

ITEM 1

**Town of Kittery
 Planning Board Meeting
 August 11, 2022**

ITEM 1 – 8 Hoyts Island Lane – Shoreland Development Plan Review

Action: Accept or deny application as complete; if accepted: continue application to a subsequent meeting, set public hearing and/or site walk (discretionary), or approve or deny application:
 Pursuant to of §16.4 Land Use Regulations and §16.9.3 Shoreland Development Review of the Town of Kittery Land Use and Development Code, owner/applicant David H. Moulton and agent Stephen Doe request approval to expand two legally non-conforming structures on a conforming lot within the base zone setback of the Shoreland Overlay Zone located on real property with the address of 8 Hoyts Island Lane, Tax Map 36, Lot 73, in the Residential – Kittery Point Village (R-KPV), Shoreland Overlay Zone (OZ-SL-250’), and Resource Protection Overlay Zone (OZ-RP)/FEMA Flood Zone.

PROJECT TRACKING

REQUIRED	ACTION	COMMENTS	STATUS
No	Sketch Plan		N/A
No	Site Visit	TBD by Board	
Yes	Completeness / Acceptance	TBD	Pending
No	Public Hearing	TBD	
Yes	Final Plan Approval	TBD	

PROJECT INTRODUCTION

8 Hoyt Island Lane is located off Pepperrell Road in Pepperrell Cove near the mouth of Chauncey Creek within the Residential – Kittery Point Village (R-KPV), Shoreland Overlay Zone (OZ-SL-250), and Resource Protection Zone (OZ-RP)/FEMA Flood Zone. The property is a conforming lot of approximately 1.25 acres (54,450-sf with 40,000 sf required in the R-KPV Zone), containing a legally, non-conforming dwelling unit and a second structure primarily used as a “bunk room” according to the applicant – a sleeping quarters with no kitchen and thus not a dwelling. The existing dwelling unit (1,272 square feet, including a 180sf attached deck) is positioned within the base zone setback (100 feet) of the Shoreland Overlay Zone as well as the base zone setback (100 feet) of the Resource Protection Zone. The Town Assessor categorizes the “bunk room” as a “Cabin with Plumbing,” and it is 340 square feet in footprint. The site’s existing total de-vegetated area – 5,017 square feet (including the dwelling, deck, steps, driveway, walkways) – is 10.9%, below the zone’s requirement of 20% maximum de-vegetation.

The property file for the property was empty. The existing house was built in 1938, according to Tax Assessor records. Those records indicate the dwelling unit was built in 1938 and the cabin in 1998. The owner proposes to remove the existing house and build a new, expanded dwelling unit further from the resource and completely outside of the 25-foot setback (though still within the

36 100-foot setback at 31 feet). The applicant also proposes removing the existing cabin (“guest
37 cottage”) and building a new, expanded cabin further away from the resource, moving the existing
38 footprint from 14 feet from the HAT to 29 feet from the HAT. A garage within the 100-foot buffer
39 is proposed to remain unexpanded.

40 The proposed plan includes shifting the driveway away from the resource and adding two
41 additional parking spaces near the main house and one parking space near the cabin. The applicant
42 has provided a replanting plan due to the proposed removal of some vegetation in order to
43 accommodate the new driveway. The applicant also proposes to install a new septic system located
44 totally outside of the 100-foot setback. As proposed, both reconstructed structures and the new
45 septic system would become more conforming.

46

47 **APPLICATION & PLAN REVIEW**

48 Staff reviewed the submitted application and plan from Sebago Technics, dated July 13, 2022 and
49 have the following comments:

50 1. The site is a legal, conforming lot of record with a legal, non-conforming dwelling unit and
51 a legal, non-conforming accessory building, both within the 100-foot setback to the water
52 required by the Shoreland Overlay Zone.

53

54 2. The applicant’s plan increases the overall de-vegetated area, although the proposed plan is
55 still below the 20% allowable de-vegetated area. Though there is some discrepancy in the
56 figures the applicant uses and the Tax Assessor records. The applicant uses the total upland
57 area when calculating de-vegetated area. The entire lot (1.25 acres, or 54,450sf) appears to
58 be covered by the Shoreland Overlay Zone. Additionally, the applicant lists the main house
59 at 1,132sf when the Town shows 1,092sf. The applicant shows the cabin at 383sf while the
60 Town shows 364sf. The applicant indicates a 240sf garage, while Town records show a
61 180sf shed. The applicant should be prepared to address these inconsistencies. However,
62 comparing the proposed expansion with the Town’s existing still places the proposal under
63 the allowable de-vegetated threshold.

64

65 3. The zoning district requires a maximum building coverage of 20%, which is 10,890 square
66 feet. The applicant provides calculations showing the existing building coverage at 1,755
67 square feet (or 3.2%), and the proposal increases building coverage to 2,187 square feet, or
68 4%, which is below the required threshold.

69

70 4. Title 16 includes additional regulations for the expansion of structures within the shoreland
71 overlay base zone setback. This plan is subject to Section 16.1.C.8.(4)(b)[3](e)[v][A],
72 which states:

73

*[A] For structures located less than the base zone setback from the normal high-
74 water line of a water body, tributary stream, or upland edge of a coastal or
75 freshwater wetland, the maximum combined total footprint for all structures may*

76 *not be expanded to a size greater than 1,000 square feet, or 30% larger than the*
 77 *footprint that existed on January 1, 1989, whichever is greater. The maximum*
 78 *height of any portion of a structure that is located within the base zone setback may*
 79 *not be made greater than 20 feet, or the height of the existing structure, whichever*
 80 *is greater.*

81 The above means that there is a limit to structure expansion based on what structures
 82 existing in 1989. That 30% expansion limit is applied cumulatively over the years and can
 83 never be exceeded. The applicant has provided calculations of the existing structures in
 84 place today, though it is unclear if they were all existing in 1989. Records from the Tax
 85 Assessor indicate the main house was built in 1938 but that the shed/garage and guest
 86 cottage/cabin were added in 1998.

87 The applicant provides the following table to show the allowable expansion:

BUILDING CALCULATIONS			
	EXISTING	PROPOSED	MAX (30% EXPANSION ALLOWED)
MAIN HOUSE	1,132 S.F.	1,468 S.F.	1,472 S.F.
EXISTING DECK AND STEPS	182 S.F.	236 S.F.	236 S.F.
GUEST COTTAGE	383 S.F.	493 S.F.	498 S.F.
EXISTING STEPS	13 S.F.	16 S.F.	17 S.F.
GARAGE	240 S.F.	240 S.F.	312 S.F.
DOCK	27 S.F.	27 S.F.	35 S.F.
TOTAL	1,977 S.F.	2,480 S.F.	2,570 S.F.

88
 89 The above calculations would be correct (ignoring the square foot discrepancies between
 90 the applicant's and the Town's figures for a moment) if all of the listed structures have
 91 existed on site since January 1, 1989. Staff suggests the applicant provide information on
 92 the age of the structures used in their calculations, aside from the main house.

93 A more minor issue would be the 30% expansion allowed for the main house given the
 94 records discrepancy. Town records show the dwelling unit at 1,092 square feet. A 30%
 95 expansion of this figure would be 1,420 square feet. Rather than providing further
 96 competing expansion calculations based on Town records here, staff advises the applicant
 97 to confirm the actual square footage calculations of all structures.

98 5. The proposed structure building heights are shown on the plans are calculated using the
 99 average existing grade around the structures, however Title 16 dictates that Height of
 100 Structure be used when measuring height in the Shoreland (Section
 101 16.1.C.8.(4)(b)[3](e)[v][A] in #4 cited above). Applicant may need to revise the height of
 102 the structures to conform with Title 16.

