RMB
APPROVED BY: _____ XXX
DRAWING FILE: _____ 5401SITE.DWG

SCALE:
(22"x34") 1" = 10'
(11"x17") 1" = 20'

OWNER/APPLICANT:
3 WALKER STREET, LLC
(c/o LANE CHENEY)
76 EXETER STREET
NEWMARKET, NH 03857

PROJECT:
SITE REDEVELOPMENT
TAX MAP 4
LOT 99
3 WALKER STREET
KITTERY, MAINE

TITLE:
SITE PREPARATION PLAN

SHEET NUMBER:
C - 1

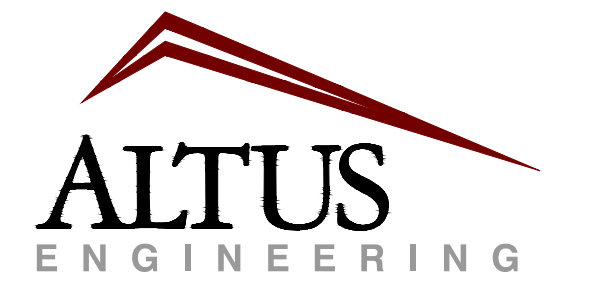
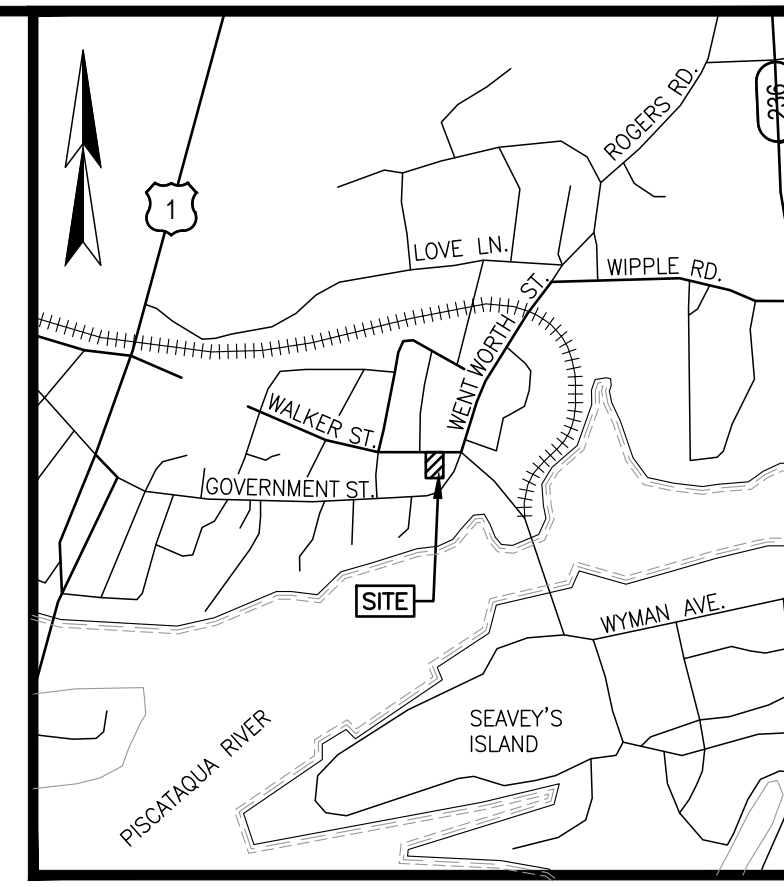
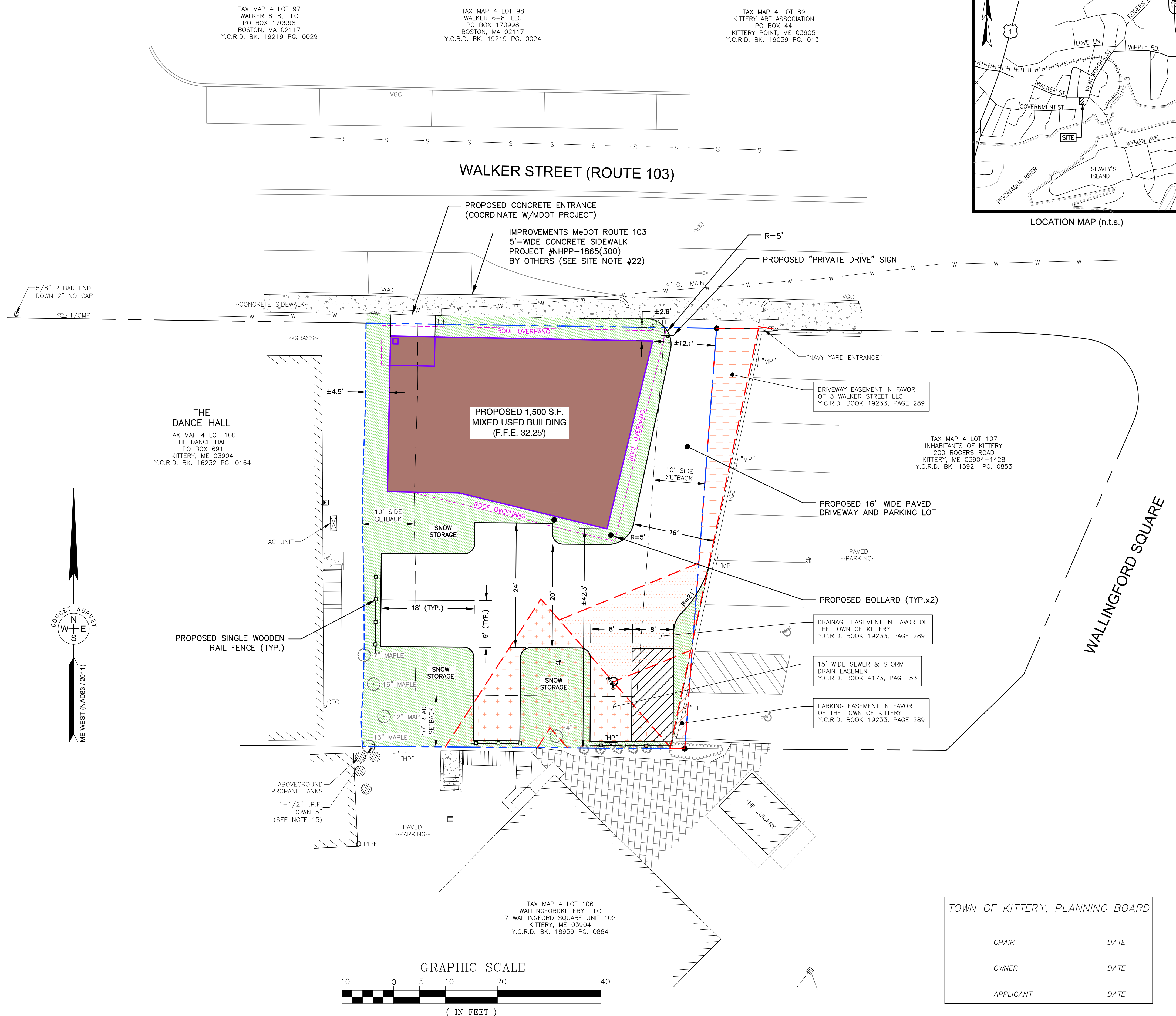
SITE NOTES

- DESIGN INTENT: RAZE EXISTING NON-CONFORMING STRUCTURE TO CONSTRUCT A MIXED-USED BUILDING OFFICE SPACE ON THE FIRST AND SECOND LEVEL AND RESIDENTIAL USE ON UPPER FLOOR.
- REFERENCE: TAX MAP 4, LOT 99
3 WALKER STREET
KITTERY, MAINE
- TOTAL PARCEL AREA: 5,289 SQ. FT. OR 0.12 AC.
- OWNER OF RECORD: 3 WALKER STREET, LLC
76 EXETER ROAD
NEWARKET, NH 03857
Y.C.R.D. BK. 19105 PG. 0610
- ZONE: MIXED USE - KITTERY FORESIDE (MU-KF)
DIMENSIONAL REQUIREMENTS:

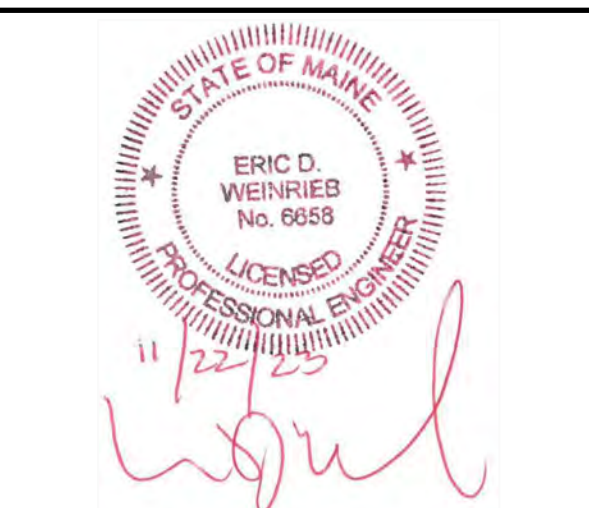
	REQ'D	EXISTING	PROPOSED
MIN. LOT AREA	5,000 SF	5,289 SF	5,289 SF
MIN. FRONTAGE	0'	±67.62'	±67.62'
MIN. FRONT SETBACK	0'	±10.3'	±2.6'
MIN. SIDE SETBACK (RT.)	10'	±3.3'	±4.5'
(LT.)	10'	±22.1'	±12.1'
MIN. REAR SETBACK	10'	±21.7'	±42.3'
MAX. BLDG. COVERAGE	60%	±22.3%	±28.6%
MAX. BLDG. HEIGHT	40'	±28'	<40'
MIN. OPEN SPACE	40%	±28.6%	±30.5%
		±1,511 SF	±1,611 SF
- PARKING REQ.S: 1 RESIDENTIAL UNIT: 1.5 SPACE PER UNIT 2 SPACES
OFFICE: 2,200 SF * 1 SPACES/300 SF 4 SPACES
(NON-RES. 3 SPACE CREDIT) 6 SPACES
PROVIDED: 4 SPACES*
- * AGREEMENT FOR OFF-SITE SPACES WILL BE PROVIDED
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL PERMITS OBTAINED FOR THIS PROJECT.
- CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- PAINTED ISLANDS SHALL BE 4"-WIDE DIAGONAL WHITE LINES 3'-0" O.C. BORDERED BY 4"-WIDE WHITE LINES. PARKING STALLS SHALL BE SEPARATED BY 4"-WIDE WHITE LINES. SEE DETAILS FOR HANDICAP SYMBOLS, SIGNS AND SIGN DETAILS.
- PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
- PROPOSED TELEPHONE, ELECTRIC AND CABLE SERVICES AND CONDUITS SHALL BE INSTALLED UNDERGROUND.
- LOT SHALL BE SERVED BY KITTERY WATER DISTRICT WATER AND KITTERY SEWER DISTRICT.
- ACCUMULATED SNOW WILL BE PLOWED TO AREAS ADJACENT TO PAVEMENT IN A MANNER AS NOT TO HINDER SIGHT LINES AT INTERSECTION. NO SNOW SHALL BE PUSHED ONTO ADJUTING PROPERTY NOR STORED WITHIN 5' OF SHRUBS AND TREES. EXCESS SNOW SHALL BE HAULED OFF-SITE, AS NEEDED.
- HORIZONTAL DATUM BASED ON NAD83(2011) MAINE WEST STATE PLANE COORDINATE ZONE (1802) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
- VERTICAL DATUM IS BASED ON APPROXIMATE NAVD88(GEIOD18) (±.2') DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
- FLOOD HAZARD ZONE: "X", PER FIRM MAP #2301710008D, DATED 7/3/1986, REVISED OCTOBER 14, 2021. IT IS NOT WITHIN A 100-YEAR FLOOD ZONE.
- TRASH TOTES SHALL BE STORED INSIDE FOR SCHEDULED PICKUPS.
- FINAL MECHANICAL UNITS LOCATION TO BE DETERMINED.
- NO WETLANDS FOUND ON SITE.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
- BUILDING AREA SHOWN IS BASED ON FOOTPRINT MEASURED TO THE EDGE OF FOUNDATIONS AND/OR SLABS. ACTUAL INTERIOR SPACE WILL DIFFER.
- ADDITIONAL WAY FINDING SIGN(S) WILL BE ADDED, AS NEEDED.
- MAINE DOT IS PROPOSING IMPROVEMENTS TO WALKER STREET BEGINNING IN THE SPRING OF 2024. IT IS THE INTENT OF THIS DESIGN THAT ANY UTILITY SERVICE IN THE RIGHT-OF-WAY IS COMPLETED PRIOR TO OR IN CONJUNCTION WITH MDOT WORK. CONTACT MDOT FOR SCHEDULE.
BRIAN KEEZER
MAINE DOT
16 STATE HOUSE STATION
AUGUSTA, ME 04333-0016
CELL: (207) 462-0697
EMAIL: BRIAN.KEEZER@MAINE.GOV

PLAN REFERENCE:

- "EXISTING CONDITIONS PLAN FOR 3 WALKER STREET, LLC (TAX MAP 4 LOT 99), 3 WALKER STREET, KITTERY, MAINE, REVISED NOVEMBER 15, 2023, PREPARED BY DOUCET SURVEY, LLC.



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ISSUE DATE: NOVEMBER 22, 2023

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EDW	11/22/23

DRAWN BY: _____ RMB
APPROVED BY: _____ XXX
DRAWING FILE: 5401SITE.DWG

SCALE:
(22"x34") 1" = 10'
(11"x17") 1" = 20'

OWNER/APPLICANT:
3 WALKER STREET, LLC
(c/o LANE CHENEY)
76 EXETER STREET
NEWARKET, NH 03857

PROJECT:
SITE REDEVELOPMENT
TAX MAP 4
LOT 99
3 WALKER STREET
KITTERY, MAINE

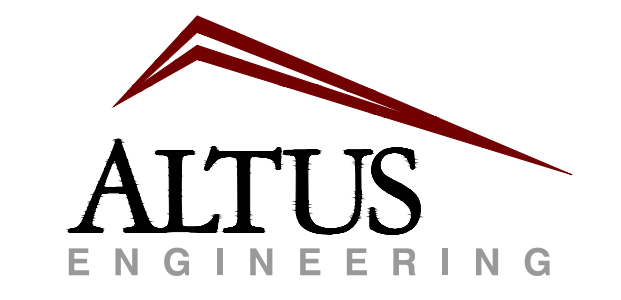
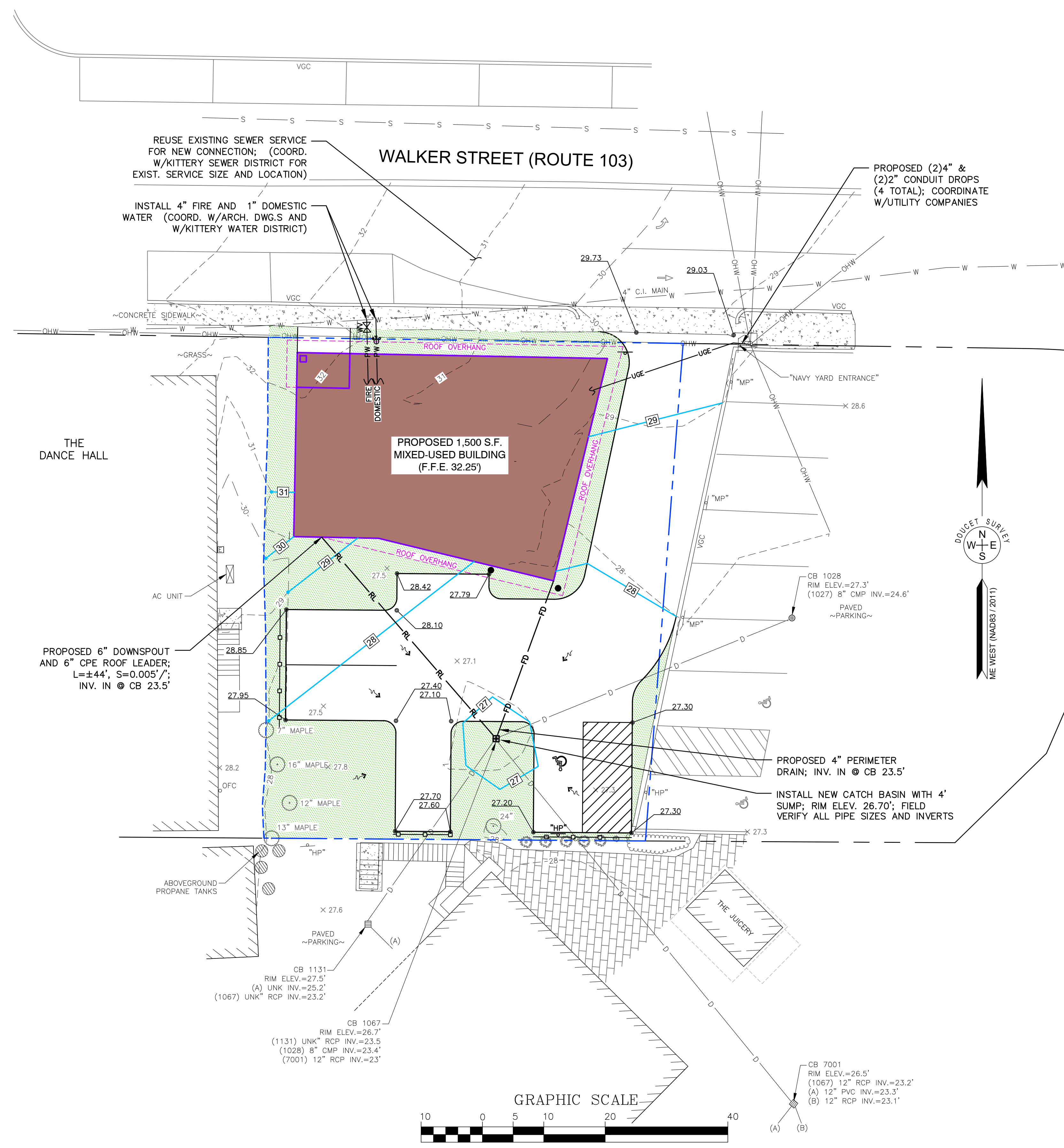
TITLE:
SITE PLAN
SHEET NUMBER:
C - 2

