



## RICE LIBRARY BUILDING COMMITTEE

April 26, 2023

6:00PM

AGENDA



1. Project Update
  - a. Outstanding Items/Warranty Info
  - b. Budget Update
  - c. Library's Supplemental Requests (furniture/tech/etc)
  
2. Subcommittee Updates
  - a. Children's Garden Update
  - b. Signage Update
  
3. Next Steps
  - a. Action Items
  - b. Next Meeting

### Materials:

- Project Budget Report
- Supplemental Request List
- Children's Garden Final Cost Estimate
- Signage Bid Response

This meeting will be held remotely in accordance with 1 MRS §403-B and Town Policy. The public may view the meeting via Zoom webinar. [Click here](#) to register for the webinar.

RICE PUBLIC LIBRARY  
 END OF PROJECT ESTIMATED  
 April 24, 2023

PHASE	ALLOCATED		SPENT TO DATE	ANTICIPATED/ ENCUMBERED	REMAINING
	CONSTRUCTION BUDGET	FUNDRAISED FUNDS			
<b>Soft Costs</b>					
<i>Design and Engineering</i>					
Existing Conditions	19,000		19,000		-
Programming	7,500		7,500		-
SDs	105,000		105,000		-
Intitial Permitting	5,000		5,000		-
Phase 1 Cost Estimating	4,000		4,000		-
DDs	105,000		105,000		-
Final Permits & Approvals	12,000		12,000		-
Phase 2 Cost Estimating	-		-		-
CDs	123,000		123,000		-
Bidding & Negotiating	12,800		12,800		-
CA - Shop Drawings, Requisite Reviews, 24 Site visits (+ 1 )	54,000		54,000		-
<i>Other CA - Time and Materials</i>					
Site Plan	3,200		3,200		-
Geo Tech	7,345		7,345		-
Signage Design			-		-
Winterholben Donor and Plaque Design*	10,000		-		10,000
Reimbursables	8,000		6,751		1,249
<b>Subtotal Design &amp; Engineering</b>	<b>475,845</b>		<b>464,596</b>	<b>-</b>	<b>11,249</b>
<b>Misc Owner Soft Costs</b>					
<b>Misc Expenses</b>	<b>2,000</b>		<b>10,952</b>	<b>-</b>	<b>(8,952)</b>
<b>Bonding</b>	<b>9,566</b>		<b>9,999</b>	<b>(5,355)</b>	<b>4,922</b>
<b>Permit Fees</b>	<b>5,472</b>		<b>5,599</b>	<b>-</b>	<b>(128)</b>
<b>Legal</b>	<b>15,000</b>		<b>15,115</b>	<b>-</b>	<b>(115)</b>
<b>Relocation Services (previously Construction Phasing)</b>	<b>93,000</b>		<b>106,790</b>	<b>-</b>	<b>(13,790)</b>
<b>Preconstruction Services (WR)</b>	<b>58,000</b>		<b>55,246</b>	<b>-</b>	<b>2,754</b>
<b>Owner Representative / Clerk of the Works</b>	<b>130,000</b>		<b>130,500</b>	<b>-</b>	<b>(500)</b>
<b>Signage Fabrication</b>	<b>10,000</b>	<b>35,000</b>	<b>23,150</b>	<b>3,500</b>	<b>18,350</b>
Winterholben Design (Donor & Sign design)				2,000	
Monumental Signage <sup>2</sup>					
Additional Bldg Signage & Donor Signage <sup>^</sup>					
NEH interpretive signage*				1,500	
<b>Misc Consultants and Contracts <sup>3</sup></b>	<b>44,000</b>	<b>32,593</b>	<b>103,360</b>	<b>21,600</b>	<b>(48,367)</b>
Fairpoint/Power Connection*				20,000	
Impact Fire (Emergency light replacement)				1,600	
<b>FFE (includes consulting)</b>	<b>243,110</b>		<b>245,567</b>		<b>(2,457)</b>
<b>Technology/Security Consulting</b>	<b>13,000</b>		<b>6,656</b>		<b>6,344</b>
<b>Technology Hard Costs</b>	<b>85,000</b>	<b>126,132</b>	<b>199,722</b>	<b>10,000</b>	<b>1,410</b>
Chromebooks and Cart				-	
Additional Auto Door Locks <sup>^</sup>				10,000	
<b>Capital Campaign Consultant</b>	<b>50,000</b>		<b>50,004</b>	<b>-</b>	<b>(4)</b>
<b>Childrens Garden</b>		<b>78,000</b>	<b>7,178</b>	<b>10,322</b>	<b>60,500</b>
<b>Subtotal Soft Costs</b>	<b>1,233,993</b>	<b>271,725</b>	<b>1,434,433</b>	<b>40,068</b>	<b>31,217</b>
<b>Hard Costs</b>					
Construction (Reno & Exp) <sup>1</sup>	4,643,191	347,462	4,990,643		10
<b>Subtotal Hard Costs</b>	<b>4,643,191</b>	<b>347,462</b>	<b>4,990,643</b>	<b>-</b>	<b>10</b>
<b>Contingencies</b>					
Owner's Contingency	295,000		202,031		92,969
<b>Subtotal Contingencies</b>	<b>295,000</b>		<b>202,031</b>	<b>-</b>	<b>92,969</b>
<b>TOTAL</b>	<b>6,172,184</b>	<b>619,187</b>	<b>6,627,107</b>	<b>40,068</b>	<b>124,196</b>

Notes:

\* - WAG/estimate

<sup>^</sup> - based on signed contracts or submitted quotes

<sup>1</sup>. Add/Alts and other items funded by Fundraising accounted for in Budget v Fundraising

<b>Budget/Available Funds</b>		
Remaining Allocated Budget	\$	124,196
Remaining Unallocated Funds <sup>1</sup>	\$	135,729
	\$	<b>259,925</b>

<b>Wish List/Outstanding Items</b>	<b>Estimated Cost</b>	<b>Approved</b>
Addl Furniture	\$ 14,000	
Monumental Signage	24,194	
Other Site Signage	47,158	
Children's Garden	76,000	
South Lawn Landscaping	20,000	
Addl Cameras	15,000	
Addl Hose Bib	2,000	
Window shades Children's	1,500	
Addtl Art Hanging System	1,000	
	\$ 200,852	\$ -

<b>NET</b>	\$	<b>259,925</b>
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**RICE PUBLIC LIBRARY - CHILDREN'S GARDEN**

Landscape Construction PHASE 1 - Opinion of Probable Cost

V.2 03/29/2023

	unit	count	unit cost	low	high	average	notes
<b>SITWORK &amp; MATERIALS</b>							
Site Clearing	LS	1	\$2,000.00	\$ 1,700.00	\$ 2,300.00	\$ 2,000.00	Existing plant removal
Grading & Drainage	SF	7500	\$0.65	\$ 4,143.75	\$ 5,606.25	\$ 4,875.00	Based upon roughly 7,500 sf of grading area (LOW)
Trenching	LF	100	\$20.00	\$ 1,700.00	\$ 2,300.00	\$ 2,000.00	Stormwater trenching and piping between water & drainage features
Tree Protection	LS	1	\$500.00	\$ 425.00	\$ 575.00	\$ 500.00	For existing trees to remain
Drainage Structures	EA	4	\$750.00	\$ 2,550.00	\$ 3,450.00	\$ 3,000.00	Area drains and other drainage infrastructure
Piping & Fixtures	LF	100	\$3.00	\$ 255.00	\$ 345.00	\$ 300.00	Piping between water & drainage features
Dry Creek Bed & Rip-Rap	CY	20	\$55.00	\$ 935.00	\$ 1,265.00	\$ 1,100.00	Fill for stormwater features and dry creek bed
Cut & Fill	CY	25	\$30.00	\$ 637.50	\$ 862.50	\$ 750.00	Assumes fill needed for new grading
				<b>\$ 12,346.25</b>	<b>\$ 16,703.75</b>	<b>\$ 14,525.00</b>	<b>SUB-TOTAL</b>
<b>HARDSCAPE</b>							
Granite Slab	EA	8	\$1,000.00	\$ 6,800.00	\$ 9,200.00	\$ 8,000.00	18-24" wide, 1-2' thick 5-7' long; does not include reuse of existing slabs
Runnel	LF	60	\$45.00	\$ 2,295.00	\$ 3,105.00	\$ 2,700.00	6-8" wide custom fabricated metal runnel
Landscape Boulders	EA	25	\$55.00	\$ 1,168.75	\$ 1,581.25	\$ 1,375.00	AVG. cost per TON plus installation
Site Ammenities	LS	2	\$1,000.00	\$ 1,700.00	\$ 2,300.00	\$ 2,000.00	TBD; includes benches, receptacles, and other site specific features.
				<b>\$ 11,963.75</b>	<b>\$ 16,186.25</b>	<b>\$ 14,075.00</b>	<b>SUB-TOTAL</b>
<b>PLANTING</b>							
Existing Planting Buffer	EA	17	\$250.00	\$ 3,612.50	\$ 4,887.50	\$ 4,250.00	Re-planting of existing trees
Existing Specimen Trees	EA	2	\$400.00	\$ 680.00	\$ 920.00	\$ 800.00	Re-planting of existing trees
Existing Shrubs	EA	15	\$55.00	\$ 701.25	\$ 948.75	\$ 825.00	Re-planting of existing shrubs
Understory Planting Buffer	EA	25	\$115.00	\$ 2,443.75	\$ 3,306.25	\$ 2,875.00	Selected varieties, potted, includes labor
Herbaceous Understory	EA	125	\$12.00	\$ 1,275.00	\$ 1,725.00	\$ 1,500.00	Custom herbaceous mix of 2" plugs; includes labor
Lawn Establishment	SF	2800	\$3.00	\$ 7,140.00	\$ 9,660.00	\$ 8,400.00	Custom seed mix for lawn and other disturbed areas; includes labor
Mound Establishment	SF	2700	\$2.50	\$ 5,737.50	\$ 7,762.50	\$ 6,750.00	Custom meadow seed mix; includes labor
Soil Amendments	LS	1	\$500.00	\$ 425.00	\$ 575.00	\$ 500.00	Minerals, fertilization mixes, rock dust, etc.; depends on soil test results
Compost and/or Topsoil	CY	15	\$80.00	\$ 1,020.00	\$ 1,380.00	\$ 1,200.00	Based on ~1-2" of topsoil blend around plantings
Bark Mulch, Wood Chips, Straw	CY	20	\$75.00	\$ 1,275.00	\$ 1,725.00	\$ 1,500.00	Based on ~1-2" bark mulch over intensively planted areas, where needed
				<b>\$ 24,310.00</b>	<b>\$ 32,890.00</b>	<b>\$ 28,600.00</b>	<b>SUB-TOTAL</b>
				<b>\$ 48,620.00</b>	<b>\$ 65,780.00</b>	<b>\$ 57,200.00</b>	<b>LANDSCAPE TOTAL</b>
<b>WATER FEATURE ADD-ON</b>							
Entry Play Fountain							
Playground Hand Pump	EA	1	\$2,500.00	\$ 2,125.00	\$ 2,875.00	\$ 2,500.00	Pre-fabricated W/water storage (30 gal. OR SIM.), elevated for gravity feed
Stone Steps	EA	3	\$700.00	\$ 1,785.00	\$ 2,415.00	\$ 2,100.00	6-8" wide custom fabricated metal runnel
Landscape Stone	EA	8	\$125.00	\$ 850.00	\$ 1,150.00	\$ 1,000.00	AVG. cost per TON plus installation
Drainage Basin & Curb	LS	1	\$2,000.00	\$ 1,700.00	\$ 2,300.00	\$ 2,000.00	20-30 SF basin, 6-8" deep for passive play
Trenching & Tie-In	LF	35	\$25.00	\$ 743.75	\$ 1,006.25	\$ 875.00	
				<b>\$ 7,203.75</b>	<b>\$ 9,746.25</b>	<b>\$ 8,475.00</b>	<b>ADD-ON TOTAL</b>
				<b>\$ 55,823.75</b>	<b>\$ 75,526.25</b>	<b>\$ 65,675.00</b>	<b>GRAND TOTAL</b>

# RICE PUBLIC LIBRARY ANNE GRINELL MEMORIAL CHILDREN'S GARDEN

8 WENTWORTH ST, KITTERY, ME 03904



LOCATION MAP

## CLIENT

TOWN OF KITTERY  
200 Rogers Rd  
Kittery, Maine 03904  
(207) 439-0452

RICE PUBLIC LIBRARY  
8 Wentworth Street  
Kittery ME 03904  
207-439-1553

## LANDSCAPE ARCHITECT (client's representative)

WHOLE SYSTEMS DESIGN COLLECTIVE, LLC  
192 York Street  
Unit 12  
York, ME 03902  
(802) 522-9940  
www.wsdcollective.com

## GENERAL NOTES

1. Perform all work according to the following:  
These General Notes, all other Notes on each sheet, Construction Documents, and Specifications.  
All applicable local, state, and federal codes, ordinances and regulations.
2. The Landscape Contractor will familiarize himself/ herself with the project site and existing conditions prior to bidding the project and again prior to initiating construction. All existing roads, parking lots, curbs, utilities, sewers and other elements to remain shall be fully protected from any damage unless otherwise noted.
3. On-site verification of all dimensions and conditions shall be the responsibility of the Landscape Contractor. Verify locations of pertinent site improvements installed under other contracts. If any part of this plan cannot be followed due to site conditions, contact client's representative for instructions prior to commencing work.
4. The source of surveyed base information, existing and/or as-built conditions is provided by Sebago Technics, Inc. and is assumed to be correct. Report any discrepancies immediately to the client's representative.
5. Coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the Landscape Contractor's own work.
6. Contact local underground utility services for utility location and identification prior to commencing work.
7. The Landscape Contractor will perform any required excavation in the vicinity of underground utilities with care and by hand, if necessary. The contractor bears full responsibility for this work and disruption of damage to utilities shall be repaired immediately and at no expense to the owner.
8. The Landscape Contractor will provide and maintain all necessary safety measures during construction operations to protect the public according to all applicable codes and recognized local practices.
9. The Landscape Contractor will coordinate access and staging areas with the client's representative.
10. Noted dimensions take precedence over scale, larger scale over smaller scale, addenda and clarifications over previous documents.
11. For dimensions of existing buildings, recent building improvements, and related work, refer to previous improvements and architectural drawings.
12. Maintain all existing erosion and sedimentation control measures during construction. Provide additional measures as necessary to minimize adverse impacts to the water bodies, existing parking lots, etc., according to all applicable federal/ state law and regulations.
13. The Landscape Contractor will leave the work area in a clean and orderly manner at the end of each working day. Rubbish and debris shall be collected and legally deposited off site daily. All materials, products, and equipment shall be stored in an organized fashion as directed by client's representative and client.

