

PLAN REFERENCES:

1) "STANDARD BOUNDARY SURVEY OF TAX MAP 1, LOT 38 ON BADGERS ISLAND, KITTERY, MAINE, FOR LIL'S GREENDREAM, INC.," PREPARED BY DOUCET SURVEY, INC., DATED JUNE 16, 1995 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 224 PAGE 42.

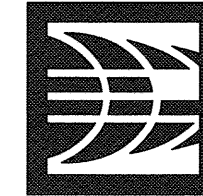
2) "PLAN OF LOTS BADGERS ISLAND, KITTERY, MAINE, OWNED BY JOSEPH W. THORNER", PREPARED BY JOHN W. DURGIN, DATED APRIL, 1936 AND RECORDED AT THE Y.C.R.D. AS PLAN BOOK 22 PAGE 31.

3) EXISTING CONDITIONS PLAN, 39 BADGERS ISLAND WEST, SCALE: 1"=10. DATED 4/19/22. PREPARED BY EASTERLY SURVEY (NOT RECORDED).

COMMON OPEN SPACE (DEVEGETATED) CALCULATION	
COMMON AREA:	3,618 SF
LCE UNIT A:	3,363-(985-144-78-535)=1,621 SF
LCE UNIT B:	2,961-(985-144-78-535)=1,219 SF
LCE UNIT C:	3,385-(985-144-78-535)=1,643 SF
LCE UNIT D:	4,499-(985-144-78-535)=2,757 SF
TOTAL COMMON OPEN SPACE	10,858
LOT SIZE	21,029
% COMMON OPEN SPACE	51.6%

TYPICAL SQUARE FOOTAGE:  
BUILDING=985  
PATIO=144  
WALKWAY=78  
DRIVEWAY=535

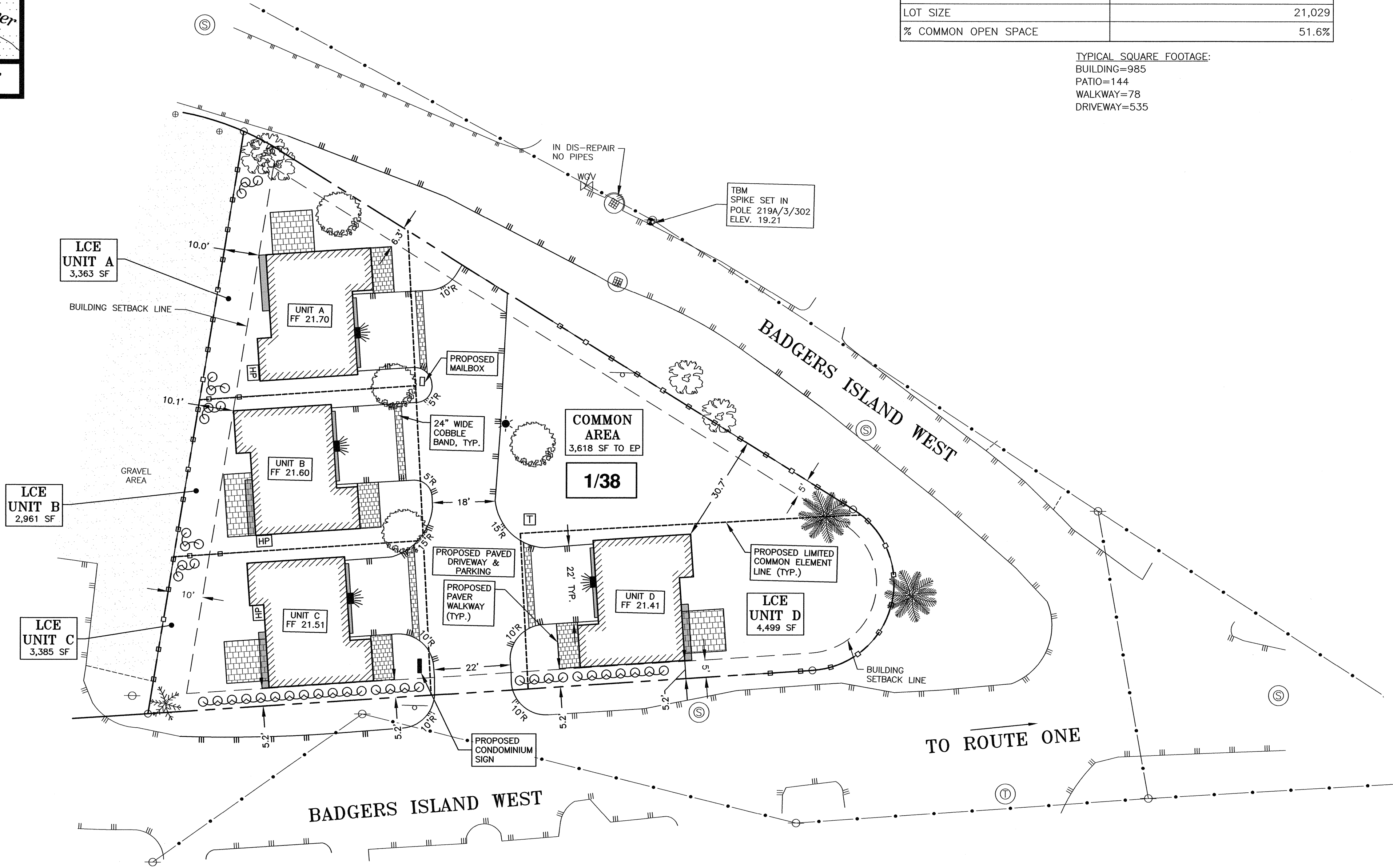
ME SFC  
NAD83(2011)  
GRID NORTH  
WEST ZONE



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE TOWN OF KITTERY ASSESSOR'S MAP 1 AS LOT 38.
- 2) OWNER OF RECORD:  
BIW GROUP, LLC  
41 INDUSTRIAL DRIVE, SUITE 20  
EXETER, NH 03833  
18503/331
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD ZONE (ZONE C) AS SHOWN ON FIRM PANEL 2301710008D. EFFECTIVE DATE JULY 3, 1986.
- 4) EXISTING LOT AREA (SUBMITTED LAND):  
21,029 S.F.  
0.4828 ACRES
- 5) THE BOUNDARY SHOWN HEREON IS FROM PLAN REFERENCE 3.
- 6) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW A RESIDENTIAL CONDOMINIUM ON ASSESSOR'S MAP 1 LOT 38 IN THE TOWN OF KITTERY.
- 8) PARCEL IS SERVED BY MUNICIPAL SEWER & WATER.
- 9) AS A CONDITION OF PLANNING BOARD APPROVAL THE CONDOMINIUM ASSOCIATION SHALL COORDINATE WITH THE TOWN OF KITTERY TO ESTABLISH AN AGREEMENT FOR THE PERMANENT MAINTENANCE OF THE SITE LANDSCAPING.



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

- I, JOHN R. CHAGNON, LICENSED LAND SURVEYOR, HEREBY CERTIFY:
- 1) THAT THIS SITE PLAN ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE IMPROVEMENTS SHOWN HEREON, SPECIFICALLY UNITS A,B,C, AND D.
  - 2) THAT SAID UNITS A, B, C, & D HAVE BEEN SUBSTANTIALLY COMPLETED, AND
  - 3) THAT SAID UNIT D IS NOT YET COMPLETED.

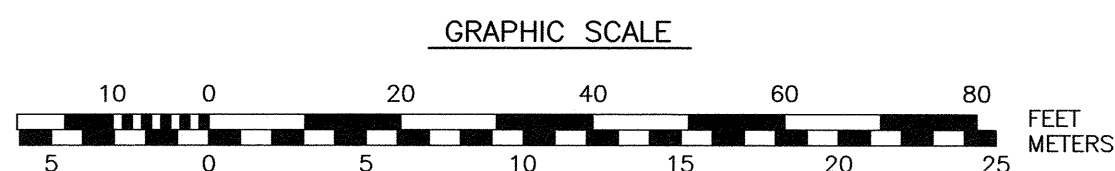
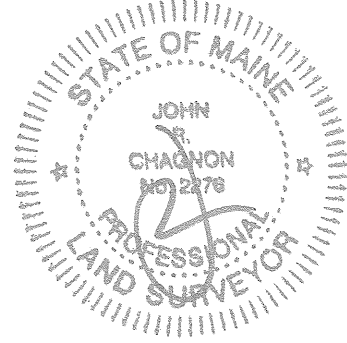
PURSUANT TO CHAPTER 90 PARTS 1 AND 2 OF THE SURVEY STANDARDS OF PRACTICE AS ADOPTED BY THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS, THE FOLLOWING EXCEPTIONS TO PART 2 ARE NOTED:

- 1) NO SURVEY REPORT HAS BEEN PREPARED.

THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CHAPTER 90 STANDARDS OF PRACTICE, EFFECTIVE DATE APRIL 1, 2001 EXCEPT AS NOTED ON THIS PLAN.

JOHN R. CHAGNON, PLS #2276

3-6-23  
DATE



OWNER & DECLARANT:  
BIW GROUP, LLC  
41 INDUSTRIAL DRIVE  
SUITE 20  
EXETER, NH 03833

PREPARED BY:  
AMBIT ENGINEERING  
200 GRIFFIN ROAD UNIT 3  
PORTSMOUTH, N.H. 03801

NO.	DESCRIPTION	DATE
4	ELIMINATE DRIVEWAY ENTRANCE	3/6/23
3	COMMON AREA CALCULATIONS	3/3/23
2	SIGN LOCATION	2/14/23
1	LANDSCAPE, ENTRANCE, SIGN	1/19/23
0	ISSUED FOR COMMENT	12/8/22

CONDOMINIUM SITE PLAN  
39 BADGERS ISLAND WEST  
CONDOMINIUM

FOR OWNER/DECLARANT:

**BIW GROUP, LLC**  
PROPERTY LOCATED AT  
**TAX MAP 1 LOT 38**  
39 BADGERS ISLAND WEST  
TOWN OF KITTERY  
COUNTY OF YORK  
STATE OF MAINE

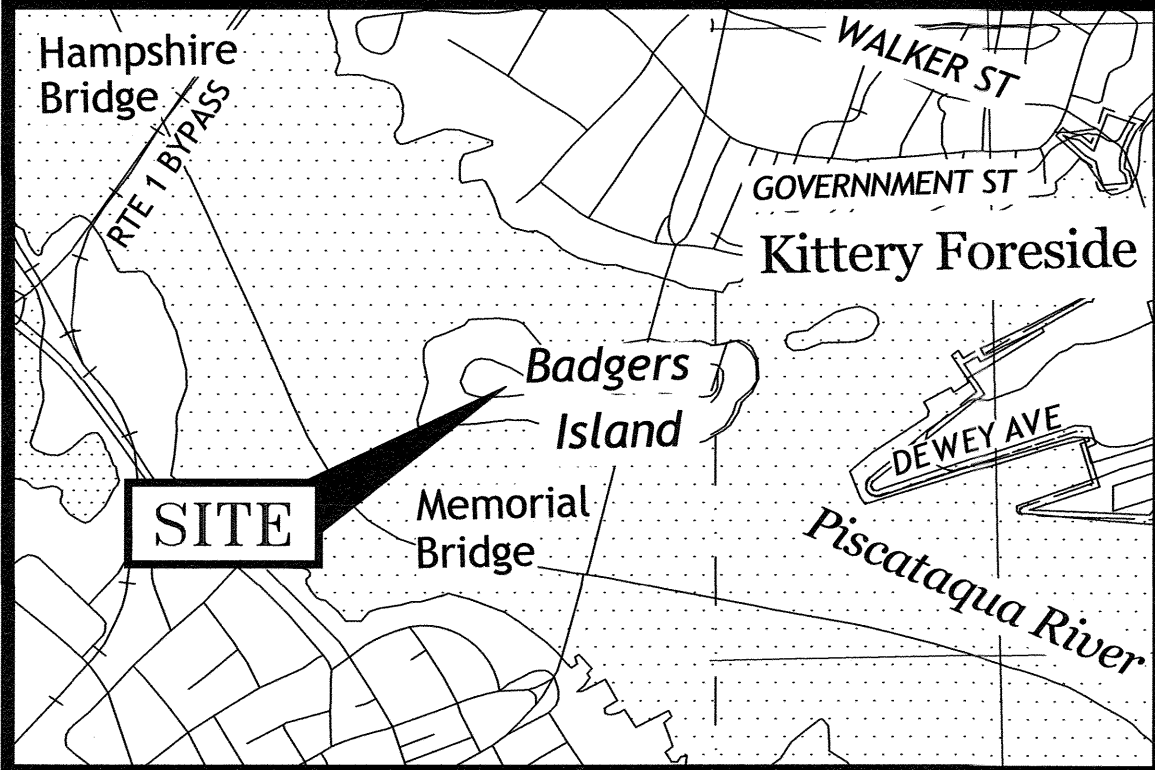
SCALE: 1" = 20'