CONSTRUCTION NOTES

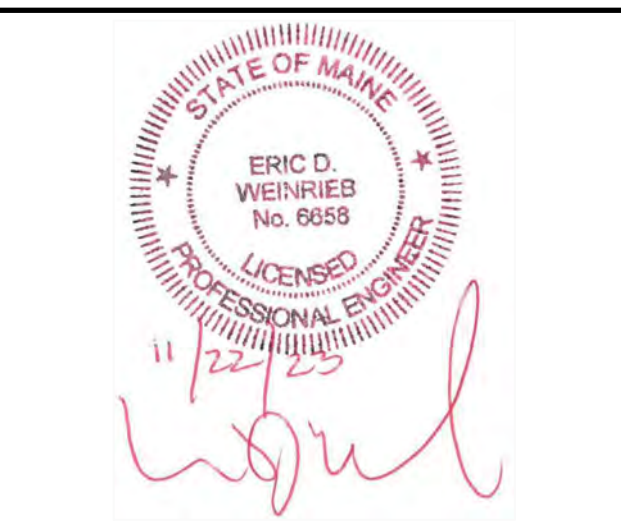
- DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE AND LOCAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
- CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- PERIMETER SEDIMENT CONTROLS AND CULVERT AND CATCH BASIN INLET PROTECTION MEASURES SHALL BE INSTALLED AFTER TREE CLEARING OPERATIONS HAVE CEASED AND BEFORE ANY STUMPING, GRUBBING OR OTHER EARTH DISTURBANCE.
- NO EARTHWORK SHALL COMMENCE UNTIL ALL APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROPERLY MAINTAINED IN GOOD WORKING ORDER FOR THE DURATION OF CONSTRUCTION AND THE SITE IS STABILIZED.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE TOWN OF KITTERY AND MDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- UNLESS OTHERWISE AGREED IN WRITING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING TEMPORARY BENCHMARKS (TBM) AND PERFORMING ALL CONSTRUCTION SURVEY LAYOUT.
- PRIOR TO CONSTRUCTION, FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING STORMWATER AND UTILITY LINES. PRESERVE AND PROTECT LINES TO BE RETAINED.
- ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION.
- TEMPORARY INLET PROTECTION MEASURES SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASINS WITHIN 100' OF THE PROJECT SITE WHEN SITE WORK WITHIN CONTRIBUTING AREAS IS ACTIVE OR SAID AREAS HAVE NOT BEEN STABILIZED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN STANDARDS AND SPECIFICATIONS SET FORTH BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- CONTRACTOR SHALL CONTROL DUST BY SPRAYING WATER, SWEEPING PAVED SURFACES, PROVIDING TEMPORARY VEGETATION, AND/OR MULCHING EXPOSED AREAS AND STOCKPILES.
- ORGANIC FILTER BERMS AND/OR OTHER PERIMETER CONTROLS MAY BE USED IN LIEU OF SILT FENCE IN CERTAIN APPLICATIONS WHEN APPROVED IN WRITING BY THE ENGINEER.
- THE CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO PREVENT EROSION, PREVENT SEDIMENT FROM LEAVING THE SITE AND ENSURE PERMANENT SOIL STABILIZATION.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE SIX (6") INCHES OF LOAM, LIMESTONE, FERTILIZER, SEED, AND MULCH USING APPROPRIATE SOIL STABILIZATION TECHNIQUES. SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- UPON COMPLETION OF CONSTRUCTION, ALL TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE REMOVED AND ANY AREAS DISTURBED BY THE REMOVAL SMOOTHED AND REVEGETATED.
- PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL. IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATIONS. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
- IF SUITABLE, EXCAVATED MATERIALS SHALL BE PLACED AS FILL WITHIN UPLAND AREAS ONLY AND SHALL NOT BE PLACED WITHIN WETLANDS. PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION.
- BLASTING OPERATIONS, IF REQUIRED, SHALL MEET THE AIR BLAST STANDARDS OF THE MDEP RULES, CHAPTER 375.10(C)(4)(C). GROUND VIBRATION AT STRUCTURES NOT OWNED OR CONTROLLED BY THE OWNER MUST BE NO GREATER THAN THE FREQUENCY-DEPENDENT LIMITS DEFINED IN FIGURE B-1 OF APPENDIX B, U.S. BUREAU OF MINES RI 8507. FLYROCK MAY NOT LEAVE PROPERTY OWNED OR CONTROLLED BY THE OWNER OR ENTER A PROTECTED RESOURCE.
- DRAINAGE PIPE SHALL BE CORRUGATED POLYETHYLENE PIPE (GPP), TYPE ADS N-12 OR HANCOR H1-Q, OR DUCTILE IRON CLASS 52 WHERE SPECIFIED.
- ALL CATCH BASIN, MANHOLE AND OTHER DRAINAGE RIMS SHALL BE SET FLUSH WITH OR NO LESS THAN 0.1' BELOW FINISH GRADE. ANY RIM ABOVE SURROUNDING FINISH GRADE SHALL NOT BE ACCEPTED.
- UPON COMPLETION OF CONSTRUCTION, ALL DRAINAGE INFRASTRUCTURE SHALL BE CLEANED OF ALL DEBRIS AND SEDIMENT.
- ALL SPOT GRADES ARE AT FINISH GRADE AND BOTTOM OF CURB WHERE APPLICABLE.
- ALL ROOF DRAIN RISERS SHALL BE LOCATED IN COORDINATION WITH THE ARCHITECTURAL PLANS TO MATCH GUTTER DOWNSPOUTS. RISERS SHALL BE SET TO FINISH GRADE PLUS 1' (MIN.).
- IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS, DRAINAGE AND OTHER UTILITY STRUCTURES MAY NOT BE DRAWN TO SCALE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZING AND LOCATION OF ALL STRUCTURES AND IS DIRECTED TO RESOLVE ANY POTENTIAL DISCREPANCY WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- WORK HOURS FOR CONSTRUCTION SHALL BE AS APPROVED BY TOWN OF KITTERY. STANDARD WORK HOURS SHALL BE 7AM TO 7PM, MONDAY - SATURDAY.

UTILITY NOTES

- THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE. CATCH BASINS, MANHOLES, WATER GATES, ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY PROVIDERS AND GOVERNMENTAL AGENCIES. AS SUCH, THEY ARE NOT INCLUSIVE AS OTHER UTILITIES AND UNDERGROUND STRUCTURES THAT ARE NOT SHOWN ON THE PLANS MAY EXIST. THE ENGINEER, SURVEYOR AND OWNER ACCEPT NO RESPONSIBILITY FOR POTENTIAL INACCURACIES IN THE PLAN AND/OR UNFORESEEN CONDITIONS. THE CONTRACTOR SHALL NOTIFY, IN WRITING, SAID AGENCIES, UTILITY PROVIDERS, TOWN OF KITTERY DPW AND OWNER'S AUTHORIZED REPRESENTATIVE AND CALL DIG SAFE AT 1 (800) DIG-SAFE AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION WORK.
- PRIOR TO CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING AND PROPOSED STORMWATER AND UTILITY LINES. CONFLICTS SHALL BE ANTICIPATED AND ALL EXISTING LINES TO BE RETAINED SHALL BE PROTECTED. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED AND, IF NECESSARY, EXISTING UTILITIES SHALL BE RELOCATED AT NO EXTRA COST TO THE OWNER. ALL CONFLICTS SHALL BE RESOLVED WITH THE INVOLVEMENT OF THE ENGINEER, DPW AND APPROPRIATE UTILITIES.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE TOWN OF KITTERY AND MDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF ALL BONDS AND PAYMENT OF ALL TAP, TIE-IN AND CONNECTION FEES.
- IF REQUIRED, ALL ROAD/LANE CLOSURES OR OTHER TRAFFIC INTERRUPTIONS SHALL BE COORDINATED WITH THE KITTERY POLICE DEPARTMENT, DPW, MDOT AND ADJUTANT PROPERTY OWNERS (WHERE APPROPRIATE) AT LEAST TWO WEEKS PRIOR TO COMMENCING RELATED CONSTRUCTION.
- ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND CITY REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING, BEDDING, BACKFILL & COMPACTION FOR ALL UTILITY TRENCHING IN ADDITION TO ALL CONDUIT INSTALLATION AND COORDINATION OF ALL REQUIRED INSPECTIONS.
- DETECTABLE WARNING TAPE SHALL BE PLACED OVER THE ENTIRE LENGTH OF ALL BURIED UTILITIES, COLORS PER THE RESPECTIVE UTILITY PROVIDERS.
- SEE ARCHITECTURAL/MECHANICAL DRAWINGS FOR EXACT LOCATIONS & ELEVATIONS OF UTILITY CONNECTIONS AT BUILDING. COORDINATE ALL WORK WITHIN FIVE (5) FEET OF BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL/MECHANICAL DRAWINGS. ALL CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY AND PRIOR TO COMMENCING RELATED WORK.
- UTILITY PROVIDERS:
WATER: KITTERY WATER DISTRICT, (207) 439-1128
SEWER: KITTERY WASTEWATER, (207) 439-4646
CABLE/INTERNET/TELECOMS: PROVIDER PER OWNER
ELECTRIC: CENTRAL MAINE POWER, (800) 565-3181
PROPANE: PROVIDER PER OWNER
- ALL WATER AND SEWER INSTALLATIONS SHALL BE CONSTRUCTED AND TESTED PER THE TOWN OF KITTERY'S STANDARDS AND SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE TO THE STANDARDS AND SPECIFICATIONS OF THE RESPECTIVE UTILITY PROVIDERS.
- WHERE WATER LINES CROSS, RUN ADJACENT TO OR ARE WITHIN 5' OF STORM DRAINAGE PIPES OR STRUCTURES, 2"-THICK CLOSED CELL RIGID BOARD INSULATION SHALL BE INSTALLED FOR FROST PROTECTION.
- WHERE WATER OR SEWER LINES ARE INSTALLED WITH LESS THAN 5' OF COVER, 2"-THICK CLOSED CELL RIGID BOARD INSULATION SHALL BE INSTALLED FOR THE FULL WIDTH OF THE TRENCH FOR FROST PROTECTION.
- WATER AND SANITARY SEWER LINES SHALL BE LOCATED AT LEAST 10' HORIZONTALLY FROM EACH OTHER. WHERE CROSSING, 18" MINIMUM VERTICAL CLEARANCE SHALL BE PROVIDED WITH WATER INSTALLED OVER SEWER.
- CONTRACTOR TO PROVIDE BOLLARDS AT SERVICE ENTRANCES PER THE SPECIFICATIONS OF THE RESPECTIVE UTILITY PROVIDERS.
- CONTRACTOR TO COORDINATE WITH K.W.D. FOR THE FILING OF REQUIRED MDOT LOCATION PERMIT AND HIGHWAY OPENING PERMIT.
- ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT LAYOUT PLAN FOR SITE LIGHTING FIXTURES.



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com



NOT FOR CONSTRUCTION

ISSUED FOR:
PRELIMINARY APPROVAL

ISSUE DATE:
NOVEMBER 22, 2023

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EDW	11/22/23

DRAWN BY: _____ RMB
APPROVED BY: _____ XXX
DRAWING FILE: 5401SITE.DWG

SCALE:
(22"x34") 1" = 10'
(11"x17") 1" = 20'

OWNER/APPLICANT:
3 WALKER STREET, LLC
(c/o LANE CHENEY)
76 EXETER STREET
NEWMARKET, NH 03857

PROJECT:
SITE REDEVELOPMENT
TAX MAP 4
LOT 99
3 WALKER STREET
KITTERY, MAINE

TITLE:
GRADING AND
UTILITY PLAN

SHEET NUMBER:
C - 3

LEGEND:

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
RL	PROPOSED 6" CPE ROOF LEADER
FD	PROPOSED FOUNDATION DRAIN
CB	PROPOSED CATCH BASIN
SG	PROPOSED SPOT GRADE
PW	PROPOSED DOMESTIC WATER
W	PROPOSED WATER SHUTOFF VALVE

PROJECT NAME AND LOCATION

Site Redevelopment
Map 4 Lot 99
3 Walker Street
Kittery, Maine
Latitude: 043° 05' 00" N
Longitude: 070° 44' 37" W

DESCRIPTION

The project consists of razing existing residences and to construct a 1,500 s.f. building with offices on first and second level and an residence on third floor. The project will be completed in a single phase.

DISTURBED AREA

The total area to be disturbed is approximately 0.1 acres for new construction of driveway and associated improvements. Prior to lot clearing and soil disturbance, sedimentation barrier shall be installed to prevent sediment leaving the lot.

SEQUENCE OF MAJOR ACTIVITIES

- 1. Install temporary erosion control measures, including silt fences and stabilized construction entrances.
2. Upon completion of items 1, demo existing structures, clear and grub vegetated areas, strip and remove loam from site. Stockpile, if any remains, shall be temporarily stabilized with hay bales...
3. Construct ditches and stabilize prior to directing flow to them.
4. Construct drainage structures, swales & driveway base materials.
5. Ditches and swales with grades over 5% shall have sides and bottom reinforced with excelsior matting.
6. Grade and slope laps to finish elevations.
7. Stabilize disturbed areas.
8. When all construction activity is complete and site is stabilized, remove all hay bales, storm check dams, silt fences and sediment that has been trapped by these devices.

NAME OF RECEIVING WATER

Closed municipal drainage systems discharging to tidal waters of Piscataqua River.

TEMPORARY EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

All work shall be in accordance with state and local permits. Work shall conform to the practices described in the "Maine Erosion and Sediment Control BMPs, 2003" published by the Maine Department of Environmental Protection.

As indicated in the sequence of Major Activities, the hay bales and silt fences shall be installed prior to commencing any clearing or grading of the site. Structural controls shall be installed concurrently with the applicable activity. Once construction activity ceases permanently in an area, silt fences and hay bale barriers and any earth/dikes will be removed once permanent measures are established.

During construction, runoff will be diverted around the site with stabilized channels where possible. Sheet runoff from the site will be filtered through hay bale barriers, stone check dams, and silt fences. All storm drain inlets shall be provided with hay bale filters or stone check dams. Stone rip rap shall be provided at the outlets of drain pipes and culverts where shown.

Temporary and permanent vegetation and mulching is an integral component of the erosion and sedimentation control plan. All areas shall be inspected and maintained until desired vegetative cover is established. These control measures are essential to erosion prevention and also reduce costly rework of graded and shaped areas.

Temporary vegetation shall be maintained in these areas until permanent seeding is applied. Additionally, erosion sedimentation measures shall be maintained until permanent vegetation is established.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

- A. GENERAL
1. Perimeter controls shall be installed prior to earth moving operations.
2. The smallest practical portion of the site will be denuded at one time and no more than be mulched in one day. All disturbed areas must be stabilized by temporary measures within 5 days of initial disturbance and stabilized by permanent measures immediately after final grading.
3. Sediment barriers shall be installed downgradient of stockpiles and diversion swales installed upgradient of stockpiles to prevent movement of soil.
4. Built-up sediment shall be removed from sedimentation barrier or other barriers when it has reached one-third the height of the tubular barrier or bale, or when "bulges" occur in sedimentation barrier.
5. All diversion dikes shall be inspected and any breaches promptly repaired.
6. Temporary seeding and planting shall be inspected for bare spots, washouts, and unhealthy growth.
7. The owner's authorized engineer shall inspect the site on a periodic basis to review compliance with the plans.
8. All ditches and swales shall be stabilized prior to directing runoff to them. All diversion dikes will be inspected and any breaches promptly repaired.
9. Temporary water diversion (swales, basins, etc) shall be used as necessary until areas are stabilized.
10. Ponds and swales shall be installed early on in the construction sequence (before rough grading site).
11. All cut and fill slopes shall be seeded/loamed within 72 hours of achieving finished grade.
12. An area shall be considered stable if one of the following has occurred:
a. Base coarse gravels have been installed in areas to be paved;
b. A minimum of 90% vegetated growth as been established;
c. A minimum of 3 inches of non-erosive material such as stone of riprap has been installed; or
d. Erosion control blankets have been properly installed.

MULCHING Application

- In sensitive areas (within 100 ft of streams, wetlands and in lake watersheds) temporary mulch shall be applied within 7 days of exposing soil or prior to any storm event.
Areas, which have been temporarily or permanently seeded, shall be mulched immediately following seeding.
Areas which cannot be seeded within the growing season shall be mulched for over-winter protection and the area should be seeded at the beginning of the growing season.
Mulch anchoring should be used on slopes greater than 5% in late fall (post September 15), and over-winter (September 15 - April 15).

Type of Mulch
Hay or Straw Mulches
Organic mulches, including hay and straw, shall be air-dried, free of undesirable seeds and coarse materials. Application rate shall be 2 bales (70-90 pounds) per 1000 sq. ft. or 1.5 to 2 tons (90-100 bales) per acre to cover 75 to 90 % of the ground surface. Hay mulch subject to wind blowing shall be anchored via: netting; peg and wire or tracking.

Erosion Control Mix
Erosion control mix shall consist primarily of organic material and shall include any of the following: shredded bark, stump grindings, composted bark or other acceptable products based on a similar raw source. Wood or bark chips, ground construction debris or repressed wood products shall not be acceptable as the organic component of the mix. It can be used as a stand-alone reinforcement:
On slopes 2 horizontal to 1 vertical or less.
On frozen ground or forested areas.
At the edge of gravel parking areas and areas under construction.

Other reinforcement BMPs (i.e. riprap) should be used:
On slopes with groundwater seepage;
At low points with concentrated flows and in gullies;
At the bottom of steep perimeter slopes exceeding 100 feet in length;
Below culvert outlet aprons; and
Around catch basins and closed storm systems.

Composition
Erosion control mix shall contain a well-graded mixture of particle sizes and may contain rocks less than 4" in diameter. Erosion control mix must be free of refuse, physical contaminants, and material toxic to plant growth. The mix composition shall meet the following standards:
The organic matter content shall be between 80 and 100%, dry weight basis.
Particle size by weight shall be 100% passing a 6" screen and a minimum of 70%, maximum of 85%, passing a 0.75" screen.
The organic portion needs to be fibrous and elongated.
Large portions of silts, clays or fine sands are not acceptable in the mix.

Installation
Erosion control mix shall not be used on slopes steeper than 2:1.
On slopes of 3:1 or less; 2 inches plus an additional 1/2 inch per 20 feet of slope up to 100 feet.
On slopes between 3:1 and 2:1, 4 inch plus an additional 1/2 inch per 20 feet of slope up to 100 feet.
The thickness of the mulch at the bottom of the slope needs to be:
<3:1 slope slopes between 3:1 and 2:1
<20' of slope 2.0" 4.0"
30' of slope 3.0" 5.0"
<100' of slope 4.0" 6.0"

It shall be placed evenly and must provide 100% soil coverage, with the soil totally invisible

Any required repairs shall be made immediately, with additional erosion control mix placed on top of the mulch to reach the recommended thickness. When the mix is decomposed, clogged with sediment, eroded or ineffective, it shall be replaced or repaired. Erosion control mix mulch shall be left in place. If the mulch needs to be removed spread it out into the landscape.

Maintenance
All mulches must be inspected periodically, in particular after rainstorms, to check for rill erosion. If less than 90% of the soil surface is covered by mulch, additional mulch shall be immediately applied. Nets shall be inspected after rain events for dislocation or failure. If washouts or breakage occur, re-install the nets as necessary after repairing damage to the slope. Inspections shall take place until grasses are firmly established (95% soil surface covered with grass). Where mulch is used in conjunction with ornamental plantings, inspect periodically throughout the year to determine if mulch is maintaining coverage of the soil surface. Repair as needed.

TEMPORARY VEGETATION

Considerations
Proper seedbed preparation and the use of quality seed are important in this practice just as in permanent seeding. Failure to carefully follow sound agronomic recommendations will often result in an inadequate stand of vegetation that provides little or no erosion control.
Nutrients and pesticides used to establish and maintain a vegetation cover shall be managed to protect the surface and ground water quality.
Temporary seeding shall be used extensively in sensitive areas (ponds and lake watersheds, steep slopes, streambanks, etc.).
Late fall seeding may fail and cause water quality deterioration in spring runoff events, thus other measures such as mulching shall be implemented.

Specifications
Seedbed Preparation
Apply limestone and fertilizer according to soil test recommendations. If soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 600 pounds per acre or 13.8 pounds per 1,000 square feet of 10-10-10 (N-P2O5-K2O) or equivalent. Apply limestone (equivalent to 50 percent calcium plus magnesium oxide) at a rate of 3 tons per acre (138 lb. per 1,000 square feet).

Seeding
Select seed from recommendations in enclosed table.
Where the soil has been compacted by construction operations, loosen soil to a depth of 2 inches before applying fertilizer, lime and seed.
Apply seed uniformly by hand, cyclone seeder, drill, cultipacker type seeder or hydroseeder (slurry including seed and fertilizer). Hydroseeding that includes mulch may be left on soil surface. Seeding rates must be increased 10% when hydroseeding.

Mulching
Apply mulch over seeded area according to the TEMPORARY MULCHING BMP.

Maintenance
Temporary seeding shall be periodically inspected. At a minimum, 95% of the soil surface should be covered by vegetation. If any evidence of erosion or sedimentation is apparent, repairs shall be made and other temporary measures used in the interim (mulch, filter barriers, check dams, etc.).