## ABBREVIATIONS

&	and
X	times
AC	acre
AG	agricultural
AVG	average
APPROX.	approximately
BOS	Bottom of stairs
BOW	Bottom of wall
CE	civil engineer
CA	caliper
COB	corner of building
CONC.	concrete
CONS.	construction
CY	cubic yard
DIA.	diameter
EA	each
EL	elevation
EQ	equal
EQ	existing
FL	flow line
FT	feet
GAL.	gallon
INV	invert
LF	linear feet
LS	lump sum
LP	low point
MAX	maximum
MIN.	minimum
PIP.	poured in place
REIN	reinforce
SF	square foot
SIM.	similar
TOR	top of ramp
TOS	top of stair
TOW	top of wall
V.I.F.	verify in field
W/	with

## SHEET INDEX

L-000	Cover Sheet & General Notes
L-010	Notes & Schedules
L-101	Survey of Existing Conditions
L-102	Demolition & Site Preparation Plan
L-103	Grading & Drainage Plan and Details
L-104	Layout & Materials Plan
L-105	Planting Plan
L-201	Plan Enlargements
L-202	Material Details
L-203	Planting Details



GENERAL NOTES  
Notes

DATE  
04/20/23

PROJECT  
RICE PUBLIC LIBRARY  
COVER SHEET

SHEET NO.  
L-000

SCALE  
N/A  
0 8' 16' 1"

DRAWN BY  
LLA, NJM

STAMP  
NOT FOR CONSTRUCTION

GENERAL NOTES

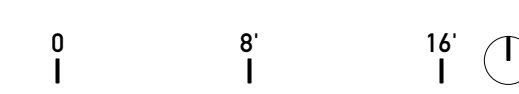
Notes

DATE  
 04/20/23

PROJECT  
**RICE PUBLIC LIBRARY**  
 SURVEY OF  
 EXISTING  
 CONDITIONS

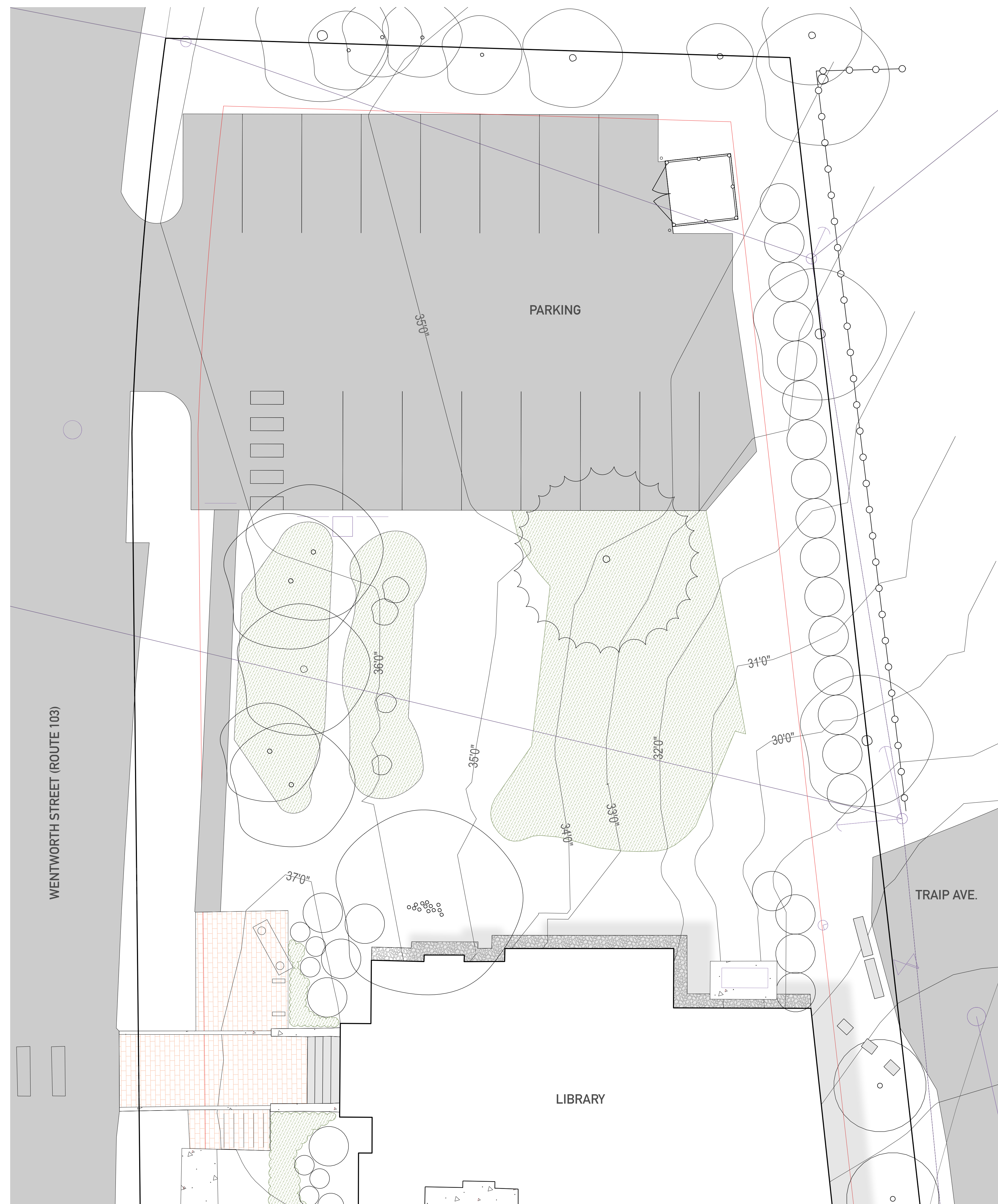
SHEET NO.  
**L-101**

SCALE  
 1/8"=1'0"



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 LLA, NJM

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**NOT FOR CONSTRUCTION**



LEGEND

- PROPERTY BOUNDARY
- 10' PROPERTY SETBACK
- EXISTING 1' CONTOUR
- LIMIT OF WORK
- EXISTING UTILITIES
- EXISTING FENCELINE
- LIBRARY

EXISTING CONDITIONS LEGEND

- ASPHALT PAVING
- CONCRETE PAVING
- BRICK PAVING
- GRAVEL
- STONE FEATURE(S)
- PLANTING BED
- TREE

GENERAL NOTES

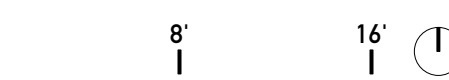
Notes

DATE  
04/20/23

PROJECT  
**RICE PUBLIC LIBRARY  
DEMOLITION &  
SITE PREP PLAN**

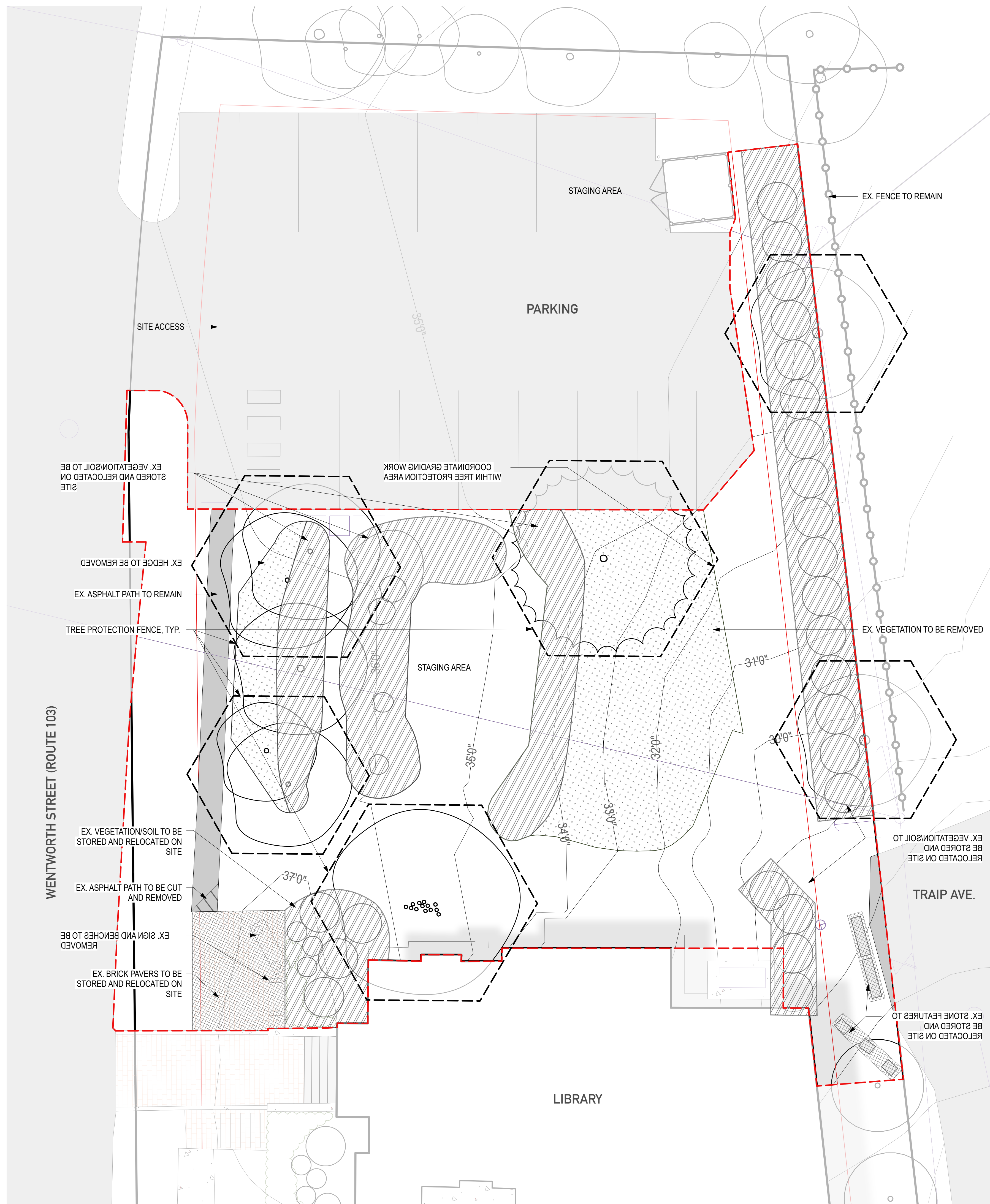
SHEET NO.  
**L-102**

SCALE  
1/8"=1'0"



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LLA, NJM

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**NOT FOR CONSTRUCTION**



**LEGEND**

- PROPERTY BOUNDARY
- 10' PROPERTY SETBACK
- EXISTING 1' CONTOUR
- LIMIT OF WORK
- EXISTING UTILITIES
- EXISTING FENCELINE
- LIBRARY

**SITE PREP LEGEND**

- EXISTING TREE TO REMAIN
- VEGETATION PROTECTION FENCING
- CLEARED VEG
- SELECTIVELY RELOCATED VEG & SOIL
- EXISTING PAVING TO BE REMOVED
- EXISTING PAVING TO BE RELOCATED

GENERAL NOTES  
Notes

- LEGEND**
- PROPERTY BOUNDARY
  - 10' PROPERTY SETBACK
  - EXISTING 1' CONTOUR
  - LIMIT OF WORK
  - EXISTING UTILITIES
  - AREA DRAIN
  - OUTFALL DRAIN
  - EXISTING FENCELINE
  - LIBRARY

- GRADING LEGEND**
- PROPOSED 1' CONTOUR
  - PROPOSED SPOT ELEVATIONS
  - DRAINAGE SWALE
  - UNDERGROUND PIPE
  - POTENTIAL STORMWATER MANAGEMENT AREA

- GRADING NOTES**
1. Maintain all existing erosion and sedimentation control measures during construction. Provide additional measures as necessary to minimize adverse impacts to the water bodies, existing parking lots, etc., according to all applicable federal/ state law and regulations.
  2. Refer to civil engineer's grading plans for all drainage swales, underground pipe, and other stormwater management infrastructure elevations unless noted. Match grades with existing conditions. All hardscape and access surfaces shall have a cross slope no greater than 2% unless otherwise noted.
  3. Walls, fences, ramps, stairs, and walks are to be staked in the field and final location is to be approved by client's representative.
  4. All structural elements in this drawing package including, but not limited to; footings, walls, access routes, underground pipes and outflow structures shall be reviewed and verified or adjusted in field by the consulting civil engineer or similar prior to construction.
  5. The contractor, prior to beginning any underground excavation, boring, pile driving, blasting or planting must first ensure an excavation permit from the appropriate agencies has been received. The contractor shall comply with state and local laws and regulations regarding notification of existing gas and oil pipelines. Evidence of such notice shall be furnished to the client's representative prior to excavating. The contractor shall coordinate fully with the client's representative for all excavation permits and notification necessary prior to initiating all work.
  6. The Landscape Contractor shall be responsible for positive drainage throughout the site with accurately set flow lines. No low spots or ponding of surface water will be accepted in the final work.