NOVEMBER 2022

FB 398 PG 70

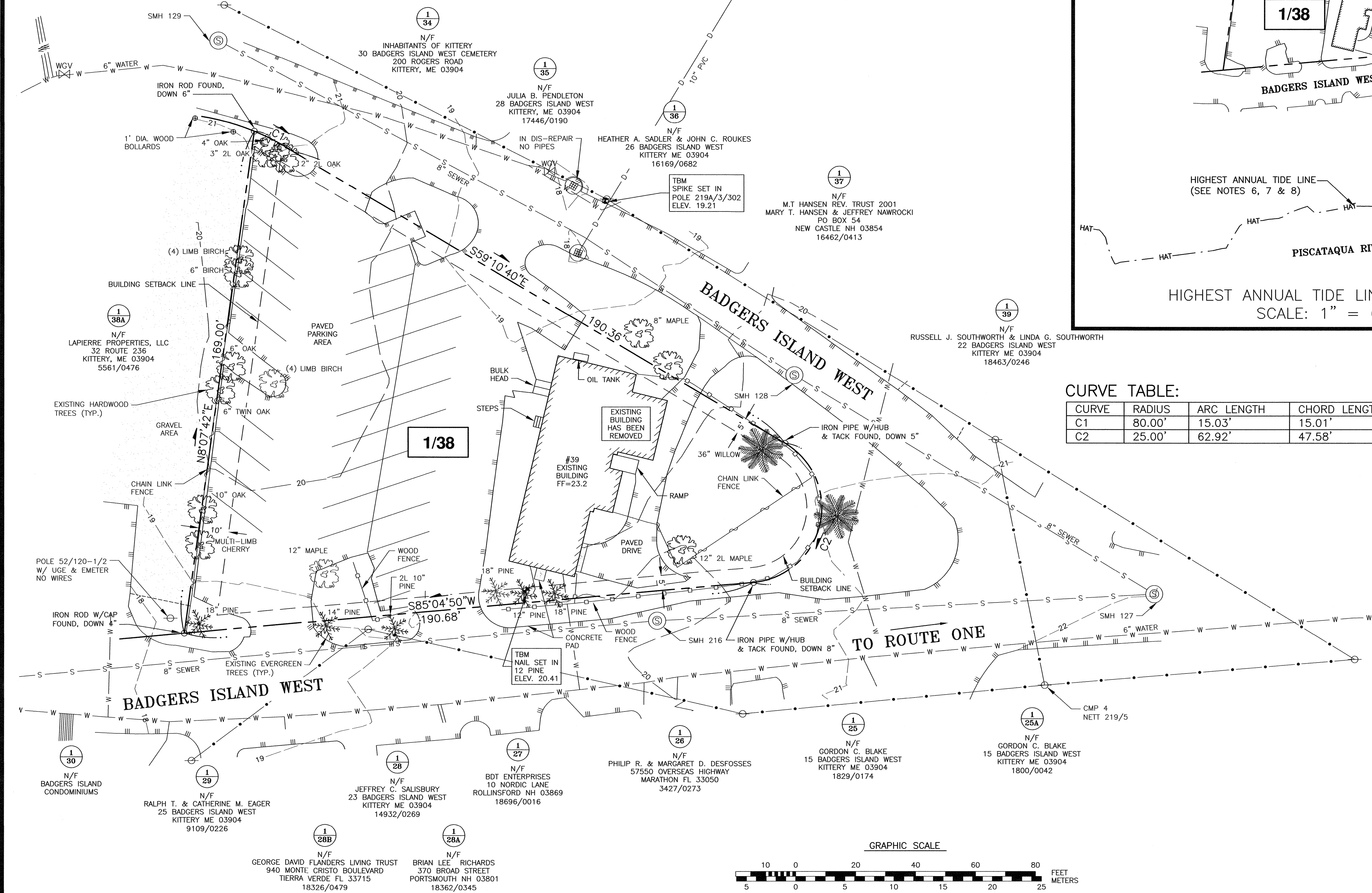
3430.01





LOCATION MAP SCALE: 1" = 1,000'

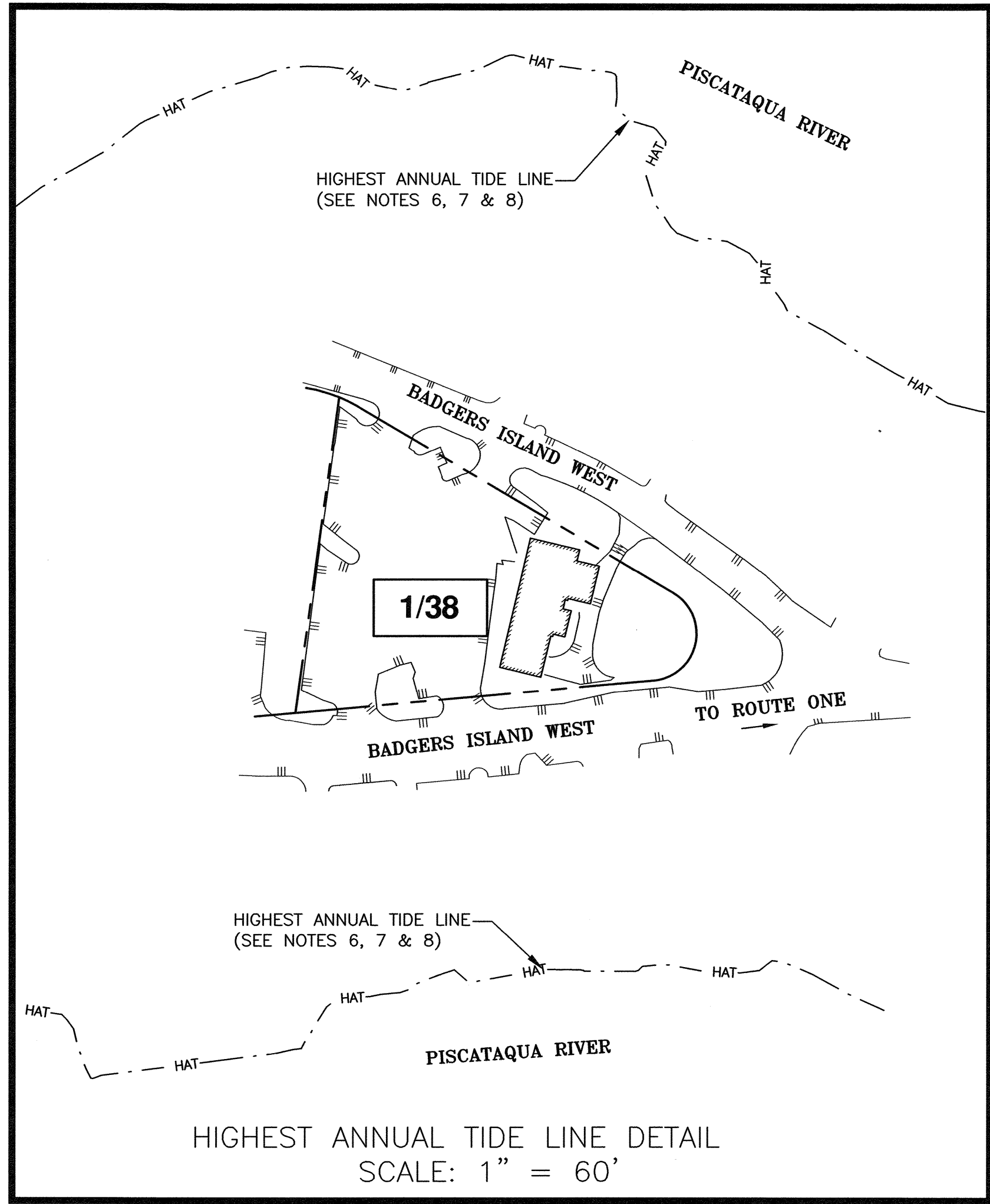
LEGEND:  
\*SEE COVER SHEET.



SEWER STRUCTURE SCHEDULE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
SMH 127	EX	21.97	8" PVC	7.82	7.42	E
SMH 128	EX	20.43	8" PVC	7.52		NW
			8" PVC	7.52		W
			8" PVC	7.52		SE
SMH 129	EX	21.86	8" PVC	8.83	8.58	NW
			6" PVC	12.53		NW
			8" PVC		13.56	SW
SMH 216	EX	19.69	6" PVC	13.61		NE
			8" PVC		7.99	E
			8" PVC	8.09		W
SMH 217	EX	16.30	8" PVC		8.80	E
			6" PVC	8.95		NW
			4" PVC	8.85		W

DRAINAGE STRUCTURE SCHEDULE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
CB 159	EX	18.9	10" PVC		17.1	NE

ME SPC  
NAD83(2011)  
GRID NORTH  
WEST ZONE



CURVE TABLE:

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	80.00'	15.03'	15.01'	S62°01'10"E	10°45'46"
C2	25.00'	62.92'	47.58'	S12°55'30"W	144°12'22"

**AMBIT ENGINEERING, INC.**  
A DIVISION OF HALEY WARD, INC.

WWW.HALEYWARD.COM

200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.436.2315

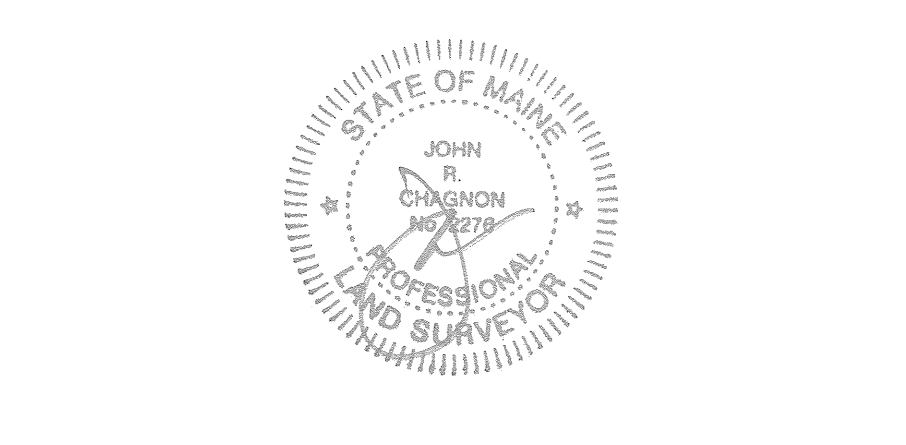
NOTES:

- PARCEL IS SHOWN ON THE TOWN OF KITTERY ASSESSOR'S MAP 1 AS LOT 38.
- OWNER OF RECORD:  
BIW GROUP, LLC  
41 INDUSTRIAL DRIVE, SUITE 20  
EXETER, NH 03833  
18503/331
- PARCEL IS NOT IN A SPECIAL FLOOD HAZARD ZONE (ZONE C) AS SHOWN ON FIRM PANEL 2301710008D. EFFECTIVE DATE JULY 3, 1986.
- EXISTING LOT AREA:  
21,029 S.F.  
0.4828 ACRES
- THE BOUNDARY SHOWN HEREON IS FROM PLAN REFERENCE 3.
- VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- HIGHEST ANNUAL TIDE SHOWN AT ELEVATION 5.8 PER LOCATION SEAVEY ISLAND IN MAINE DEP HIGHEST ANNUAL TIDE (HAT) LEVELS FOR YEAR 2018.
- THE ENTIRE PARCEL IS WITHIN THE 250' SHORELAND PROTECTION ZONE
- PARCEL ZONING INFORMATION:  
BASE ZONE: MIXED USE - BADGERS ISLAND (MU-BI)  
OVERLAY ZONES:  
WATER BODY/WETLAND PROTECTION AREA - 250' (OZ-SL-250')  
COMMERCIAL FISHERIES/MARITIME USES - (CFMU)
- DIMENSIONAL REQUIREMENTS:  
MU-BI BASE ZONE REQUIREMENTS:  
MINIMUM LAND AREA PER DWELLING UNIT:  
3,000 SQ. FT. (UNITS 1 & 2)  
6,000 SQ. FT. (UNITS 3+)  
MINIMUM LOT SIZE: 6,000 SQ. FT.  
MINIMUM STREET FRONTAGE: 50 FT.  
MINIMUM FRONT YARD: 5 FT.  
MINIMUM REAR AND SIDE YARDS: 10 FT.  
MAXIMUM BUILDING HEIGHT: 40 FT.  
MINIMUM OPEN SPACE: 40%  
  
OZ-SL-250' REQUIREMENTS (SEE 16.3.2.17):  
MAXIMUM DEVEGETATED COVERAGE: 60%  
PRINCIPAL AND ACCESSORY STRUCTURES  
SETBACK: 75 FT.  
ACCESSORY PATIO/DECK < 500 SQ.FT.  
SETBACK: 75 FT.

11) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSOR'S MAP 1 LOT 38 IN THE TOWN OF KITTERY.

**SITE REDEVELOPMENT  
39 BADGERS ISLAND WEST  
KITTEY, ME**

NO.	DESCRIPTION	DATE
1	SEWER SCHEDULE ADDED	12/08/22
0	ISSUED FOR COMMENT	10/24/22



SCALE: 1"=20' OCTOBER 2022

EXISTING CONDITIONS  
PLAN

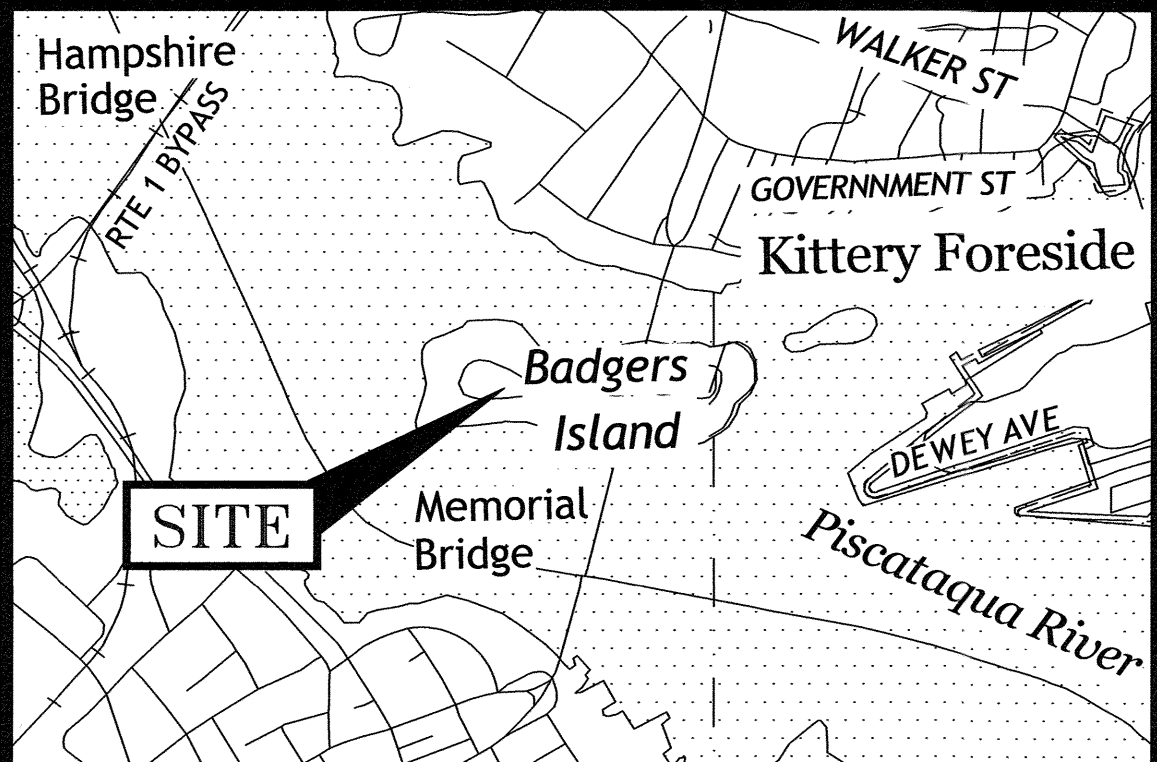
C1

OWNER:  
BIW GROUP, LLC  
41 INDUSTRIAL DRIVE  
SUITE 20  
EXETER, NH 03833

APPLICANT:  
OTTER CREEK HOMES  
198 LAFAYETTE ROAD UNIT 1  
NORTH HAMPTON, NH 03862

PREPARED BY:  
AMBIT ENGINEERING  
200 GRIFFIN ROAD UNIT 3  
PORTSMOUTH, N.H. 03801





## LOCATION MAP

SCALE: 1" = 1,000'

## LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
YCRD	YORK COUNTY REGISTRY OF DEEDS
11/21	MAP 11/LOT 21
IR FND	IRON ROD FOUND / SET
S	SEWER LINE
D	STORM DRAIN
W	WATER LINE
—	UNDERGROUND ELECTRIC
—	OVERHEAD ELECTRIC/WIRES
100	CONTOUR
III	EDGE OF PAVEMENT
III	PROPOSED EDGE OF PAVEMENT
⊙	UTILITY POLE
WGV	WATER GATE VALVE
⊕	CATCH BASIN
⊙	TELEPHONE MANHOLE
⊙	SEWER MANHOLE
T	TRANSFORMER
EL.	ELEVATION
FF	FINISHED FLOOR
INV	INVERT
TBM	TEMPORARY BENCH MARK
TYP	TYPICAL
HP	PROPOSED HEAT PUMP

## DEVEGETATED COVERAGE CALCULATION (TO LOT LINE)

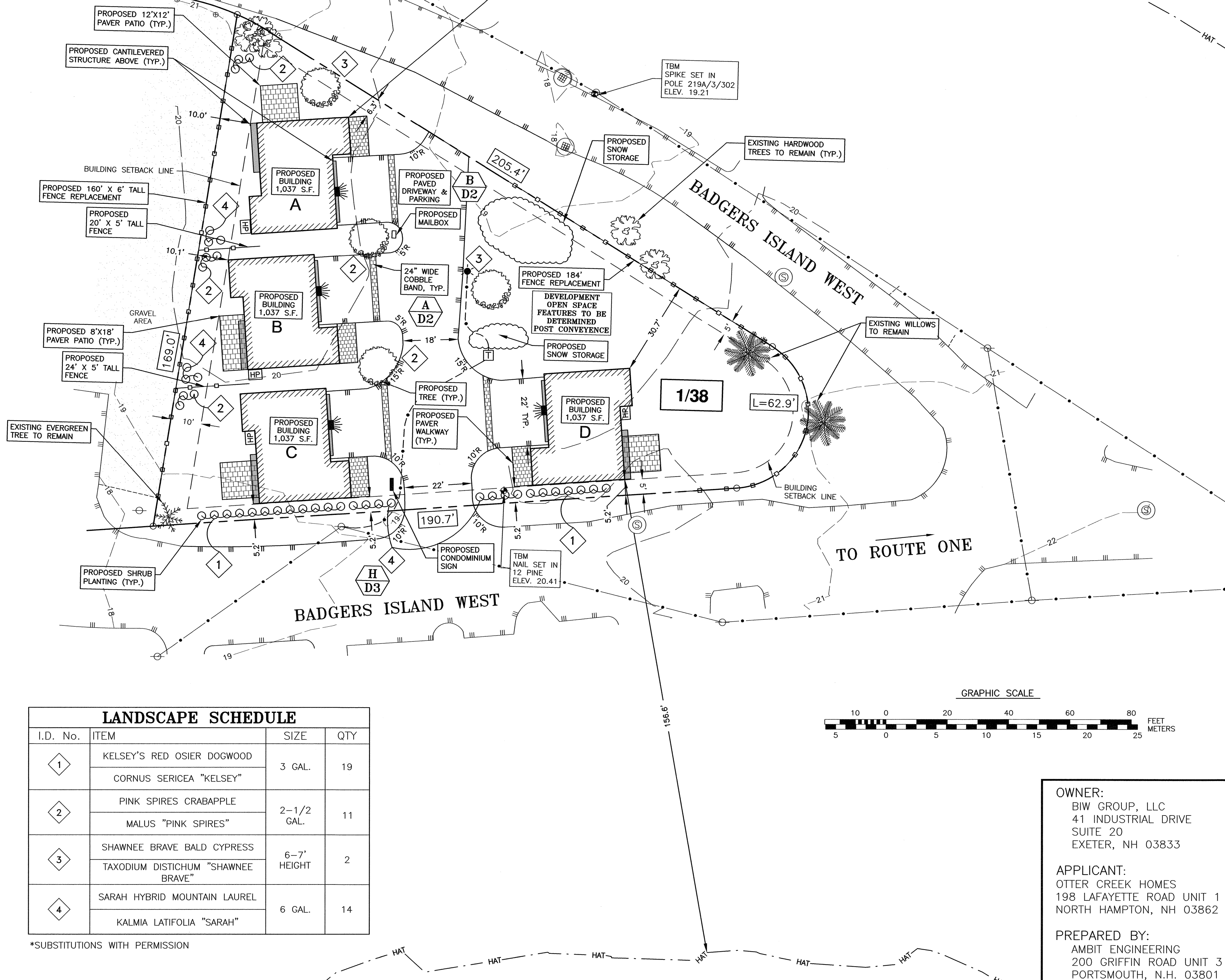
STRUCTURE	PRE-CONSTRUCTION (S.F.)	POST-CONSTRUCTION (S.F.)
MAIN STRUCTURES	2,071	4,148
PAVEMENT	13,286	4,771
STAIRS/RAMP	51	0
BULKHEAD	25	0
CONCRETE PADS	29	0
WALKWAY	0	312
PATIOS	0	288
TOTAL	15,462	9,519
LOT SIZE	21,029	21,029
% DEVEGETATED AREA	73.5%	45.3%

PROPOSED BUILDING COVERAGE: 19.7%  
SITE IS CURRENTLY 0% BUILDING COVERAGE (POST BUILDING REMOVAL)

APPROVED BY THE KITTERY CODE ENFORCEMENT OFFICER

SIGNATURE

DATE



## LANDSCAPE SCHEDULE

I.D. No.	ITEM	SIZE	QTY
1	KELSEY'S RED OSIER DOGWOOD	3 GAL.	19
	CORNUS SERICEA "KELSEY"		
2	PINK SPIRES CRABAPPLE	2-1/2 GAL.	11
	MALUS "PINK SPIRES"		
3	SHAWNEE BRAVE BALD CYPRESS	6-7' HEIGHT	2
	TAXODIUM DISTICHUM "SHAWNEE BRAVE"		
4	SARAH HYBRID MOUNTAIN LAUREL	6 GAL.	14
	KALMIA LATIFOLIA "SARAH"		

\*SUBSTITUTIONS WITH PERMISSION

## AMBIT ENGINEERING, INC.

A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.436.2315

WWW.HALEYWARD.COM

## NOTES:

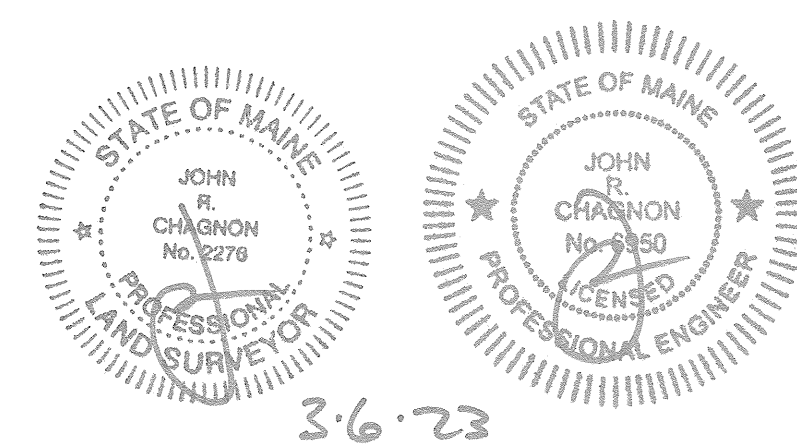
- 1) PARCEL IS SHOWN ON THE TOWN OF KITTERY ASSESSOR'S MAP 1 AS LOT 38.
- 2) OWNER OF RECORD:  
BIW GROUP, LLC  
41 INDUSTRIAL DRIVE, SUITE 20  
EXETER, NH 03833  
18503/331  
  
APPLICANT:  
OTTER CREEK HOMES  
198 LAFAYETTE ROAD, UNIT 1  
NORTH HAMPTON, NH 03862
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD ZONE (ZONE C) AS SHOWN ON FIRM PANEL 2301710008D. EFFECTIVE DATE JULY 3, 1986.
- 4) EXISTING LOT AREA:  
21,029 S.F.  
0.4828 ACRES
- 5) PARCEL ZONING INFORMATION:  
BASE ZONE: MIXED USE - BADGERS ISLAND (MU-BI)  
OVERLAY ZONES:  
WATER BODY/WETLAND PROTECTION AREA - 250' (OZ-SL-250')  
COMMERCIAL FISHERIES/MARITIME USES - (CFMU)
- 6) DIMENSIONAL REQUIREMENTS:  
MU-BI BASE ZONE REQUIREMENTS:  
MINIMUM LAND AREA PER DWELLING UNIT:  
3,000 SQ. FT. (UNITS 1 & 2)  
6,000 SQ. FT. (UNITS 3+)  
MINIMUM LOT SIZE: 6,000 SQ. FT.  
MINIMUM STREET FRONTAGE: 50 FT.  
MINIMUM FRONT YARD: 5 FT.  
MINIMUM REAR AND SIDE YARDS: 10 FT.  
MAXIMUM BUILDING HEIGHT: 40 FT.  
MINIMUM OPEN SPACE: 40%  
  
OZ-SL-250' REQUIREMENTS (SEE 16.3.2.17):  
MAXIMUM DEVEGETATED COVERAGE: 60%  
PRINCIPAL AND ACCESSORY STRUCTURES SETBACK: 75 FT.  
ACCESSORY PATIO/DECK < 500 SQ.FT.  
SETBACK: 75 FT.
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED STRUCTURES & SITE IMPROVEMENTS ON ASSESSOR'S MAP 1 LOT 38 IN THE TOWN OF KITTERY.
- 8) IF SNOW STORAGE CAPACITY IS EXCEEDED SNOW WILL NEED TO BE TRUCKED OFF SITE. NO SNOW STORAGE IN TOWN RIGHT OF WAY.

## SITE REDEVELOPMENT 39 BADGERS ISLAND WEST KITTERY, ME

4	ELIMINATE DRIVEWAY ENTRANCE	3/6/23
3	SIGN, LANDSCAPING	2/14/23
2	LANDSCAPE, ENTRANCE, NOTE 8	1/19/23
1	ISSUED FOR APPROVAL	12/8/22
0	ISSUED FOR COMMENT	11/10/22

NO. DESCRIPTION DATE

REVISIONS



SCALE: 1"=20'