Table with columns: Seed, Temporary Seeding Rates and Dates (Lb./Ac, Seeding Depth), Recommended Seeding Dates, Remarks. Rows include Winter Rye, Oats, Annual Ryegrass, Sudangrass, Perennial, and Temporary mulch with or without dormant seeding.

FILTERS

Tubular Sediment Barrier
To be provided by an approved manufacturer or supplier:
Installed per manufacturer's specifications;
Barrier shall be removed when they have served their useful purpose but not before the upslope areas has been permanently stabilized.

Straw/Hay Bales
Bales shall be placed in a single row, lengthwise on the contour, with ends of adjacent bales tightly abutting one another.
All bales shall be either wire-bound or string-tied. Bales shall be installed so that bindings are oriented around the sides, parallel to the ground surface to prevent deterioration of the bindings.
The barrier shall be entrenched and backfilled. A trench shall be excavated the width of a bale and the length of the proposed barrier to a minimum depth of 4 inches.
After the bales are staked and chinked, the excavated soil shall be backfilled against the barrier. Backfill soil shall conform to the ground level on the downhill side and shall be built up to 4 inches against the uphill side of the barrier.
At least two stakes or rebars driven through the bale shall securely anchor each bale. The first stake in each bale shall be driven toward the previously laid bale to force the bales together. Stakes or re-bars shall be driven deep enough into the ground to securely anchor the bales.
The gaps between bales shall be chinked (filled by wedging) with hay to prevent water from escaping between the bales.

Organic Filter Berm NOT PERMITTED ON THIS SITE

Installation
Sediment barriers shall be installed along the down gradient side of proposed ground disturbance areas prior to any construction activities.
The barrier must be placed along a relatively level contour.
Maintenance
Hay bale barriers, sedimentation barriers and filter berms shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. They shall be repaired immediately if there are any signs of erosion or sedimentation below them. If there are signs of undercutting at the center or the edges of the barrier, or impounding of large volumes of water behind them, sediment barriers shall be replaced with a temporary check dam.
Should the fabric on a sedimentation barrier or filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier still is necessary, the fabric shall be replaced promptly.
Sediment deposits should be removed when deposits reach approximately one third (1/3) the height of the barrier.
Filter berms should be reshaped as needed.
Any sediment deposits remaining in place after the sedimentation barrier or filter barrier is no longer required shall be dressed or removed to conform to the existing grade, prepared and seeded.
Ornamental stone may have to be added to the construction stabilized entrance, rock barriers, stone lined swales, etc., periodically to maintain proper function of the erosion control structure.

PERMANENT SEEDING

- 1. Bedding - stones larger than 1 1/2", trash, roots, and other debris that will interfere with seeding and future maintenance of the area should be removed. Where feasible, the soil should be tilled to a depth of 6" to prepare a seedbed and mix fertilizer (refer to Landscape Drawings and Specifications) into the soil.
2. Fertilizer (refer to Landscape Drawings and Specifications) - lime and fertilizer should be applied evenly over the area prior to or at the time of seeding and incorporated into the soil. Kinds and amounts of lime and fertilizer should be based on an evaluation of soil tests.
3. Seed Mixture (See Landscape Drawings for additional information):
3.1. Lawn seed mix shall be a fresh, clean new seed crop. The Contractor shall furnish a dealer's guaranteed statement of the composition of the mixture and the percentage of purity and germination of each variety.
3.2. Seed mixture shall conform to landscape specifications.
4. Sodding - sodding is done where it is desirable to rapidly establish cover on a disturbed area. Sodding an area may be substituted for permanent seeding procedures anywhere on site. Bed preparation, fertilizing, and placement of sod shall be performed according to the S.C.S. Handbook. Sodding is recommended for steep sloped areas, areas immediately adjacent to sensitive water courses, easily erodible soils (fine sand/silt), etc.

DEWATERING

A dewatering plan shall be implemented to address excavation de-watering following heavy rainfall events or where the excavation may intercept the groundwater table during construction. The collected water needs treatment and a discharge point that will not cause downgradient erosion and offsite sedimentation or within a resource.

All dewatering discharge locations shall be located on relatively flat ground at least 75' from streams and 25' from wetlands. The contractor shall utilize "Dirtbags", erosion control mix berms, silt fences, and other forms of secondary containment that prevent discharge to groundwater and Sediment Control BMPs.

Placement of "Dirtbags" shall be located such that they can be removed intact upon completion of construction with no discharge of silt at the site and properly disposed.

MONITORING SCHEDULE

The contractor shall be responsible for installing, monitoring, maintaining, repairing, replacing and removing all of the erosion and sedimentation controls or appointing a qualified subcontractor to do so. Maintenance measures will be applied as needed during the entire construction cycle. immediately following any significant rainfall, and at least once a week, a visual inspection will be made of all erosion and sedimentation controls as follows:
1. Sedimentation barrier shall be inspected and repaired. Sediment trapped behind these barriers shall be excavated when it reaches a depth of 6" and redistributed to areas undergoing final grading.
2. Construction entrance shall be visually inspected and repaired as needed. Any areas subject to rutting shall be stabilized immediately. If the voids of the construction entrance become filled with mud, more crushed stone shall be added as needed. The public roadway shall be swept should mud be deposited/tracked onto them.

STANDARDS FOR STABILIZING SITES FOR THE WINTER

The following standards and methodologies shall be used for stabilizing the site during the winter construction period:
1. Standard for the timely stabilization of disturbed slopes (any area having a grade greater than 25%) - the contractor will seed and mulch all slopes to be vegetated by September 15th. If the contractor fails to stabilize any slope to be vegetated by September 15th, then the contractor will take one of the following actions to stabilize the slope for late fall and winter.
A. Stabilize the soil with temporary vegetation and erosion control mats: by October 1st the contractor will seed the disturbed slope with winter rye at a rate of 3 pounds per 1000 square feet and then install erosion control mats or anchored hay mulch over the seeding. The contractor will monitor growth of the rye over the next 30 days.
B. Stabilize the slope with wood-waste compost: the contractor will place a six-inch layer of wood-waste compost on the slope by November 15th. The contractor will not use wood-waste compost to stabilize slopes having grades greater than 50% (2h:1v) or having groundwater seeps on the slope face.
C. Stabilize the slope with stone riprap: the contractor will place a layer of stone riprap on the slope by November 15th. The development's owner will hire a registered professional engineer to determine the stone size needed for stability on the slope and to design a filter layer for underneath the riprap.
2. Standard for the timely stabilization of disturbed soils - by September 15th the contractor will seed and mulch all disturbed soils on the site. If the contractor fails to stabilize these soils by this date, then the contractor will take one of the following actions to stabilize the soil for late fall and winter.
A. Stabilize the soil with temporary vegetation: by October 1st the contractor will seed the disturbed soil with winter rye at a seeding rate of 3 pounds per 1000 square feet, lightly mulch the seeded soil with hay or straw at 75 pounds per 1000 square feet, and anchor the mulch with plastic netting. The contractor will monitor growth of the rye over the next 30 days. If the rye fails to grow at least three inches or fails to cover at least 75% of the disturbed soil before November 1, then the contractor will mulch the area for over-winter protection as described in item iii of this standard.
B. Stabilize the soil with sod: the contractor will stabilize the disturbed soil with properly installed sod by October 1st. Proper installation includes the contractor pinning the sod onto the soil with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, and watering the sod to promote root growth into the disturbed soil.
C. Stabilize the soil with mulch: by November 15th the contractor will mulch the disturbed soil by spreading hay or straw at a rate of at least 150 pounds per 1000 square feet on the area so that no soil is visible through the mulch. Immediately after applying the mulch, the contractor will anchor the mulch with netting or other method to prevent wind from moving the mulch off the disturbed soil.
Winter inspections shall be performed after, each rainfall, snowstorm or thawing and at least once a week. All areas within 75 feet of a protected natural resource must be protected with a double row of sediment barrier.

EROSION CONTROL REMOVAL

An area is considered stable if it is paved or if 90% growth of planted seeds is established. once an area is considered stable, the erosion control measures can be removed as follows:
1. Sedimentation Barrier: sedimentation barrier shall be disposed of legally and properly off-site. all sediment trapped behind these controls shall be distributed to an area undergoing final grading or removed and relocated off-site.
2. Stabilized Construction Entrance: The stabilized construction entrance shall be removed once the compacted roadway base is in place. Stone and sediment from the construction entrance shall be redistributed to an area undergoing grading or removed and relocated offsite.
3. Miscellaneous: Once all the trapped sediments have been removed from the temporary sedimentation devices the disturbed areas must be regraded in an aesthetic manner to conform to the surrounding topography. Once graded these disturbed areas must be loamed (if necessary), fertilized, seeded and mulched in accordance with the rates previously stated. The above erosion controls must be removed within 30 days of final stabilization of the site.

Conformance with this plan and following these practices will result in a project that complies with the state regulations and the standards of the natural resources protection act, and will protect water quality in areas downstream from the project.

INSPECTION AND MAINTENANCE NOT REQUIRE FOR THIS SITE

All sediment control measures shall be inspected at least once each week and following any storm event of 0.25 inches or greater. An inspection report shall be made after each inspection by a qualified inspector engaged by the Owner. The qualified inspector shall be a Professional Engineer licensed in Maine or be a Certified Professional in Erosion and Sediment Control approved by the Owner and MDEP.
All measures shall be maintained in good working order; if a repair is necessary, it will be initiated within 24 hours and completed within 72 hours.
Inspection and maintenance requirements: inspect disturbed and impervious areas, erosion and stormwater control measures, areas used for storage that are exposed to precipitation, and locations where vehicles enter or exit the site. Inspect these areas at least once a week as well as before and after a 0.5 inch or greater storm event and prior to completion of permanent stabilization measures. A person with knowledge of erosion and stormwater control, including the standards in the Maine Construction General Permit or any departmental companion document to the MDCP, must conduct the inspection. The date and time must be identified in the inspection log. If best management practices (BMPs) need to be modified or if additional BMPs are necessary, implementation must be completed within calendar days and prior to any storm event (rainfall). All measures must be maintained in effective operating condition until areas are permanently stabilized.
Inspection Log (report): A log (report) must be kept summarizing the scope of the inspection, name(s) and qualifications of the personnel making the inspection, the date(s) of the inspection, and major observations relating to operation of erosion and sedimentation controls and pollution prevention measures. Major observations must include BMPs that need maintenance, BMPs that failed to operate as designed or proved inadequate for a particular location, and location(s) where additional BMPs are needed. For each BMP requiring maintenance, BMP needing placement, and location needing additional BMPs, note in the inspection log the correct action taken and when it was taken. The log must be made accessible to the department staff and a copy must be provided upon request. The permittee shall retain a copy of the log for a period of at least three years from the completion of the permanent stabilization.

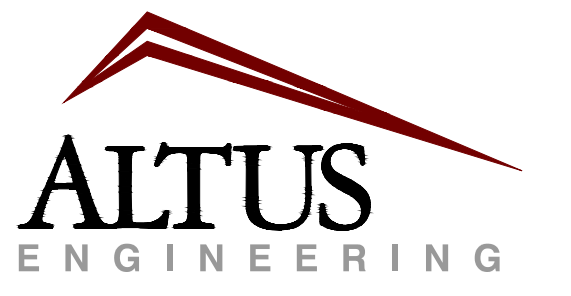
HOUSEKEEPING

- 1. Spill prevention: Controls must be used to prevent pollutants from construction and waste materials stored onsite, including storage practices to minimize exposure of the materials to stormwater and appropriate spill prevention, containment, and response planning implementation. The contractor and owners need to take care with construction and waste materials such that the contamination of stormwater. The storage of materials such as paint, petroleum products, cleaning agents and the like are to be stored in watertight containers. The use of the products should be in accordance with manufacturer recommendations. When fueling equipment, including snowblowers and lawnmowers, have oil absorbent pads available below the fueling. Refueling of small engines by the owner should occur in the garage or on a paved surface. Any spill or release of toxic or hazardous materials must be reported to the department. For oil spills, call 1-800-482-0777 which is available 24 hours a day. For spills of toxic or hazardous materials, call 1-800-452-4664 which is available 24 hours a day. For more information, visit the department's website at: HTTP://WWW.MAINE.GOV/DEP/SPILLS/EMERCSPIILRESP/
2. Groundwater protection: Protection of the groundwater is required by the contractor and owner. During construction, liquid petroleum products and other hazardous materials with the potential to contaminate groundwater may not be stored or handled in areas of the site draining to an infiltration area. An "infiltration area" is any area of the site that by design or as a result of soils, topography, and other relevant factors accumulates runoff that infiltrates into the soil. Petroleum products should be stored in manufactured cans designed for the purpose. Dikes, berms, sumps, and other forms of secondary containment that prevent discharge to groundwater may be used to isolate portions of the site for the purposes of storage and handling of these materials. Spill prevention procedures should be followed.
Note: Lock of appropriate pollutant removal BMPs may result in violations of the groundwater quality standard established by 39 M.R.S.A. §465-C(1). Any project proposing infiltration of stormwater must provide adequate treatment of stormwater prior to discharge of stormwater to the infiltration area, or provide treatment within the infiltration area, in order to prevent accumulation of fines, reductions in infiltration rate, and consequent flooding and destabilization.
3. Fugitive sediment and dust: Actions must be taken to ensure that activities do not result in noticeable erosion of soils or fugitive dust emissions during or after construction. Oil may not be used for dust control.
Note: Dewatering a stream without a permit from the department violates state water quality standards and the Natural Resources Protection Act.
4. Debris and other materials: Litter, construction debris, and construction chemicals exposed to stormwater must be prevented from becoming a pollutant source. Construction materials and construction debris should be covered to prevent rainwater from washing contaminants off the site. Any fertilizers, cleaning products, herbicides should be protected from the weather and used in accordance with manufacturers recommendations.
Note: Any contaminants that are washed off the site by rainwater is a violation of the Clean Water Act. To prevent these materials from becoming a source of pollutants, construction activities related to a project may be required to comply with applicable provisions of rules related to solid, universal, and hazardous waste, including, but not limited to, the Maine Solid Waste and Hazardous Waste Management Rules; Maine Hazardous Waste Management Rules; Maine Oil Conveyance and Storage Rules; and Maine Pesticide requirements.
5. Trench or foundation dewatering: Trench dewatering is the removal of water from trenches, foundations, culverts, ponds, and other areas within the construction area that retain water after excavation. In most cases the collected water is heavily silted and hinders correct and safe construction practices. The collected water removed from the ponded area, either through gravity or pumping, must be spread through natural wooded buffers or removed to areas that are specifically designed to collect the maximum amount of sediment possible, like a cofferdam sedimentation basin. Avoid allowing the water to flow over disturbed areas of the site.
Note: For guidance on dewatering controls, consult the Maine Erosion and Sediment Control BMPs, published by the Maine Department of Environmental Protection.
6. Non-stormwater discharges: Identify and prevent contamination by non-stormwater discharges. Where allowed non-stormwater discharges exist, they must be identified and steps should be taken to ensure the implementation of appropriate pollution prevention measures for the non-stormwater component(s) of the discharge. Authorized non-stormwater discharges are:
Discharges from firefighting activities
Fire hydrant flushings
Vehicle washwater if detergents are not used and washing is limited to the exterior of vehicles (engine, undercarriage, and transmission washing is prohibited)
Dust control runoff in accordance with permit conditions
Routine external building washdown, not including surface paint removal, that does not involve detergents
Pavement washwater (where spills/leaks of toxic or hazardous materials have not occurred, unless all spilled material has been removed)
Uncontaminated air conditioning or compressor condensate
Uncontaminated groundwater or spring water
Foundation or footer drain-water where flows are not contaminated
Uncontaminated excavation dewatering
Potable water sources including waterline flushings
7. Unauthorized non-stormwater discharges: Identify and prevent contamination from discharges that is mixed with a source of non-stormwater, other than those discharges in compliance with 6. Unauthorized non-stormwater discharges are:
Wastewater from the washout or cleanout of concrete, stucco, paint, form release oils, curing compounds or other construction materials;
Fuels, oils, or other pollutants used in vehicle and equipment operations and maintenance;
Soaps, solvents or detergents used in vehicle and equipment wash;
Toxic or hazardous substances from a spill or other release.

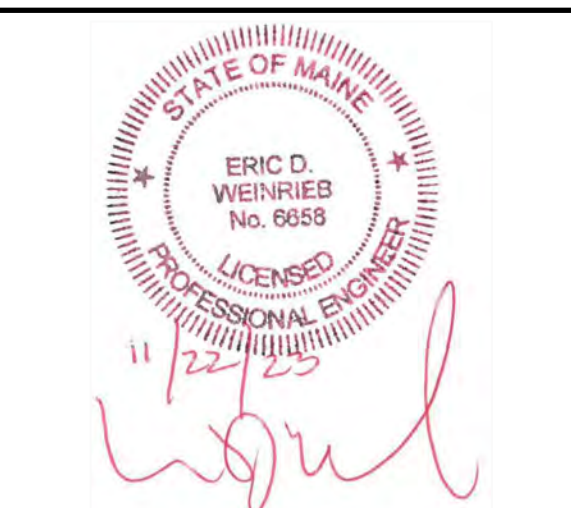
Allowable non-stormwater discharges cannot be authorized under this permit unless they are directly related to and originate from a construction site or dedicated support activity.

This project has a written erosion control plan and stormwater maintenance plan. Modifications to the plan must be approved by the Town.

Maintenance of stormwater treatment and control systems must occur regularly. The stormwater maintenance report provides inspection details and time lines for doing the inspections and reporting to the Town and DEP.