DATE  
04/20/23

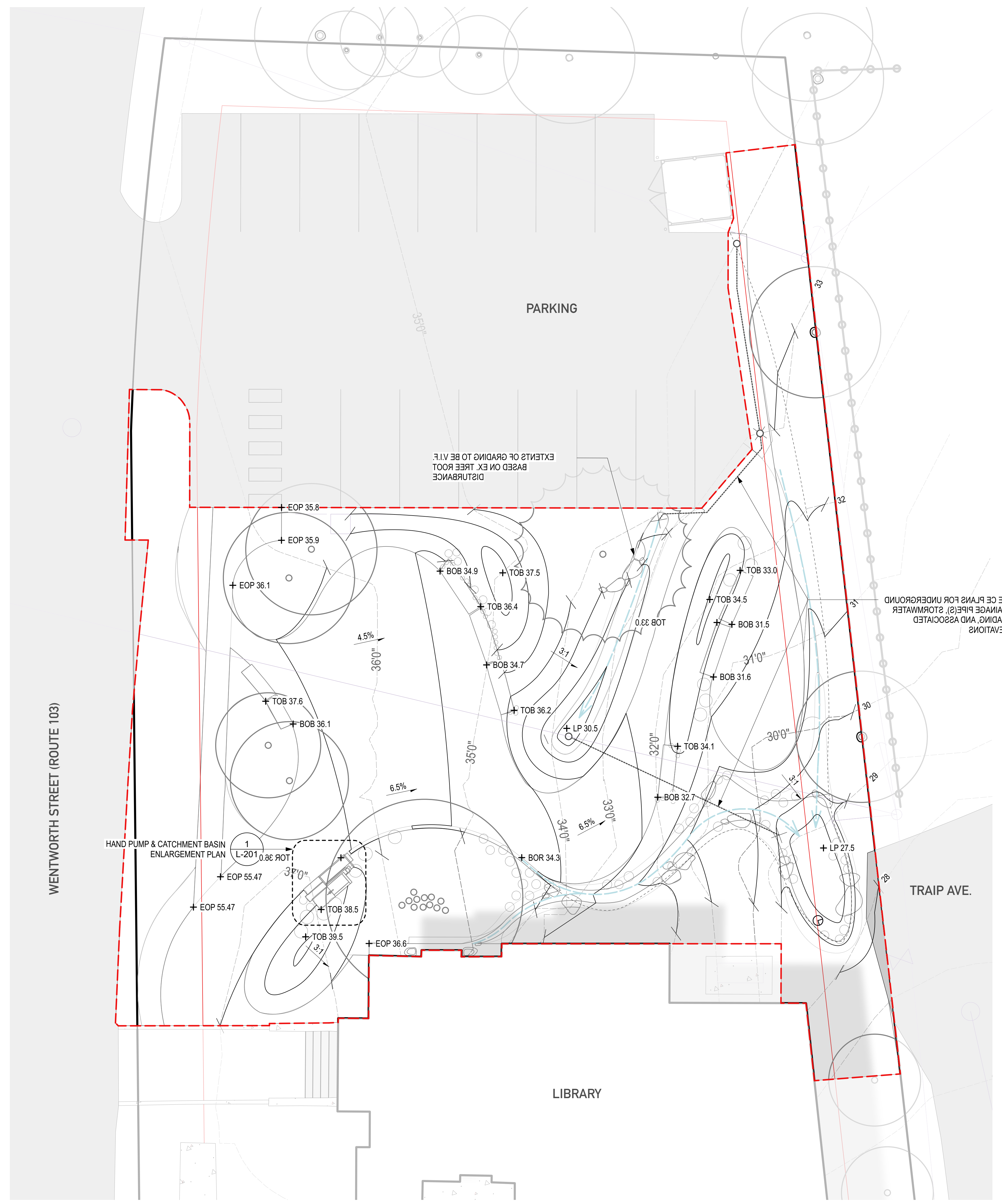
PROJECT  
**RICE PUBLIC LIBRARY**  
GRADING &  
DRAINAGE PLAN

SHEET NO.  
**L-103**

SCALE  
1/8"=1'0"  
0 8' 16' 1"

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WENTWORTH STREET (ROUTE 103)

TRAIPI AVE.

PARKING

LIBRARY

HAND PUMP & CATCHMENT BASIN  
ENLARGEMENT PLAN  
1  
L-201  
0.86 ROT

EXTENTS OF GRADING TO BE V.I.F.  
DISTANCE BASED ON EX. TREE ROOT  
DISTANCE

SEE CE PLANS FOR UNDERGROUND  
DRAINAGE PIPE(S) & STORMWATER  
GRADING AND ASSOCIATED  
ELEVATIONS



GENERAL NOTES  
Notes

LEGEND

- PROPERTY BOUNDARY
- 10' PROPERTY SETBACK
- EXISTING 1' CONTOUR
- LIMIT OF WORK
- EXISTING UTILITIES
- AREA DRAIN
- OUTFALL DRAIN
- EXISTING FENCELINE
- LIBRARY

HARDSCAPE LEGEND & SCHEDULE

SYMBOL	MATERIAL	QTY.	UNIT	NOTES	DETAIL	SPEC.
	Relocated Brick	50	SF	Used at north entry access to garden from existing parking area	2 / L-202	2.7
	Riverstone	465	SF	Washed stone, 3-6 IN AVG. in gray tones to be used at downspouts and dry creek beds	7 / L-202	2.8
	Crushed Stone	125	SF	Crushed 3/4 to 1 1/2 IN. stone in gray tones to be used in drainage swale; SEE CE plans	3 / L-202	2.9, 2.10
	Monolithic Granite Bench	11	EA	2'-6" x 1'-6" x varying lengths monolithic granite slab set on grade at meadow and mounds	5, 6 / L-202	
	Natural Stone Bird Bath	2	EA	Native boulders with recessed face for natural bird bath located at downspouts	1 / L-202	
	Native Boulders	30	EA	Medium to large native boulders set on grade in dry creek bed and used for grade retention	7 / L-202	2.9, 2.12
	Hand Pump Fountain			See L-201 for schedule	L-201	

HARDSCAPE & LAYOUT NOTES

- Landscape Contractor to lay out hardscape elements and verify layout with client's representative prior to construction. Hardscape elements are dimensioned on the Layout & Materials Plan. Any discrepancies or conflicts with existing conditions or other drawings shall be reported to the client's representative immediately for proper clarification or adjustment.
- All pavement shall be staked in the field using layout geometry indicated on the site layout plans. Prior to construction, alignment may be adjusted to accommodate existing drain inlets, manholes, or other site elements. The contractor shall be responsible for coordinating the location of all drain inlets, catch basins, yard drains and manholes indicated on the plans.
- Walls, fences, ramps, stairs, walks and trellises are to be staked in the field and final location is to be approved by client's representative prior to construction.
- All pavement joints are to be parallel, perpendicular or tangent to adjacent lines unless noted otherwise. Layout any curvilinear joints or features as indicated on the drawings for approval by client's representative prior to construction.
- All dimensions are to edge of pavement unless otherwise noted.
- All pavement surfaces shall be constructed to positively drain away from vertical elements such as buildings, walls, columns, etc. toward and into drainage structures shown on the civil engineer's drawings. Walkways located with existing tree areas shall be located in the field to minimize disturbance of existing trees.
- All angles are 45 degrees or 90 degrees unless otherwise noted.
- Written dimensions will prevail on this plan.
- Where dimensions are called as "equal," space referenced items equally, measured to their centerlines.
- Measurements are to face of building, wall or fixed site improvement. Dimensions to center lines is as indicated.
- Install intersecting elements at 90 degree angles to each other unless otherwise noted.
- All structural elements in this drawing package including, but not limited to; footings, walls, columns, fountains shall be reviewed and verified or adjusted in field by contractor's structural engineer prior to construction of such items.
- Contractor is to provide shop drawings and field mockups to the client's representative for final review and approval prior to construction for the following items:
  - all paving types,
  - all element types in the hardscape schedule.

DATE  
04/20/23

PROJECT  
RICE PUBLIC LIBRARY  
LAYOUT &  
MATERIALS PLAN

SHEET NO.  
L-104

SCALE  
1/8"=1'0"  
0 8' 16'

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LLA, NJM

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**GENERAL NOTES**  
**Notes**

DATE  
04/20/23

PROJECT  
**RICE PUBLIC LIBRARY PLANTING PLAN**

SHEET NO.  
**L-105**

SCALE  
1/8"=1'0"

DRAWN BY  
**LLA, NJM**

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**NOT FOR CONSTRUCTION**

**PLANT LEGEND & SCHEDULE**

SYMBOL	LATIN NAME	COMMON NAME	QTY.	INSTALL SIZE	MATURE SIZE	SPACING	NOTES	DETAIL	SPEC.
<b>MULCHES &amp; GROUNDCOVERS</b>									
	straw		670 SF						
	wood chips		1400 SF						
<b>Low Maintenance Lawn Mix</b>									
	Festuca spp.	Fescue mix	2800 SF	N/A	N/A	N/A	low mow seed mix of fescues & clover, mown as needed		
	Trifolium spp.	Red, White, Crimson Clover	20%				ready-made mixes W/50% composition are acceptable		
<b>Mound Meadow Mix</b>									
	Panicum virgatum	Switchgrass	1500 SF	N/A	N/A	N/A	mix of grasses and flowering herbaceous plants; ready-made mixes W/50% composition are acceptable		
	Schizanthus scapularum	Little Bluestem	30%						
	Diata purpurea	Purple Prairie Clover	15%						
	Asclepias syriaca	Common Milkweed	5%						
	Asclepias tuberosa	Butterfly weed	5%						
	Echinacea purpurea	Purple Coneflower	5%						
	Eurybia divaricata	White Wood Aster	5%						
	Helopsis helianthoides	False Sunflower	5%						
	Leucanthemum x superbum	Shasta daisy	5%						
	Monarda didyma	Bee balm	5%						
<b>Temporary Groundcover</b>									
	Secale cereale	Rye grass	970 SF				cover-crop seed mix for temporary groundcover in areas to be disturbed by future projects		
	Trifolium spp.	Red and White Clover	75%						
	Raphanus spp.	Tillage radish	15%						
			10%						
<b>Rain Garden Mix</b>									
	Carex pensylvanica	Oak Sedge	325 SF	N/A	N/A	N/A	mix of grasses and forbs in stormwater management areas (periodic mounding) and along dry creek bed features		
	Deschampsia cespitosa	Tufted Hairgrass	60%						
	Schizanthus scapularum	Little Bluestem	20%						
<b>Self-Seeding Flower Mix</b>									
	Cosmos bipinnatus	Cosmos	250 SF				showy mix of annual flowers; used as temporary seasonal screening		
	Helianthus annuus	Annual sunflower	15%						
	Fagopyrum esculentum	Buckwheat	50%						
	Zinnia elegans	Common zinnia	20%						
			15%						
<b>HERBACEOUS PERENNIALS</b>									
BA	Baptisia australis	Blue false indigo	8	2" plugs	3-4' h. x 3-4' w.	42" O.C.			
DM	Dryopteris marginalis	Marginal wood fern	42	2" plugs	2-3' h. x 1-2' w.	2' O.C.			
ES	Echinacea purpurea	Purple coneflower	65 SF	2" plugs	2-5' h. x 1-2' w.	18" O.C.			
HH	Helopsis helianthoides	False sunflower	18	2" plugs	3-6' h. x 2-3' w.	30" O.C.			
HS	Hosta sp.	Hosta	10	1 gal.	18" h. x 30-36" w.	40" O.C.			
ES	Leucanthemum x superbum	Shasta daisy	135 SF	2" plugs	2-3' h. x 1-2' w.	18" O.C.			
PS	Monarda fistulosa	Wild bergamot	60 SF	2" plugs	2-3' h. x 2-3' w.	18" O.C.			
PS	Paeonia sp.	Peony	3	1 gal.	2-3' h. x 1-2' w.	3' O.C.			
ES	Sedum sp.	Stonecrop	15	quart	18-24" h. x 18-24" w.	2' O.C.			
ES	Sempervivum tectorum	Hens & chicks	35	quart	8" h. x 1' w.	10" O.C.			
<b>SHRUBS &amp; UNDERSTORY TREES</b>									
	Cercis canadensis	Redbud	1	-	20-30' h. x 15-35' w.	per plan	Relocated from current position		
	Cornus kousa	Japanese dogwood	1	-	15-25' h. x 25' w.	per plan	Relocated from current position		
	Ilex glabra	Inkberry	13	2 gal.	6-9' h. x 6-12' w.	per plan			
	Hydrangea sp.	Hydrangea	2	-	6' h. x 6' w.	per plan	Relocated from current position		
	Rhododendron sp.	Rhododendron	6	-	5-15' h. x 5-12' w.	per plan	Relocated from current position		
	Thuja occidentalis	Arborvitae	13	-	6-10' h. x 6-10' w.	per plan	Relocated from current position		
	Vaccinium angustifolium	Lowbush blueberry	45	1 gal.	6-24" h. x 2-3' w.	24" O.C.	50% cultivar with 12-18" height + 50% cultivar with 24-36" height		
	Vaccinium corymbosum	Highbush blueberry	8	3 gal.	6-10' h. x 6-10' w.	per plan	50% cultivar with 12-18" height + 50% cultivar with 24-36" height		
	Viburnum opulus	Highbush Cranberry	3	-	8-12' h. x 10' w.	per plan	Relocated from current position		
	Weigela florida	Old fashioned weigela	2	-	1-3' h. x 18-72" w.	per plan	Relocated from current position		

**PLANTING NOTES**

- Landscape Contractor shall provide per-unit costs for every size of plant materials, and by type, as called out on planting plans. Unit cost to include the plant material itself and installation, including all labor, as detailed and specified for each size.
- Coordinate installation of large plant material with installation of wall footings, pavements and curb and gutter. Any damage to improvements by others is the responsibility of the Landscape Contractor.
- The contractor shall supply all plant materials in quantities sufficient to complete the planting shown on all drawings. Landscape Contractor is responsible for confirmation of final plant counts. All material shall be free of disease or pests and conform to the guidelines established by the current American Standard for Nursery Stock, published by the American Association of Nurserymen. All plants shall be sized and/or grown as specified. No plant material will be accepted if it is root bound. All root wrapping shall be removed at time of planting.
- No plant shall be put into the ground before rough grading has been finished and approved by client's representative.
- All plants shall bear the same relationship to finished grade as the plant's original grade before digging.
- On-site location of all plant materials shown may vary according to site conditions; adjustments are often necessary for best results. Final locations of all plant material shall be V.I.F. before planting by client's representative. The client's representative and/or the client reserve the right to adjust the location of plant material during installation as appropriate to the project.
- Soil preparation shall be done before planting, see specifications. The Landscape Contractor shall allow for the addition of specified quantities of soil amendments and conditioners in soil preparation and finish grading.
- The Landscape Contractor is responsible for establishing the sub-grade elevations, including excavation, removal and disposal at an approved location, and responsible to furnish and install amended import soil in any planting areas as necessary to achieve the specified finish planting grades. Imported soil shall be free of unwanted seeds.
- Trees and shrubs shall be installed prior to planting groundcover.
- Mulches shall be applied at MIN. of 2 inches thick over planting areas as specified. Mulch must be approved by client's representative.
- All plant shall be installed as per details and any pertinent contract specifications.
- All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered weekly, if necessary during the first growing season.
- Remove all existing vegetation, organic and inorganic materials that would be detrimental to plant growth from all areas to be planted.
- Size of all plant material is shown at projected APPROX. 2/3 of maturity. Selective pruning, thinning, dividing, and potential future removal will be needed for all plants listed.
- Plant selection is based on availability. Contractor may substitute plant materials with authorization of client's representative.
- Landscape Contractor to supply a full material and labor warranty on all plants installed as agreed on between contractor and client.
- All locations of existing trees to remain as shown are approximate and meant for planning purposes only. Existing trees to remain must be located and V.I.F.