OCTOBER 2022

SHORELAND  
DEVELOPMENT PLAN

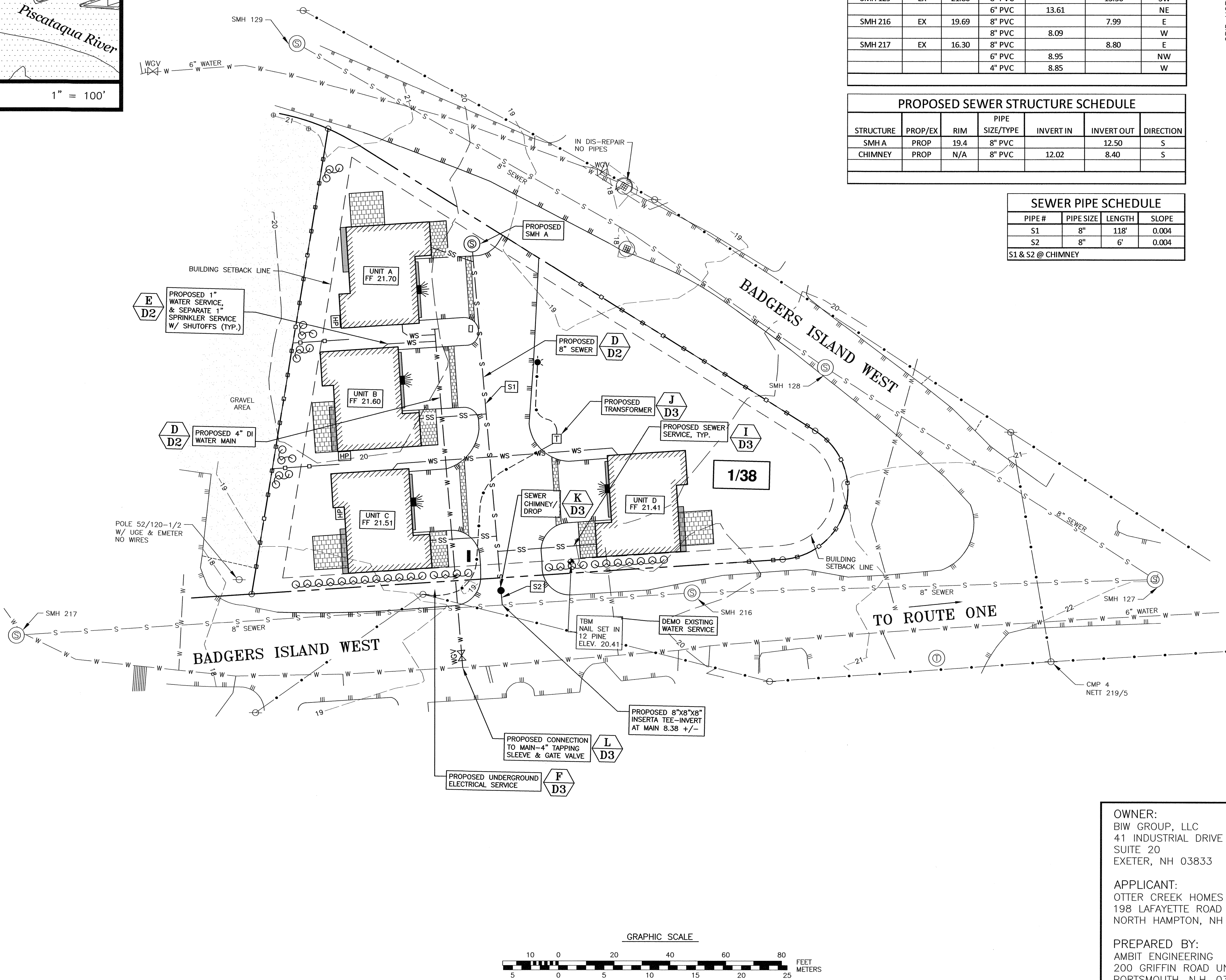
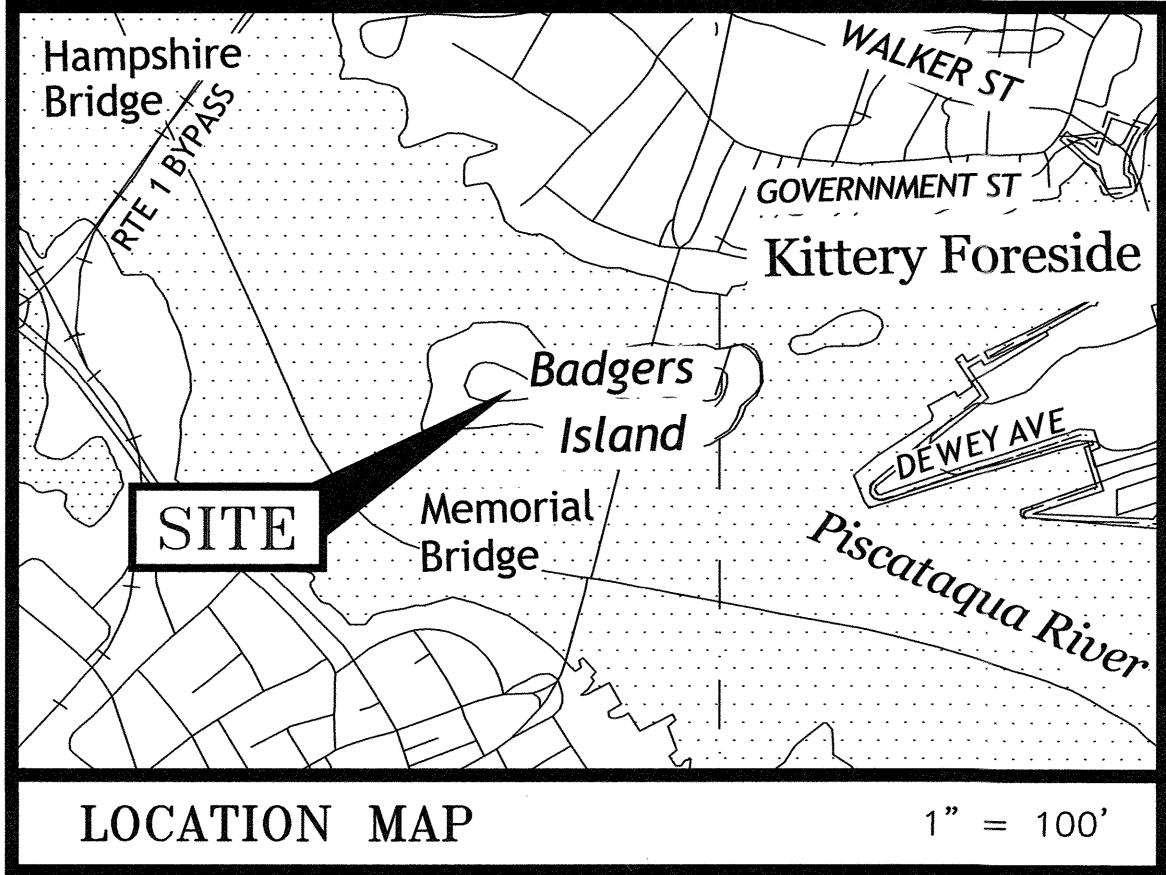
C2

OWNER:  
BIW GROUP, LLC  
41 INDUSTRIAL DRIVE  
SUITE 20  
EXETER, NH 03833

APPLICANT:  
OTTER CREEK HOMES  
198 LAFAYETTE ROAD UNIT 1  
NORTH HAMPTON, NH 03862

PREPARED BY:  
AMBIT ENGINEERING  
200 GRIFFIN ROAD UNIT 3  
PORTSMOUTH, N.H. 03801





SEWER STRUCTURE SCHEDULE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
SMH 127	EX	21.97	8" PVC	7.82	7.42	E
			8" PVC	7.82		NW
			8" PVC	7.52		W
SMH 128	EX	20.43	8" PVC	8.83	8.58	SE
			8" PVC	12.53		NW
SMH 129	EX	21.86	8" PVC	13.61	13.56	SW
			6" PVC	13.61		NE
SMH 216	EX	19.69	8" PVC	8.09	7.99	E
			8" PVC	8.09		W
SMH 217	EX	16.30	8" PVC	8.95	8.80	E
			6" PVC	8.95		NW
			4" PVC	8.85		W

PROPOSED SEWER STRUCTURE SCHEDULE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
SMH A	PROP	19.4	8" PVC	12.50	12.50	S
CHIMNEY	PROP	N/A	8" PVC	12.02	8.40	S

SEWER PIPE SCHEDULE			
PIPE #	PIPE SIZE	LENGTH	SLOPE
S1	8"	118'	0.004
S2	8"	6'	0.004
S1 & S2 @ CHIMNEY			



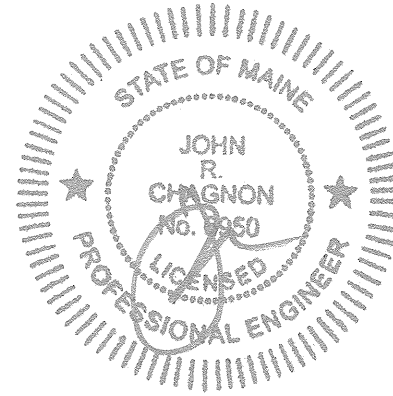
200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.436.2315

#### NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMP's" PUBLISHED BY THE MAINE D.E.P. IN 2016.
- 4) CONTRACTOR SHALL FIELD VERIFY THE DEPTH OF EXISTING UTILITIES AND COORDINATE WITH THE ENGINEER PRIOR TO CONSTRUCTION OF THE PROPOSED UTILITIES.
- 5) ALL UTILITIES SHOWN ARE TO REMAIN UNLESS NOTED OTHERWISE.
- 6) COORDINATE UTILITY CONNECTIONS AND INSTALLATIONS WITH RESPECTIVE UTILITY COMPANIES AND SERVICE PROVIDERS.
- 7) CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICES TO ADJACENT PROPERTIES DURING CONSTRUCTION. PROVIDE PROPER NOTIFICATION OF ANY SERVICE INTERRUPTIONS.
- 8) ALL WATER MAINS SHALL BE DUCTILE IRON WITH POLYWRAP AND WATER SERVICES SHALL BE COPPER WITH BRASS CURB STOPS UNLESS NOTED OTHERWISE; ALL TO KITTERY WATER DISTRICT STANDARDS.
- 9) SPRINKLER SERVICE SIZE SUBJECT TO DESIGN CONFIRMATION.

#### SITE REDEVELOPMENT 39 BADGERS ISLAND WEST KITTERY, ME

NO.	DESCRIPTION	DATE
2	ELIMINATE DRIVEWAY ENTRANCE	3/6/23
1	PAVEMENT, SPRINKLER SERVICE	1/19/23
0	ISSUED FOR COMMENT	12/8/22
REVISIONS		



SCALE: 1"=20' OCTOBER 2022

UTILITY  
PLAN

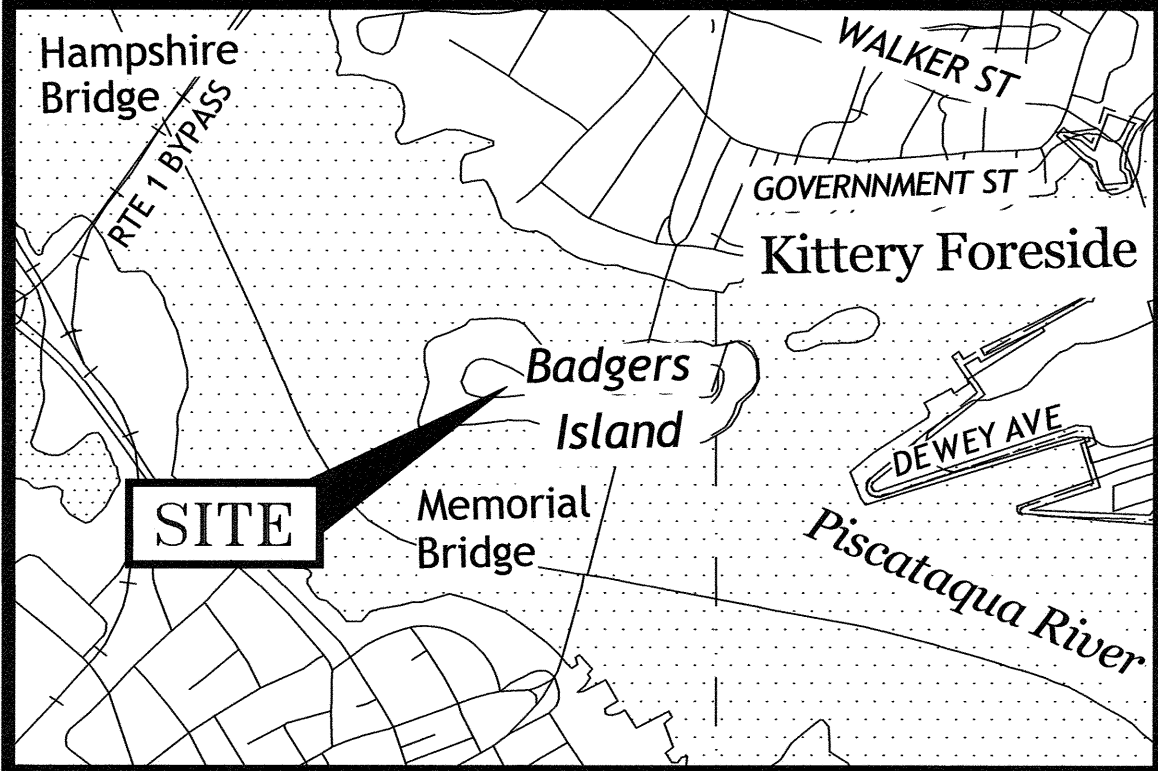
C3

OWNER:  
BIW GROUP, LLC  
41 INDUSTRIAL DRIVE  
SUITE 20  
EXETER, NH 03833

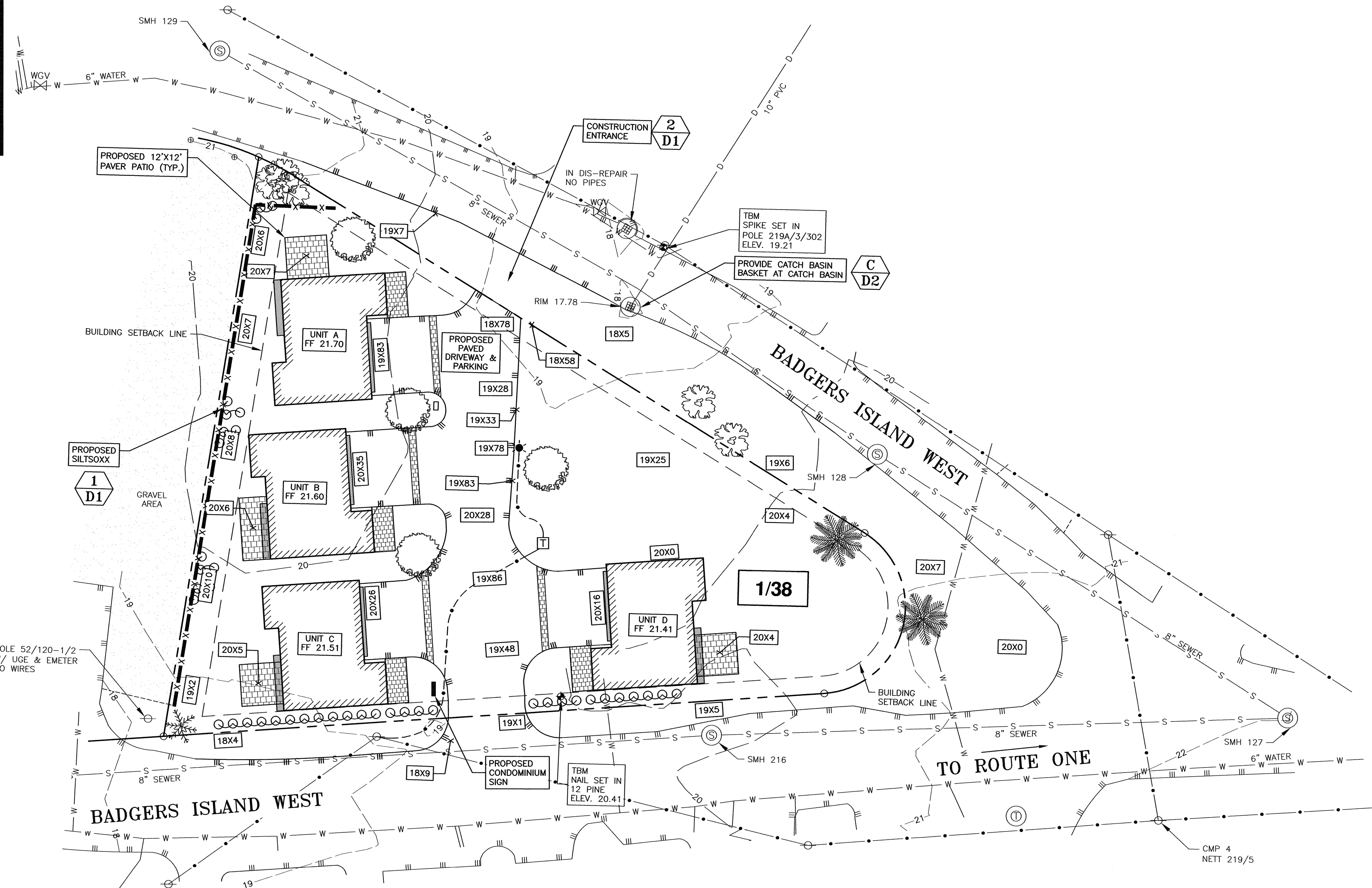
APPLICANT:  
OTTER CREEK HOMES  
198 LAFAYETTE ROAD UNIT 1  
NORTH HAMPTON, NH 03862

PREPARED BY:  
AMBIT ENGINEERING  
200 GRIFFIN ROAD UNIT 3  
PORTSMOUTH, N.H. 03801





LOCATION MAP 1" = 100'



DRAINAGE STRUCTURE SCHEDULE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
CB 159	EX	18.9	10" PVC		17.1	NE

ME SPC  
NAD83(2011)  
GRID NORTH  
WEST ZONE

**AMBIT ENGINEERING, INC.**  
A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.436.2315

WWW.HALEYWARD.COM

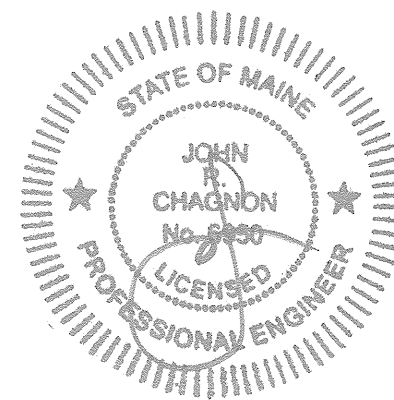
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMP's" PUBLISHED BY THE MAINE D.E.P. IN 2016.
- 4) TOTAL PROJECT DISTURBED AREA: 22,092 S.F.
- 5) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.