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com



NOT FOR CONSTRUCTION

ISSUED FOR:

PRELIMINARY APPROVAL

ISSUE DATE:

NOVEMBER 22, 2023

REVISIONS

Table with columns: NO. DESCRIPTION, BY DATE. Row 0: INITIAL SUBMISSION, EDW 11/22/23

DRAWN BY: _____ RMB

APPROVED BY: _____ XXX

DRAWING FILE: 5401SITE.DWG

SCALE:

(22"x34") 1" = 10'
(11"x17") 1" = 20'

OWNER/APPLICANT:

3 WALKER STREET, LLC
(c/o LANE CHENEY)
76 EXETER STREET
NEWMARKET, NH 03857

PROJECT:

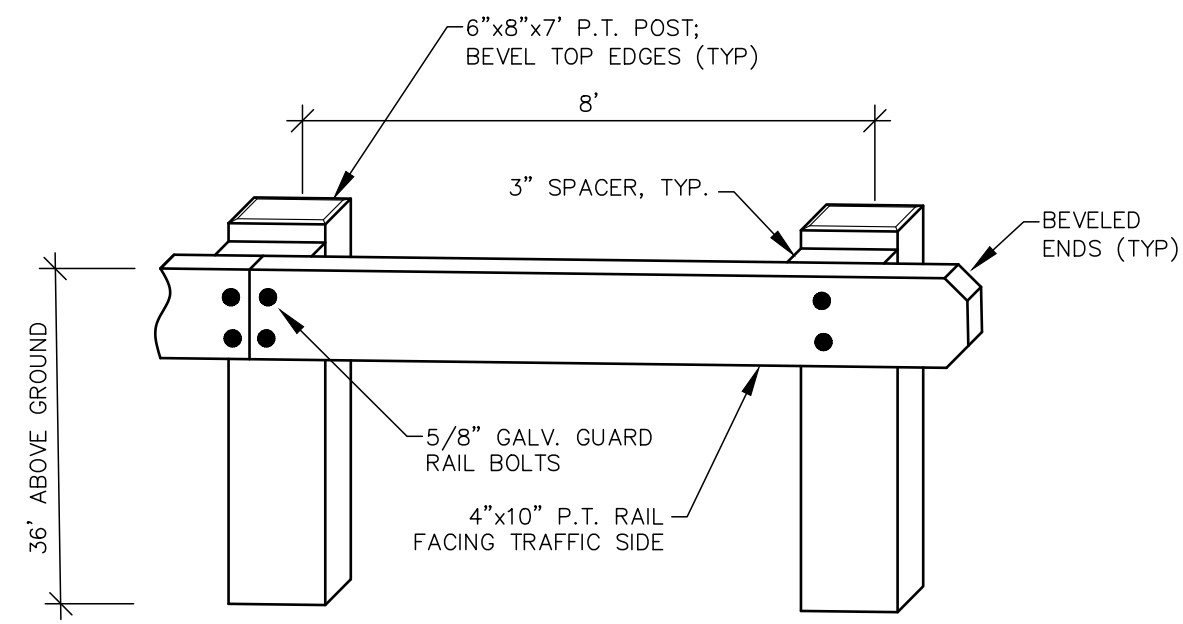
SITE REDEVELOPMENT TAX MAP 4 LOT 99
3 WALKER STREET KITTERY, MAINE

TITLE:

DETAIL SHEET

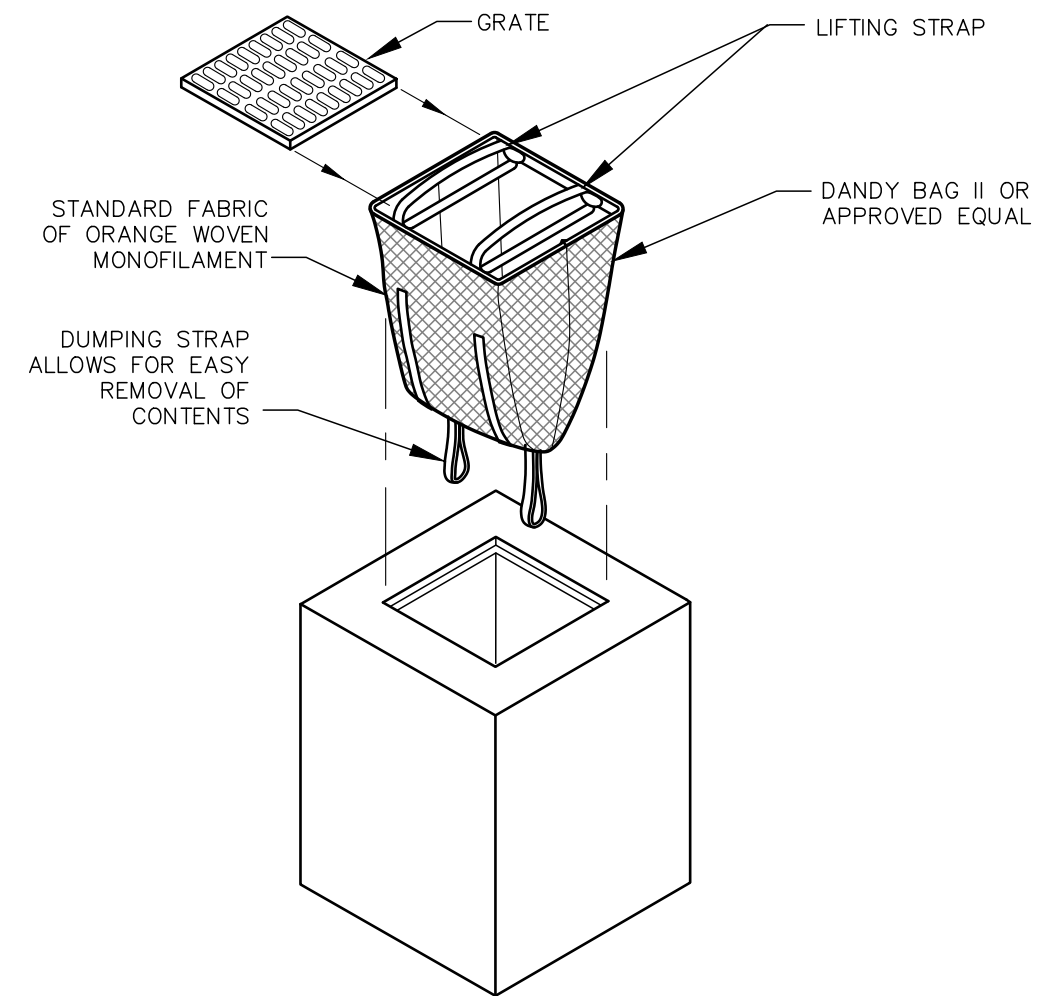
SHEET NUMBER:

C - 4



NOTE:
FENCE BY GC/AAA FENCE COMPANY, DOVER, NH.
TEL. (800) 660-0833 OR APPROVED EQUAL

SINGLE RAIL WOOD BARRIER NOT TO SCALE



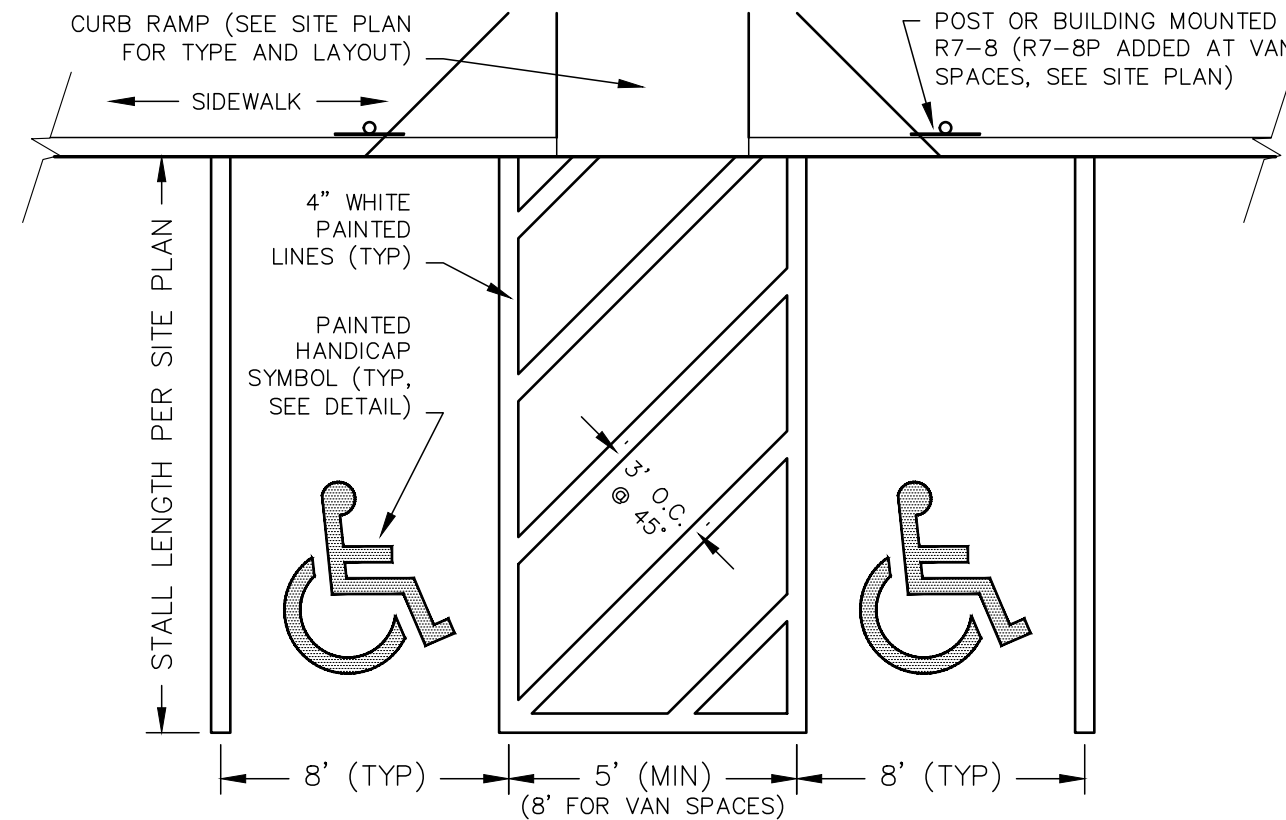
INSTALLATION AND MAINTENANCE:

INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLOW IN UNIT. STAND GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO CATCH BASIN INSERT SO THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

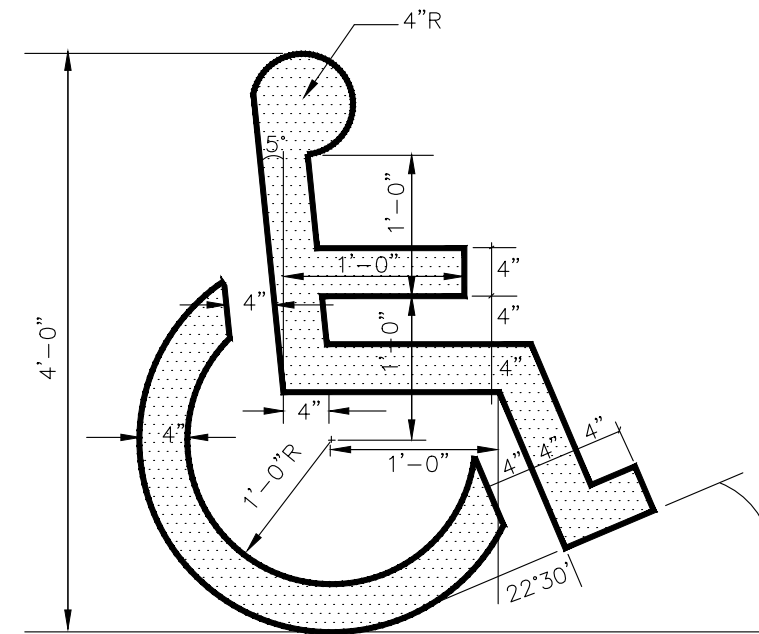
MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF THE UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE CATCH BASIN INSERT. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY THE UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.

UNACCEPTABLE INLET PROTECTION METHOD:

A SIMPLE SHEET OF GEOTEXTILE UNDER THE GRATE IS NOT ACCEPTABLE.



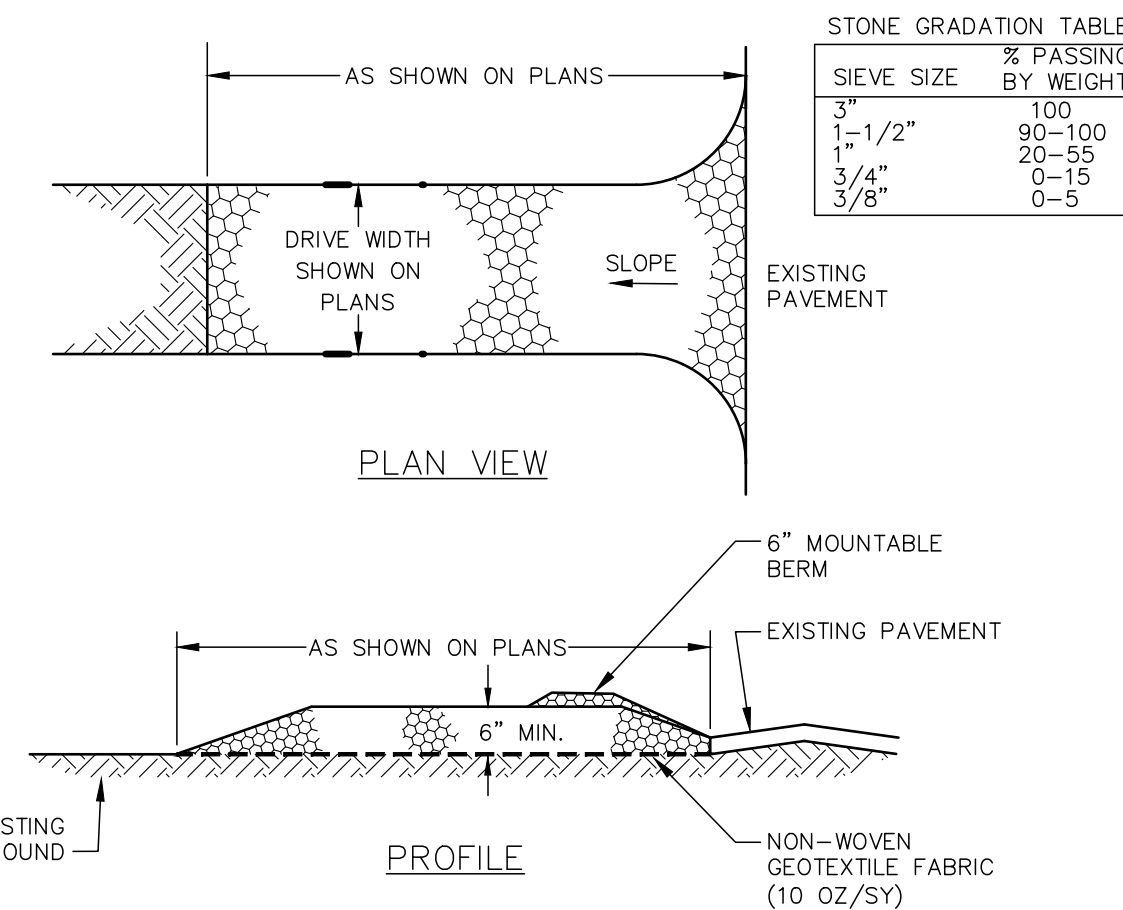
HANDICAP PARKING STALL LAYOUT NOT TO SCALE



NOTES

1. SYMBOL TO BE PAINTED IN ALL HANDICAPPED ACCESSIBLE SPACES IN WHITE PAINT (BLUE-PAINTED SQUARE BACKGROUND OPTIONAL).

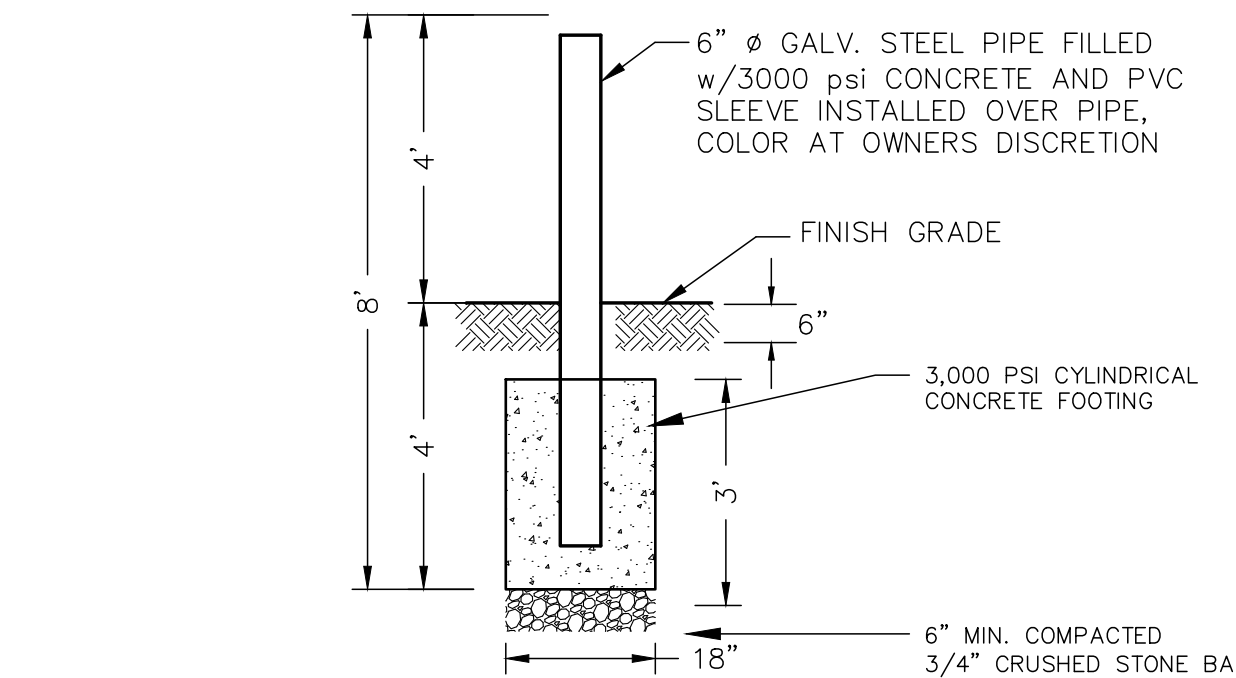
PAINTED HANDICAP SYMBOL NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

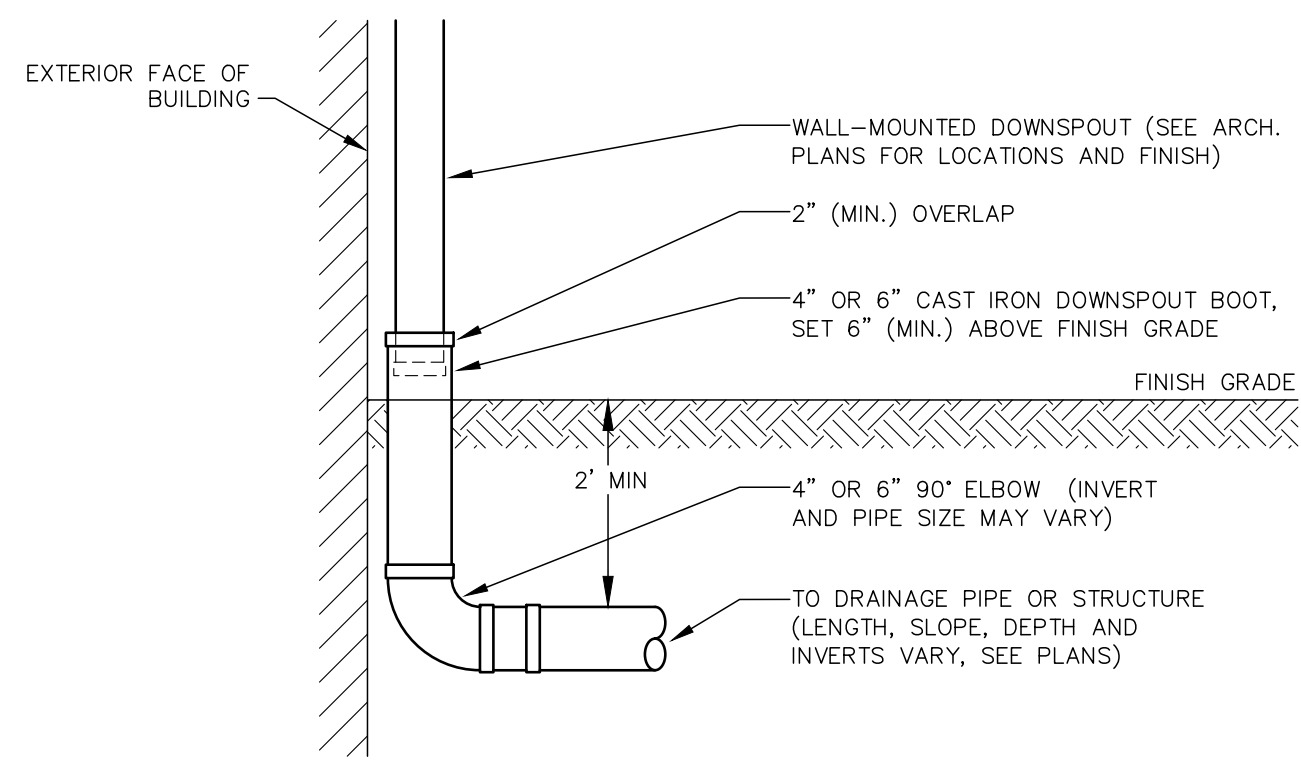
1. **STONE SIZE** - 2" to 3" DIA. CRUSHED STONE
2. **LENGTH** - DETAILED ON PLANS (50 FOOT MINIMUM).
3. **THICKNESS** - SIX (6) INCHES (MINIMUM).
4. **WIDTH** - FULL DRIVE WIDTH UNLESS OTHERWISE SPECIFIED.
5. **FILTER FABRIC** - MIRAFI 600X OR EQUAL APPROVED BY ENGINEER.
6. **SURFACE WATER CONTROL** - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. **MAINTENANCE** - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. **WHEELS** SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. STABILIZED CONSTRUCTION EXITS SHALL BE INSTALLED AT ALL ENTRANCES TO PUBLIC RIGHTS-OF-WAY, AT LOCATIONS SHOWN ON THE PLANS, AND/OR WHERE AS DIRECTED BY THE ENGINEER.