103
 104

105 **DISCUSSION, NEXT STEPS, AND RECOMMENDATIONS**

106 Planning Board should discuss the plan and determine if it meets the requirements to accept the
107 plan, and/or direct the applicant to make any changes that are necessary. The Planning Board
108 should determine if they would like to schedule a site walk or a public hearing, which are
109 discretionary and not required as part of a shoreland development plan review.

110

111 **RECOMMENDED MOTIONS**

112 Below are motions for the Board’s consideration:

113 *Motion to accept the application*

114 Move to accept the plan for a shoreland development application from owner/applicant David H.
115 Moulton and agent Stephen Doe requesting to expand two legally non-conforming structures on a
116 conforming lot within the base zone setback of the Shoreland Overlay Zone located on real
117 property with the address of 8 Hoyts Island Lane, Tax Map 36, Lot 73, in the Residential – Kittery
118 Point Village (R-KPV), Shoreland Overlay Zone (OZ-SL-250’), and Resource Protection Overlay
119 Zone (OZ-RP)/FEMA Flood Zone.

120

121 *Motion to schedule a site walk*

122 Move to schedule a site walk on _____, 2022, for a shoreland development plan from
123 owner/applicant David H. Moulton and agent Stephen Doe requesting to expand two legally non-
124 conforming structures on a conforming lot within the base zone setback of the Shoreland Overlay
125 Zone located on real property with the address of 8 Hoyts Island Lane, Tax Map 36, Lot 73, in the
126 Residential – Kittery Point Village (R-KPV), Shoreland Overlay Zone (OZ-SL-250’), and
127 Resource Protection Overlay Zone (OZ-RP)/FEMA Flood Zone.

128

129 *Motion to schedule public hearing*

130 Move to schedule a public hearing on the _____, 2022 Planning Board meeting for a
131 shoreland development plan from owner/applicant David H. Moulton and agent Stephen Doe
132 requesting to expand two legally non-conforming structures on a conforming lot within the base
133 zone setback of the Shoreland Overlay Zone located on real property with the address of 8 Hoyts
134 Island Lane, Tax Map 36, Lot 73, in the Residential – Kittery Point Village (R-KPV), Shoreland
135 Overlay Zone (OZ-SL-250’), and Resource Protection Overlay Zone (OZ-RP)/FEMA Flood Zone.

136

137 *Motion to continue application*

138 Move to continue the plan to the May 26, 2021 Planning Board meeting for a shoreland
139 development plan from owner/applicant David H. Moulton and agent Stephen Doe requesting to
140 expand two legally non-conforming structures on a conforming lot within the base zone setback
141 of the Shoreland Overlay Zone located on real property with the address of 8 Hoyts Island Lane,
142 Tax Map 36, Lot 73, in the Residential – Kittery Point Village (R-KPV), Shoreland Overlay Zone
143 (OZ-SL-250’), and Resource Protection Overlay Zone (OZ-RP)/FEMA Flood Zone.

144

145 *Motion to approve*

146 Move to approve the shoreland development application from owner/applicant David H. Moulton
147 and agent Stephen Doe requesting to expand two legally non-conforming structures on a
148 conforming lot within the base zone setback of the Shoreland Overlay Zone located on real
149 property with the address of 8 Hoyts Island Lane, Tax Map 36, Lot 73, in the Residential – Kittery
150 Point Village (R-KPV), Shoreland Overlay Zone (OZ-SL-250'), and Resource Protection Overlay
151 Zone (OZ-RP)/FEMA Flood Zone.



Kittery, ME



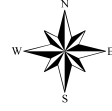
July 27, 2022

1 inch = 75 Feet

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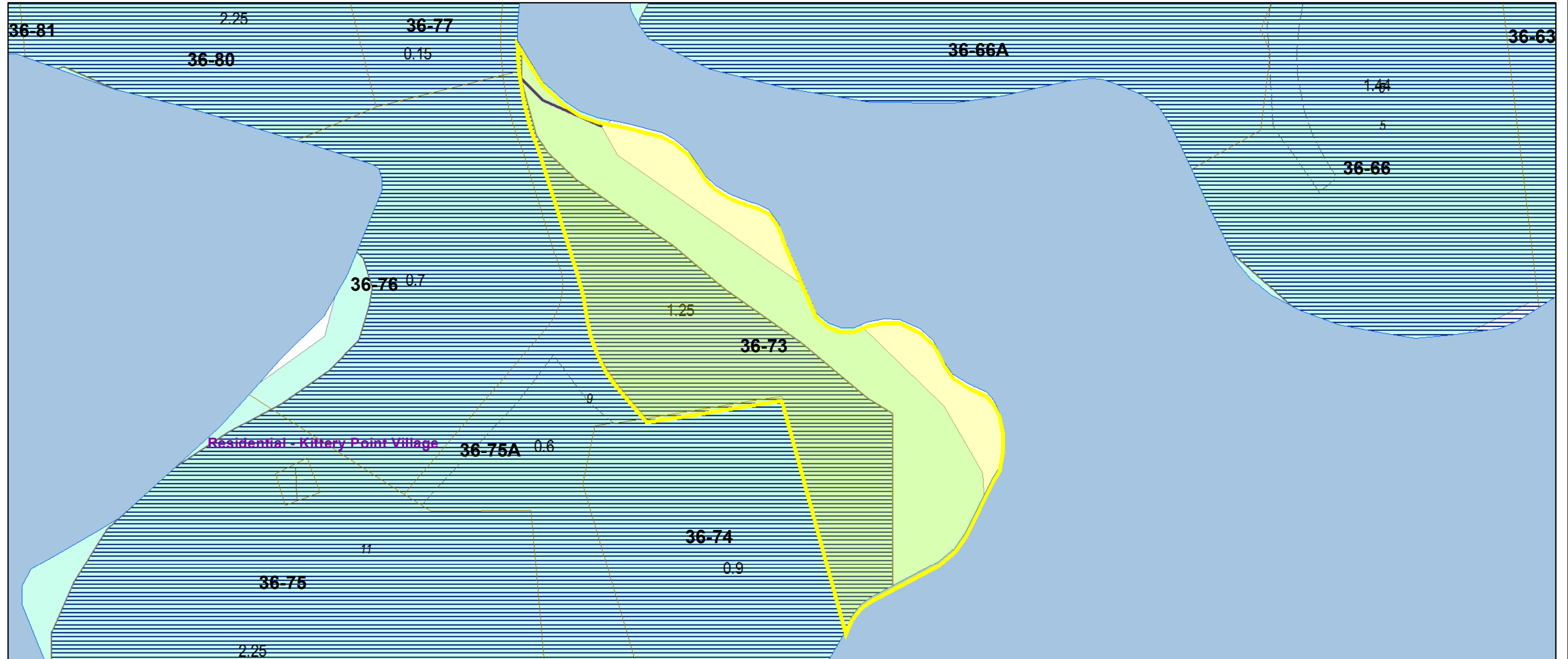
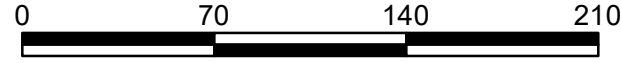
July 27, 2022

Kittery, ME

1 inch = 70 Feet



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	PWater		Shoreland Protection Overlay Zone 250'
	Property Line		Protected Streams
	Right of Way		Residential - Kittery Point Village
	Cemetery		
	Map - Lot Labels		
	Water-poly		

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July 21, 2022
220061

Mr. Adam Causey, Director of Planning and Development
Town of Kittery
200 Rogers Rd.
Kittery, ME 03904

Shoreland Development Application
8 Hoyt's Island Lane

Dear Adam:

On behalf of David H. Moulton & Francie Lee de Peyster (applicant) and in association with William Ross Architects, I am pleased to submit this Shoreland Development Application for the reconstruction of their existing seasonal home and guest cottage. Their property contains two non-conforming residential structures that are sited within 25 feet of the Highest Annual Tide (HAT). The proposal is to remove the existing structures and rebuilding them at a distance approximately 25 feet from the HAT line. One building is the main house which is a Dwelling Unit. The second is primarily a bunk room with no kitchen. In addition to the buildings some associated site improvements are planned. We have been working with Craig Alfis and Bart McDonough on this project to confirm the requirements needed for this reconstruction.