SITE REDEVELOPMENT  
39 BADGERS ISLAND WEST  
KITTERY, ME

NO.	DESCRIPTION	DATE
3	ELIMINATE DRIVEWAY ENTRANCE	3/6/23
2	SIGN	2/14/23
1	PAVEMENT	1/19/23
0	ISSUED FOR COMMENT	12/8/22

REVISIONS



3.6.23

SCALE: 1"=20'

OCTOBER 2022

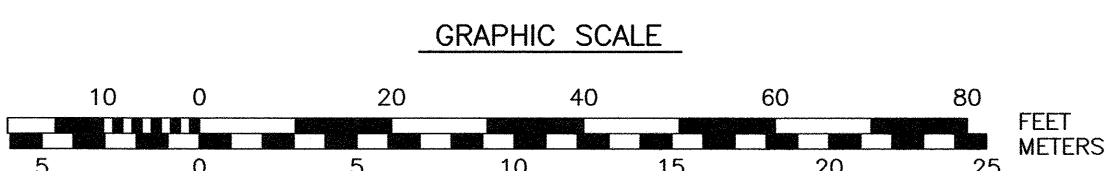
GRADING  
PLAN

C4

OWNER:  
BIW GROUP, LLC  
41 INDUSTRIAL DRIVE  
SUITE 20  
EXETER, NH 03833

APPLICANT:  
OTTER CREEK HOMES  
198 LAFAYETTE ROAD UNIT 1  
NORTH HAMPTON, NH 03862

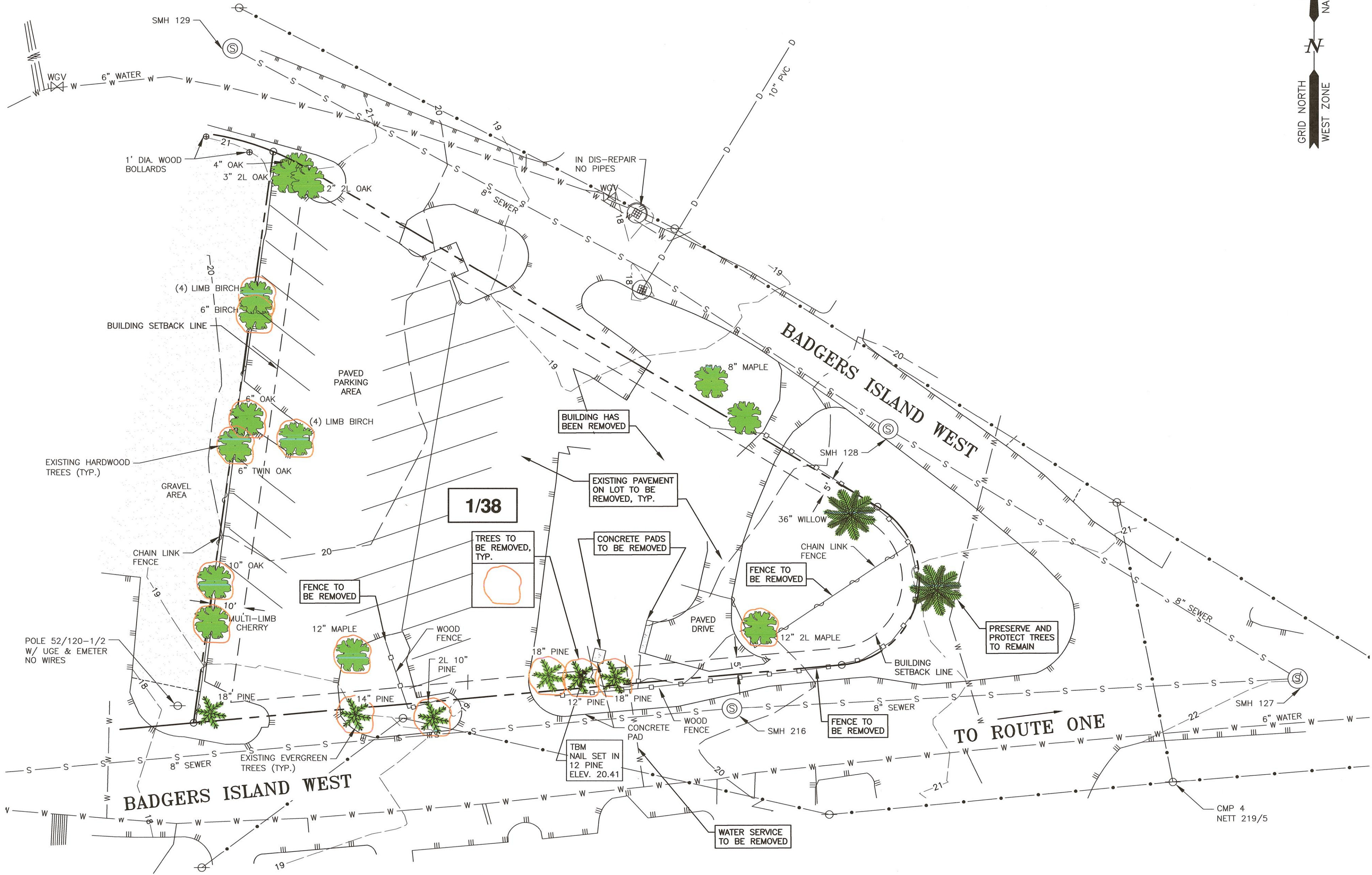
PREPARED BY:  
AMBIT ENGINEERING  
200 GRIFFIN ROAD UNIT 3  
PORTSMOUTH, N.H. 03801





DEMOLITION NOTES:

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) ALL WORK WITHIN THE TOWN OF KITTERY RIGHT OF WAY SHALL BE COORDINATED WITH THE TOWN OF KITTERY DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH MEDEP REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



ME SPC  
NAD83(2011)  
GRID NORTH  
WEST ZONE



WWW.HALEYWARD.COM

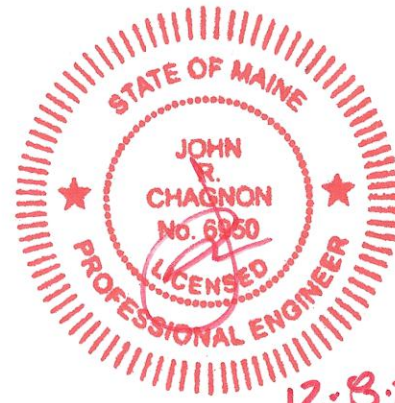
200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.436.2315

NOTES:

- A) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- B) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- C) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMP's" PUBLISHED BY THE MAINE D.E.P. IN 2014.

SITE REDEVELOPMENT  
39 BADGERS ISLAND WEST  
KITTERY, ME

0	ISSUED FOR COMMENT	12/8/22
NO.	DESCRIPTION	DATE
REVISIONS		



SCALE: 1"=20' OCTOBER 2022

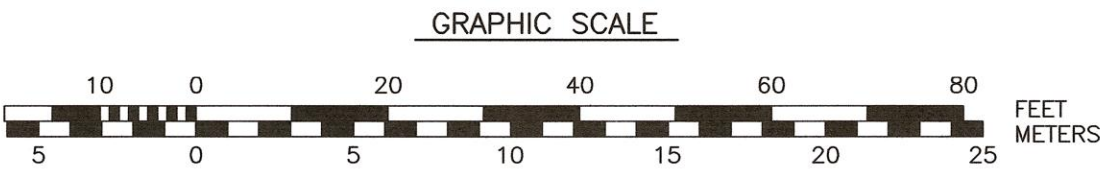
DEMOLITION  
PLAN

C5

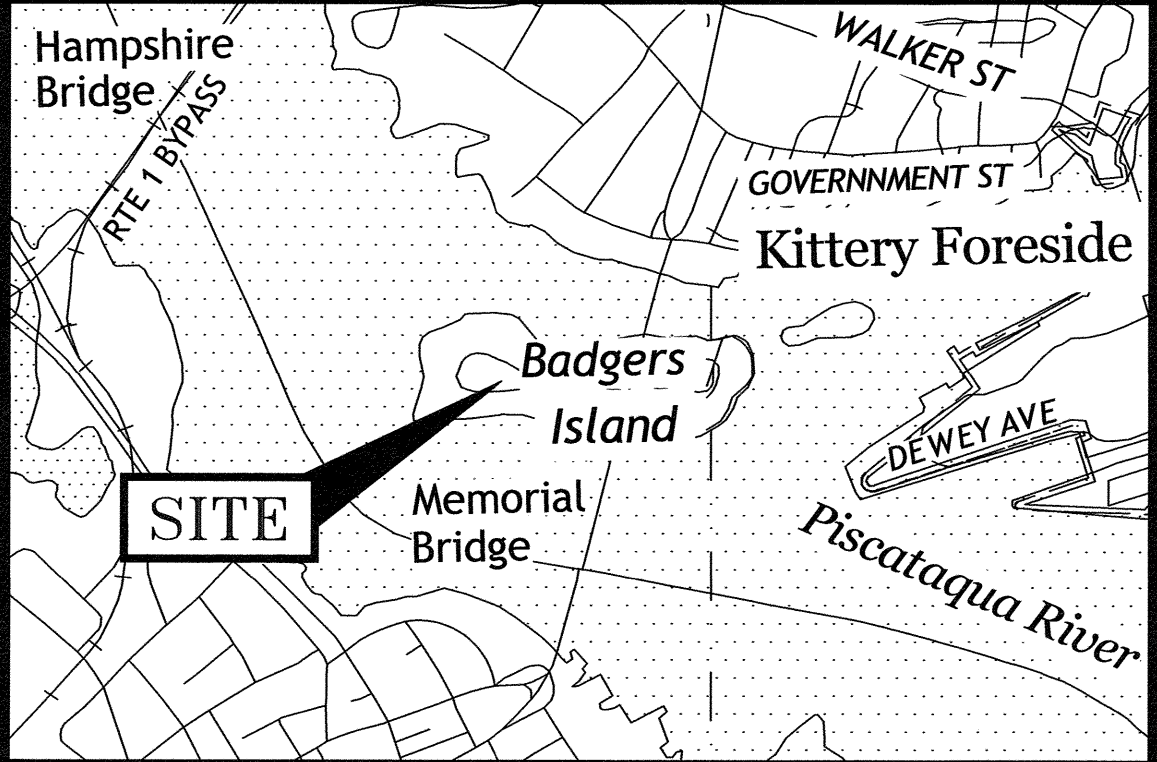
OWNER:  
BIW GROUP, LLC  
41 INDUSTRIAL DRIVE  
SUITE 20  
EXETER, NH 03833

APPLICANT:  
OTTER CREEK HOMES  
198 LAFAYETTE ROAD UNIT 1  
NORTH HAMPTON, NH 03862

PREPARED BY:  
AMBIT ENGINEERING  
200 GRIFFIN ROAD UNIT 3  
PORTSMOUTH, N.H. 03801

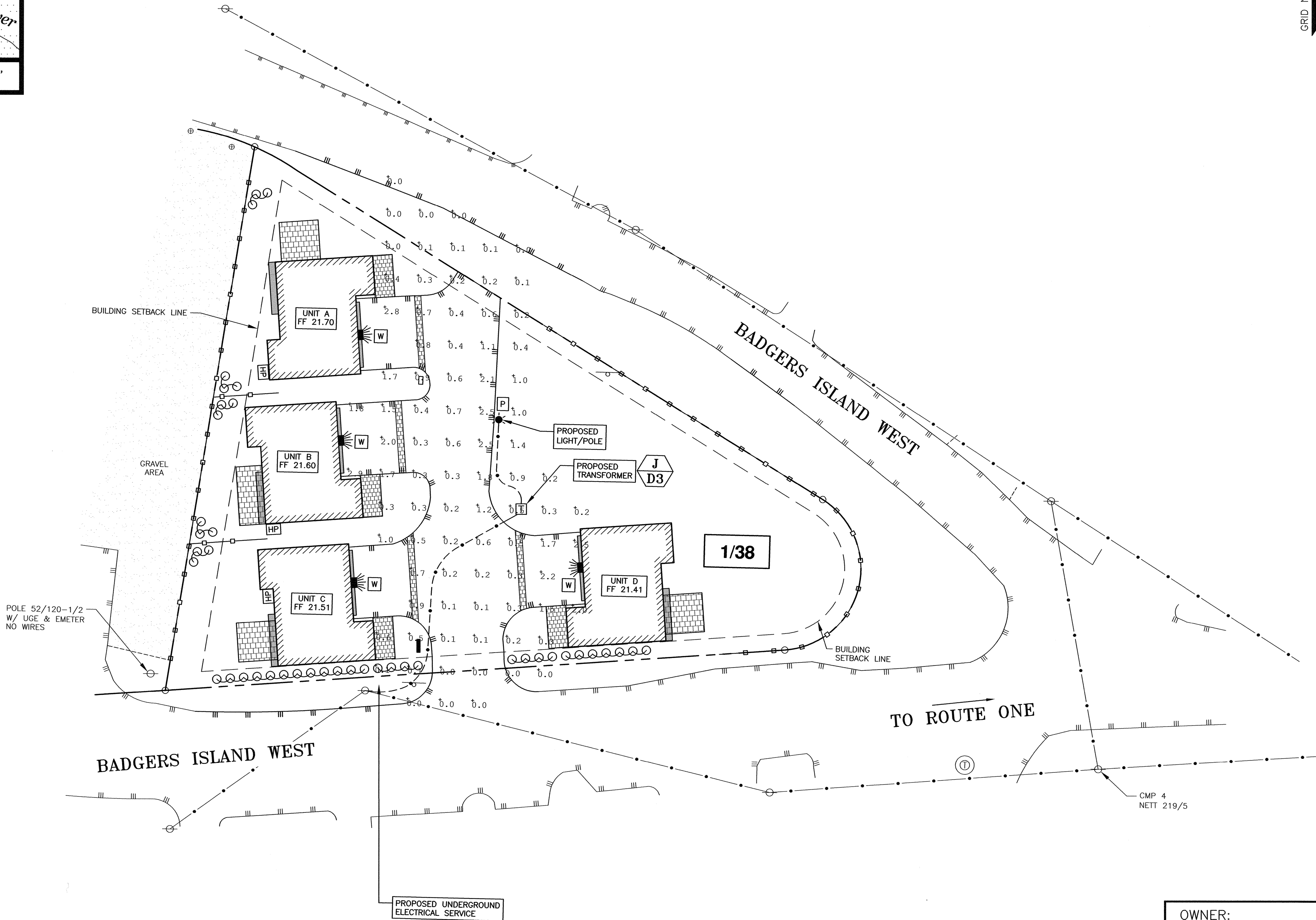




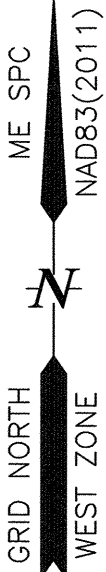


LOCATION MAP

1" = 100'