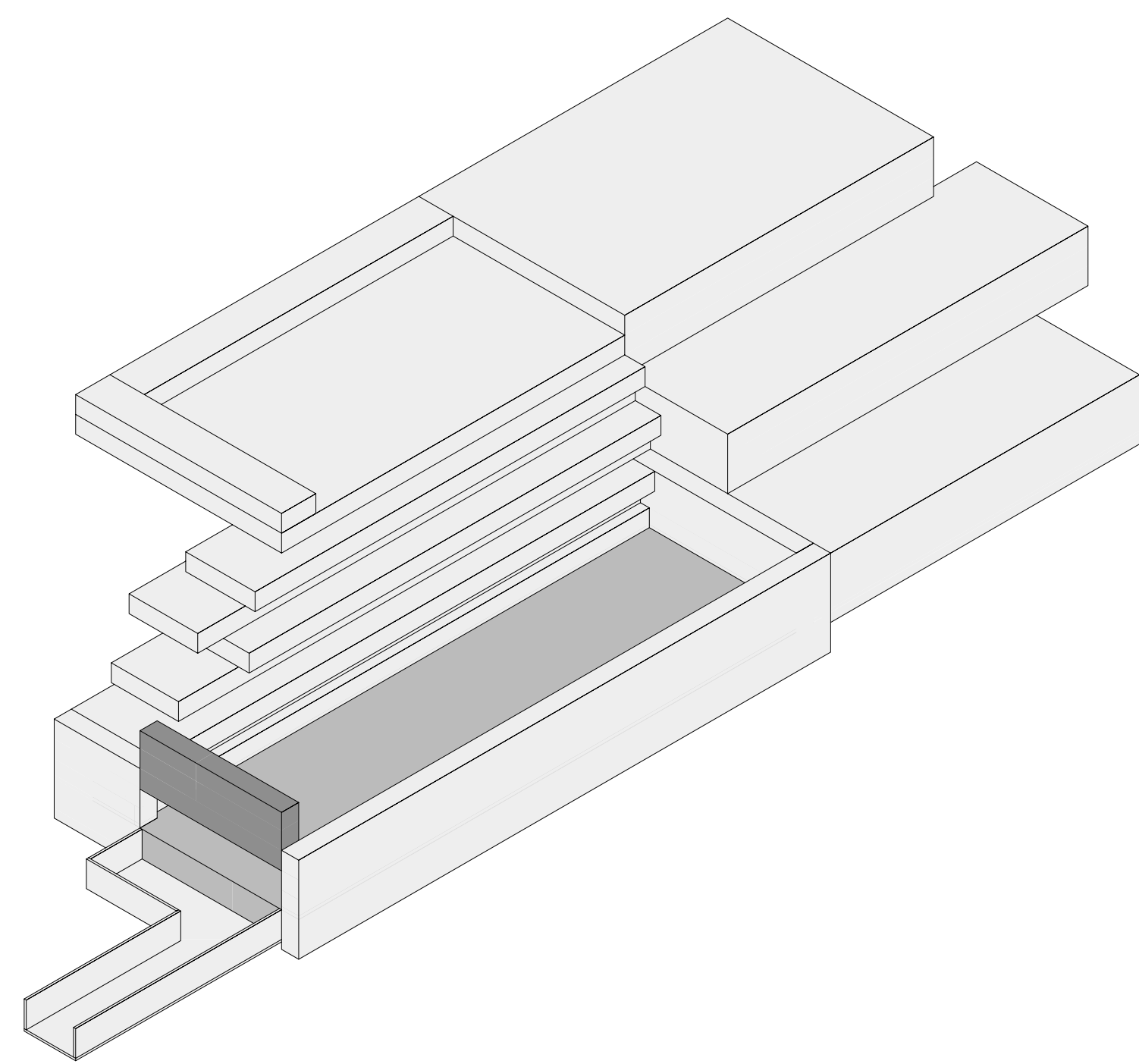


WENTWORTH STREET (ROUTE 103)

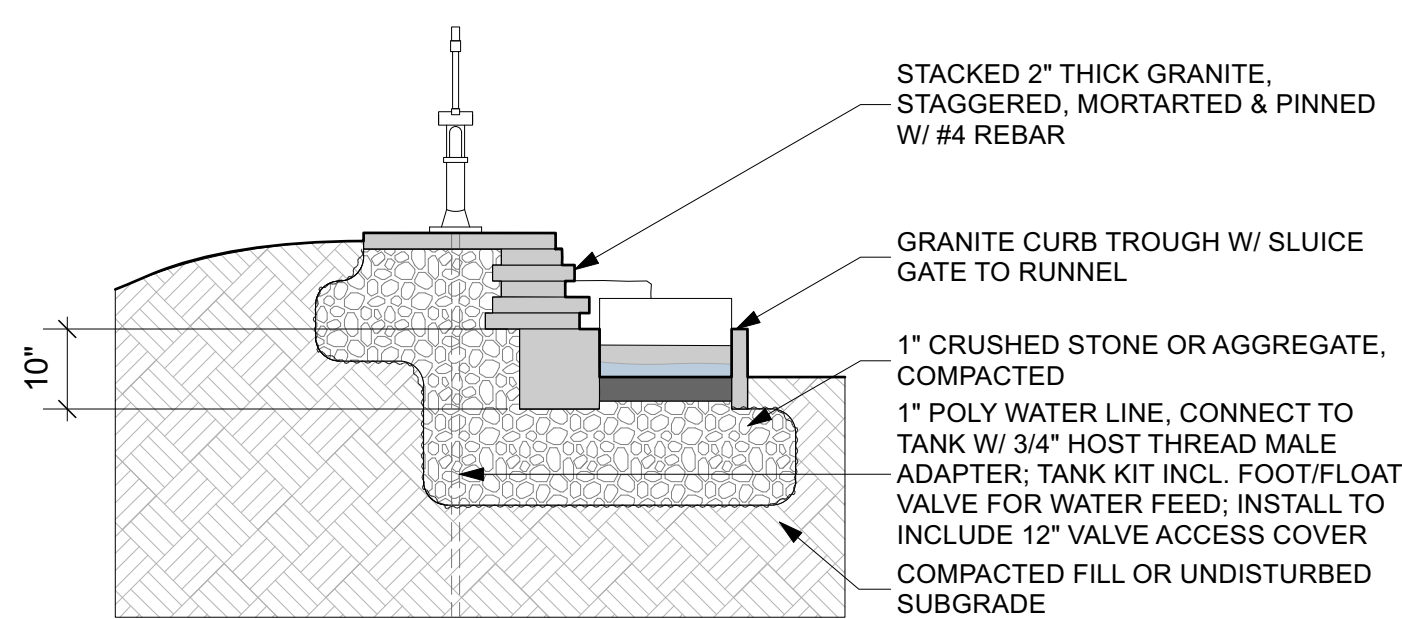
TRAIPI AVE.

PARKING

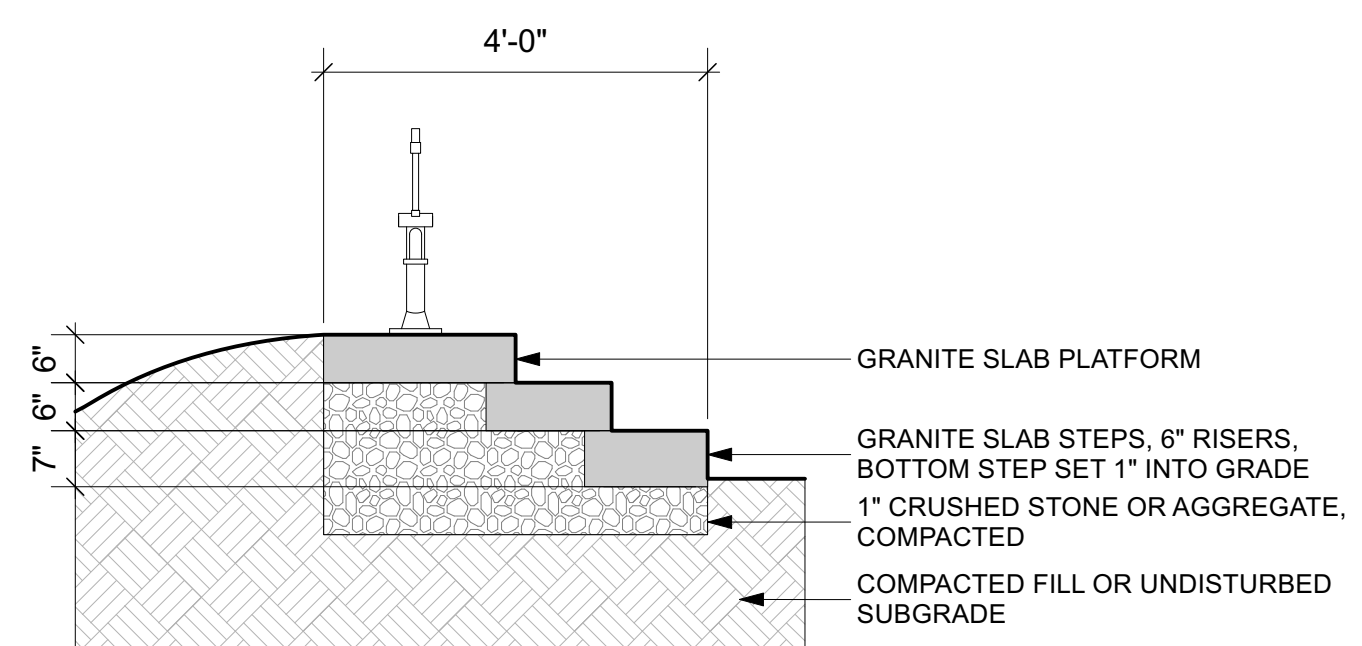
LIBRARY



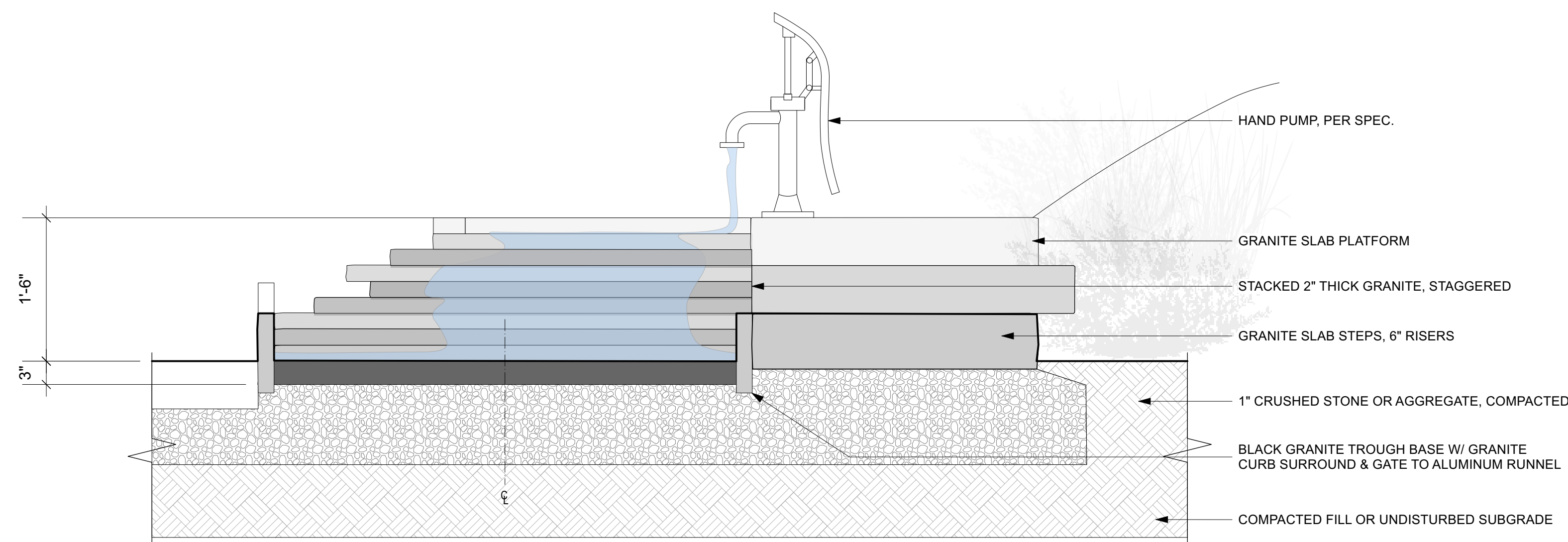
5 HAND PUMP LEFT ISOMETRIC VIEW  
Scale: NTS



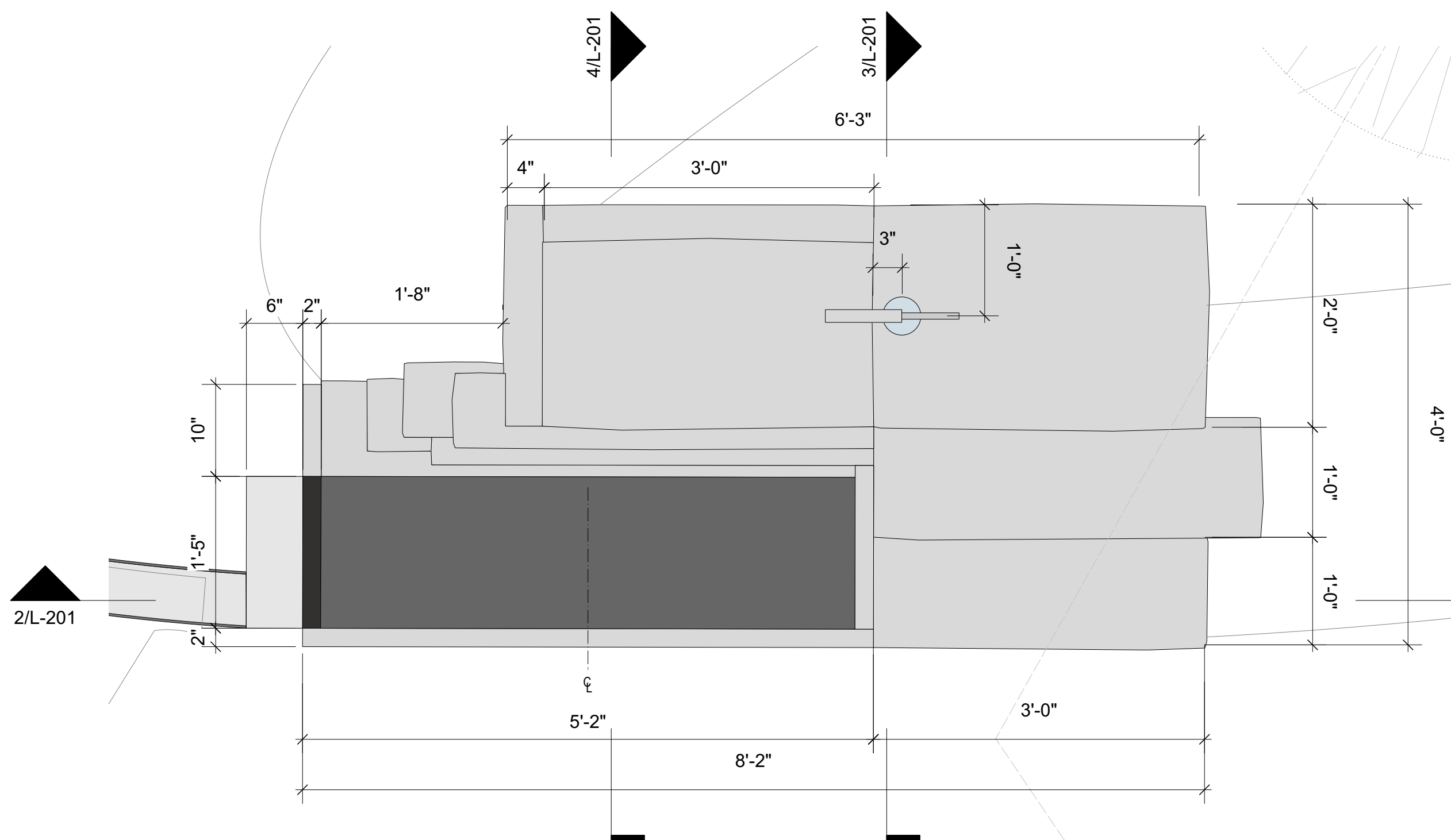
4 HAND PUMP SOUTHWEST SECTION - BASIN  
Scale: 1/2" = 1'-0"