Highlights of the proposed plan consists of the following:

1. Reconstruct and relocate both buildings and do a 30% expansion. Both buildings are located within 25 feet of the Highest Annual Tide (HAT). The new location will be similar to the existing; however, will be moved back to meet a minimum of 25 feet from the HAT line.
2. A new septic waste disposal system will be installed to replace the two existing holding tanks near the structures. The new system will be designed to meet current regulations with no variances requested. The new system will be placed 100 feet from the HAT line near Hoyt's Island Lane. A fire hydrant in that location will need to move 4 feet to accommodate the system. We have coordinated this with the water district. A letter from the district is attached. Each building will have a grinder pump near the structure which will pump up to the system. The holding tanks will be discontinued and filled with sand.
3. The existing driveway, nearest the buildings, will be relocated slightly away from the resource to allow for the relocated buildings and to distance it from a large oak tree. This relocation will require removal of several smaller caliper trees and ledge. A replanting plan is added to account for the removed trees.
4. Currently parking near the cottage is either on gravel or grass. The new design will be in a similar location with 1 space added near the guest cottage.
5. Buildings will be placed outside of the 100-year flood plain. Currently portions of the buildings are in the flood plain.

6. Building heights, as shown on the Architectural and Site Plan, are calculated using the average existing grade around the structures as directed by Craig Alfis, Code Enforcement Officer. Heights of buildings are measured from the average existing grade to the roof ridge.

Submission Items

In accordance with the Shoreland Development Review requirements of the Land-Use and Development Code we offer the following plans and supportive documents for your review and consideration of this application.

1. Completed online application
2. Plan set at a scale of 1" = 20' showing location map, zoning information, proposed name of project, name and address of record owner/applicant, assessor's information, standard boundary survey, right of way lines, metes and bounds of lot lines, parcel summary, net development calculations, proposed improvements including: grading, utilities, paved areas, building setbacks, plan dimensions, abutting lot owners, vegetation and landscaping, erosion and sedimentation control
3. Architectural floor plans and elevations
4. List of abutters and addresses
5. Letter from Kittery Water District
5. Copy of HHE-200

I trust this submission provides you with enough material to begin review of this application so that we can be placed on the next available Planning Board Agenda. In the interim, if you or Town staff require additional information, please contact me.

Sincerely,

SEBAGO TECHNICS, INC.



Stephen G. Doe, RLA, LEED-AP
Landscape Architect

SGD: js
Enc.

cc: David Moulton & Francie Lee de Peyster
William Ross, William Ross Design
Monica F. Kieser, Esq., Hoefle, Phoenix, Gormley & Roberts, PLLC

8 HOYT'S ISLAND LANE

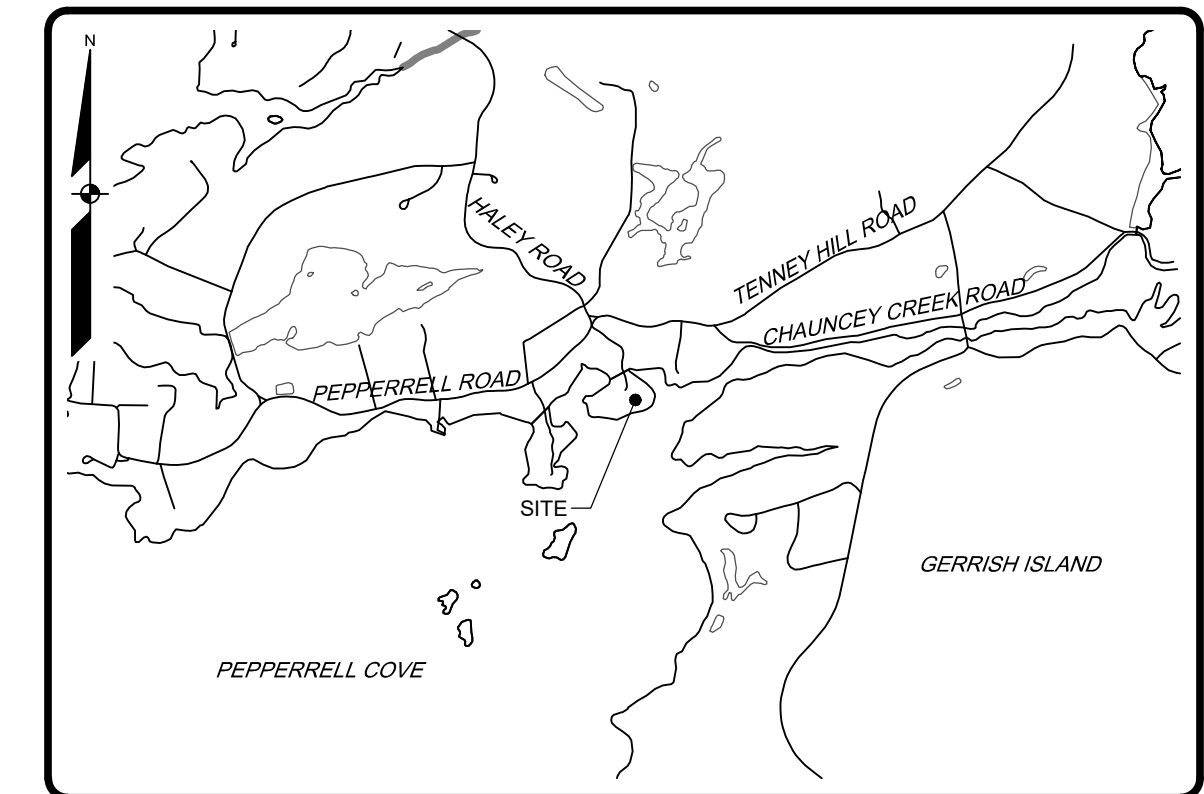
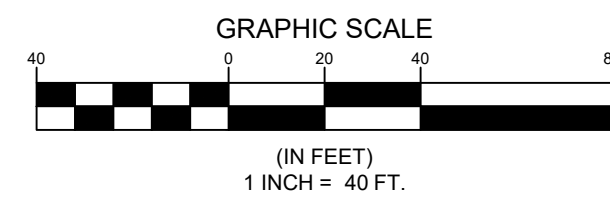
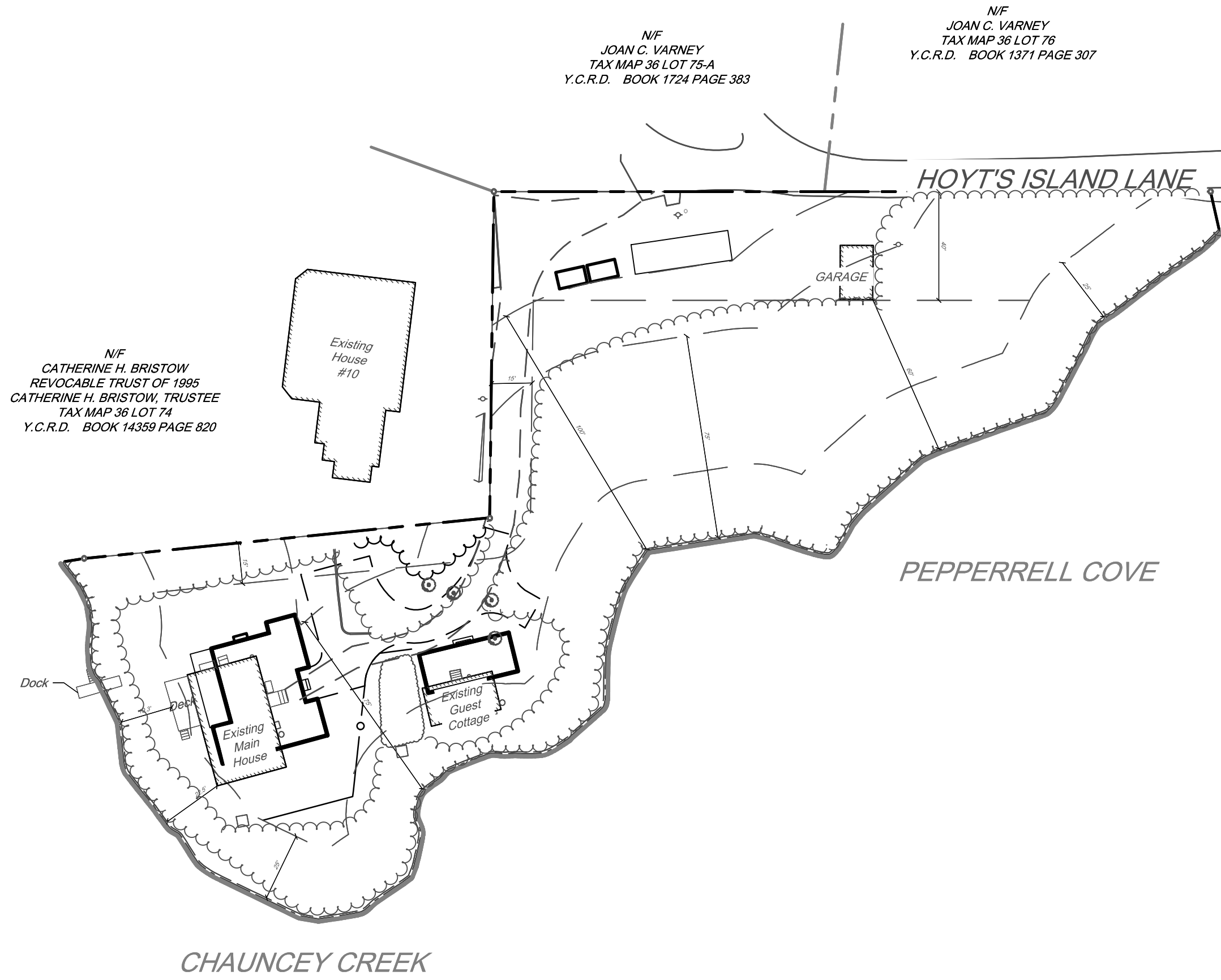
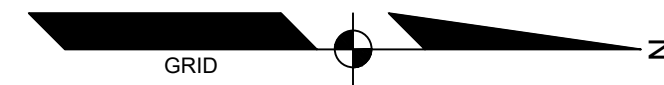
8 HOYT'S ISLAND LANE
KITTERY POINT, YORK COUNTY, ME