LIGHTING SCHEDULE				
SYMBOL	QTY.	LABEL	ARRANGEMENT	DESCRIPTION
	1	P	SINGLE	UMC-20001-30W-T2-W30-CXX-120/277V/12' POLE
	4	W	SINGLE	UCI-30131-18W-T4-W30-CXX-120/277V/WALL MTD. 10 AFG



NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMP's" PUBLISHED BY THE MAINE D.E.P. IN 2014.
- 4) POLE MOUNTED LIGHTS SHALL HAVE A MAXIMUM FIXTURE OF HEIGHT OF 12 FEET.
- 5) ALL LIGHTING SHALL BE SHIELDED TO MINIMIZE LIGHT TRESPASS AND DIRECT GLARE BEYOND THE PROPERTY.
- 6) ALL LIGHTS SHALL BE DARK SKY COMPLIANT AND DIRECTED DOWNWARD.
- 7) LIGHTING PLAN DESIGN BY EXPOSURE 2 LIGHTING 603-601-8080.
- 8) LIGHTS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

**SITE REDEVELOPMENT**  
**39 BADGERS ISLAND WEST**  
**KITTERY, ME**

NO.	DESCRIPTION	DATE
2	ELIMINATE DRIVEWAY ENTRANCE	3/6/23
1	PAVEMENT	1/19/23
0	ISSUED FOR COMMENT	12/8/22

REVISIONS

OWNER:  
BIW GROUP, LLC  
41 INDUSTRIAL DRIVE  
SUITE 20  
EXETER, NH 03833

APPLICANT:  
OTTER CREEK HOMES  
198 LAFAYETTE ROAD UNIT 1  
NORTH HAMPTON, NH 03862

PREPARED BY:  
AMBIT ENGINEERING  
200 GRIFFIN ROAD UNIT 3  
PORTSMOUTH, N.H. 03801

SCALE: 1"=20'

OCTOBER 2022

**LIGHTING**  
**PLAN**

**C6**



EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

INSTALL PERIMETER CONTROLS, i.e., SILT FENCING OR SILTSOXX AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAY BALES IS NOT ALLOWED.

CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.

PERFORM CLEARING & GRUBBING

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED.

REMOVE PAVEMENT AS NEEDED.

BULLDOZE TOPSOIL INTO STOCKPILES, AND CIRCLE WITH SILT FENCING OR SILTSOXX. IF EROSION IS EXCESSIVE, THEN COVER WITH MULCH.

ROUGH GRADE SITE. IN LANDSCAPED AREAS OUT OF THE WAY OF SUBSEQUENT CONSTRUCTION ACTIVITY, INSTALL TOPSOIL, MULCH, SEED AND FERTILIZE. STABILIZE PER DETAILS.

CONSTRUCT FOUNDATIONS.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES TO THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING FRAMES.

FINISH GRADE SITE, DRIVEWAY & PARKING SUBBASE GRAVEL IN TWO, COMPACTED LIFTS. PROVIDE TEMPORARY EROSION PROTECTION TO DITCHES AND SWALES IN THE FORM OF MULCHING, JUTE MESH OR DITCH DAMS. CONSTRUCT BINDER COURSE.

BUILDING EXTERIOR WORK & LIGHT FIXTURES.

AFTER BUILDING IS COMPLETED FINISH ALL REMAINING LANDSCAPED WORK.

CONSTRUCT ASPHALT WEARING COURSE.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO "MAINE EROSION AND SEDIMENT CONTROL BMP's" PUBLISHED BY THE MAINE D.E.P. IN 2016.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
- EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM OF 0.5" OR GREATER. ALL DAMAGED SILT FENCES SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES (LOAM AND SEED AREAS) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS. CONSTRUCT SILT FENCE AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED BY GRINDING OR FILL IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT EXCEEDING 8 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DISTURBED AREAS SHALL BE SEEDED WITHIN 72 HOURS FOLLOWING FINISHED GRADING.

AT NO TIME SHALL ANY DISTURBED AREA REMAIN UNSTABILIZED FOR LONGER THAN 72 HOURS. ALL AREAS WHERE CONSTRUCTION IS NOT COMPLETE WITHIN THIRTY DAYS OF THE INITIAL DISTURBANCE SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS:

LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEDED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER	PROPORTION	SEEDING RATE
CREeping RED FESCUE	50%	100 LBS/ACRE
KENTUCKY BLUEGRASS	50%	
SLOPE SEED (USED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1)		
CREeping RED FESCUE	42%	
TALL FESCUE	42%	48 LBS/ACRE
BIRDSFOOT TREFOIL	16%	

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS:

MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

PERENNIAL RYE: 0.7 LBS/1,000 S.F.

MULCH: 1.5 TONS/ACRE

MAINTENANCE AND PROTECTION

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.

TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDED AREAS WILL BE FERTILIZED AND RESEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.

THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.

THE SILT FENCE BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

SILT FENCING SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE REMOVAL SHALL BE PERMANENTLY SEEDED.

WINTER NOTES

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE; SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL.

INSPECTION AND MAINTENANCE PLAN

INTRODUCTION

THE INTENT OF THIS IS TO PROVIDE OTTER CREEK HOMES A LIST OF PROCEDURES THAT DOCUMENT THE INSPECTION AND MAINTENANCE REQUIREMENTS OF THE STORMWATER MANAGEMENT SYSTEM FOR THIS DEVELOPMENT. SPECIFICALLY, THE PROPOSED CONSTRUCTION DRAINAGE AND ASSOCIATED STRUCTURES ON THE PROJECT SITE (COLLECTIVELY REFERRED TO AS THE "STORMWATER MANAGEMENT SYSTEM")

THE FOLLOWING INSPECTION AND MAINTENANCE PROGRAM IS NECESSARY TO KEEP THE STORMWATER MANAGEMENT SYSTEM FUNCTIONING PROPERLY. THESE MEASURES WILL ALSO HELP MINIMIZE POTENTIAL ENVIRONMENTAL IMPACTS. BY FOLLOWING THE ENCLOSED PROCEDURES, THE OWNER WILL BE ABLE TO MAINTAIN THE FUNCTIONAL DESIGN OF THE STORMWATER MANAGEMENT SYSTEM AND MAXIMIZED ITS ABILITY TO REMOVE SEDIMENT AND OTHER CONTAMINANTS FROM THE SITE GENERATED STORMWATER RUNOFF.

STORMWATER MANAGEMENT SYSTEM COMPONENTS

THE STORMWATER MANAGEMENT SYSTEM IS DESIGNED TO MITIGATE BOTH THE QUANTITY AND QUALITY OF SITE-GENERATED RUNOFF. AS THE RESULT, THE DESIGN INCLUDES THE FOLLOWING ELEMENTS:

NON-STRUCTURAL BMP'S

NON-STRUCTURAL BEST MANAGEMENT PRACTICES (BMP'S) INCLUDE TEMPORARY AND PERMANENT MEASURES THAT TYPICALLY REQUIRE LESS LABOR AND CAPITAL INPUTS AND ARE INTENDED TO PROVIDE PROTECTION AGAINST EROSION OF SOILS. EXAMPLES OF NON-STRUCTURAL BMP'S ON THIS PROJECT INCLUDE BUT ARE NOT LIMITED TO: TEMPORARY AND PERMANENT MULCHING, TEMPORARY AND PERMANENT GRASS COVER, TREES, SHRUBS AND GRASS COVERS, MISCELLANEOUS LANDSCAPE PLANTINGS, DUST CONTROL, TREE PROTECTION, TOPSOILING, SEDIMENT BARRIERS, AND DURING CONSTRUCTION, STABILIZED CONSTRUCTION ENTRANCES AND CATCH BASIN BASKETS. IN THIS SITE TOTAL IMPERVIOUS AREA IS REDUCED.

STRUCTURAL BMP'S

STRUCTURAL BMP'S REQUIRE MORE SPECIALIZED PERSONNEL TO INSTALL. EXAMPLES ON THE PROJECT INCLUDE BUT ARE NOT LIMITED TO: STORM DRAINS, THE FILTRATION BASIN, AND ASSOCIATED OUTLET CONTROL STRUCTURES.

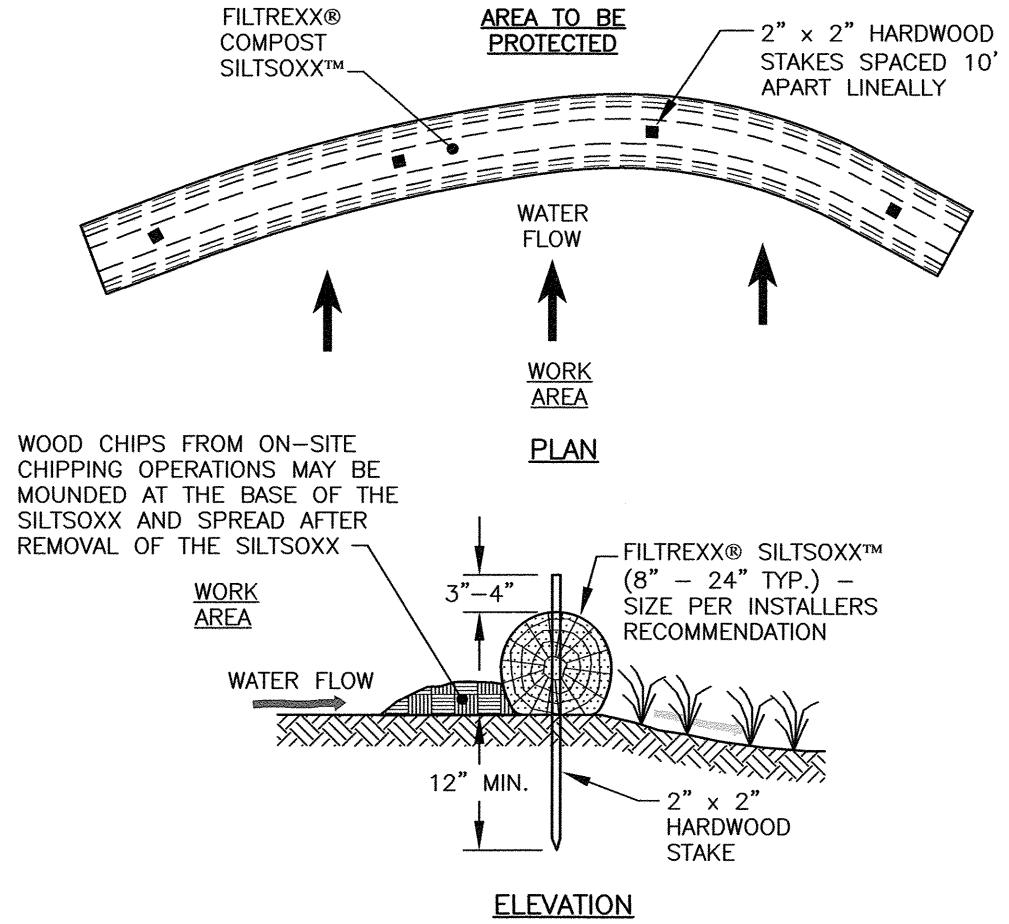
INSPECTION AND MAINTENANCE REQUIREMENTS

THE FOLLOWING SUMMARIZES THE INSPECTION AND MAINTENANCE REQUIREMENTS FOR THE VARIOUS BMP'S THAT MAY BE FOUND ON THIS PROJECT:

1. GRASSSED AREAS: AFTER EACH RAIN EVEN OF 0.5" OR MORE DURING A 24 HOUR PERIOD, INSPECT GRASSSED AREAS FOR SIGNS OF DISTURBANCE, SUCH AS EROSION. IF DAMAGED AREAS ARE DISCOVERED, IMMEDIATELY REPAIR THE DAMAGE. REPAIRS MAY INCLUDE ADDING NEW TOPSOIL, LIME, SEED, FERTILIZER AND MULCH.