STABILIZED CONSTRUCTION EXIT NOT TO SCALE

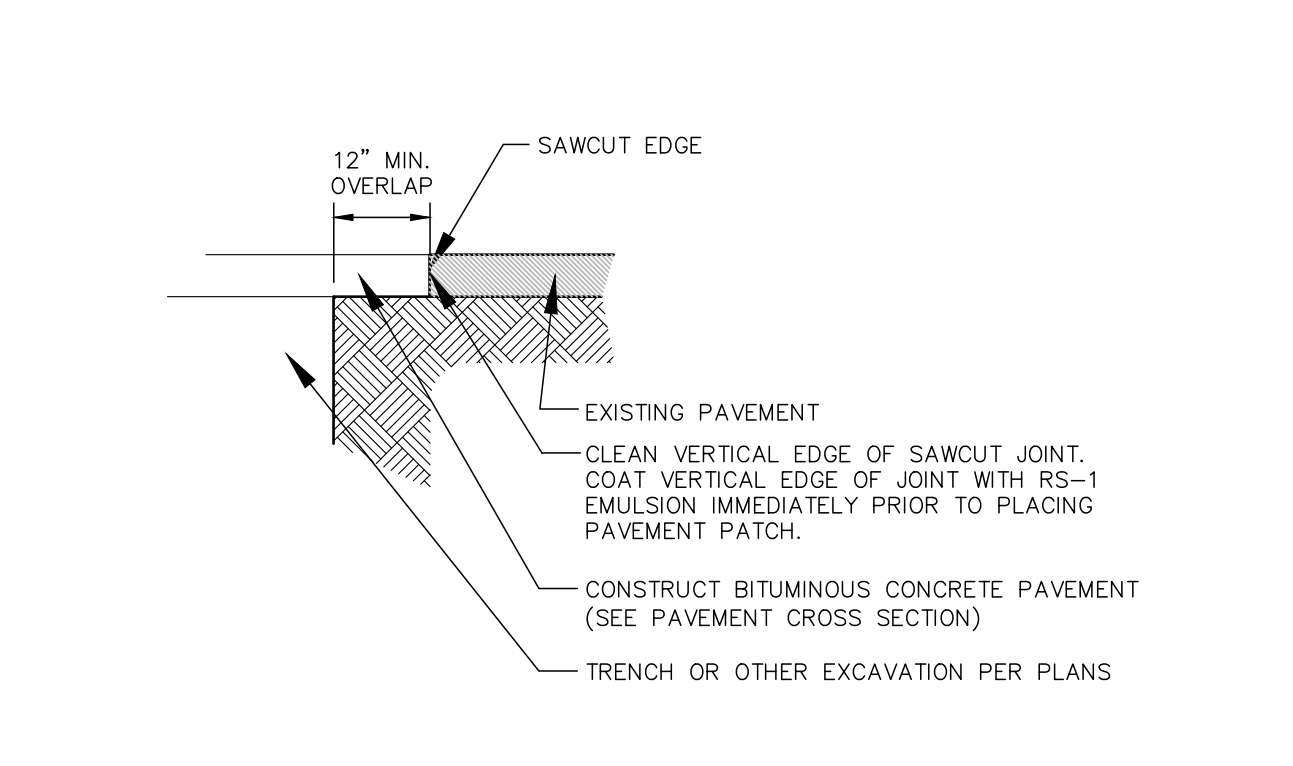


BOLLARD NOT TO SCALE

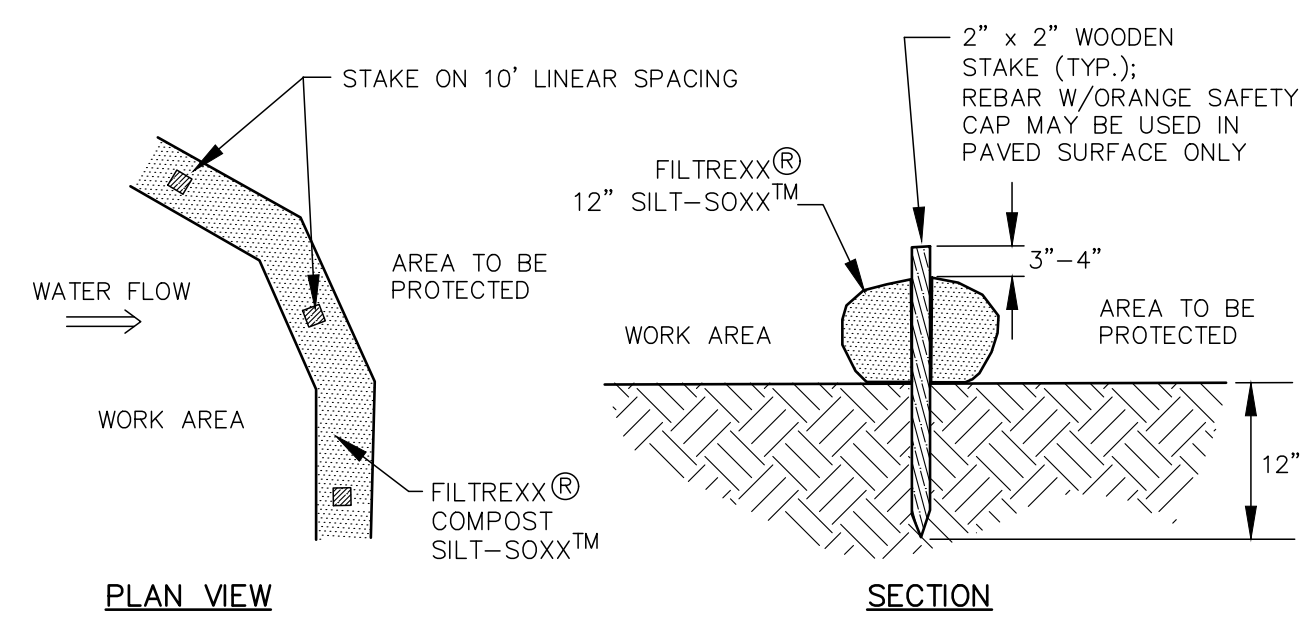
STORM DRAIN INLET PROTECTION NOT TO SCALE



EXTERIOR ROOF DRAIN CONNECTION NOT TO SCALE

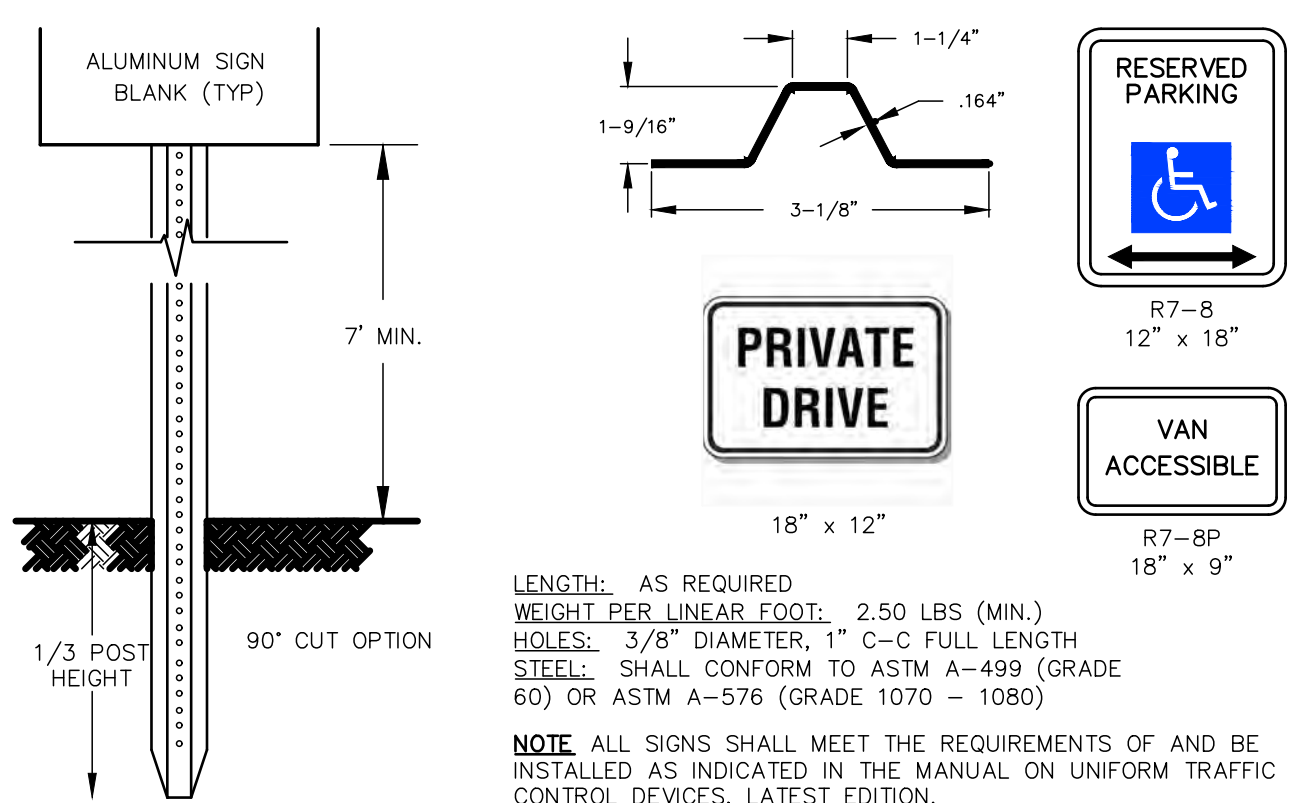


TYPICAL PAVEMENT SAWCUT NOT TO SCALE

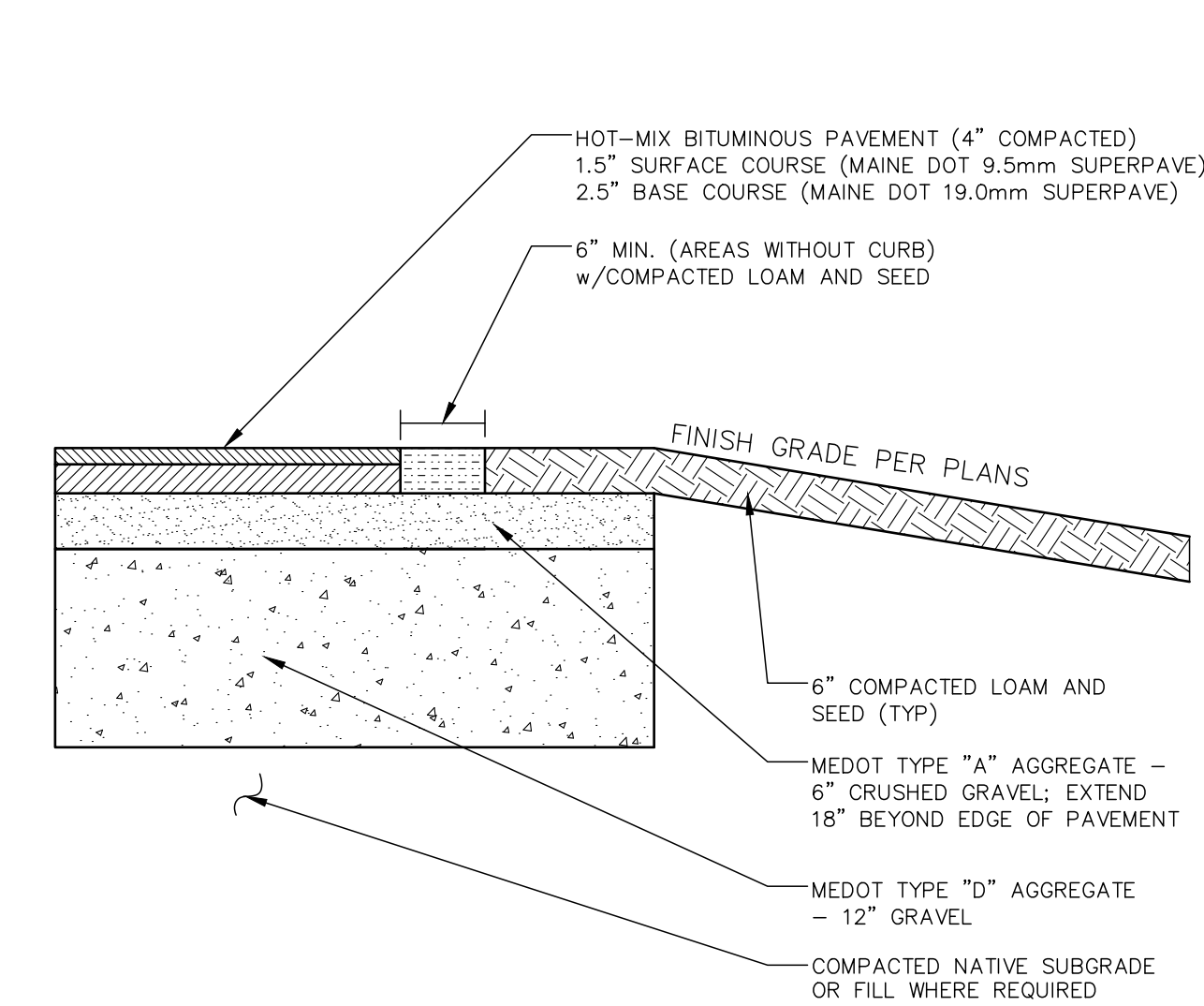


- NOTES:**
1. SILT-SOXX MAY BE USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
 2. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 3. SILT-SOXX COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
 4. ALL SEDIMENT TRAPPED BY SILT-SOXX SHALL BE DISPOSED OF PROPERLY.

TUBULAR SEDIMENT BARRIER NOT TO SCALE



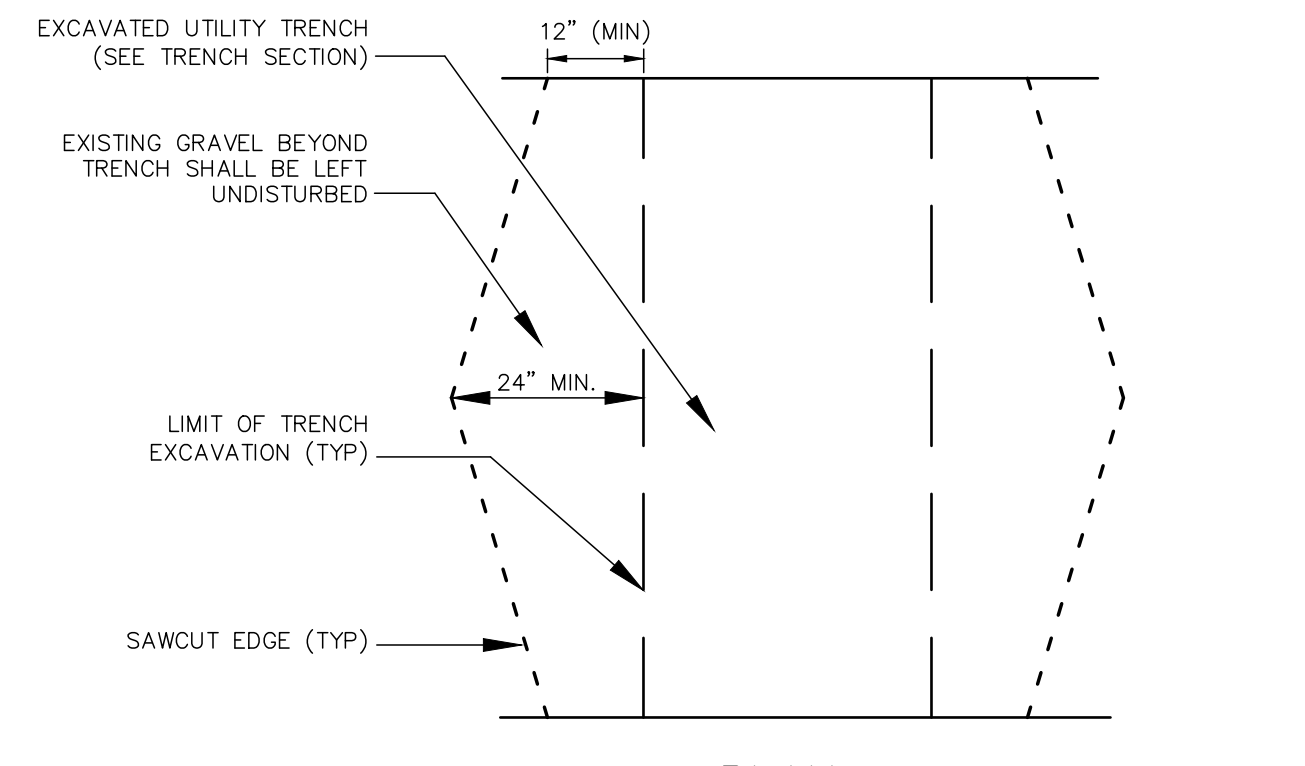
SIGN DETAILS NOT TO SCALE



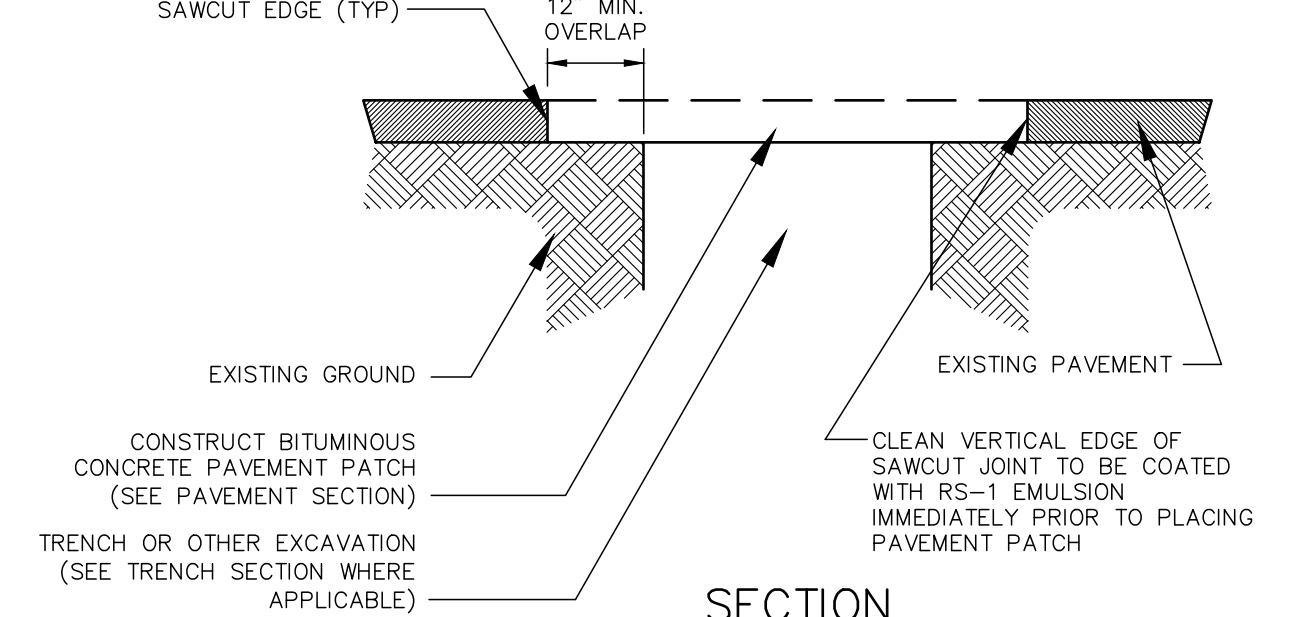
NOTES

1. PROJECT GEOTECHNICAL REPORT MAY REQUIRE A DIFFERENT PAVEMENT CROSS SECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND FOLLOWING ALL RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE EVENT THAT THE REPORT AND CIVIL PLANS DIFFER, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
2. ALL EXISTING FILL, BURIED ORGANIC MATTER, CLAY, LOAM, MUCK, AND/OR OTHER QUESTIONABLE MATERIAL SHALL BE REMOVED FROM BELOW ALL PAVEMENT, SHOULDERS AND UNDERGROUND PIPING/UTILITIES TO DEPTHS RECOMMENDED IN GEOTECHNICAL REPORT.
3. SUBGRADE SHALL BE PROOFROLLED A MINIMUM OF 6 PASSES WITH A 10-TON VIBRATORY COMPACTOR OPERATING AT PEAK RATED FREQUENCY OR BY MEANS APPROVED BY THE ENGINEER.
4. FILL BELOW PAVEMENT GRADES SHALL BE GRANULAR BORROW COMPACTED PER MDOT REQUIREMENTS.
5. SITEWORK CONTRACTOR SHALL COORDINATE GEOTECHNICAL ENGINEERING INSPECTIONS WITH THE CONSTRUCTION MANAGER PRIOR TO PLACING GRAVELS.
6. TACK COAT SHALL BE APPLIED BETWEEN SUCCESSIVE LIFTS OF ASPHALT.
7. THE BITUMINOUS PAVEMENT SHALL BE COMPACTED TO 92 TO 97 PERCENT OF ITS THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D-2041. THE BASE AND SUBBASE MATERIALS SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THEIR MAXIMUM DRY DENSITIES AS DETERMINED BY ASTM D-1557.