3 HAND PUMP SOUTHWEST SECTION - STEPS  
Scale: 1/2" = 1'-0"



2 HAND PUMP SOUTHEAST SECTION  
Scale: 1" = 1'-0"



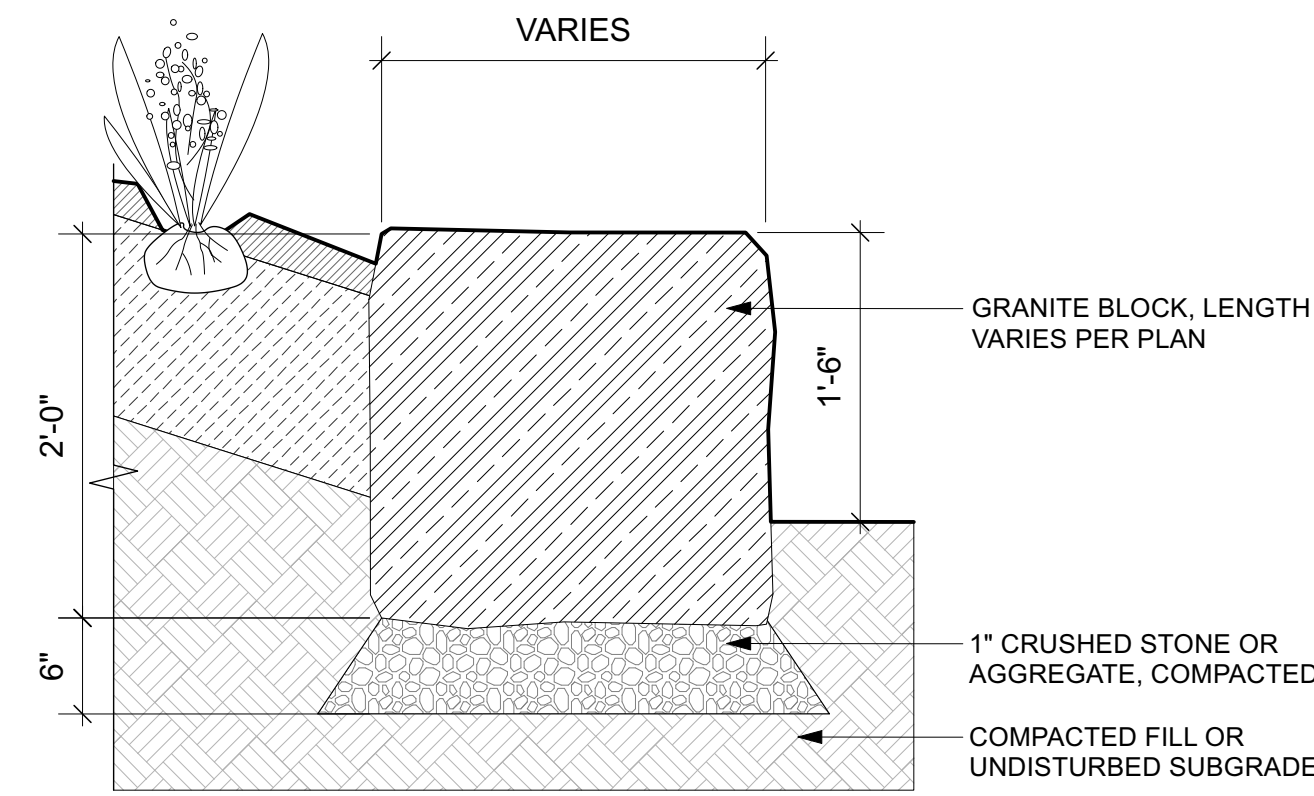
1 HAND PUMP PLAN ENLARGEMENT  
Scale: 1" = 1'-0"

HARDSCAPE LEGEND

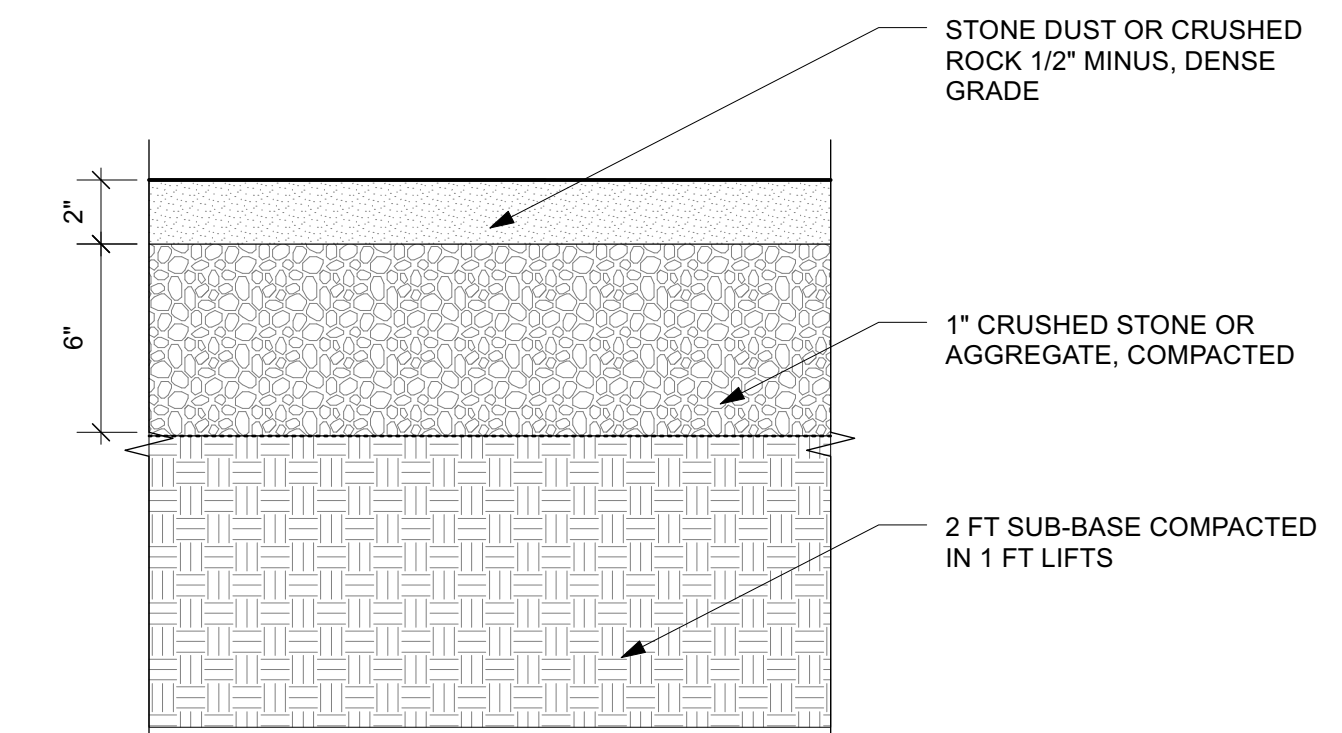
SYMBOL	MATERIAL	QTY.	UNIT	NOTES	DETAIL	SPEC.
	Granite Steps	3	EA	1' x 3' granite slab steps with 6" risers	1, 2, 3 / L-201	
	Granite Slab Platform	1	EA	2' x 3' x 18" Granite platform set in grade at berm	1, 2, 3 / L-201	
	Granite Splash Pad	1	EA	2' x 3'-6" x 2" Granite splash pad	1, 2, 3 / L-201	
	Black Granite Trough	1	EA	Granite slab set in grade at base of granite trough	1, 2, 3 / L-201	2.9, 2.12
	Granite Retaining Slabs	2	EA	2' x 3' x 2" granite water retention slabs set on top of granite splash pad	1, 2, 3 / L-201	
	Drystack Granite Slabs	7	EA	Dry stacked 2" thick granite slabs of varying length, staggered	1, 2, 3 / L-201	
	Aluminum Runnel	30	LF	6' x 6" aluminum wide flange beam	11 / L-202	
	Hand Pump	1	EA	Per Spec.	1, 2, 3 / L-201	

GENERAL NOTES

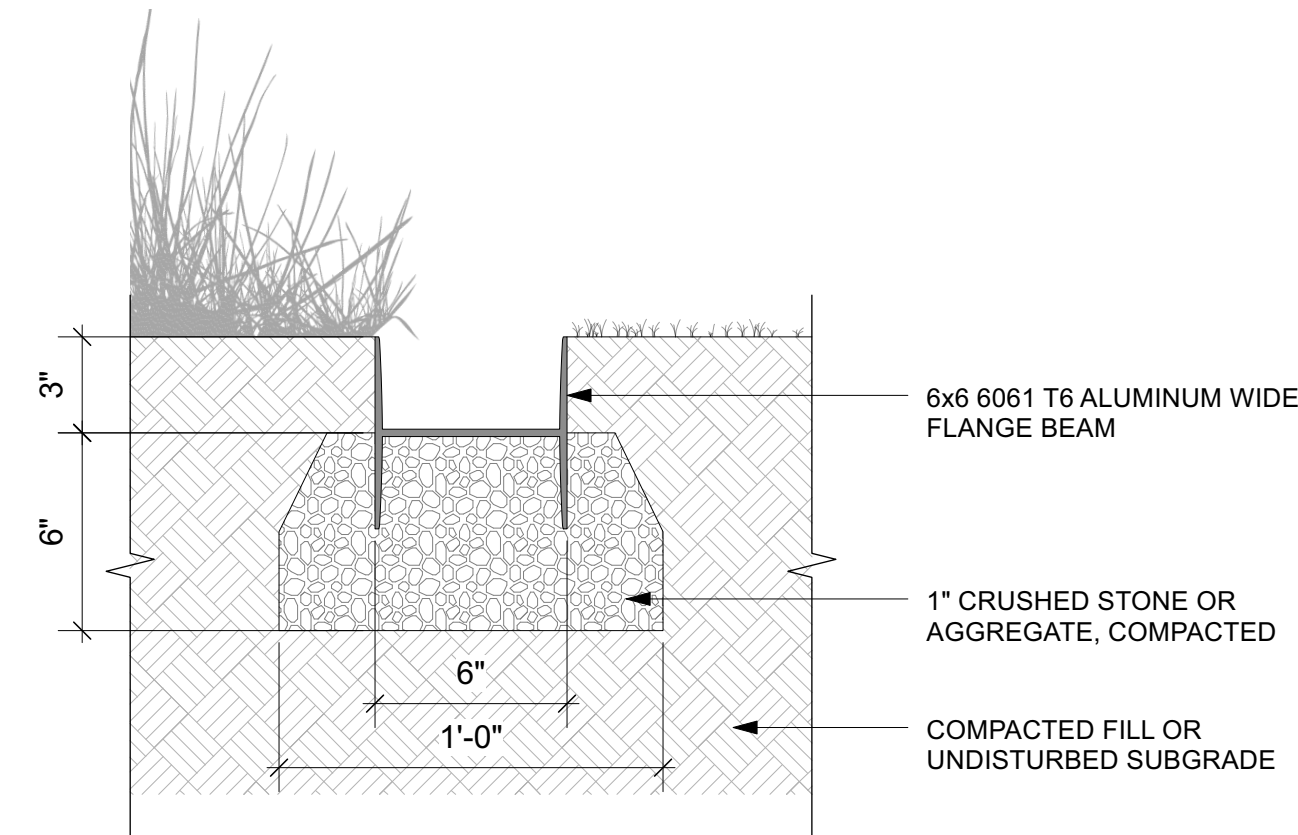
Notes



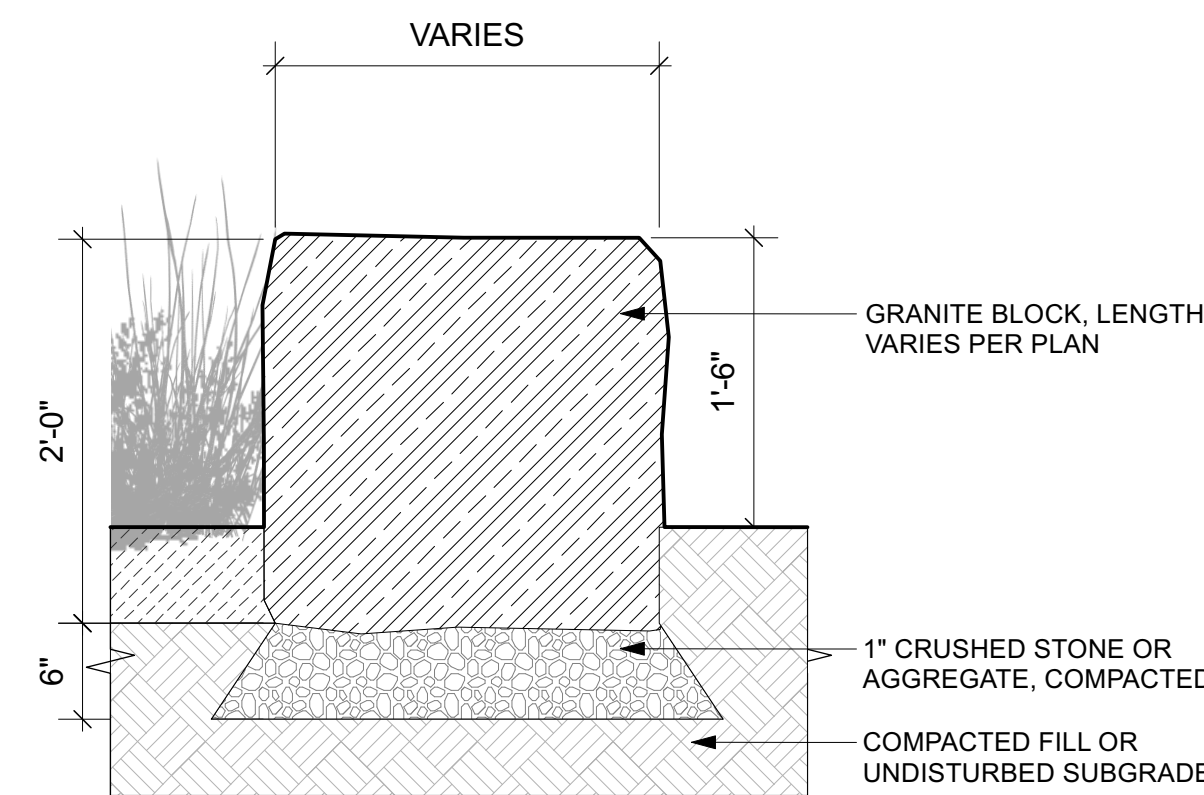
**6 GRANITE SLAB BENCH AT BERM**  
 Scale: 1" = 1'-0"