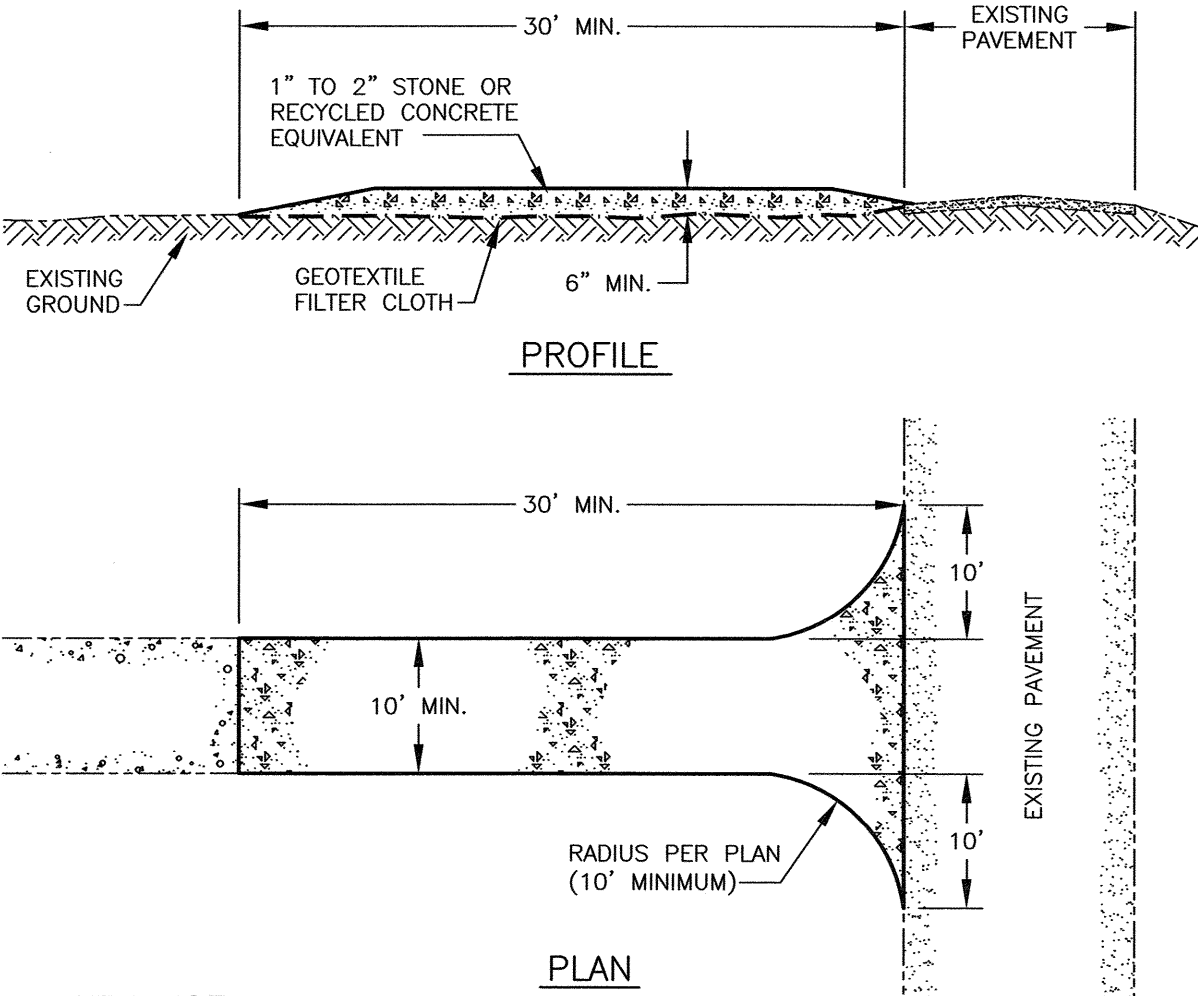
2. PLANTINGS: PLANTING AND LANDSCAPING (TREES, SHRUBS) SHALL BE MONITORED BI-MONTHLY DURING THE FIRST YEAR TO INSURE VIABILITY AND VIGOROUS GROWTH. REPLACE DEAD OR DYING VEGETATION WITH NEW STOCK AND MAKE ADJUSTMENTS TO THE CONDITIONS THAT CAUSED THE DEAD OR DYING VEGETATION. DURING DRYER TIMES OF THE YEAR, PROVIDED WEEKLY WATERING OR IRRIGATION DURING THE ESTABLISHMENT PERIOD OF THE FIRST YEAR. MAKE NECESSARY ADJUSTMENTS TO ENSURE LONG-TERM HEALTH OF VEGETATED COVER, I.E. PROVIDE MORE PERMANENT MULCH OR COMPOST OR OTHER MEANS OF PROTECTION.

3. INVASIVE SPECIES  
MONITOR STORMWATER MANAGEMENT SYSTEM FOR SIGNS OF INVASIVE SPECIES GROWTH. IF CAUGHT EARLIER ENOUGH, THEIR ERADICATION IS MUCH EASIER. THE MOST LIKELY PLACES WHERE INVASIONS START ARE IN WETTER, DISTURBED SOILS OR DETENTION PONDS. SPECIES SUCH AS PHRAGMITES AND PURPLE LOOSE-STRIPE ARE COMMON INVADERS IN THESE WETTER AREAS. IF THEY ARE FOUND THEN THE OWNER SHALL CONTACT A WETLAND SCIENTIST WITH EXPERIENCE IN INVASIVE SPECIES CONTROL TO IMPLEMENT A PLAN OF ACTION TO ERADICATE THE INVADERS. MEASURES THAT DO NOT REQUIRE THE APPLICATION OF CHEMICAL HERBICIDES SHOULD BE THE FIRST LINE OF DEFENSE.



- NOTES:
1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
  2. FILTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
  3. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
  4. SILTSOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
  5. THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

1 FILTREXX® SILTSOXX™ FILTRATION SYSTEM (AS NEEDED) NTS



MAINTENANCE

- 1) MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOP DRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
- 2) IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATIONS

- 1) STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 2 TO 4 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- 2) THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 30 FEET FOR A SINGLE RESIDENTIAL LOT.
- 3) THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- 4) THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- 5) GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- 6) ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE GROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- 7) THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- 8) WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

2 STABILIZED CONSTRUCTION ENTRANCE (AS NEEDED) NTS



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

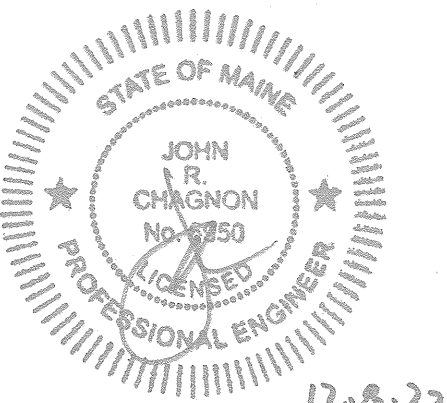
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMP's" PUBLISHED BY THE MAINE D.E.P. IN 2016.

SITE REDEVELOPMENT  
39 BADGERS ISLAND WEST  
KITTERY, ME

0	ISSUED FOR COMMENT	12/8/22
NO.	DESCRIPTION	DATE

REVISIONS

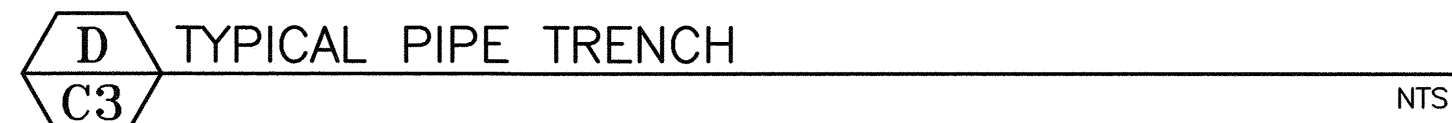


SCALE: AS SHOWN DECEMBER 2022

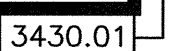
EROSION CONTROL  
NOTES AND DETAILS

D1

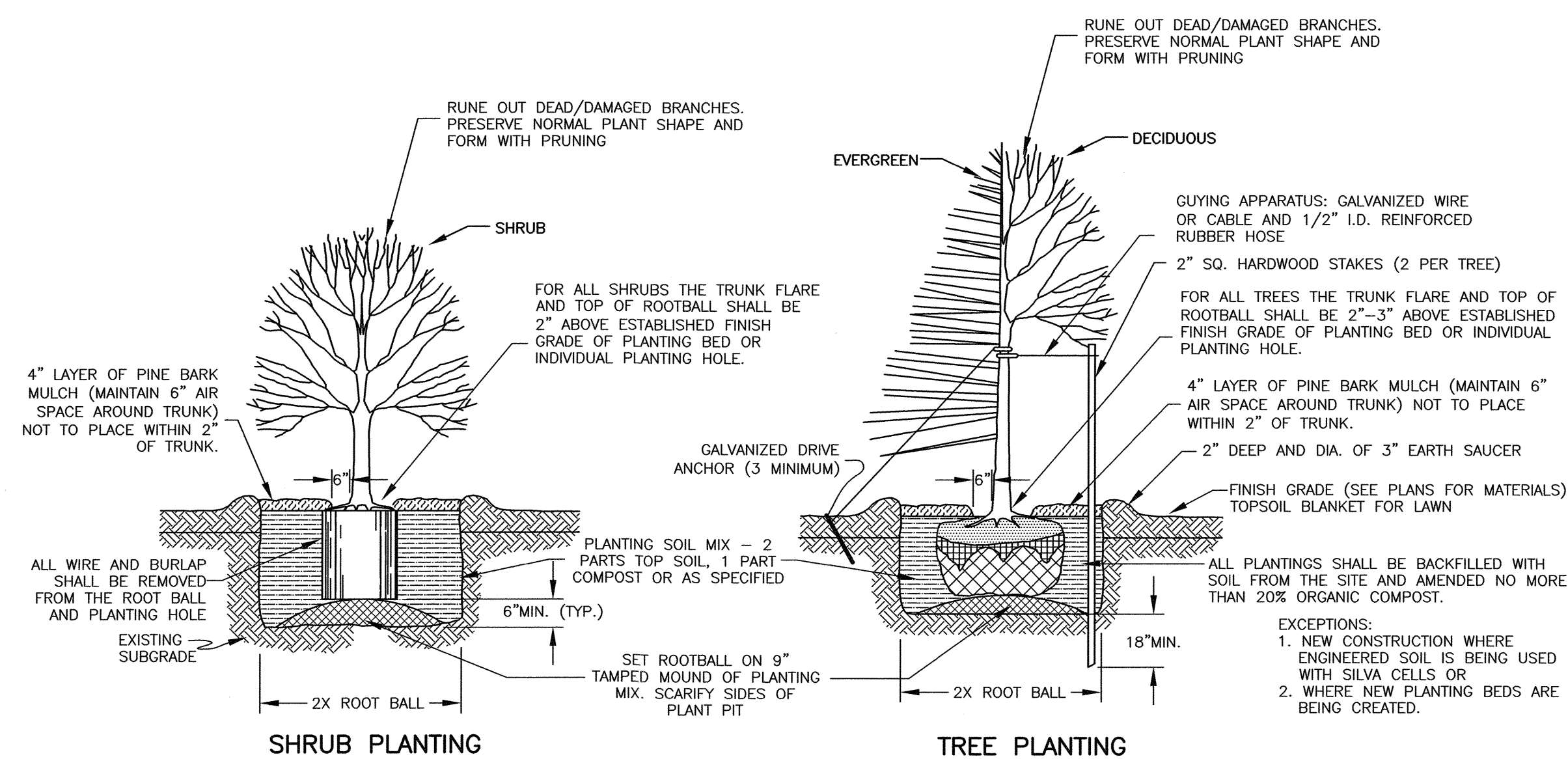




**F** UTILITY TRENCH  
**C3** ELECTRIC/PHONE/CABLE NTS







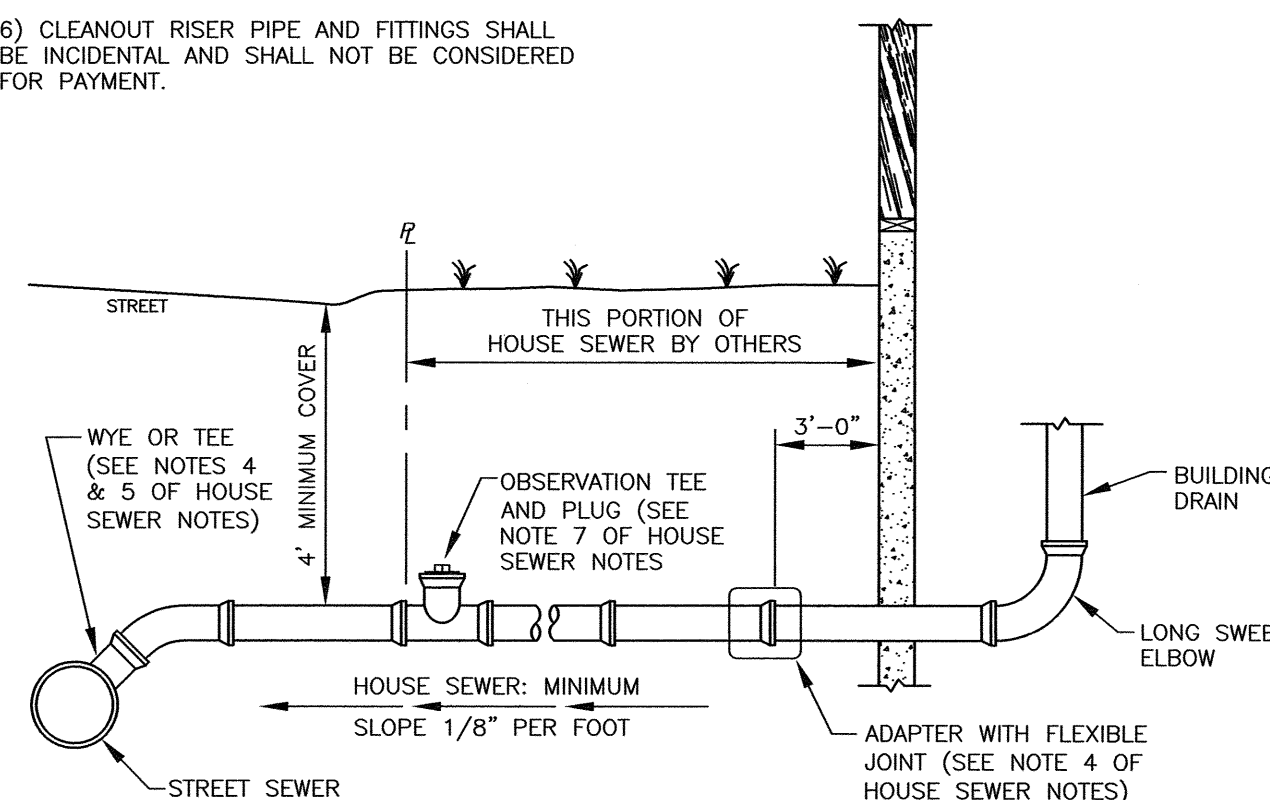
## **H** **D3** SHRUB & TREE PLANTING DETAIL NTS