APPLICANT:
DAVID H. MOULTON &
FRANCES LEE DE PEYSTER
7209 FAIRFAX ROAD
BETHESDA, MD 20814

**ENGINEER/SURVEYOR/
LANDSCAPE ARCHITECT:**

SEBAGO
TECHNICS
WWW.SEBAGOTECHNICS.COM
75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

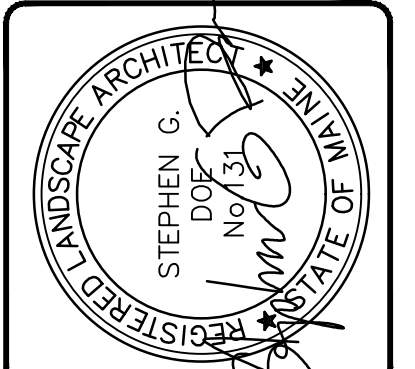
PROJECT ARCHITECT:
WILLIAM ROSS DESIGN
405 SOUTHSIDE ROAD P.O. BOX 911
YORK HARBOR, ME 03911



LOCATION MAP NTS

Sheet List Table

Sheet Number	Sheet Title
1	COVER SHEET
2	NOTES & LEGEND
3	SHORELAND DEVELOPMENT PLAN
4	GRADING & UTILITIES PLAN
5	LANDSCAPE PLAN
6	EROSION CONTROL NOTES
7	DETAILS
1 OF 1	EXISTING CONDITIONS PLAN



REV.	BY	DATE	STATUS
A	SGD	07/21/2022	ISSUED FOR PLANNING BOARD REVIEW

THIS PLAN SHALL NOT BE COPIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.



COVER SHEET
OF:
8 HOYT'S ISLAND LANE
8 HOYT'S ISLAND LANE
KITTERY POINT, YORK COUNTY, ME
FOR:
DAVID H. MOULTON & FRANCES LEE DE PEYSTER
7209 FAIRFAX ROAD
BETHESDA, MD 20814

DESIGNED	SGD
DRAWN	EPR
CHECKED	SGD
DATE	07/13/22
SCALE	1" = 40'
PROJECT	220061

SHEET 1 OF 7

220061 C.dwg, TAB C

LEGEND

EXISTING	PROPOSED
PROPERTY LINE/R.O.W.	PROPERTY LINE/R.O.W.
ABUTTER LINE/R.O.W.	ABUTTER LINE/R.O.W.
DEED LINE/R.O.W.	DEED LINE/R.O.W.
TIE LINE	TIE LINE
SETBACK	SETBACK
EASEMENT	EASEMENT
BUFFER	BUFFER
FLOODPLAIN	FLOODPLAIN
FLOODWAY	FLOODWAY
CENTERLINE	CENTERLINE
MONUMENT	MONUMENT
IRON PIPE/ROD	IRON PIPE/ROD
DRILL HOLE	DRILL HOLE
C1/L1	DEED CALL
C1/L1	CURVE/LINE NO.
SOILS	SOILS
ZONE LINE	ZONE LINE
ZONE LINE ON PL	ZONE LINE ON PL
BENCHMARK DESCRIPTION WITH ELEVATION	BENCHMARK
	SURVEY CONTROL
	TEST PIT
	MONITORING WELL
	BORING
	BUILDING
	DECK/STEPS/OVERHANG
	EDGE WETLAND
	WETLANDS
	UPLANDS
	STREAM
	LEDGE
	EDGE PAVEMENT
	PAVEMENT SAWCUT
	EDGE CONCRETE
	PAVEMENT PAINT
	EDGE GRAVEL
	CURB LINE
	EDGE OF WATER
	TREELINE
	CONTOURS
	SPOT GRADE
	CHAIN LINK FENCE
	BARB WIRE FENCE
	STOCKADE FENCE
	GUARD RAIL
	STONE WALL
	RETAINING WALL
	DECIDUOUS TREE
	CONIFEROUS TREE
	MULCH LINE
	BOLLARD
	SIGN
	RAILROAD
	GAS
	GAS GATE VALVE
	GAS METER
	GAS MANHOLE
	WATER
	WATER GATE VALVE
	WATER SHUT OFF
	HYDRANT
	WATER MANHOLE
	WELL
	SANITARY SEWER
	FORCE MAIN
	SANITARY MANHOLE
	STORM DRAIN
	UNDER DRAIN
	DRAINAGE MANHOLE
	CATCH BASIN
	OVERHEAD UTILITY
	UNDERGROUND UTILITY
	TRANSFORMER PAD
	ELECTRICAL MANHOLE
	ELECTRIC METER
	HVAC UNIT
	TELEPHONE MANHOLE
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	DRAINAGE DITCH
	EROSION CONTROL BLANKET
	FILTER BARRIER
	RIPRAP
	CHECK DAM
	INLET PROTECTION
	Boulder