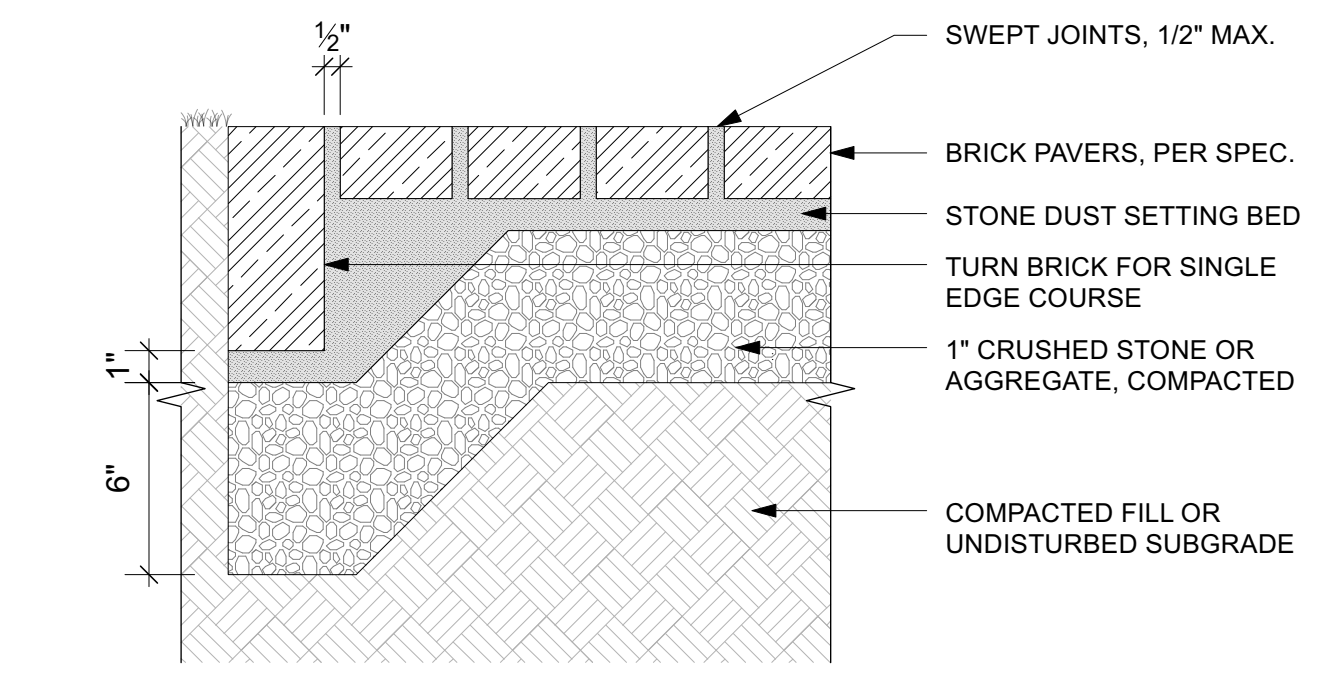
**3 CRUSHED STONE PAVING**  
 Scale: 2" = 1'-0"



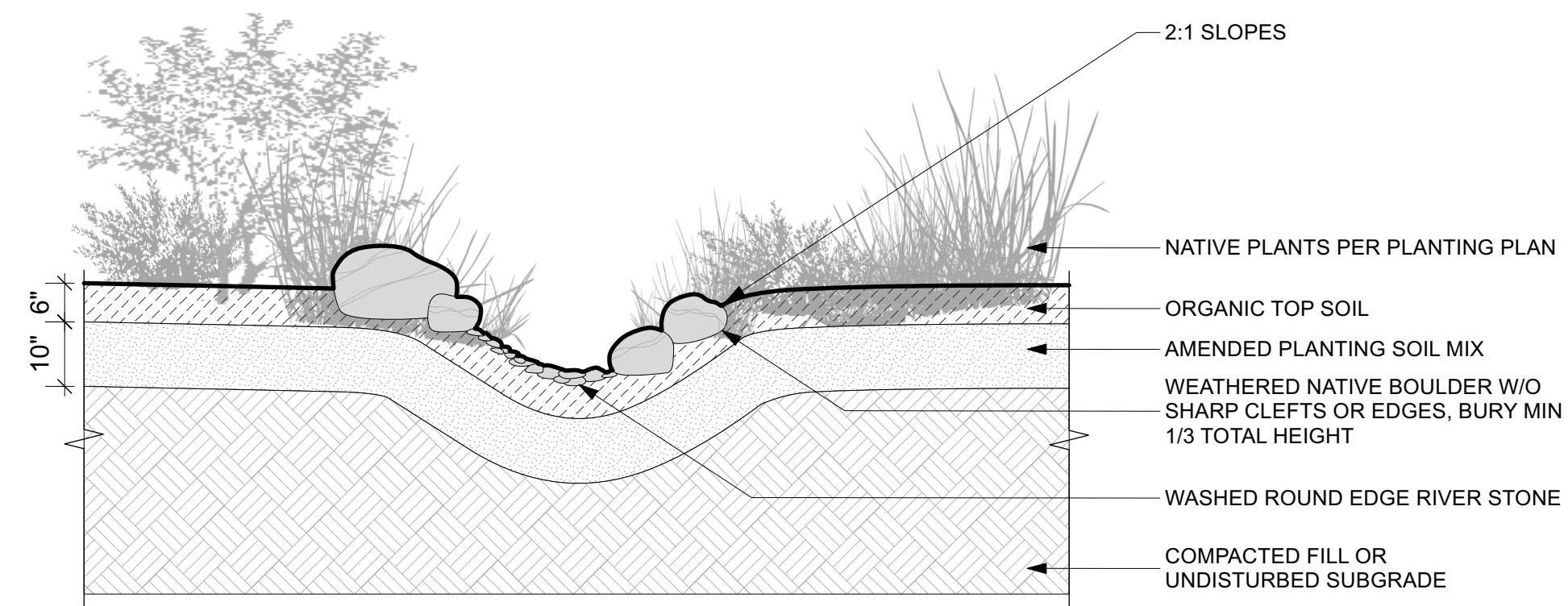
**8 ALUMINUM RUNNEL**  
 Scale: 2" = 1'-0"



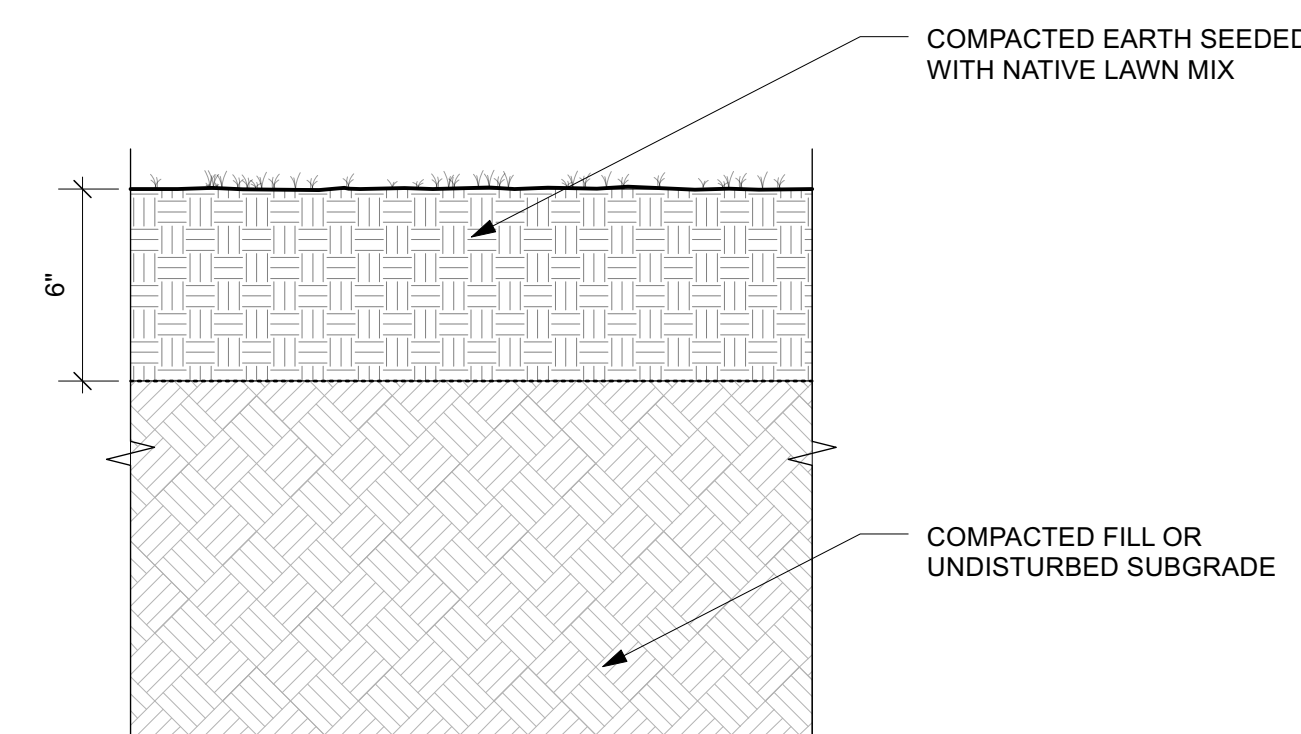
**5 GRANITE BENCH AT MEADOW**  
 Scale: 1" = 1'-0"



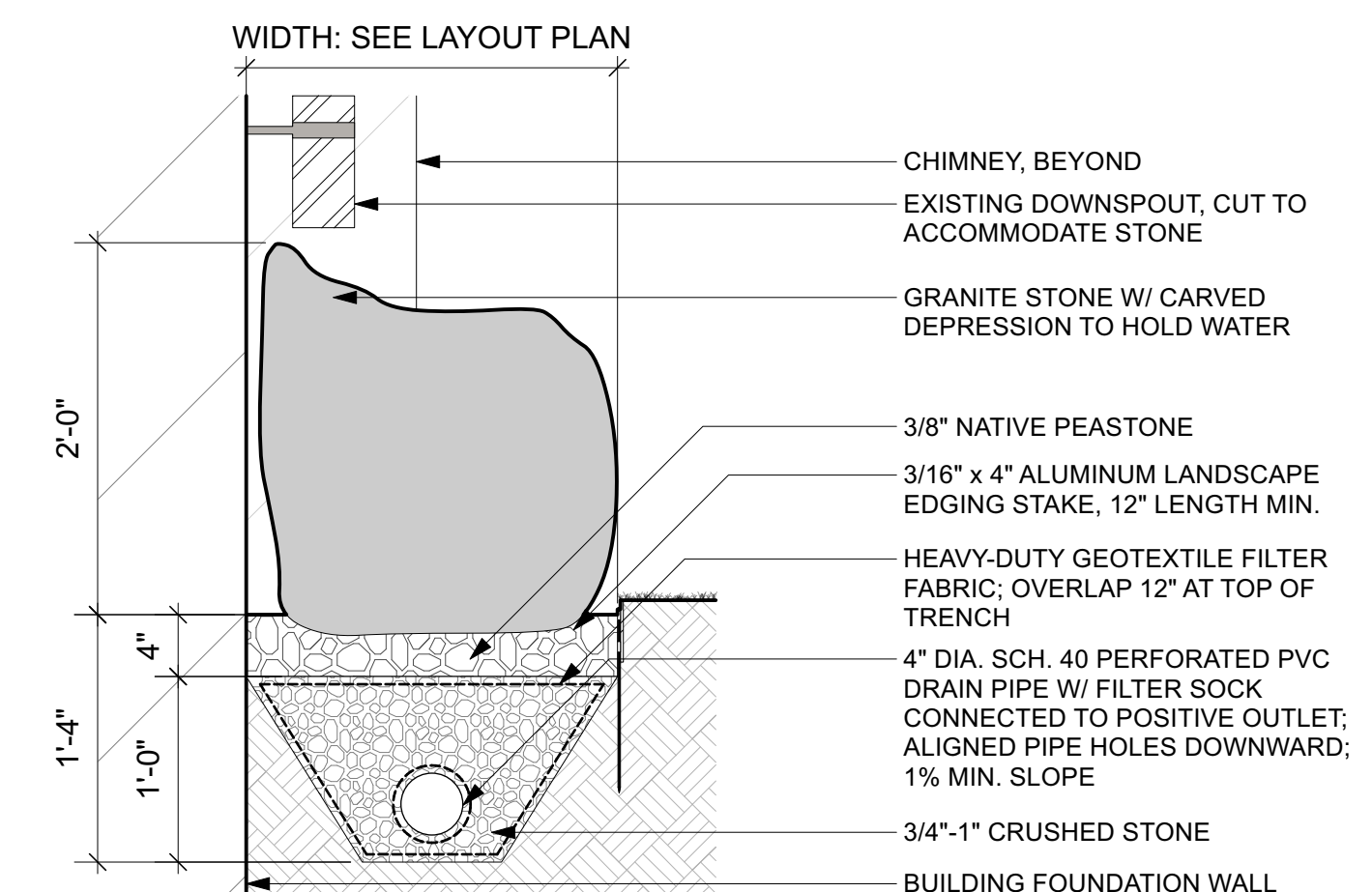
**2 RECLAIMED BRICK PAVING**  
 Scale: 2" = 1'-0"