---

(SHRUB PLANTING DETAIL APPLIES TO EVERGREEN AND DECIDUOUS SHRUBS)

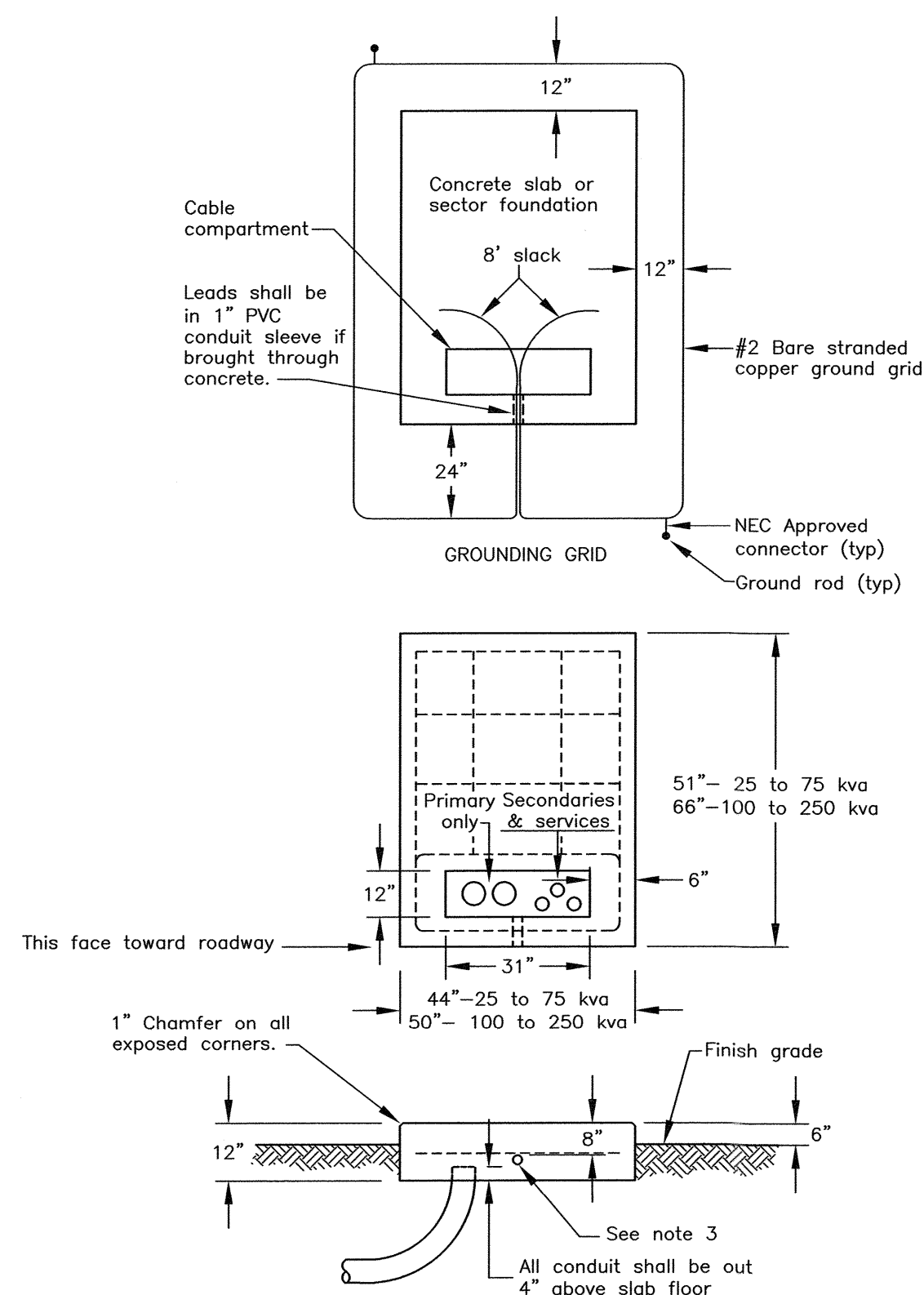
SERVICE CONNECTION NOTES:

- 1) SEE NOTES FOR SERVICE CONNECTION REQUIREMENTS.
- 2) SERVICE CONNECTION SHALL BE INSTALLED BELOW WATER MAIN WHERE POSSIBLE.
- 3) CLEAUNOUTS SHALL BE INSTALLED AT EACH SERVICE CONNECTION.
- 4) REBAR SHALL BE PLACED AT SIDE OF CLEAUNOUT.
- 5) CLEAUNOUT SHALL BE USED TO PLUG AND PATCH WITH REPAIRS WITH MINIMAL INTERRUPTION TO OPERATION OF HOMEOWNER SANITARY SYSTEM.
- 6) CLEAUNOUT RISER PIPE AND FITTINGS SHALL BE INCIDENTAL AND SHALL NOT BE CONSIDERED FOR PAYMENT.

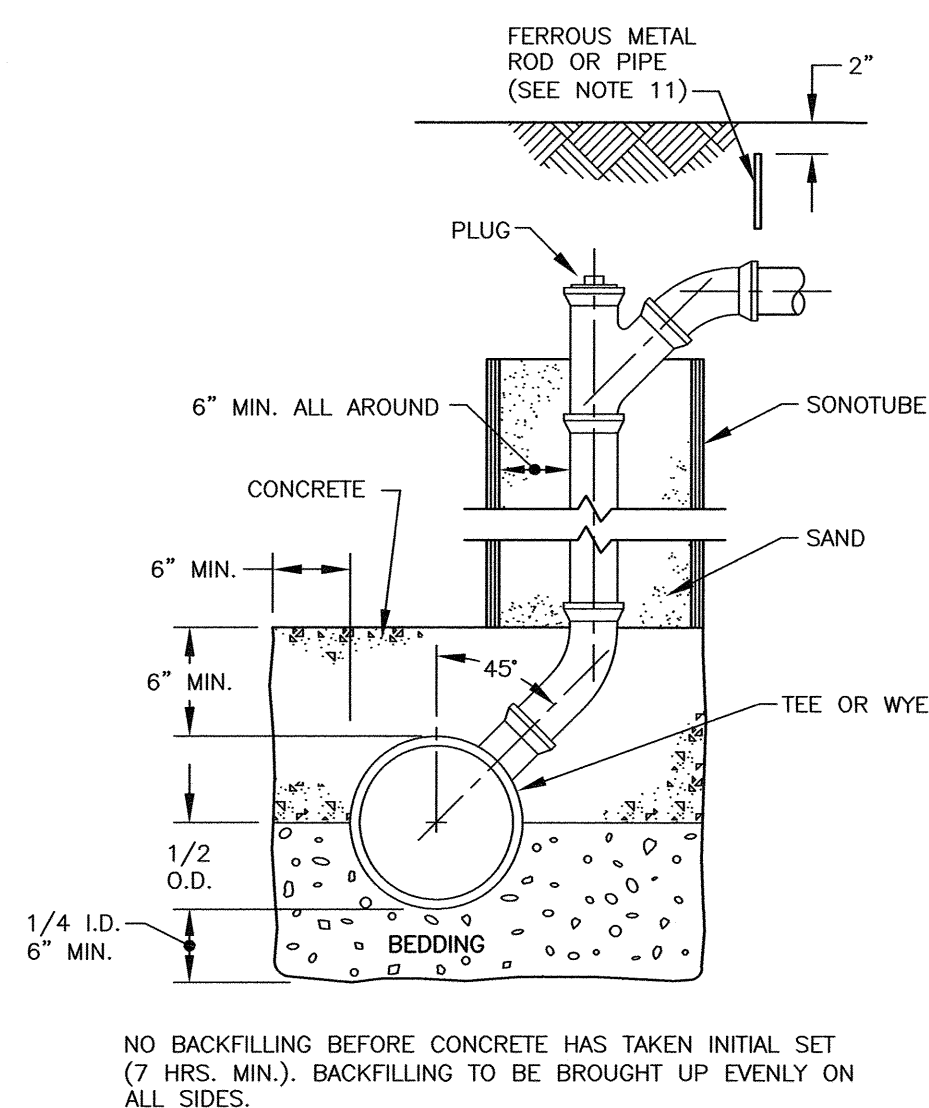


## HOUSE SEWER NOTES

- 1) MINIMUM PIPE SIZE FOR HOUSE SERVICE SHALL BE FOUR INCHES.
- 2) PIPE AND JOINT MATERIALS:
- A. PLASTIC SEWER PIPE
1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
- | ASTM STANDARDS | GENERIC PIPE MATERIAL | SIZES APPROVED              |
|----------------|-----------------------|-----------------------------|
| D3034          | *PVC (SOLID WALL)     | 8" THROUGH 15" (SDR 35)     |
| F679           | PVC (SOLID WALL)      | 18" THROUGH 27" (T-1 & T-2) |
| F789           | PVC (SOLID WALL)      | 4" THROUGH 18" (T-1 & T-3)  |
| 7794           | PVC (RIBBED WALL)     | 8" THROUGH 36"              |
| D2680          | *ABS (COMPOSITE WALL) | 8" THROUGH 15"              |
- \*PVC: POLYVINYL CHLORIDE  
\*ABS: ACRYLONITRILE-BUTADIENE-STYRENE
2. JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON BELL AND SPIGOT TYPE.
- ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680. POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 322).
- JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.
- B. DUCTILE IRON PIPE, FITTINGS AND JOINTS.
1. DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
- A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.
- A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND LINED MOLDS FOR WATER OR OTHER LIQUIDS.
2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
- A21.11 RUBBER GASKET JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS.
- 3) DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- 4) JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL TIGHTNESS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
- 5) HOUSE SEWER INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND REFILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES. THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/8TH INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.
- 6) TESTING: THE COMPLETED HOUSE SEWER SHALL BE SUBJECTED TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING)
- A. AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND WHEN READY FOR TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENINGS IN THE TEE. AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
- B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER, TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS OR, IF TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.
- C. DRY FLUORESCENE DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER, OR IF THE TRENCH IS WET, GROUNDWATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST DOWN STREAM MANHOLE.
- LEAKAGE OBSERVED IN ANY ONE OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG UP IF NECESSARY AND RE-LAID SO AS TO ASSURE WATER TIGHTNESS.



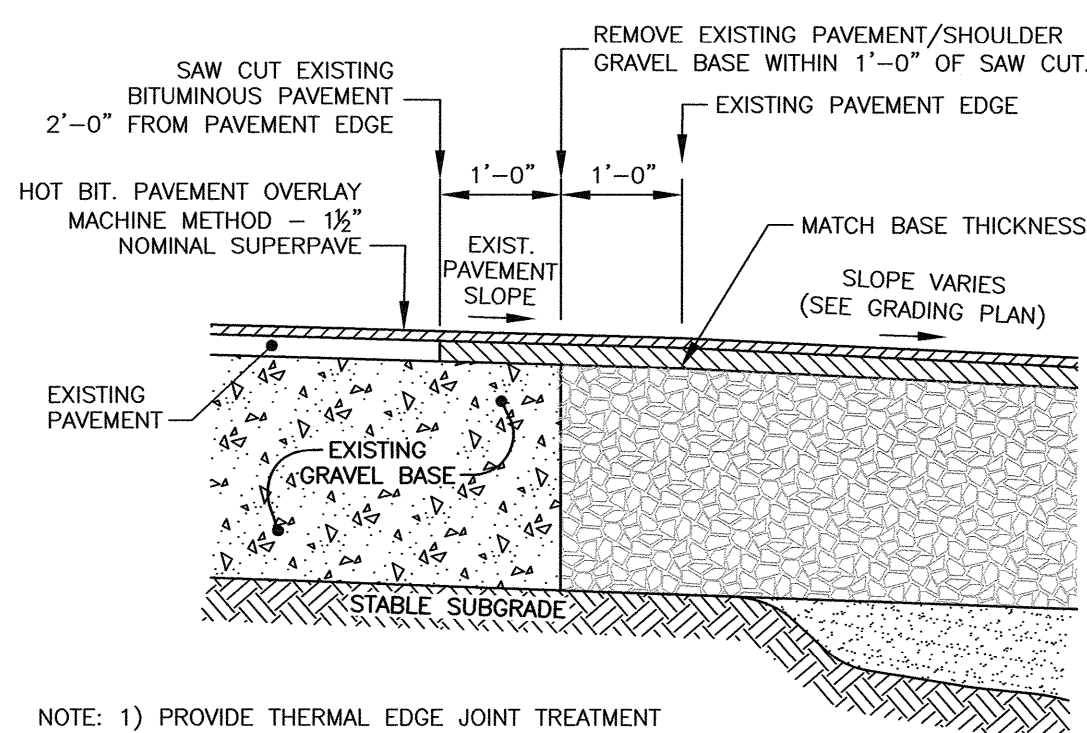
- NOTES
1. See sheet "Requirements for Padmounted Transformer Slab Details".
  2. All reinforcing to be #6 bars.
  3. 1" PVC conduit sleeve for ground grid leads.
  4. The ground grid shall be supplied and installed by the customer and is to be buried at least 12" below grade. Eight feet of extra wire for each ground grid lead shall be left exposed in the cable compartment to allow for the connection to the transformer. The two 8' ground rods may be either galvanized steel or copperweld and they shall be connected to the grid with NEC approved connectors.



K  
C3

SEWER CHIMNEY

NOT TO SCALE



# L C3 PAVEMENT JOINT DETAIL NTS

**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors

---

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

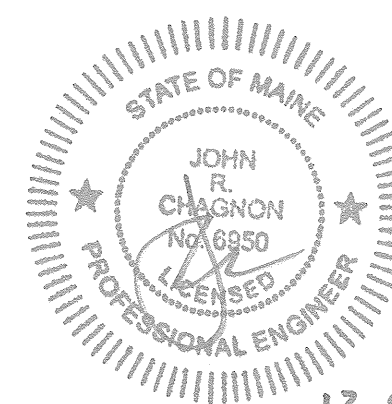
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE. (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMP'S" PUBLISHED BY THE MAINE D.E.P. IN 2016.

SITE REDEVELOPMENT  
39 BADGERS ISLAND WEST  
KITTERY, ME

0	ISSUED FOR COMMENT	12/8/22
NO.	DESCRIPTION	DATE

## REVISIONS



12.8.22

SCALE: AS SHOWN      DECEMBER 2022

## DETAILS

D3