SITE PAVEMENT CROSS SECTION NOT TO SCALE



PLAN

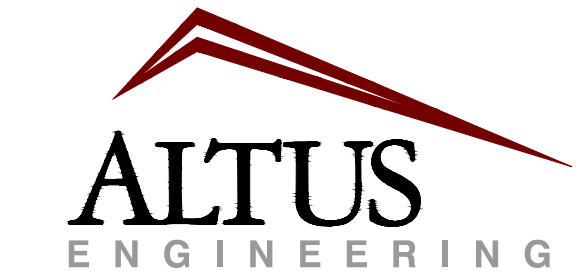


SECTION

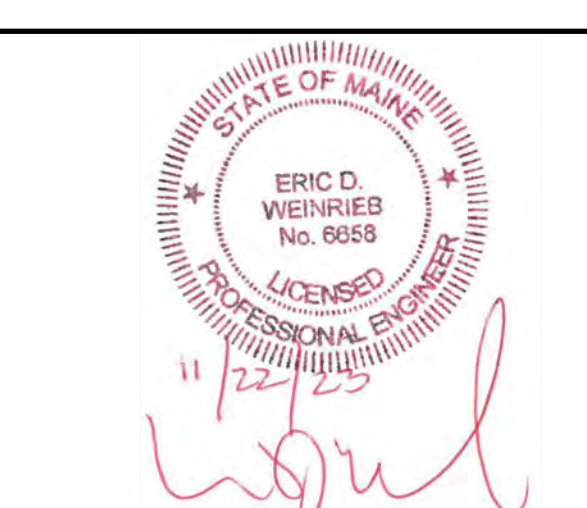
NOTES

1. MACHINE CUT EXISTING PAVEMENT.
2. ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT OF PERMANENT TRENCH REPAIRS.
3. DIAMOND PATCHES, SHALL BE REQUIRED FOR ALL TRENCHES CROSSING ROADWAY. DIAMOND PATCHES SHALL MEET MDOT REQUIREMENTS.

TYPICAL TRENCH PATCH NOT TO SCALE



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NO.	DESCRIPTION	BY	DATE
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DRAWN BY: RMB

APPROVED BY: XXX

DRAWING FILE: 5401SITE.DWG

SCALE:
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(11"x17") 1" = 20'

OWNER/APPLICANT:

3 WALKER STREET, LLC
(c/o LANE CHENEY)
76 EXETER STREET
NEWMARKET, NH 03857

PROJECT:

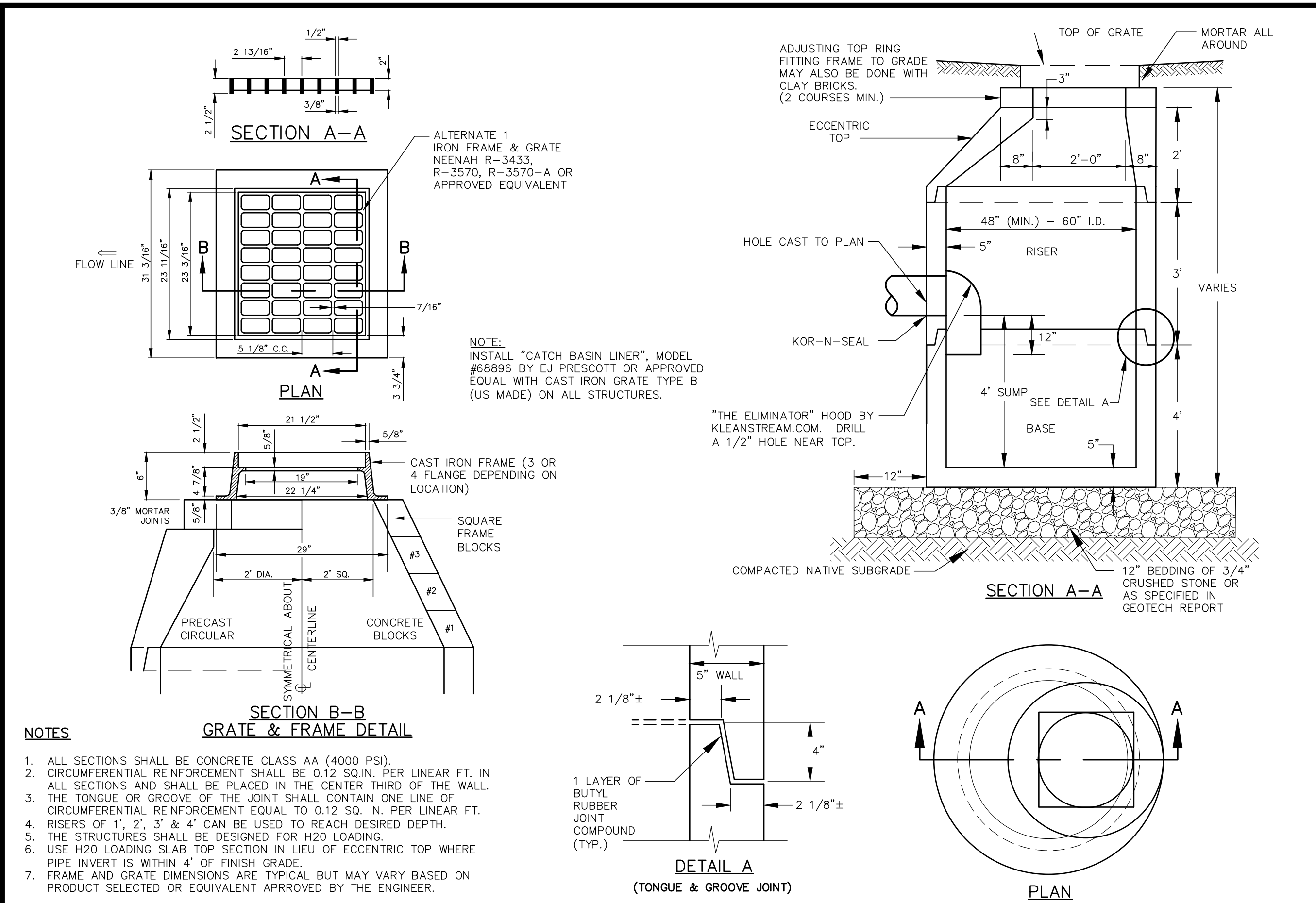
SITE REDEVELOPMENT
TAX MAP 4
LOT 99
3 WALKER STREET
KITTERY, MAINE

TITLE:

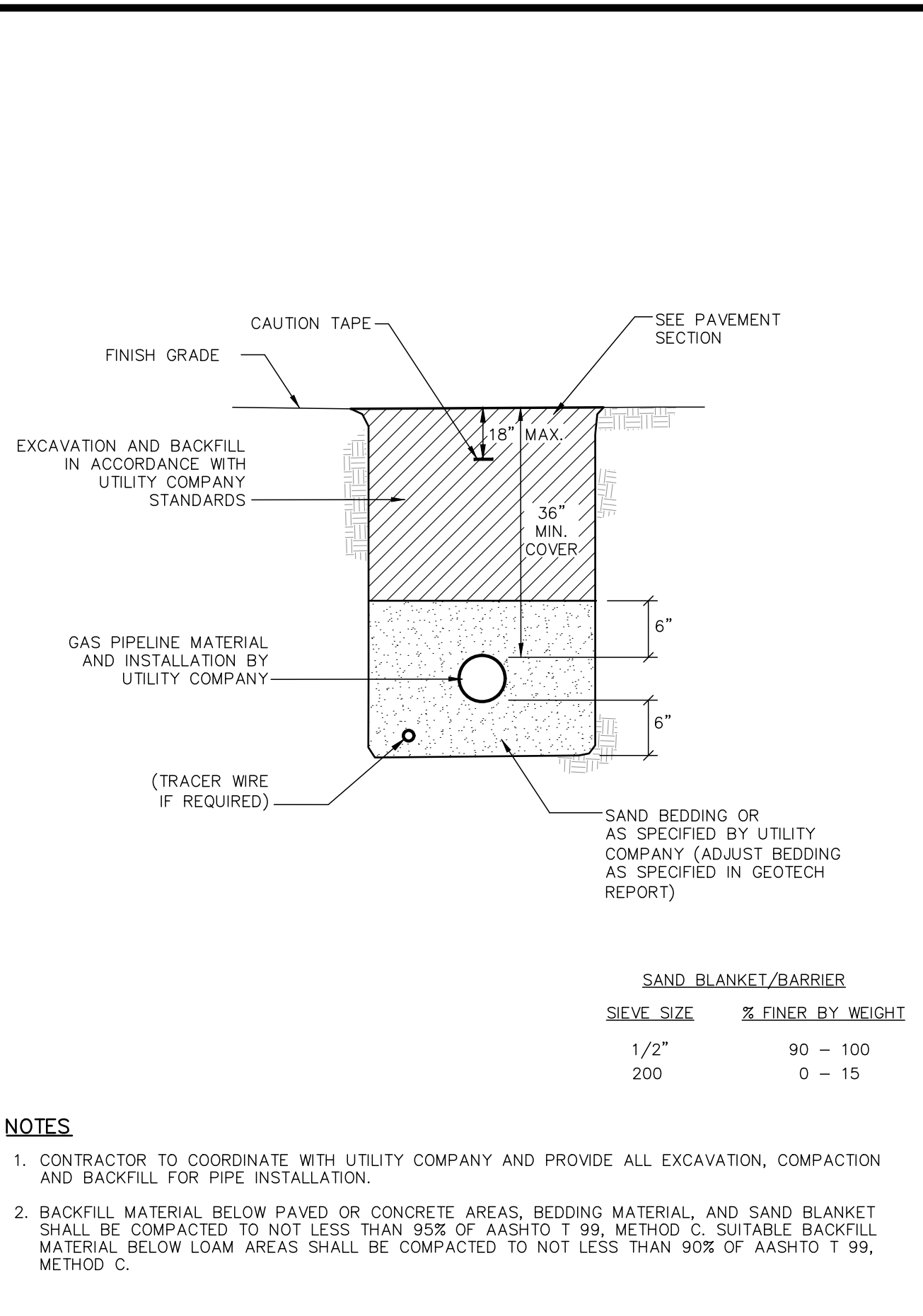
DETAIL SHEET

SHEET NUMBER:

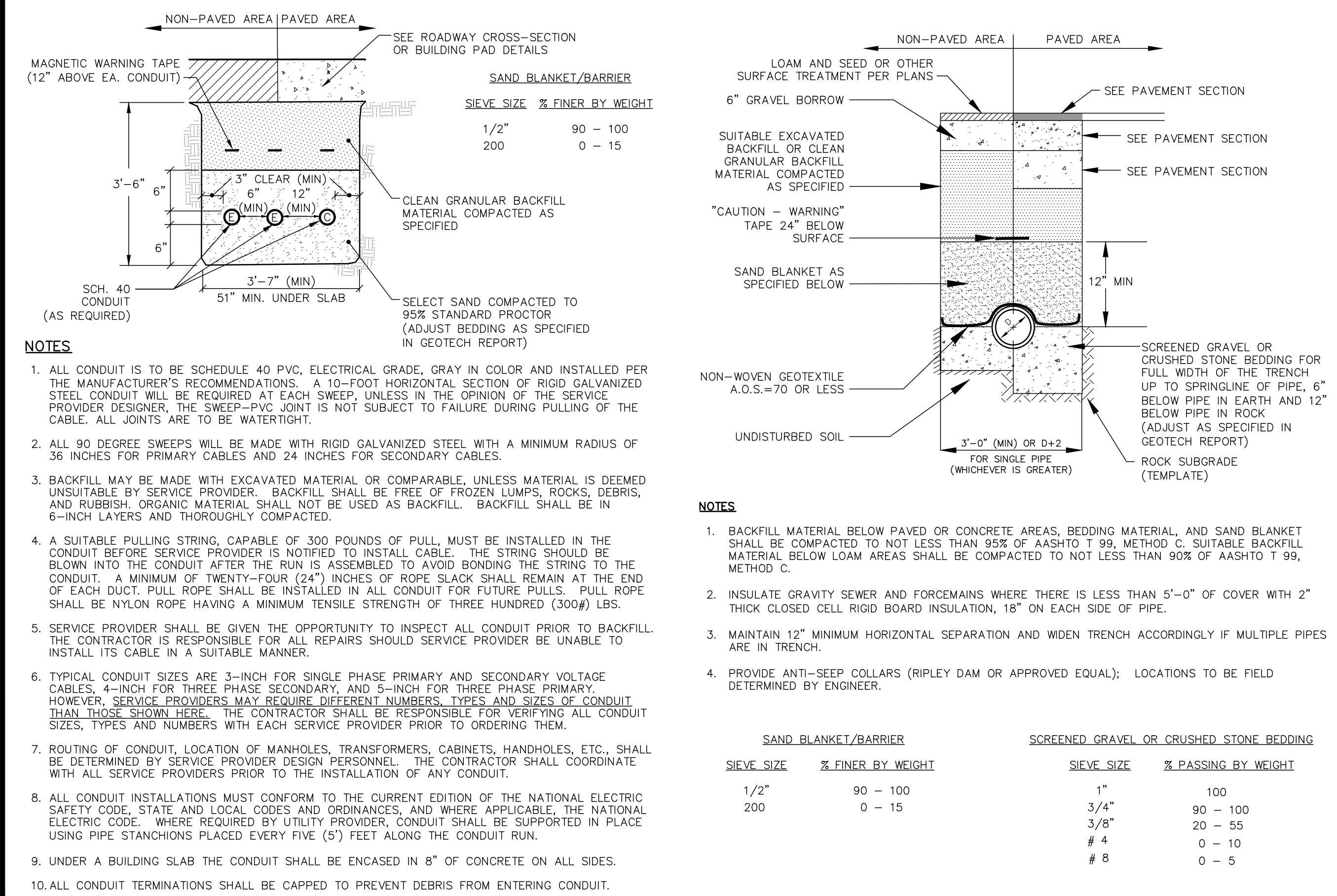
C - 5



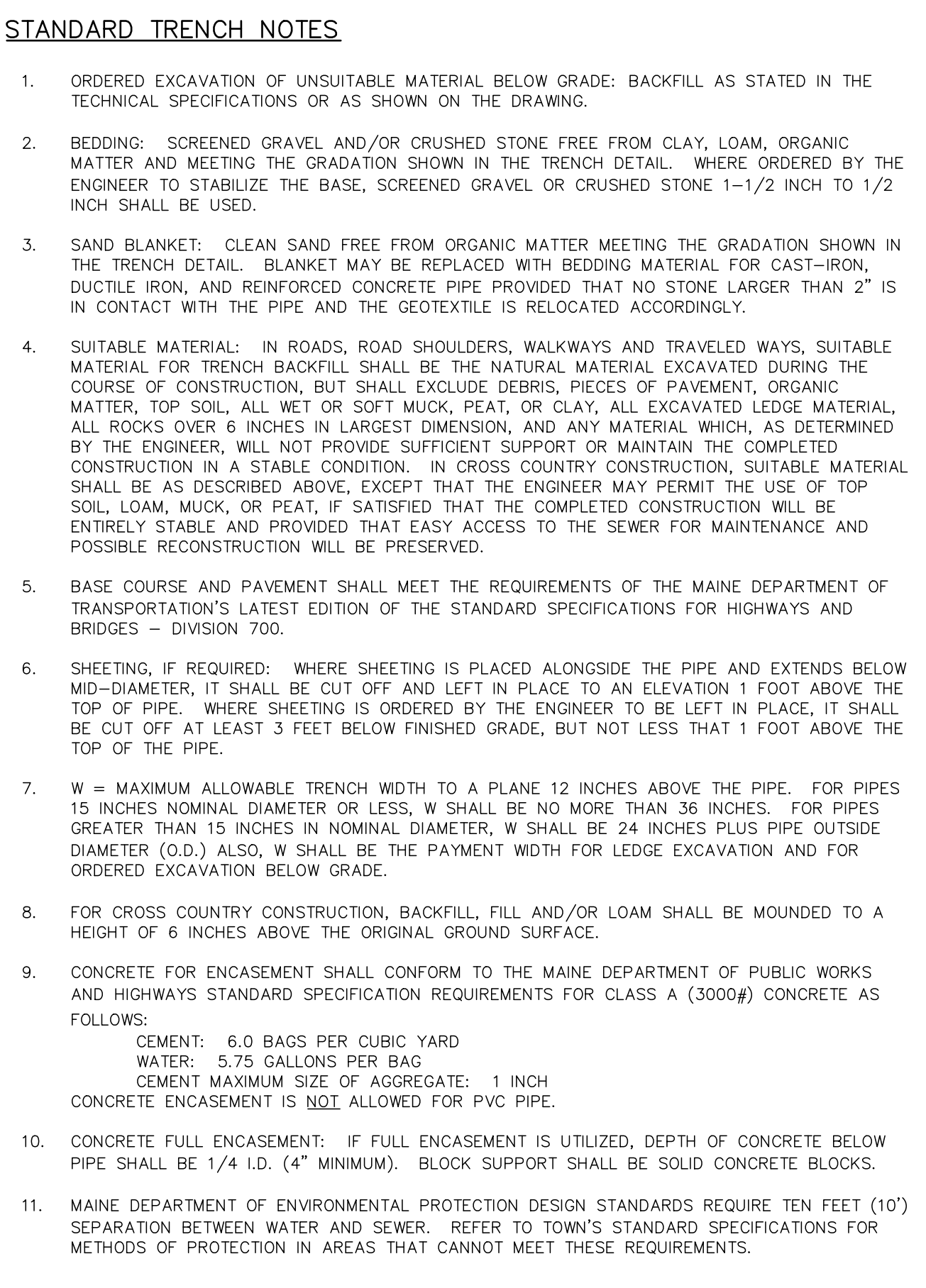
DEEP SUMP CATCH BASIN (CB) NOT TO SCALE



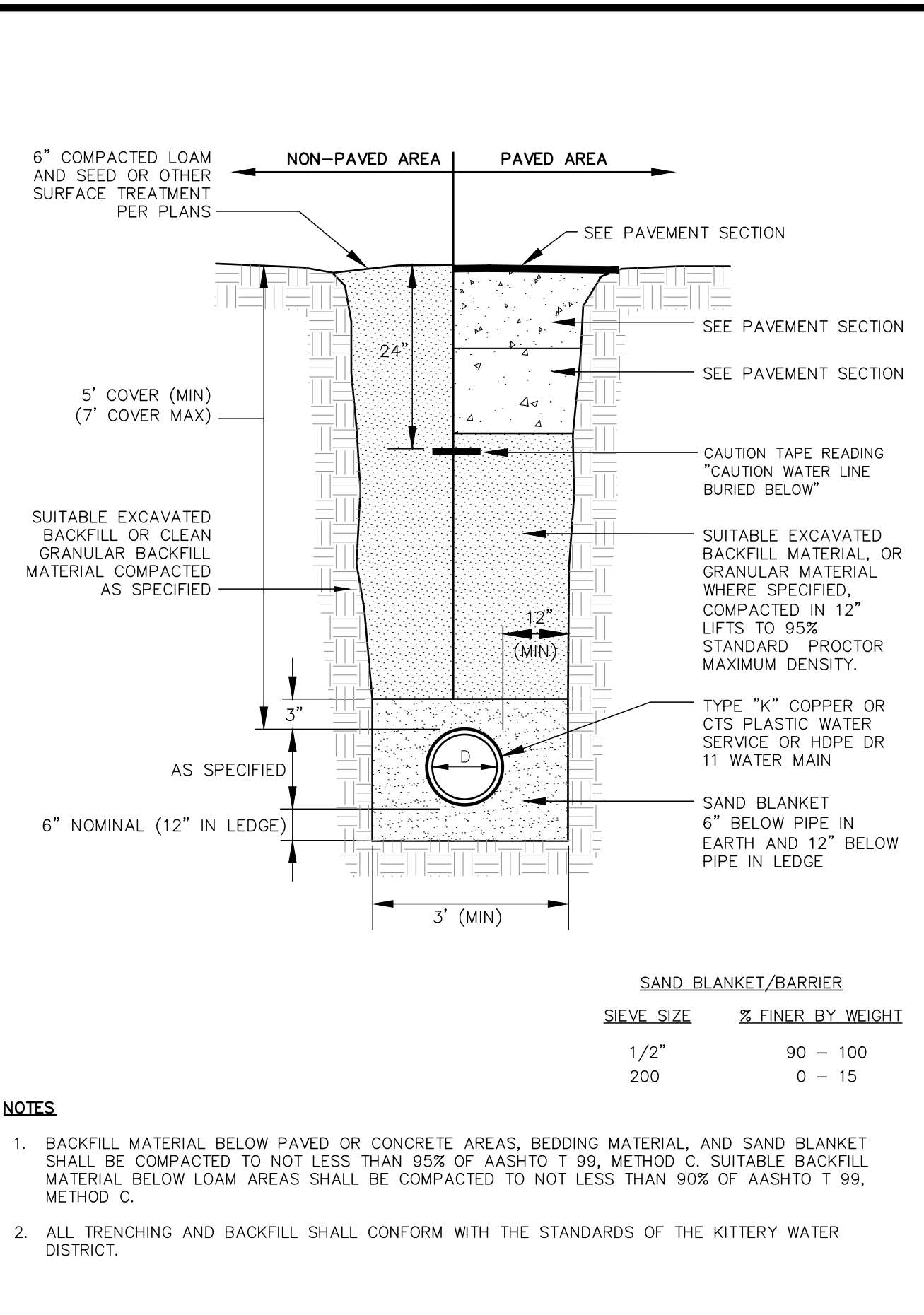
GAS TRENCH NOT TO SCALE



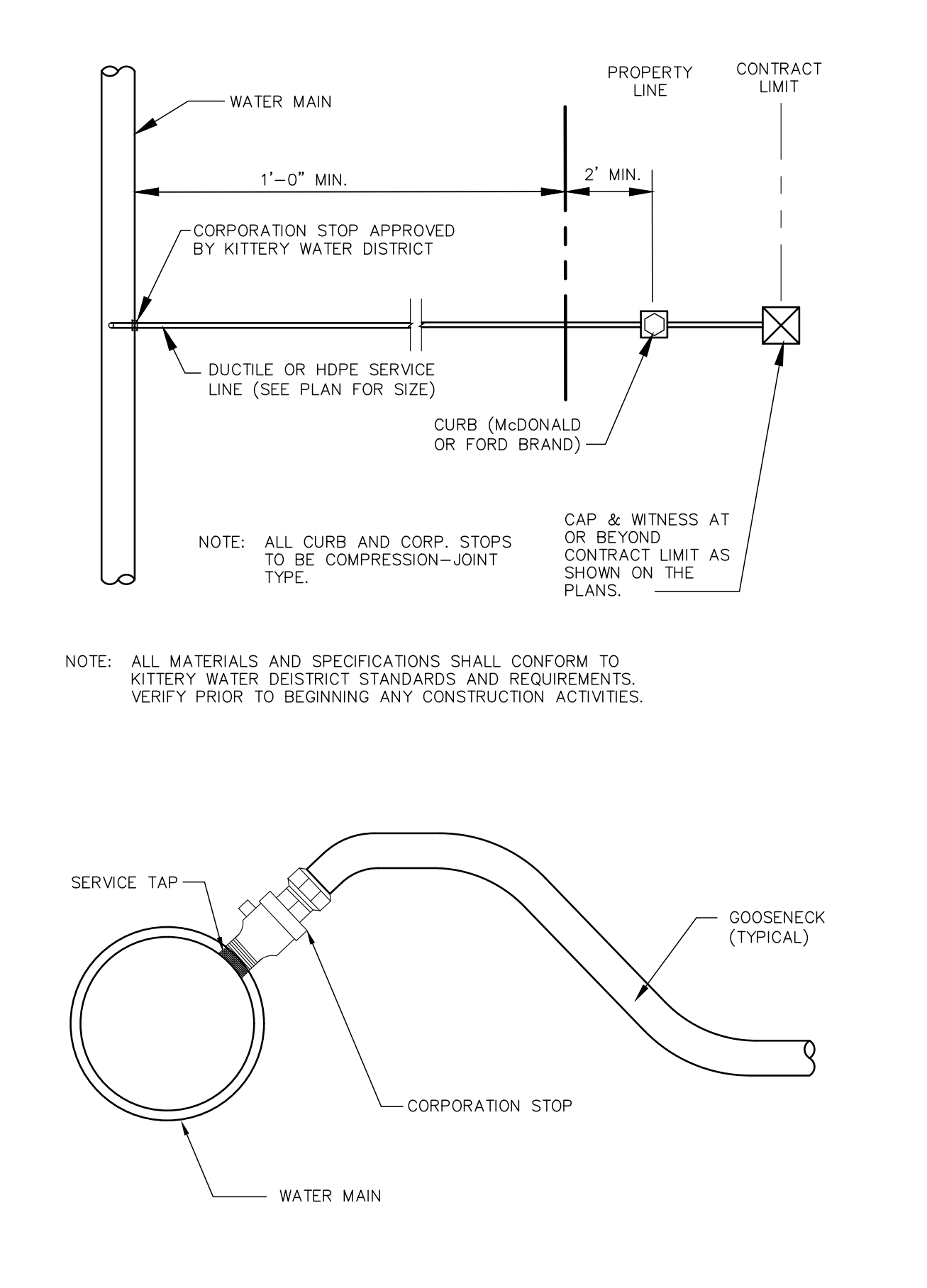
ELECTRIC / COMMUNICATION TRENCH NOT TO SCALE



DRAINAGE AND SEWER TRENCH NOT TO SCALE



WATER MAIN TRENCH NOT TO SCALE



WATER SERVICE CONNECTION NOT TO SCALE

ALTUS ENGINEERING

133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

STATE OF MAINE
ERIC D. WEINFRIED
No. 6658
LICENSED PROFESSIONAL ENGINEER

11/22/23

NOT FOR CONSTRUCTION

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APPROVED BY: XXX

DRAWING FILE: 5401SITE.DWG

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76 EXETER STREET
NEWMARKET, NH 03857**

PROJECT:

**SITE REDEVELOPMENT
TAX MAP 4
LOT 99
3 WALKER STREET
KITTEERY, MAINE**

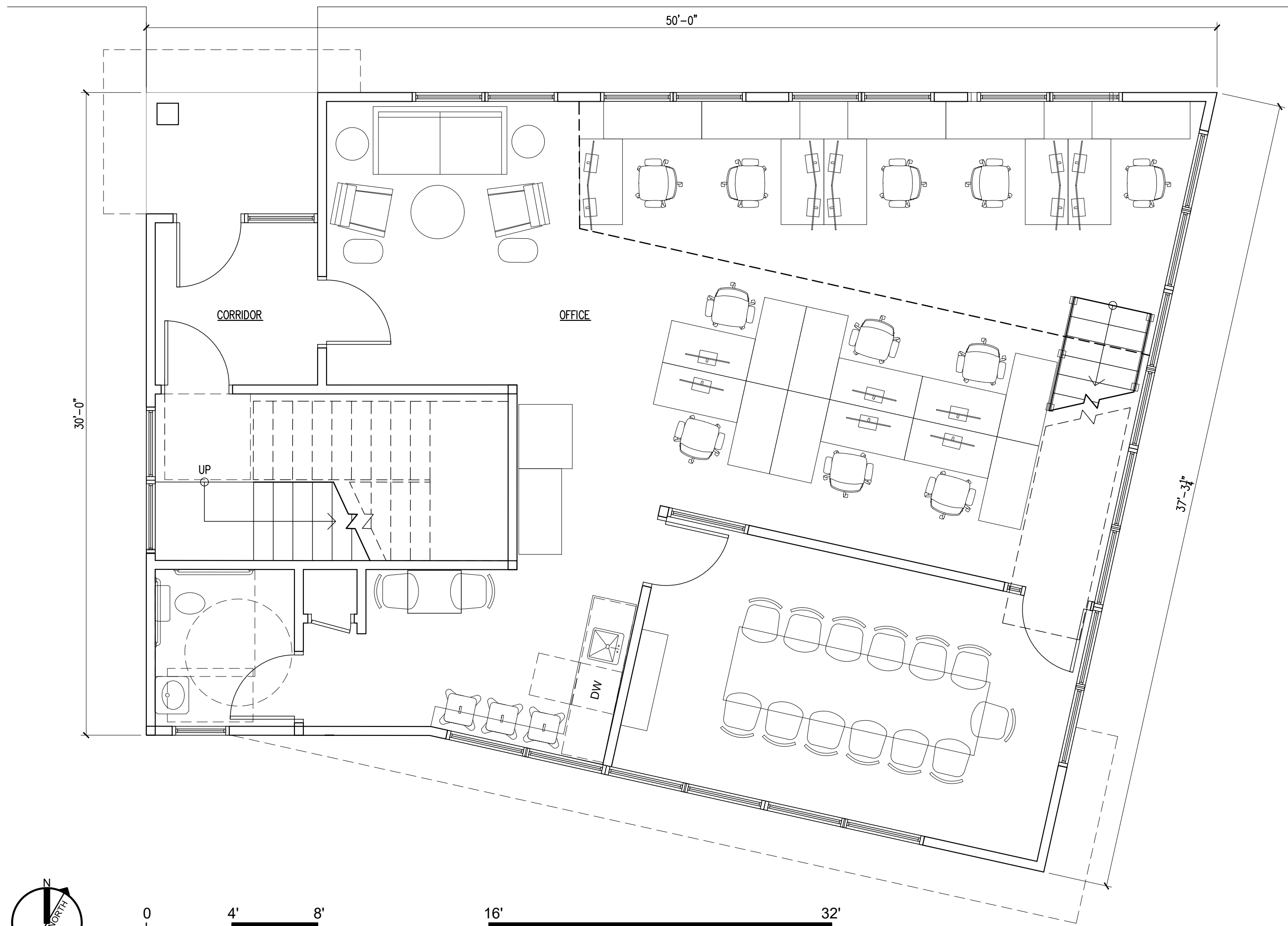
TITLE:

DETAIL SHEET

SHEET NUMBER:

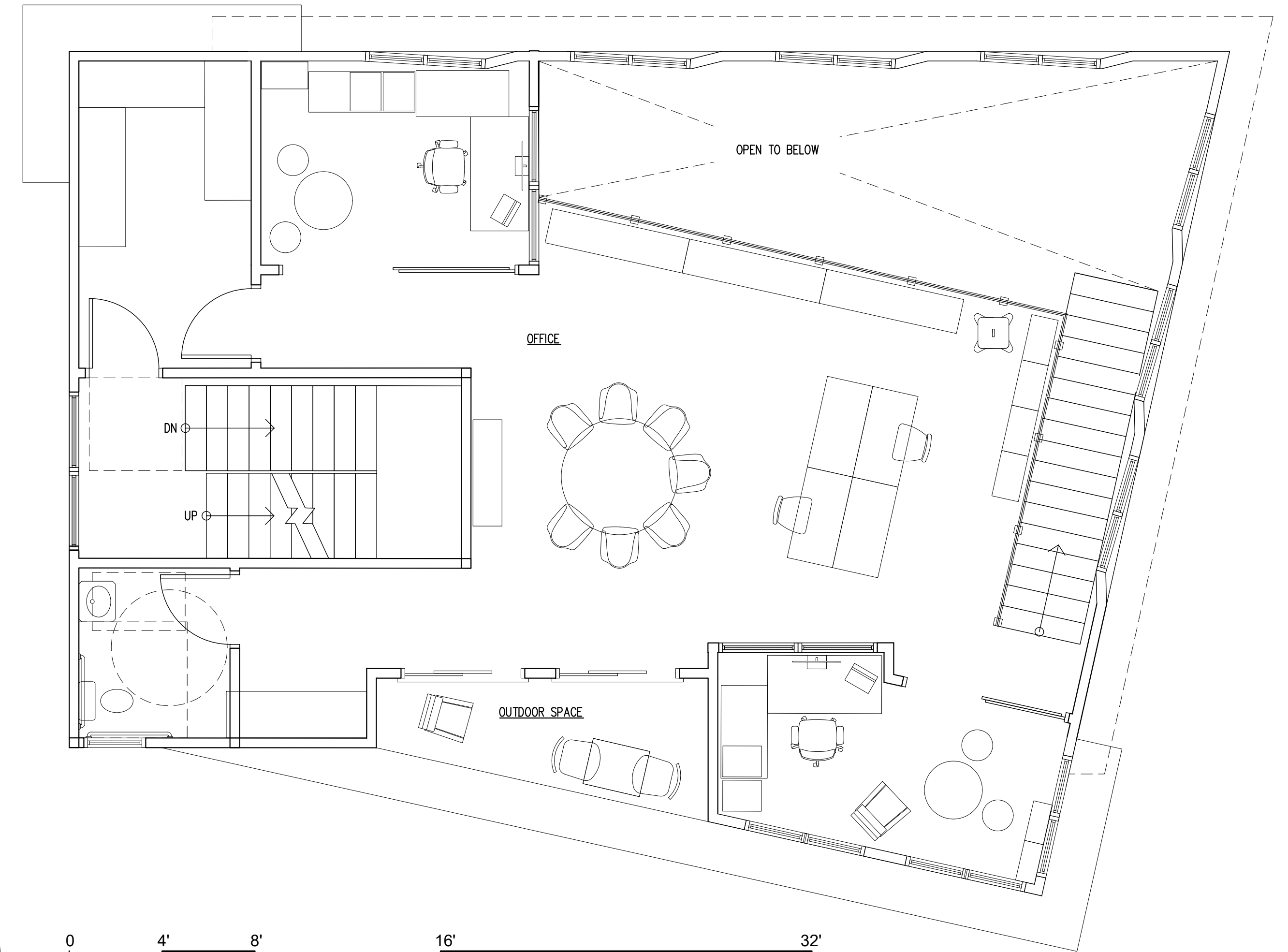
C - 6

← WALKER ST. →



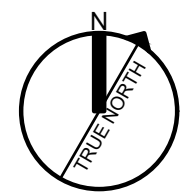
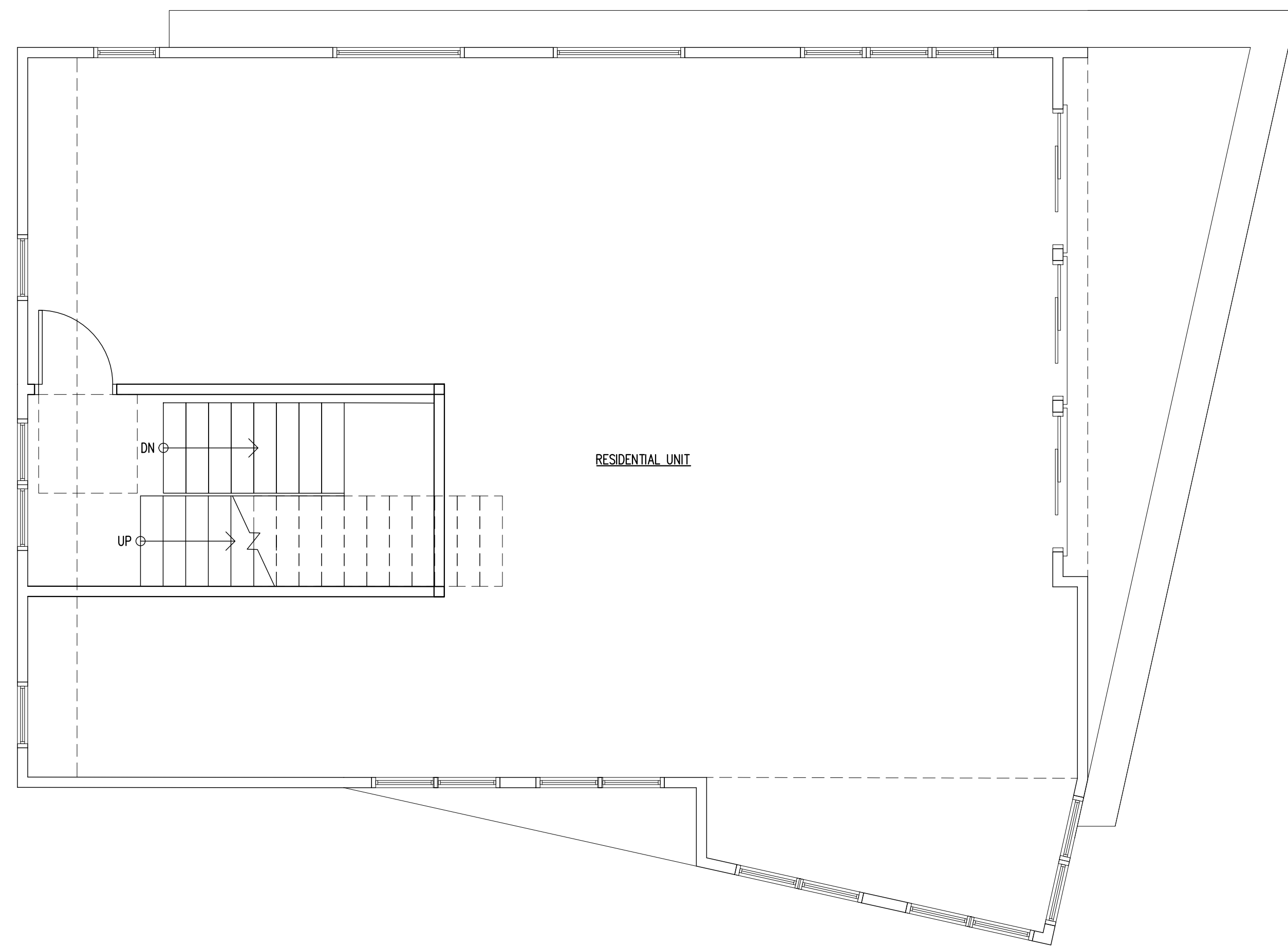
FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