**7 DRY CREEK BED**  
 Scale: 1/2" = 1'-0"



**4 COMPACTED AND SEEDED EARTH**  
 Scale: 2" = 1'-0"



**1 DRAINAGE SWALE WITH NATURAL STONE BIRD BATH**  
 Scale: 1" = 1'-0"

DATE  
**03/09/23**

PROJECT  
**RICE PUBLIC LIBRARY**  
 MATERIAL DETAILS

SHEET NO.  
**L-202**

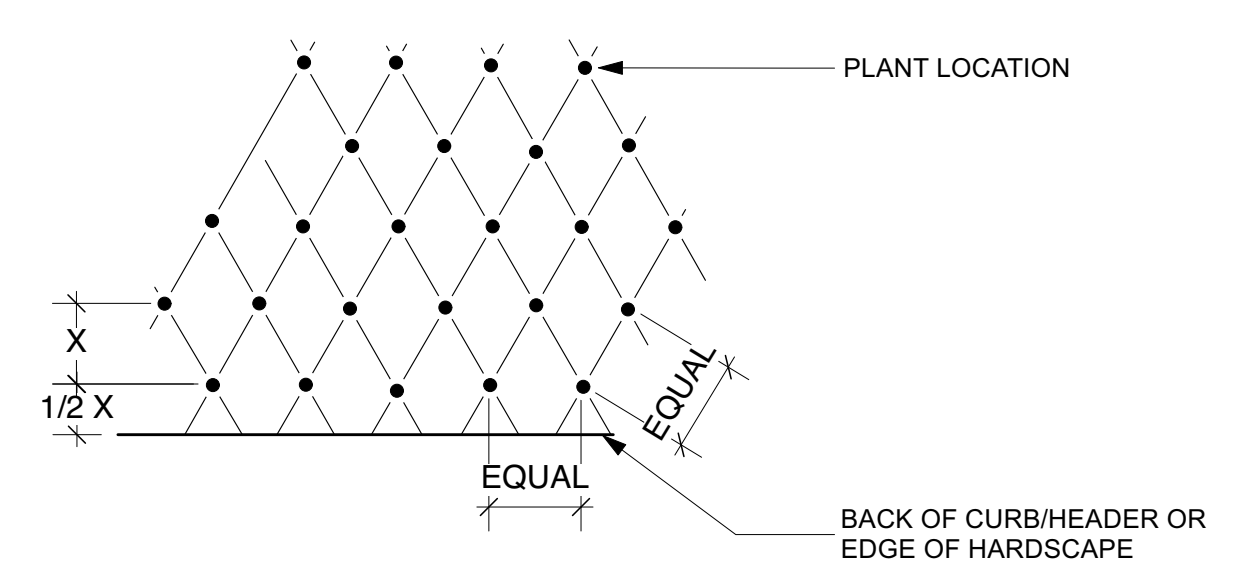
SCALE  
 PER DRAWING

DRAWN BY  
**LLA, NJM**

STAMP  
**NOT FOR CONSTRUCTION**

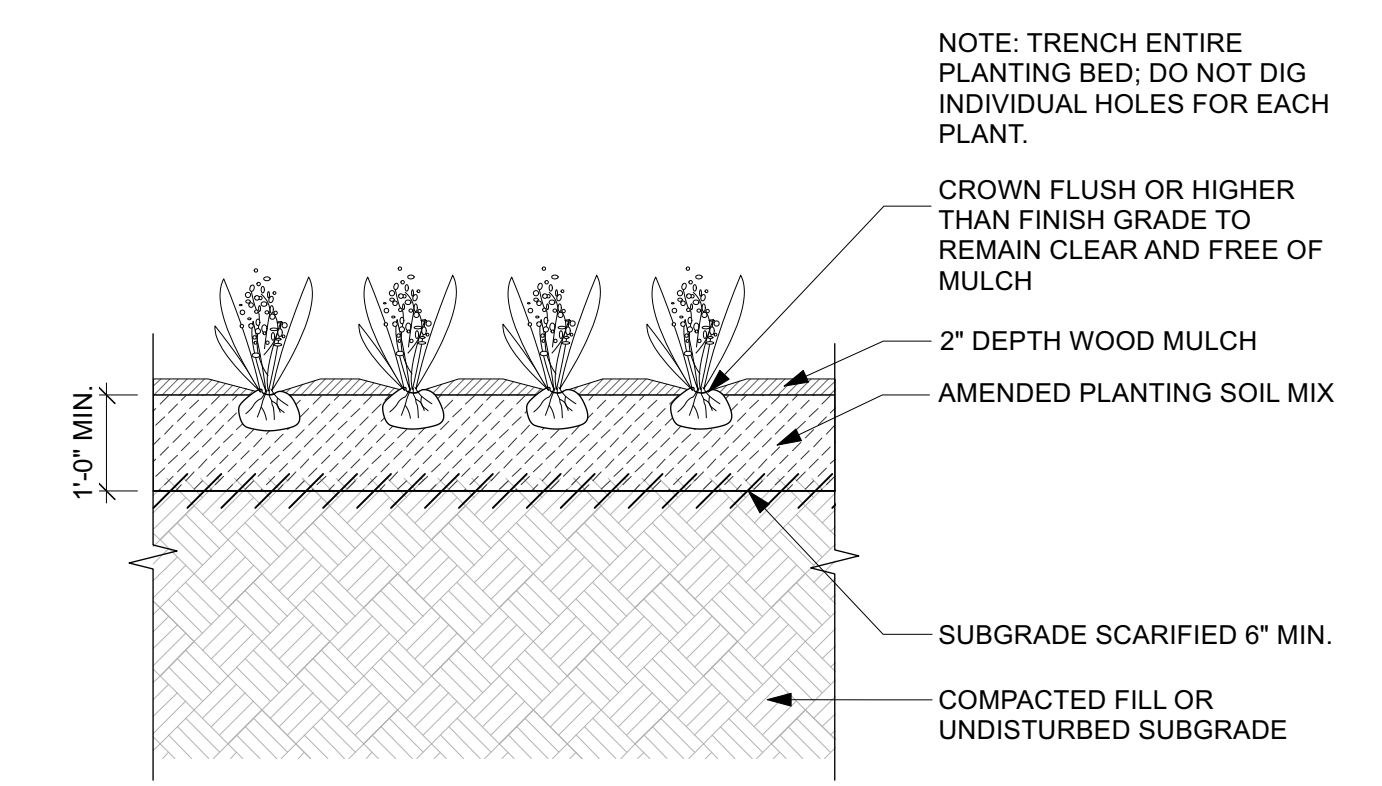
GENERAL NOTES

Notes



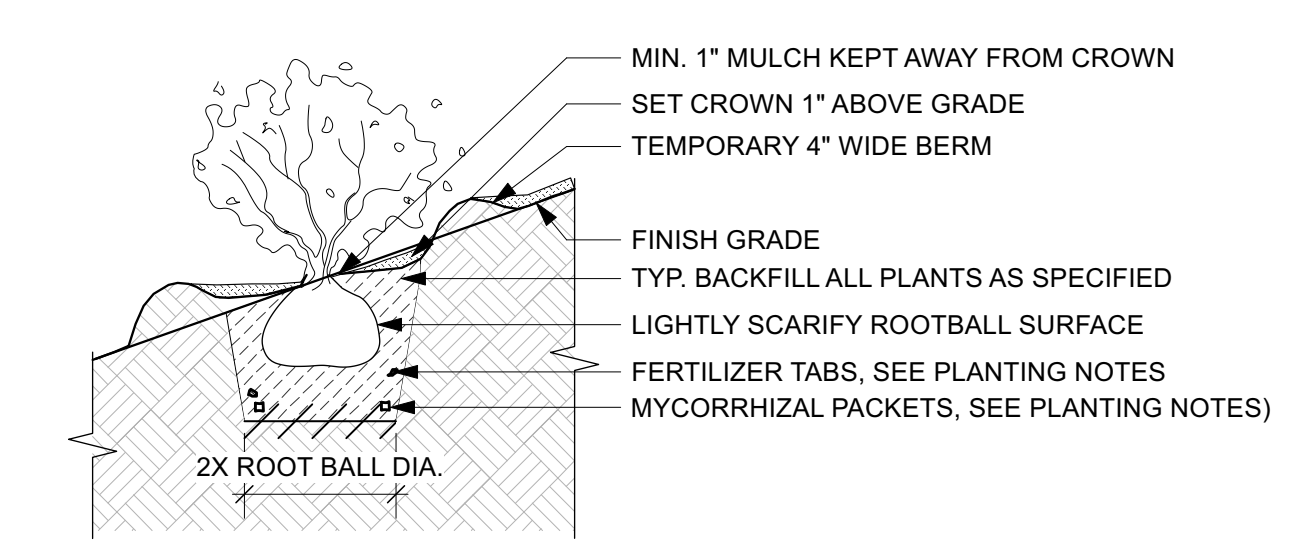
NOTE: ALL SHRUBS AND GROUND COVERS TO BE PLANTED AT EQUAL SPACING (TRIANGULAR) UNLESS OTHERWISE INDICATED ON THE PLANS

**6** GROUND COVER SHRUB SPACING  
 Scale: 1" = 1'-0"

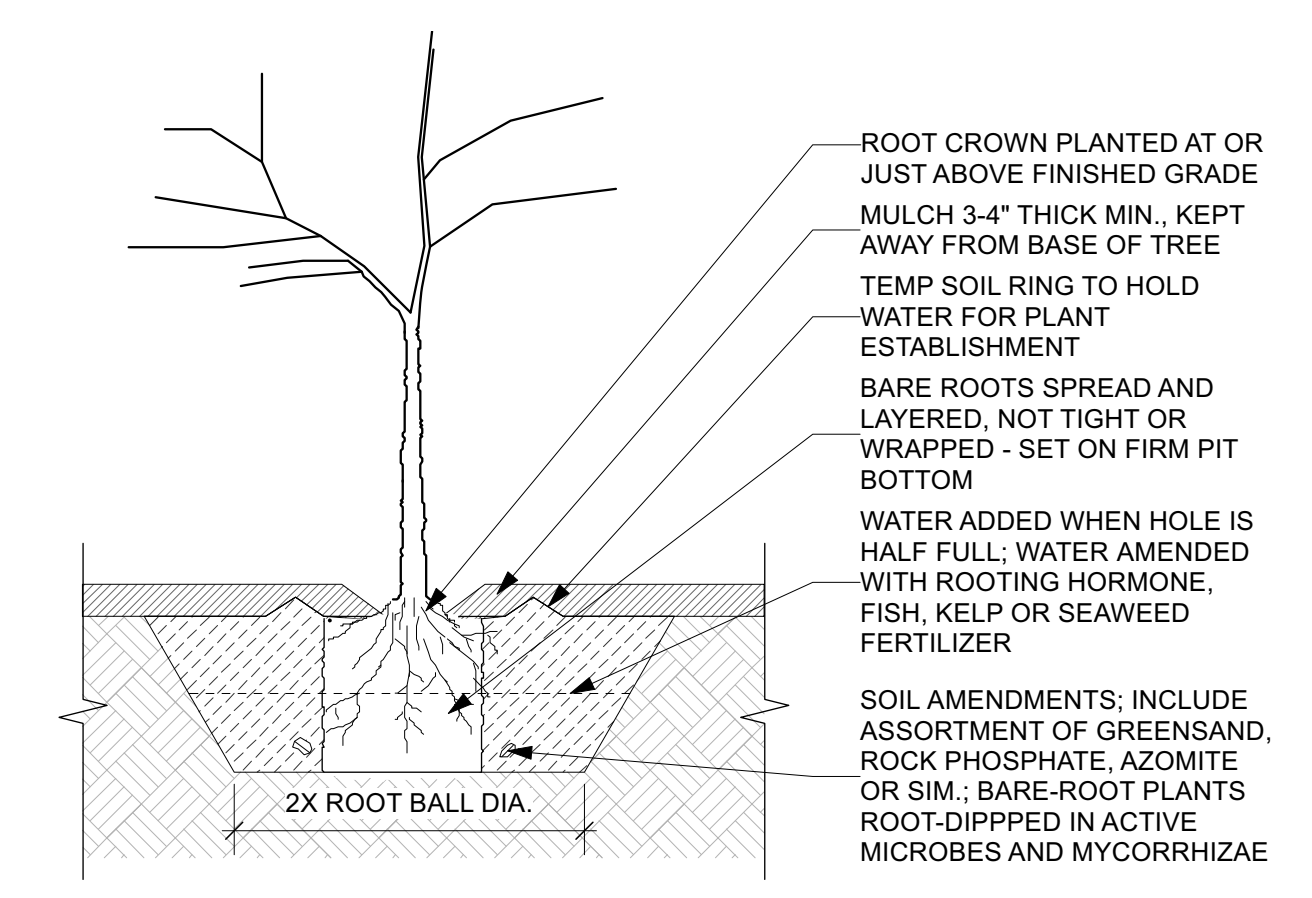


NOTE: TRENCH ENTIRE PLANTING BED; DO NOT DIG INDIVIDUAL HOLES FOR EACH PLANT.

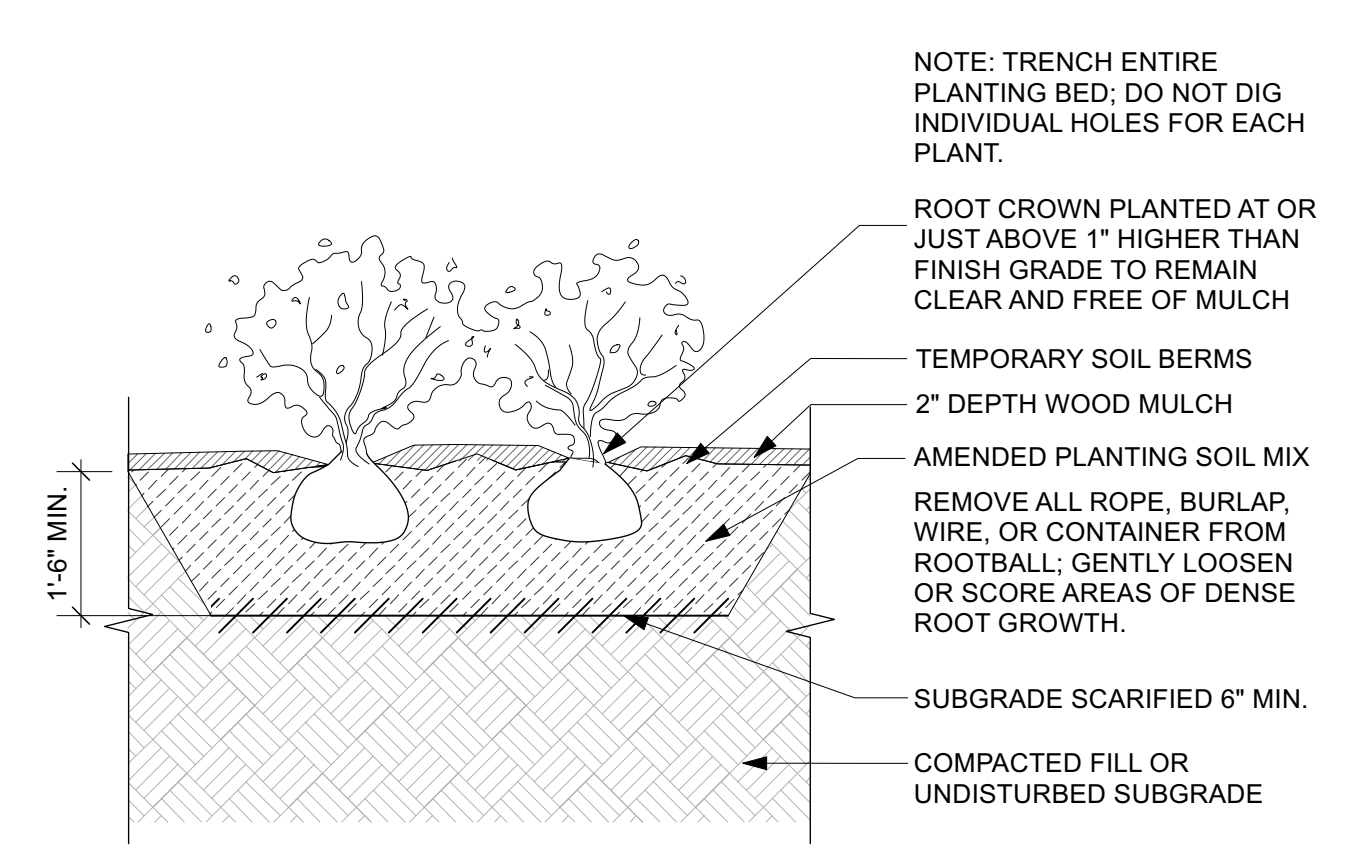
**3** GROUND COVER PLANTING  
 Scale: 1/2" = 1'-0"