GENERAL NOTES

- THE RECORD OWNER OF THE PARCEL IS DAVID HURD MOULTON REVOCABLE TRUST BY DEED DATED DECEMBER 16, 2015 AND RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS (YCRD), BOOK 17169, PAGE 817.
- THE PROPERTY IS SHOWN AS LOT 73 ON THE TOWN OF KITTERY TAX MAP 36 AND IS LOCATED IN THE BASE ZONE: RESIDENTIAL - KITTERY POINT (R-KPV), OVERLAY ZONE: WATER BODY / WETLAND PROTECTION AREA - 250' (OZ-SL-250'). RESOURCE PROTECTION OVERLAY ZONE: (OZ-RP).
- SPACE AND BULK CRITERIA:
R-KPV BASE ZONE REQUIREMENTS
MINIMUM LAND AREA PER DWELLING UNIT: 40,000 SQ. FT.
MINIMUM LOT SIZE: 40,000 SQ.FT.
MINIMUM STREET FRONTAGE: 150 FT.
MINIMUM FRONT YARD: 40 FT.
MINIMUM REAR AND SIDE YARDS: 15 FT.
MAXIMUM BUILDING HEIGHT: 35 FT.
MINIMUM SETBACK FROM WATER BODY AND WETLAND DEPENDENT USES: 0 FT.
MAXIMUM BUILDING COVERAGE: 20%
OZ-SL-250' REQUIREMENTS (SEE 16.3.2.17):
MINIMUM LOT SIZE: 20,000 SQ. FT.
MINIMUM LAND AREA PER DWELLING UNIT: 20,000 SQ. FT.
MINIMUM SHORE FRONTAGE: 50 FT.
MAXIMUM DEVEGETATED COVERAGE*: 20%
*SEE 16.3.2.17.D.1.d.iii
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON PLAN REFERENCE 5A.
- PLAN REFERENCES:
A. "EXISTING CONDITIONS PLAN FOR PROPERTY AT 8 HOYT'S ISLAND LAND, KITTERY POINT, YORK COUNTY, MAINE" DATED DECEMBER, 17, 2021 BY EASTERLY SURVEYING, INC.
- THE ENTIRE LOT FALLS WITHIN THE OZ-SL-250 SHORELAND ZONE WITH PORTIONS BEING IN THE RESOURCE PROTECTION ZONE. ZONING INFORMATION AND SETBACKS SHOWN HEREON ARE FOR REFERENCE PURPOSES. CONFIRM CURRENT ZONING REQUIREMENTS WITH THE TOWN OF KITTERY PRIOR TO DESIGN OR CONSTRUCTION.
- ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
- PROVIDE ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
- SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (811) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
- CONTRACTOR SHALL BE AWARE THAT DIG SAFE ONLY NOTIFIES ITS "MEMBER" UTILITIES ABOUT THE DIG. WHEN NOTIFIED, DIG SAFE WILL ADVISE CONTRACTOR OF MEMBER UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND CONTACTING NON-MEMBER UTILITIES DIRECTLY. NON-MEMBER UTILITIES MAY INCLUDE TOWN OR CITY WATER AND SEWER DISTRICTS AND SMALL LOCAL UTILITIES, AS WELL AS USG PUBLIC WORKS SYSTEMS.
- CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 3360-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
- NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
- IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
- THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. THE CONTRACTOR SHALL REPLACE OR REPAIR AS DIRECTED BY THE OWNER ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WHICH APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- WHERE THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGEMENT OF SEBAGO TECHNIQS, INC.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
- DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
- BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSTRUCTED BY HIS/HER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PRESENTABLE.

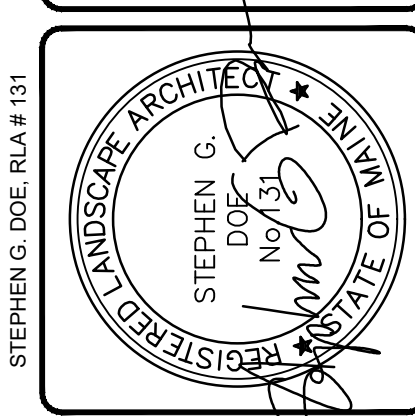
GRADING & EROSION NOTES

- SIDESLOPES SHALL NOT BE STEEPER THAN 3:1 (H:V) EXCEPT AS OTHERWISE IDENTIFIED ON THIS PLAN. ALL SIDESLOPES STEEPER THAN 3:1 (H:V) SHALL BE LINED WITH EROSION CONTROL BLANKET, OR ADDITIONAL MEASURES AS INDICATED.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENT CONTROL BMPs" MANUAL PUBLISHED BY BUREAU OF LAND AND WATER QUALITY MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, OCTOBER 2016 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE LOAM AND SEED PER DETAIL.

CONSTRUCTION PLAN

- PROVIDE EROSION CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
- GRADING AND CLEARING LIMITS SHALL NOT ENCROACH ON ADJACENT PROPERTIES UNLESS NOTED OTHERWISE ON THE PLANS.
- OPEN AREAS SHALL BE LIMITED TO AREAS BEING WORKED IN. THE AREA STRIPPED OF EXISTING VEGETATION AT ANY GIVEN TIME SHALL BE MINIMIZED AND BE PHASED WHERE PRACTICAL SO THAT AREAS ARE REVEGETATED AND PERMANENTLY STABILIZED BEFORE ADDITIONAL AREAS ARE STRIPPED OF EXISTING VEGETATION. CONSTRUCTION BY USE OF RIPRAP, SEED, MULCH, OR OTHER GROUND COVER WITHIN ONE WEEK FROM THE TIME IT WAS ACTIVELY WORKED. SURFACES SHALL BE STABILIZED PRIOR TO DIRECTING STORMWATER RUNOFF TOWARD STORMWATER BMPs. PLEASE REFER TO DRAINAGE PLANS FOR WATERSHED AREAS.

STEPHEN G. DOE, R.A. #131



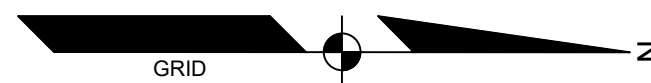
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TECHNIQS
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Sullivan, MA
South Portland, ME 04106
Tel. 207-200-2100
WWW.SEBAGOTECHNIQS.COM

NOTES & LEGEND
OF:
8 HOYT'S ISLAND LANE
8 HOYT'S ISLAND LANE
KITTERY POINT, YORK COUNTY, ME
FOR:
DAVID H. MOULTON & FRANCES LEE DE PEYSTER
7209 FAIRFAX ROAD
BETHESDA, MD 20814

DESIGNED	SGD
DRAWN	EPR
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PROJECT	220061



DEVEGETATED COVERAGE IN SHORELAND ZONE:

	EXISTING	PROPOSED
TOTAL LOT UPLAND AREA IN SHORELAND ZONE:	46,150± SQ.FT.	
MAIN HOUSE	1,132± SQ.FT.	1,468± SQ.FT.
REAR DECK & STEPS	182± SQ.FT.	236± SQ.FT.
GUEST COTTAGE	383± SQ.FT.	493± SQ.FT.
STEPS	13± SQ.FT.	16± SQ.FT.
GARAGE	240± SQ.FT.	240± SQ.FT.
RET. WALL	40± SQ.FT.	0± SQ.FT.
DOCK	27± SQ.FT.	27± SQ.FT.
GRAVEL DRIVEWAY	3,000± SQ.FT.	4,256± SQ.FT.
TOTAL DEVEGETATED AREA:	5,017± SQ.FT. (10.9%)	6,726± SQ.FT. (14.6%)

BUILDING HEIGHTS*:

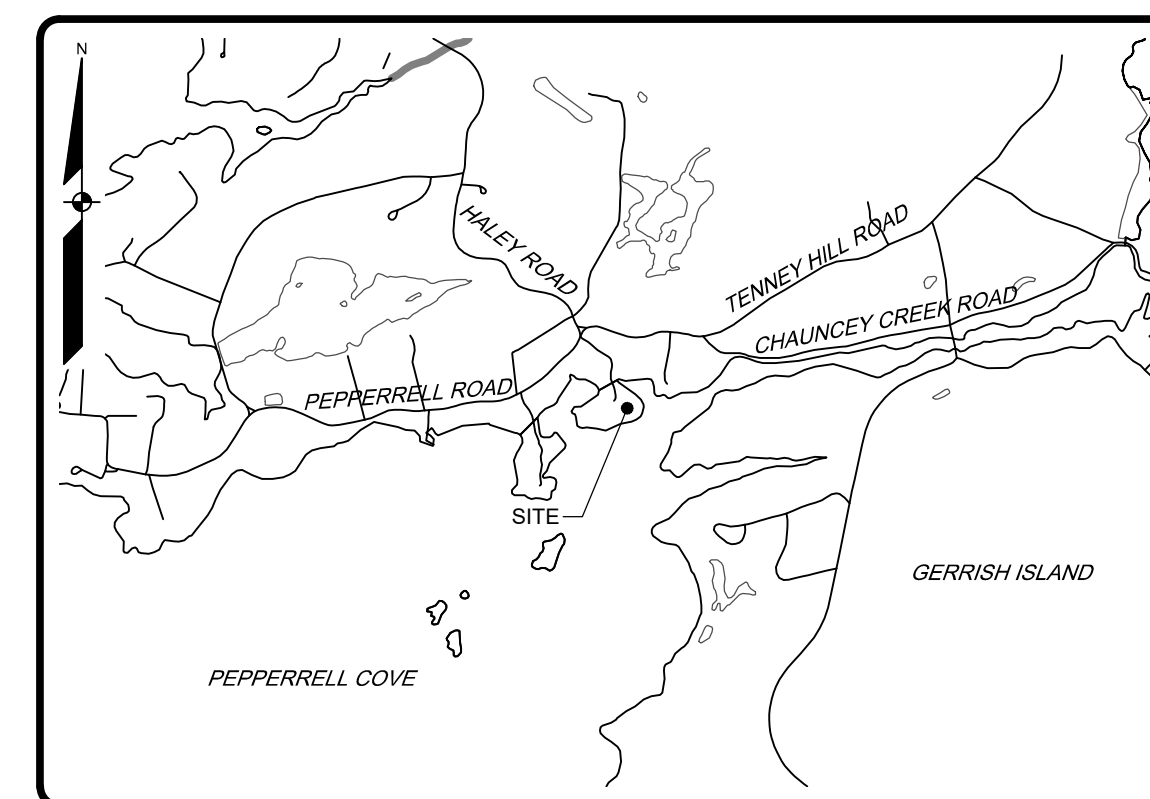
	EXISTING	PROPOSED
MAIN HOUSE	17.2'	19.83'
GUEST COTTAGE	13.7'	14.33'

*BUILDING HEIGHTS WERE MEASURED USING THE AVERAGE EXISTING GRADE AS DEFINED BY THE TOWN OF KITTERY ZONING ORDINANCE, 16.3.2. HEIGHT OF BUILDINGS BUILDING HEIGHTS SHOWN ARE MEASURED TO THE TOP ROOF RIDGE OF THE STRUCTURES

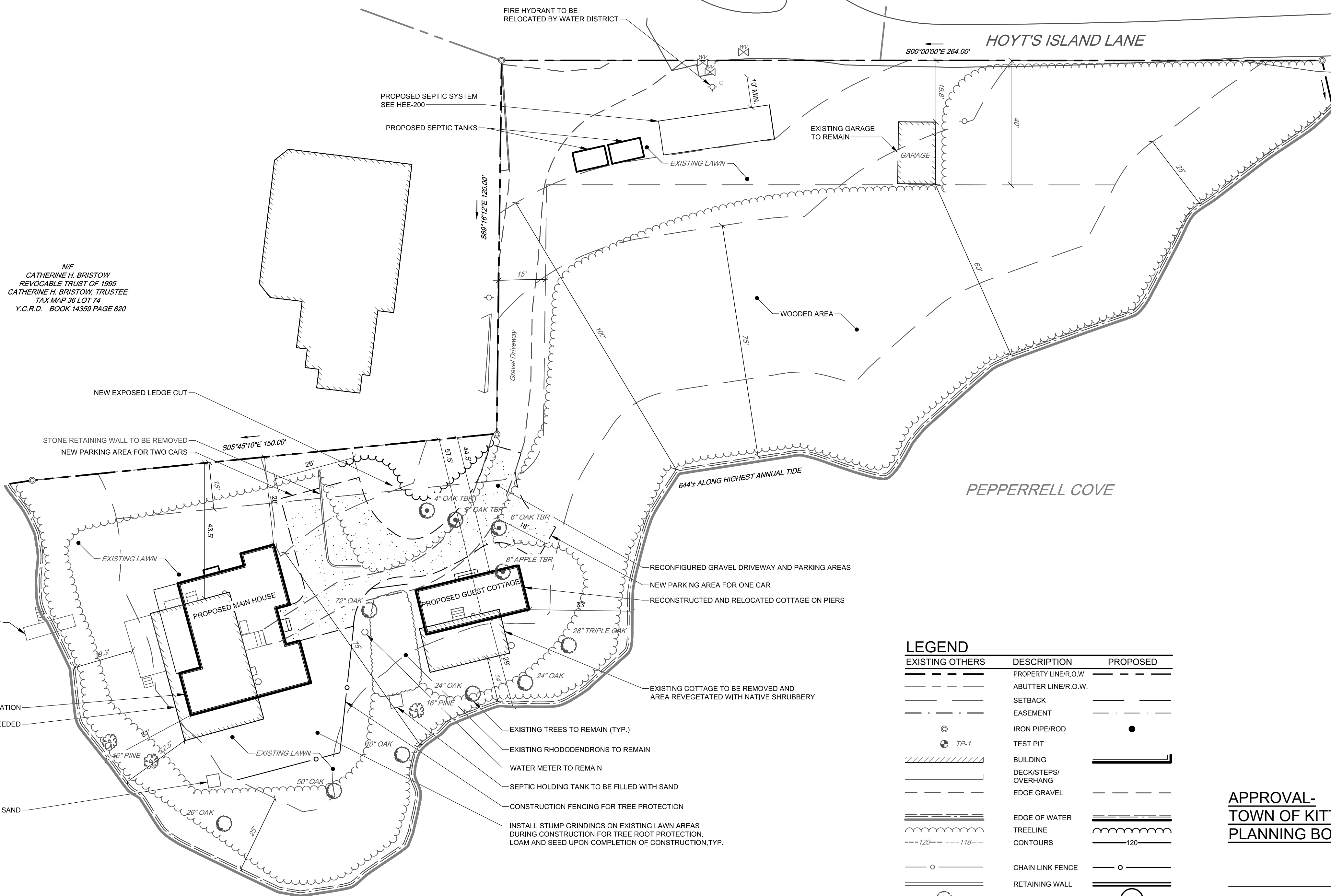
BUILDING CALCULATIONS			
	EXISTING	PROPOSED	MAX (30% EXPANSION ALLOWED)
MAIN HOUSE	1,132 S.F.	1,468 S.F.	1,472 S.F.
EXISTING DECK AND STEPS	182 S.F.	236 S.F.	236 S.F.
GUEST COTTAGE	383 S.F.	493 S.F.	498 S.F.
EXISTING STEPS	13 S.F.	16 S.F.	17 S.F.
GARAGE	240 S.F.	240 S.F.	312 S.F.
DOCK	27 S.F.	27 S.F.	35 S.F.
TOTAL	1,977 S.F.	2,480 S.F.	2,570 S.F.