01 1



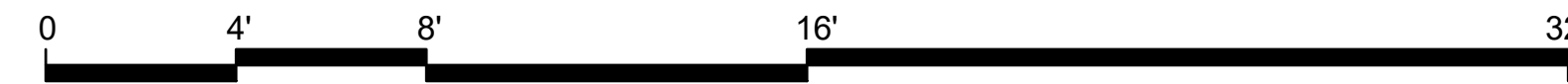
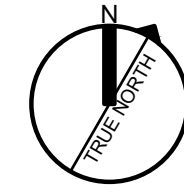
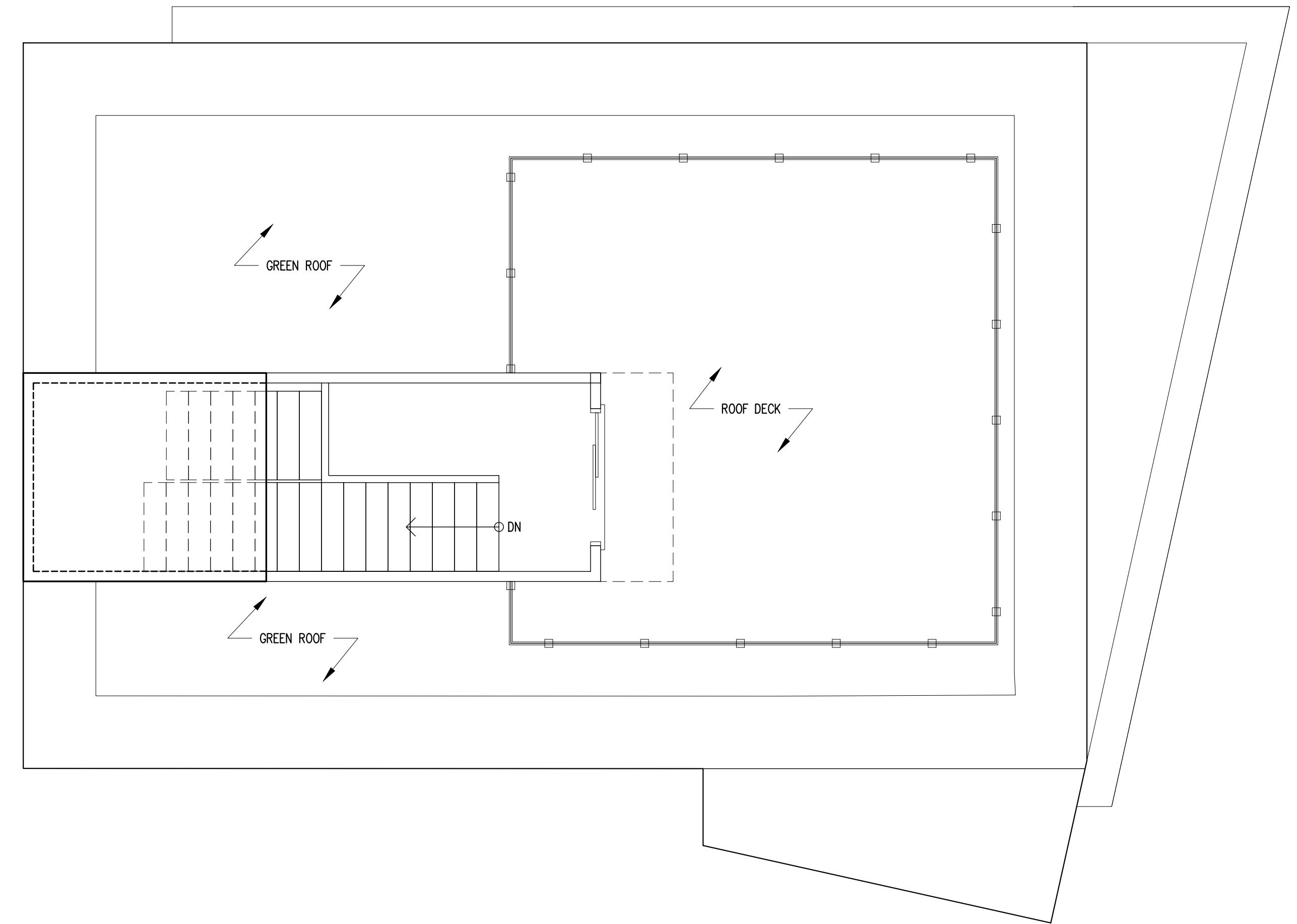
SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

02 2



THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

02 1

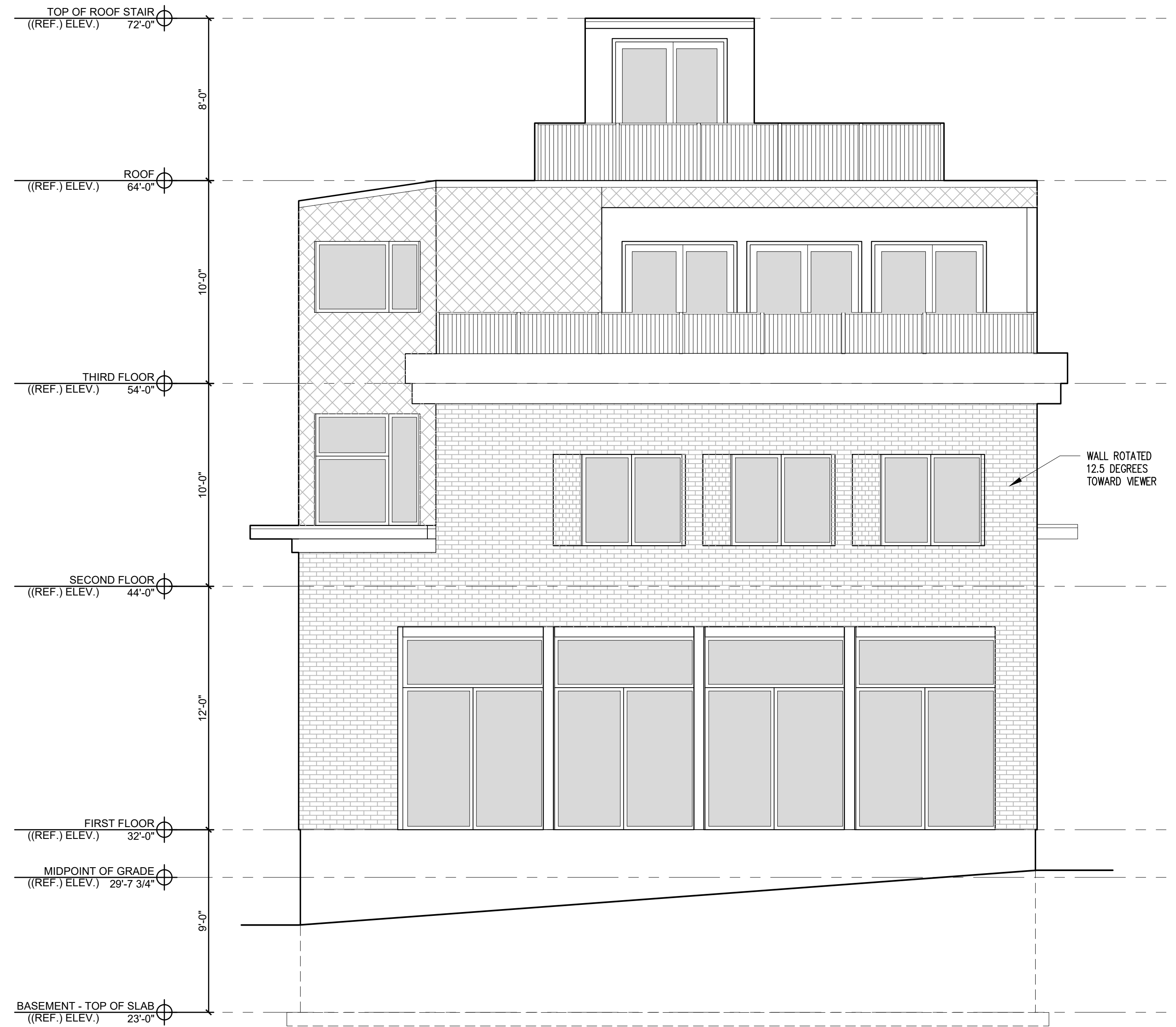


ROOF PLAN
SCALE: 1/4"=1'-0"

02 2



NORTH (FRONT) ELEVATION
 SCALE: 1/4"=1'-0"
 03 1



EAST ELEVATION
 SCALE: 1/4"=1'-0"
 03 2



WEST ELEVATION
SCALE: 1/4"=1'-0"

04 1



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

04 2

Site Re-Development

**3 Walker Street
Kittery, Maine**

Traffic Generator Summary

November 22, 2023

(Institute of Transportation Engineers, Parking Generation Manual, January 2019, 5th Edition).

Section 712 – Small Office Building – residential traffic
Peak hour per 1,000 s.f, 2.58 trips per day

Road Name	Quantity	Peak hour ADT
Residences	1	2
2,200 s.f. total	2.2	6
Total		8

60-68 WALLINGFORD SQUARE
60-68 WALLINGFORD SQUARE
C/O LORI DAWSON
17 MADBURY ROAD STE 120
DURHAM, NH 03824

SECOND CHRISTIAN SOCIETY
SECOND CHRISTIAN SOCIETY
33 GOVERNMENT STREET
KITTERY, ME 03904-1652

BRIDGE, SCOTT
BRIDGE, SCOTT
165 CENTRAL ROAD
RYE, NH 03870

STUDIO VERTE LLC
STUDIO VERTE LLC
172 PEPPERRELL ROAD
KITTERY POINT, ME 03905-5122

CRAWFORD TR, BETTY L
CRAWFORD TR, BETTY L
510 US ROUTE 1
KITTERY, ME 03904-5507

THE DANCE HALL
THE DANCE HALL
PO BOX 691
KITTERY, ME 03904

GILBRIDE, KENNETH G
WALKER 6-8 LLC
PO BOX 170998
BOSTON, MA 02117

UNITED STATES OF AMERICA
UNITED STATES OF AMERICA
300 WESTGATE CENTER DRIVE
HADLEY, MA 01035

GOLINI ENTERPRISES LLC
GOLINI ENTERPRISES LLC
1 GOVERNMENT STREET
KITTERY, ME 03904-1653

VALHOS, NICHOLAS G
WALKER 6-8 LLC
PO BOX 170998
BOSTON, MA 02117

INHABITANTS OF KITTERY
INHABITANTS OF KITTERY
200 ROGERS ROAD
KITTERY, ME 03904-1428

WALKER LLC
WALKER LLC
PO BOX 170998
BOSTON, MA 02117

JEST REALTY LLC
JEST REALTY LLC
23 RANDOM ROAD
BEDFORD, NH 03110

WALLINGFORD RENTALS LLC
WALLINGFORD RENTALS LLC
5 MELANIES COURT
KITTERY, ME 03904

KITTEY ART ASSOCIATION
KITTEY ART ASSOCIATION
PO BOX 44
KITTEY POINT, ME 03905

WALLINGFORDKITTEY, LLC
WALLINGFORDKITTEY, LLC
7 WALLINGFORD SQUARE UNIT
102
KITTEY, ME 03904

MURPHY TR, AMY E DUTTON
MURPHY TR, AMY E DUTTON
420 RICHARDS AVENUE
PORTSMOUTH, NH 03801

PARADIS, PAUL J
PARADIS, PAUL J
11 WALKER STREET
KITTEY, ME 03904

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OFFICIAL USE
Kittery, ME 03904

Certified Mail Fee \$4.35

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.62

Total \$5.01

Sent To
Street
City, State

11/22/2023

GOLINI ENTERPRISES LLC
GOLINI ENTERPRISES LLC
1 GOVERNMENT STREET
KITTERY, ME 03904-1653

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Boston, MA 02117

Certified Mail Fee \$4.35

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.62

Total \$5.01

Sent To
Street
City, State

11/22/2023

GILBRIDE, KENNETH G
WALKER 6-8 LLC
PO BOX 170998
BOSTON, MA 02117

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OFFICIAL USE
Durham, NH 03824

Certified Mail Fee \$4.35

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.62

Total \$5.01

Sent To
Street
City, State

11/22/2023

60-68 WALLINGFORD SQUARE
60-68 WALLINGFORD SQUARE
C/O LORI DAWSON
17 MADBURY ROAD STE 120
DURHAM, NH 03824

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OFFICIAL USE
Kittery, ME 03904

Certified Mail Fee \$4.35

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.62

Total \$5.01

Sent To
Street
City, State

11/22/2023

CRAWFORD TR, BETTY L
CRAWFORD TR, BETTY L
510 US ROUTE 1
KITTERY, ME 03904-5507

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Kittery, ME 03904

Certified Mail Fee \$4.35

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.62

Total \$5.01

Sent To
Street
City, State

11/22/2023

WALLINGFORDKITTERY, LLC
WALLINGFORDKITTERY, LLC
7 WALLINGFORD SQUARE UNIT
102
KITTERY, ME 03904

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OFFICIAL USE
Rye, NH 03870

Certified Mail Fee \$4.35

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.62

Total \$5.01

Sent To
Street
City, State

11/22/2023

BRIDGE, SCOTT
BRIDGE, SCOTT
165 CENTRAL ROAD
RYE, NH 03870

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7020 0640 0001 3192 7400

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Kittery, ME 03904

Certified Mail Fee	\$4.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

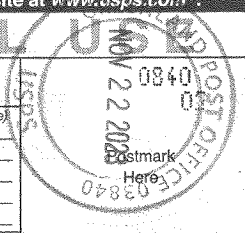
Postage \$0.62

Total Postage and Fees \$5.01

11/22/2023

Sent To: WALLINGFORD RENTALS LLC
 Street: WALLINGFORD RENTALS LLC
 5 MELANIES COURT
 City, State: KITTERY, ME 03904

PS Form Instructions



7020 0640 0001 3192 7417

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Boston, MA 02117

Certified Mail Fee	\$4.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

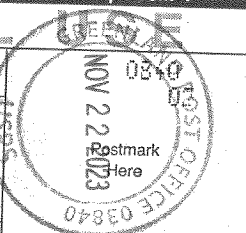
Postage \$0.62

Total Postage and Fees \$5.01

11/22/2023

Sent To: WALKER LLC
 Street: WALKER LLC
 PO BOX 170998
 City, State: BOSTON, MA 02117

PS Form Instructions



7020 0640 0001 3192 7424

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Boston, MA 02117

Certified Mail Fee	\$4.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

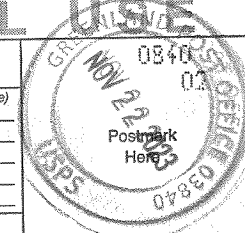
Postage \$0.62

Total Postage and Fees \$5.01

11/22/2023

Sent To: VALHOS, NICHOLAS G
 Street: WALKER 6-8 LLC
 PO BOX 170998
 City, State: BOSTON, MA 02117

PS Form Instructions



7020 0640 0001 3192 7431

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Hadley, MA 01035

Certified Mail Fee	\$4.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

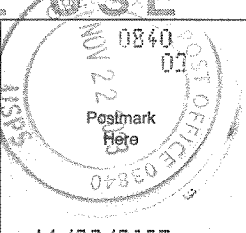
Postage \$0.62

Total Postage and Fees \$5.01

11/22/2023

Sent To: UNITED STATES OF AMERICA
 Street and: UNITED STATES OF AMERICA
 300 WESTGATE CENTER DRIVE
 City, State: HADLEY, MA 01035

PS Form Instructions



7020 0640 0001 3192 7448

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Kittery Point, ME 03907

Certified Mail Fee	\$4.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

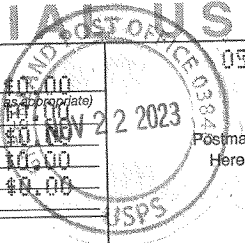
Postage \$0.62

Total Postage and Fees \$5.01

11/22/2023

Sent To: THE DANCE HALL
 Street: THE DANCE HALL
 PO BOX 691
 City, State: KITTERY POINT, ME 03904

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7020 0640 0001 3192 7455

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Kittery Point, ME 03907

Certified Mail Fee	\$4.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

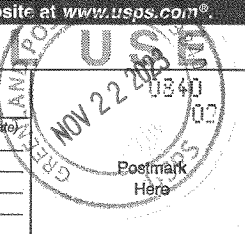
Postage \$0.62

Total Postage and Fees \$5.01

11/22/2023

Sent To: STUDIO VERTE LLC
 Street: STUDIO VERTE LLC
 172 PEPPERRELL ROAD
 City, State: KITTERY POINT, ME 03905-5122

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7020 0640 0000 3192 7295

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Kittery, ME 03904

Certified Mail Fee	\$14.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.67
Total	\$15.01

Postmark Here
 NOV 2 2023
 GREENLAND POST OFFICE 03840

11/22/2023

Sent To: PARADIS, PAUL J
 Street: 11 WALKER STREET
 City, State, ZIP: KITTERY, ME 03904

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7020 0640 0000 3192 7462

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Kittery, ME 03904

Certified Mail Fee	\$14.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.67
Total	\$15.01

Postmark Here
 NOV 22 2023
 GREENLAND POST OFFICE 03840

11/22/2023

Sent To: SECOND CHRISTIAN SOCIETY
 Street: 33 GOVERNMENT STREET
 City, State, ZIP: KITTERY, ME 03904-1652

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7020 0640 0000 3192 7318

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Kittery Point, ME 03905

Certified Mail Fee	\$14.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.66
Total	\$15.01

Postmark Here
 NOV 2 2023
 GREENLAND POST OFFICE 03840

11/22/2023

Sent To: KITTERY ART ASSOCIATION
 Street: KITTERY ART ASSOCIATION
 PO BOX 44
 City, State, ZIP: KITTERY POINT, ME 03905

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7020 0640 0000 3192 7302

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Portsmouth, NH 03801

Certified Mail Fee	\$14.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.66
Total	\$15.01

Postmark Here
 NOV 22 2023
 GREENLAND POST OFFICE 03840

11/22/2023

Sent To: MURPHY TR, AMY E DUTTON
 Street and Apt: 420 RICHARDS AVENUE
 City, State, ZIP: PORTSMOUTH, NH 03801

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7020 0640 0000 3192 7332

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Kittery, ME 03904

Certified Mail Fee	\$14.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.67
Total	\$15.01

Postmark Here
 NOV 2 2023
 GREENLAND POST OFFICE 03840

11/22/2023

Sent To: INHABITANTS OF KITTERY
 Street: INHABITANTS OF KITTERY
 200 ROGERS ROAD
 City, State, ZIP: KITTERY, ME 03904-1428

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Bedford, NH 03110

Certified Mail Fee	\$14.35
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.67
Total	\$15.01

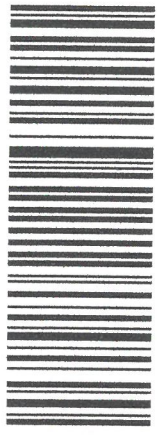
Postmark Here
 NOV 2 2023
 GREENLAND POST OFFICE 03840

11/22/2023

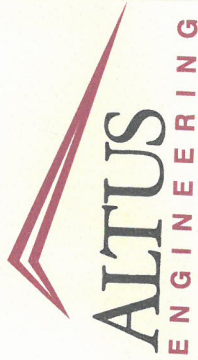
Sent To: JEST REALTY LLC
 Street and Apt: 23 RANDOM ROAD
 City, State, ZIP: BEDFORD, NH 03110

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7020 0640 0001 3192 7310



133 Court Street, Portsmouth, NH 03801

Retail



03905

RDC 99

U.S. POSTAGE PAID
FCM LETTER
GREENLAND, NH 03840
NOV 22, 2023



\$5.01

R2305P151652-02

KITTERY ART ASSOCIATION
KITTERY ART ASSOCIATION
PO BOX 44
KITTERY POINT, ME 03905

015 NFE 1 62210011/25/23
FORWARD TIME EXP RTN TO SENDER
KITTERY ART ASSOCIATION
2 WALKER ST
KITTERY ME 03904-1726

9460921469324329 INT
039050946190413

RETURN TO SENDER