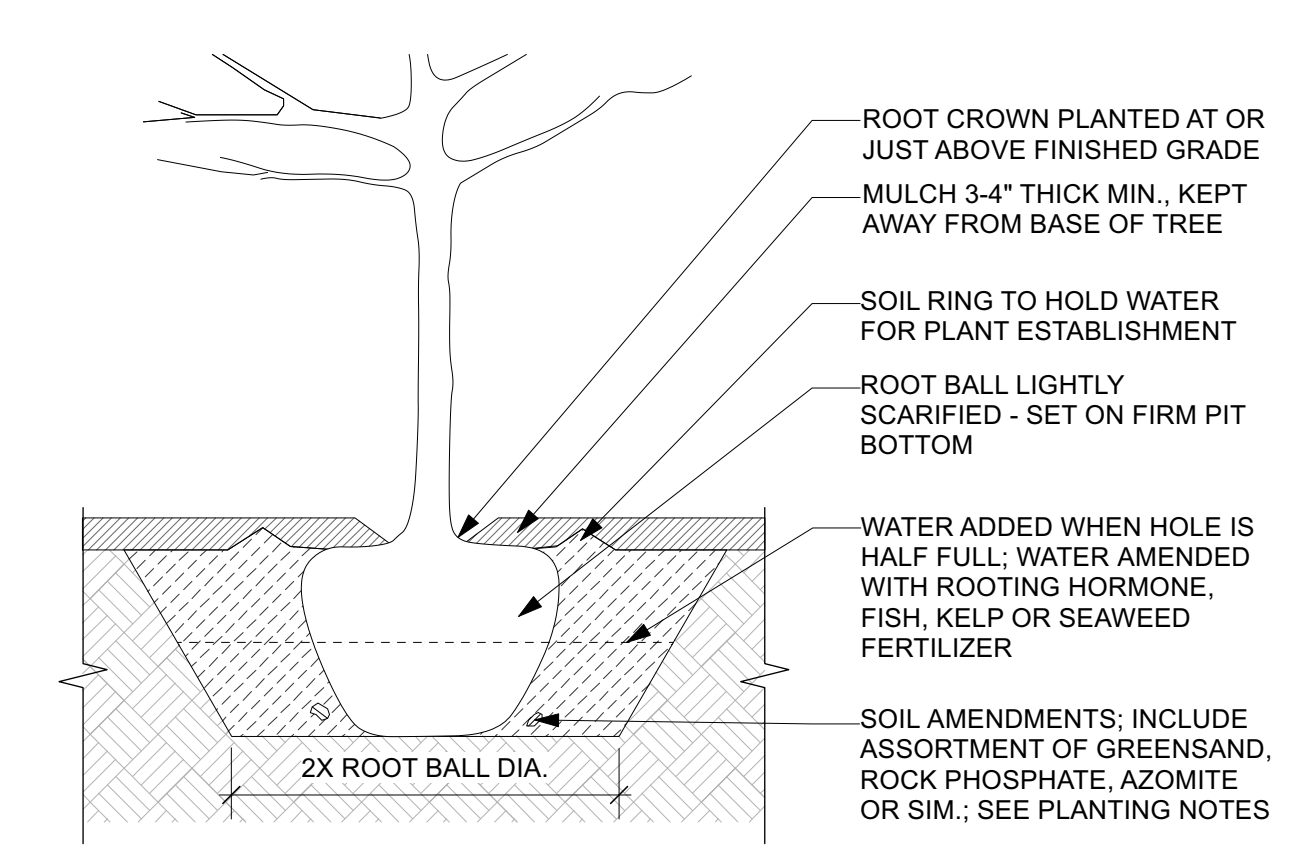
**5** PLANTING ON SLOPE  
 Scale: 1/2" = 1'-0"



**2** UNDERSTORY TREE PLANTING  
 Scale: 1/2" = 1'-0"



**4** SHRUB PLANTING  
 Scale: 1/2" = 1'-0"



**1** CANOPY TREE PLANTING  
 Scale: 1/2" = 1'-0"

DATE  
 03/09/23

PROJECT  
**RICE PUBLIC LIBRARY**  
 PLANTING  
 DETAILS

SHEET NO.  
**L-203**

SCALE  
 PER DRAWING  
 0 1 1 1

DRAWN BY  
 LLA, NJM

STAMP  
 NOT FOR CONSTRUCTION

**GENERAL BID FORM**

- ✓ **A.** The undersigned certifies that they have carefully examined the form for bid, the general conditions, the specifications, the special conditions, and will provide all necessary machinery, tools, and material called for in these specifications, general conditions, special conditions in the manner prescribed therein and in accordance with the requirements of the Town of Kittery under them.
- ✓ **B.** This bid includes addenda numbered through: \_\_\_\_\_
- ✓ **C.** Bid Prices: Completed Bid Price Form provided.
- ✓ **D.** The undersigned hereby certifies that he is able to furnish labor that can work in harmony with all other elements of labor employed or to be employed on the work; and that he/she will comply fully with all laws and regulations.
- ✓ **E.** The undersigned further certifies under the penalties of perjury that this bid is in all respects bona fide, fair and made without collusion or fraud with any other person. As used in this subsection the word "person" shall mean any natural person, joint venture, partnership, corporation or other business or legal entity.

Neokraft Signs Inc.

Name of Company

647 Pleasant Street

Business Address

Lewiston, ME 04240

City, State, Zip

207-782-9654 phil@neokraft.com; shane@neokraft.com

Phone, Email

Phil Bolduc - Owner; Shane Moffett - Operations Manager

Name and Title of Individual Submitting Bid

Phil Bolduc; Shane Moffett

Signature

3-30-23

Date

NOTE: Drawings will be provided within two weeks after being awarded the project.

BID PRICE FORM

COMPONENT	BASE or ALT	DESCRIPTION	PRICE
Site ID ID-1	BASE BID	Sign cabinet with dimensional, recessive letters and solid granite base (non-illuminated) - <i>by others</i>	\$ 23,193.66
	ADD/ALT	Granite veneer base option <i>Deduct</i>	- \$ 500
	ADD/ALT	Ground illumination option <i>- by others</i>	N/A
	ADD/ALT	Edge illumination option	+ \$ 1,000 -
Canopy Sign BID-1	BASE BID	Dimensional letters mounted to canopy	\$ 3,485.56
	ADD/ALT	Edge illuminated letters option	+ \$ 6,200 -
Main Entrance Window Graphics GE-1	BASE BID	Transparent film on glass	\$ 900 -
Main Entrance Hours Graphics GE-2	BASE BID	Opaque film on glass	\$ 156 -
Community Room Window Graphics GE-3	BASE BID	Transparent film on glass	\$ 1,800 -

COMPONENT	BASE or ALT	DESCRIPTION	PRICE
Community Room Information Panel BI-1	BASE BID	Wall mounted panel assembly with dimensional letters and lockable cabinet	\$2,805.79
Lower Entrance Transom Mounted Letters BID-2	BASE BID	Dimensional letters flush mounted to windows with silver vinyl backer	\$782-
Lower Entrance Window Graphics GE-4	BASE BID	Transparent film on glass	\$384-
Lower Entrance Hours Panel BI-2	BASE BID	Wall mounted panel assembly applied graphics	\$1,700-
Lower Entrance Insert Holder BI-3	BASE BID	Mounted on glass	\$50-



COMPONENT	BASE or ALT	DESCRIPTION	PRICE
Site Signage Changeable Menu IN-1	BASE BID	Double sided sign cabinet with changeable letter graphics	\$15,107.51
	ADD/ALT	Internal illumination	+ \$1,000 -
Interior Donor Wall DR	BASE BID	Panel assembly bracket mounted	\$3,348.49
	ADD/ALT	Printed wall covering	+ \$1,225 -
Sign Package Installation	Base Bid	Entire Project: Travel, Labor, and Equipment to install project	\$10,003.71
Design	Base Bid	Entire Project; Design development, sign engineering, drawings, and/or submittals	\$3,209.85

## BID REQUIREMENTS

### 1. PURPOSE

The intent and purpose of this Invitation for Bids (IFB) is to establish price agreements (labor and materials inclusive) for the fabrication of exterior wayfinding signage and donor signage for the Rice Public Library in Kittery Maine.

### 2. SCOPE OF WORK

Fabricate signs, graphics and other elements, and install on site in accordance with the enclosed specifications and process. Provide mock-ups as indicated in the design specifications attached to this IFB.

### 3. BID PROCESS

- A. Each bid shall be on the forms provided and be signed by a person authorized to bind the Bidder to the proposed contractual agreement.
- B. Each bid shall be delivered to the place specified below and no later than the time specified. Sealed bids will be received by the Town Manager's Office, located at 200 Rogers Road, Kittery, ME 03904 until 3:00 PM on April 13, 2023.
- C. Each bid shall be submitted in a sealed envelope clearly marked with the bidder's name and "Library Exterior and Donor Signage" on the outside.
- D. Bids shall consist of one of the following:
  - a. Signed General Bid Form
  - b. Bid Price Form
  - c. Proposed timeline indicating milestones for shop drawings, mock-ups, materials/color selections, fabrication, and installation.
- E. Bidders must acknowledge receipt of addendum through April 6, 2023. Bidders shall be responsible to check for bid addendum at [www.kitteryme.gov/bids](http://www.kitteryme.gov/bids) or by contacting Haley Mock at the Town of Kittery at (207) 475-1311 or [hmock@kitteryme.org](mailto:hmock@kitteryme.org).
- F. Bids that are incomplete, conditional or obscure, or which contain any additions not called for may be rejected by the Town.
- G. The bid must bear the written signature of the Bidder who is duly authorized to bind the Bidder to the terms, conditions, and contracts associated with this IFB.
- H. Bids received prior to the time established for the opening will be securely kept and unopened. No responsibility will be attached to the Town for the premature opening of a Bid not properly marked or identified.

- I. Any bid may be withdrawn or withdrawn and resubmitted on request of the Bidder up until the bid opening. Bids may not be withdrawn after the bid deadline.
- J. Unless otherwise specified, questions pertaining to general information regarding the IFB and/or interpretation of specifications during the bidding period shall be addressed in writing to the following. **Deadline to submit questions is Friday, March 31, 4PM.** No questions will be answered in-person or via telephone:

Kendra Amaral  
Town of Kittery  
200 Rogers Road  
Kittery, ME 03904  
Email: [kamaral@kitteryme.org](mailto:kamaral@kitteryme.org)

#### **4. EQUAL OPPORTUNITY COMPLIANCE**

The Contractor shall comply with any and all applicable federal, state, and local laws, executive orders, and regulations prohibiting discrimination in employment. The Contractor shall not discriminate against any qualified employee or applicant for employment because of race, color, national origin, ancestry, age, gender and gender identity, religion, handicap, or sexual orientation.

#### **5. BRANDS, MANUFACTURERS, COLORS**

The Town reserves the right to rule on the equality of items, colors, finishes, and processes compared to the items and processes called for in this IFB. The Town may reject proposed materials and/or require other options to achieve the final finish look described in the design information provided with this IFB.

#### **6. EXISTING CONDITIONS**

Field measurements, drawings or descriptions, verbal or otherwise, of existing conditions are intended only as an aid. The Contractor will be responsible for verifying all existing conditions prior to proceeding with project. The Contractor shall notify DIG SAFE prior to ALL applicable site work they perform.

#### **7. WORK SITE AND CONTRACTOR EQUIPMENT**

The Contractor shall take the required precautions to protect his/her equipment against damage, theft, or deterioration on the site. Contractor, subcontractors, employees and vendors shall park in designated areas to be determined by the Town.

#### **8. CARE OF THE WORK**

The Contractor shall be responsible for all damages to persons or property that occurs as a result of his/her fault or negligence in connection with the prosecution of the work and shall be responsible for the proper care and protection of all materials delivered and work performed until completion and final acceptance, whether or not the same has been covered by the Town. No security will be provided or paid for material or work stolen, lost, or damaged.

**9. CONTRACTOR'S PERSONNEL**

The Contractor shall use only trained and properly licensed personnel who are directly employed and supervised by the Contractor, unless prior approval is obtained from the Town (see subcontracting). The Contractor shall furnish an adequate number of personnel, and supervisors as required to ensure the work is performed in a safe manner that complies with all aspects of the IFB specifications.

**10. SUBCONTRACTING**

The Contractor shall not subcontract or sublet any portion of the work without prior written approval from the Town.

**11. PERMITS AND INSPECTIONS**

The Contractor will be responsible for obtaining all necessary federal, state, and local permits and all necessary inspections associated with required permits. Fees for permits issued by the Town will be waived where allowed. All other permit fees will be the responsibility of the Contractor.

**12. INSPECTION**

The Town reserves the right to inspect any and all work in progress or complete. Any omission or failure on the part of the Town to disapprove or reject inferior or defective work shall not be construed to be an acceptance of such work. If any defective work is found the Contractor shall cure the failure, at his/her own expense without extra charge.

**13. CHANGE ORDERS**

No additional work or changes in scope will be performed unless a signed Contract Change Order is duly authorized by the Town prior to being performed. The Town is not responsible for any work done prior to a signed Change Order.

**14. WARRANTIES**

The Contractor shall warranty the complete job labor and materials for no less than one (1) year from the date of final completion.

**15. CANCELLATION OF IFB, REJECTION OF BIDS**

The Town reserves the right to cancel the IFB and/or reject any and all bids and/or to waive any informalities if deemed in the best interest of the Town to do so. The Town is the sole judge of its best interest.

**16. BASIS FOR AWARD OF CONTRACT**

Award of this contract shall be made to the lowest responsible and eligible general bidder within twenty (20) days, Saturdays, Sundays, and legal holidays excluded, after the opening of bids. The Town reserves the right to accept any of the bid components and alternates if required or desired by the Town, and to reject any and all bids if deemed in the best interest of the Town.

**17. CANCELLATION OF CONTRACT**

The Town reserves the right to cancel and terminate the contract in the event that the services provided by the Contractor prove to be unsatisfactory. The Town shall be the sole judge of satisfactory performance consistent with the scope of work and requirements contained herein.

**DESIGN SPECIFICATIONS**