N/F
JOAN C. VARNEY
TAX MAP 36 LOT 76
Y.C.R.D. BOOK 1724 PAGE 383

N/F
JOAN C. VARNEY
TAX MAP 36 LOT 76
Y.C.R.D. BOOK 1371 PAGE 307



LOCATION MAP NTS



N/F
CATHERINE H. BRISTOW
REVOCABLE TRUST OF 1995
CATHERINE H. BRISTOW, TRUSTEE
TAX MAP 36 LOT 74
Y.C.R.D. BOOK 14389 PAGE 820

GENERAL NOTES

- THE RECORD OWNER OF THE PARCEL IS DAVID HURD MOULTON REVOCABLE TRUST BY DEED DATED DECEMBER 16, 2015 AND RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS (YCRD), BOOK 17166, PAGE 817.
- THE PROPERTY IS SHOWN AS LOT 73 ON THE TOWN OF KITTERY TAX MAP 36 AND IS LOCATED IN THE BASE ZONE: RESIDENTIAL - KITTERY POINT (R-KPV), OVERLAY ZONE: WATER BODY / WETLAND PROTECTION AREA - 250' (OZ-SL-250'), RESOURCE PROTECTION OVERLAY ZONE: (OZ-RP).
- SPACE AND BULK CRITERIA:
R-KPV BASE ZONE REQUIREMENTS
MINIMUM LAND AREA PER DWELLING UNIT: 40,000 SQ. FT.
MINIMUM LOT SIZE: 40,000 SQ.FT.
MINIMUM STREET FRONTAGE: 150 FT.
MINIMUM FRONT YARD: 40 FT.
MINIMUM REAR AND SIDE YARDS: 15 FT.
MAXIMUM BUILDING HEIGHT: 35 FT.
MINIMUM SETBACK FROM WATER BODY AND WETLAND DEPENDENT USES: 0 FT.
MAXIMUM BUILDING COVERAGE: 20%
OZ-SL-250' REQUIREMENTS (SEE 16.3.2.17):
MINIMUM LOT SIZE: 20,000 SQ. FT.
MINIMUM LAND AREA PER DWELLING UNIT: 20,000 SQ. FT.
MINIMUM SHORE FRONTAGE: 50 FT.
MAXIMUM DEVEGETATED COVERAGE*: 20%
*SEE 16.3.2.17.D.1.d.ii
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON PLAN REFERENCE 5A.
- PLAN REFERENCES:
A. "EXISTING CONDITIONS PLAN FOR PROPERTY AT 8 HOYT'S ISLAND LANE, KITTERY POINT, YORK COUNTY, MAINE" DATED DECEMBER, 17, 2021 BY EASTERLY SURVEYING, INC.
- THE ENTIRE LOT FALLS WITHIN THE OZ-SL-250' SHORELAND ZONE WITH PORTIONS BEING IN THE RESOURCE PROTECTION ZONE. ZONING INFORMATION AND SETBACKS SHOWN HEREON ARE FOR REFERENCE PURPOSES. CONFIRM CURRENT ZONING REQUIREMENTS WITH THE TOWN OF KITTERY PRIOR TO DESIGN OR CONSTRUCTION.

LEGEND

EXISTING OTHERS	DESCRIPTION	PROPOSED
---	PROPERTY LINE/R.O.W.	---
---	ABUTTER LINE/R.O.W.	---
---	SETBACK	---
---	EASEMENT	---
⊙	IRON PIPE/ROD	●
⊕	TEST PIT	⊕
▭	BUILDING	▭
▭	DECK/STEPS/ OVERHANG	▭
▭	EDGE GRAVEL	▭
▭	EDGE OF WATER	▭
▭	TREELINE	▭
▭	CONTOURS	▭
○	CHAIN LINK FENCE	○
▭	RETAINING WALL	▭
⊙	DECIDUOUS TREE	⊙ (X)
⊙	CONIFEROUS TREE	⊙ (X)
⊙	TREE TO BE REMOVED	⊙
⊙	BOLLARD	●
⊕	WATER GATE VALVE	⊕
⊕	HYDRANT	⊕
⊕	UTILITY POLE	⊕
⊕	FILTER BARRIER	FB

**APPROVAL-
TOWN OF KITTERY
PLANNING BOARD**

DATE _____

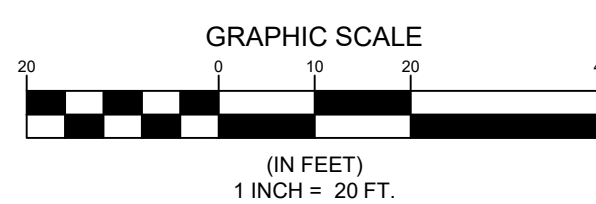
CHAIRPERSON _____

STATE OF MAINE

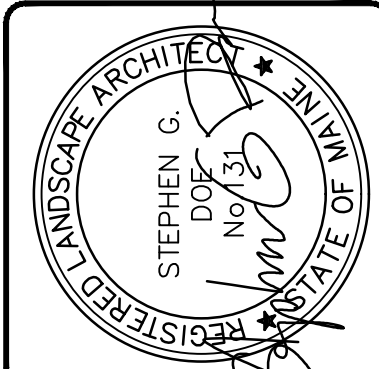
YORK COUNTY SS REGISTRY OF DEEDS
RECEIVED _____ 20____
AT _____ M. AND RECORDED IN
PLAN BOOK _____ PAGE _____

ATTEST _____ REGISTRAR

TAX MAP 36 LOT 73



STEPHEN G. DOE, R.A. #131



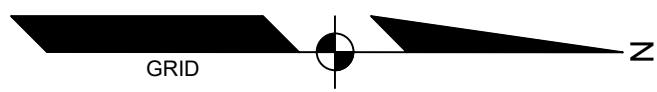
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SHORELAND DEVELOPMENT PLAN
OF:
8 HOYT'S ISLAND LANE
KITTERY POINT, YORK COUNTY, ME
FOR:
DAVID H. MOULTON & FRANCES LEE DE PEYSTER
7209 FAIRFAX ROAD
BETHESDA, MD 20814

DESIGNED	SGD
DRAWN	EPR
CHECKED	SGD
DATE	07/13/22
SCALE	1" = 20'
PROJECT	220061



N/F
 CATHERINE H. BRISTOW
 REVOCABLE TRUST OF 1995
 CATHERINE H. BRISTOW, TRUSTEE
 TAX MAP 36 LOT 74
 Y.C.R.D. BOOK 14389 PAGE 820

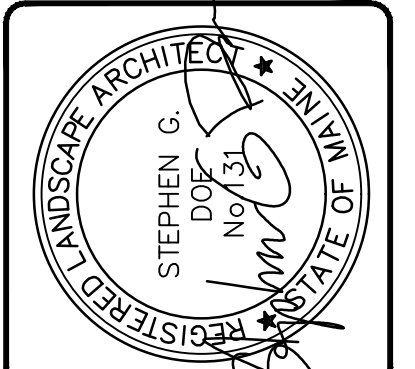
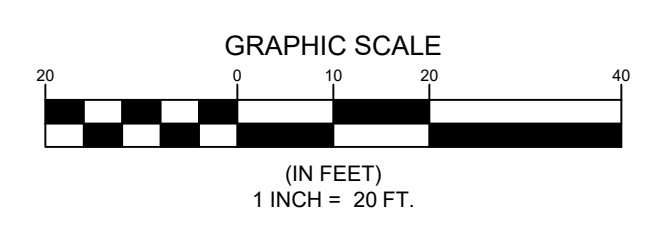
N/F
 JOAN C. VARNEY
 TAX MAP 36 LOT 75-A
 Y.C.R.D. BOOK 1724 PAGE 383

N/F
 JOAN C. VARNEY
 TAX MAP 36 LOT 76
 Y.C.R.D. BOOK 1371 PAGE 307

CHAUNCEY CREEK

PEPPERRELL COVE

HOYT'S ISLAND LANE



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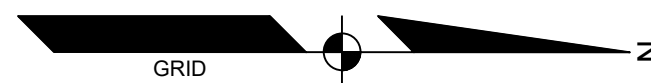
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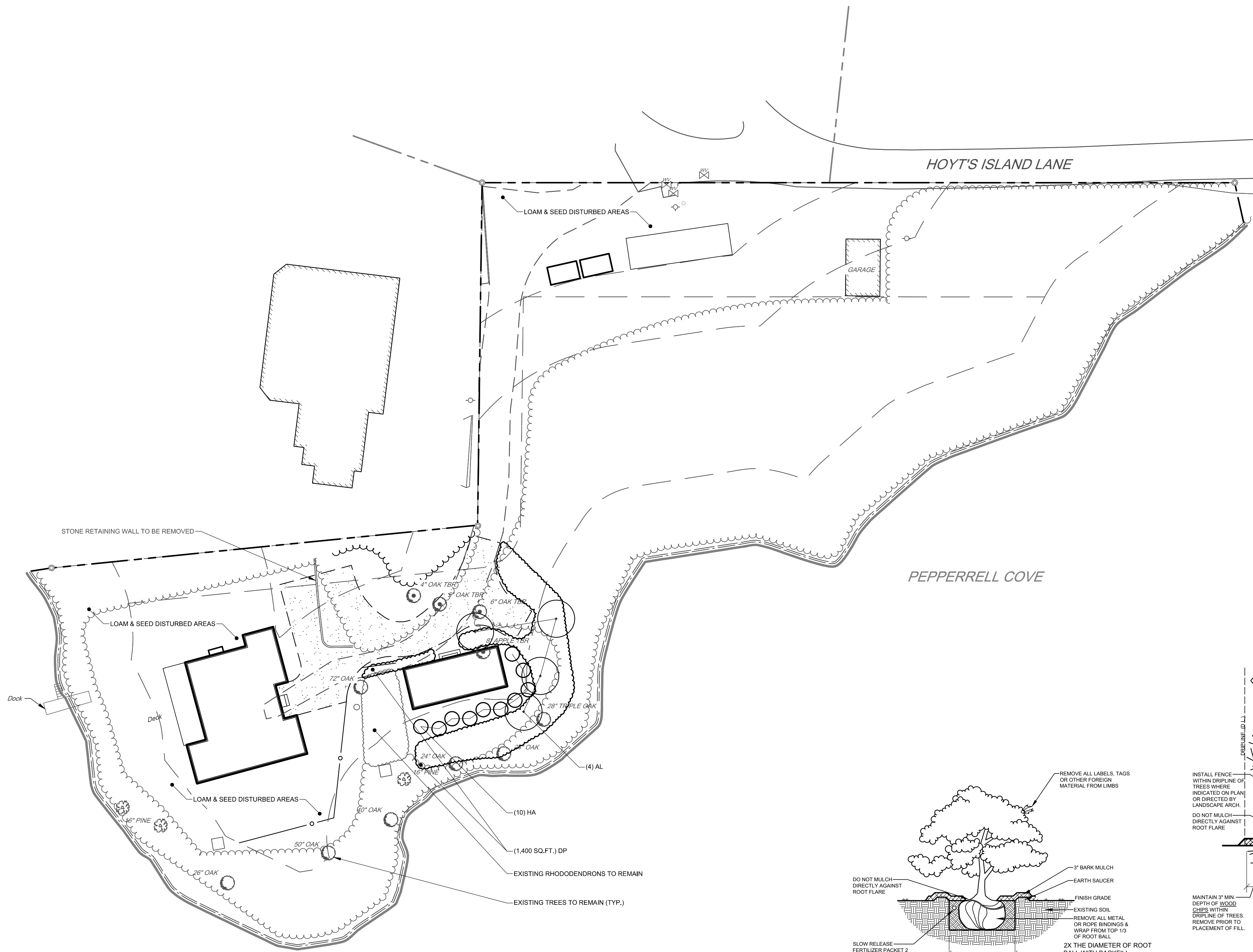
GRADING & UTILITIES PLAN
 OF:
 8 HOYT'S ISLAND LANE
 8 HOYT'S ISLAND LANE
 KITTERY POINT, YORK COUNTY, ME
 FOR:
 DAVID H. MOULTON & FRANCES LEE DE PEYSTER
 7209 FAIRFAX ROAD
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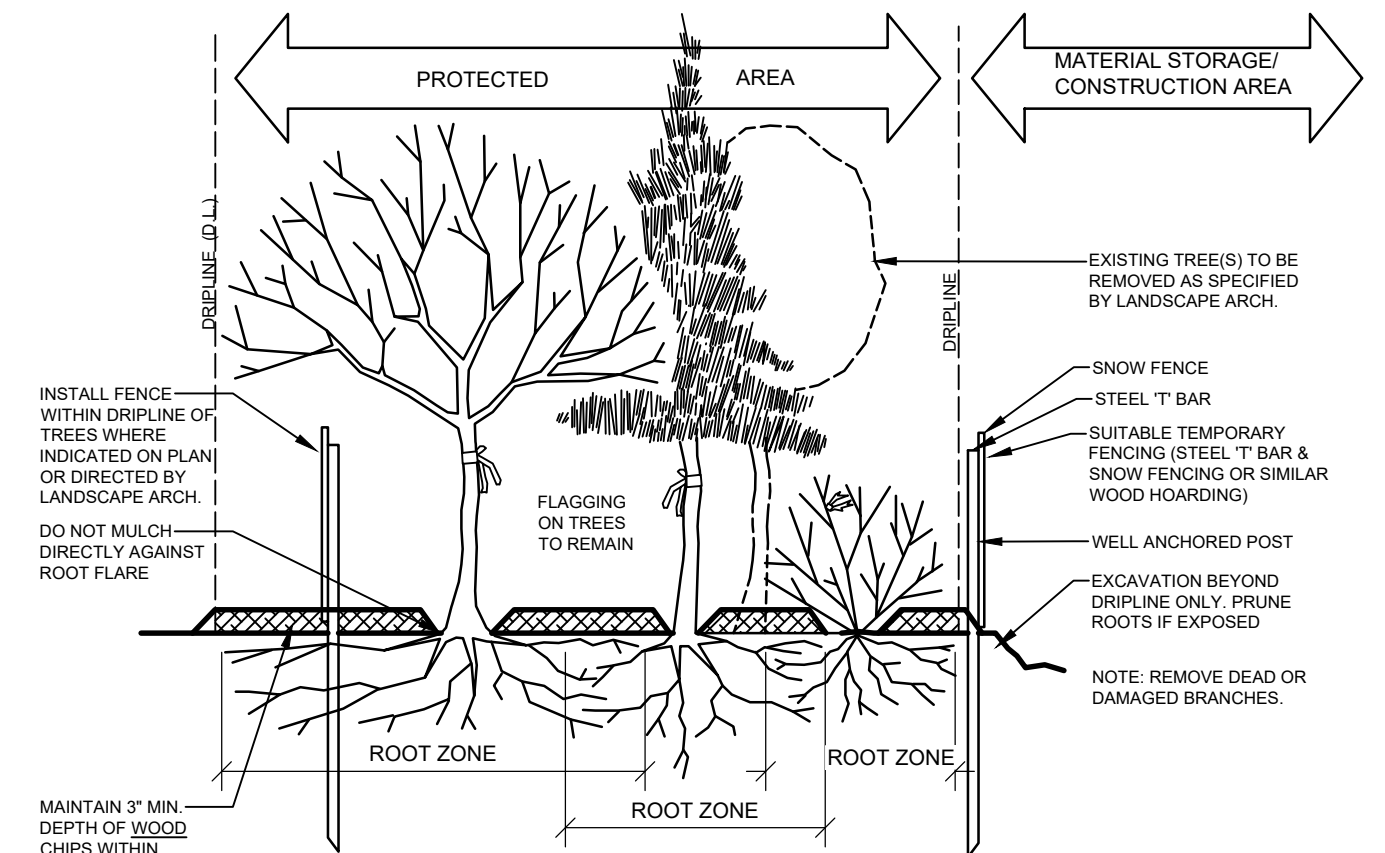
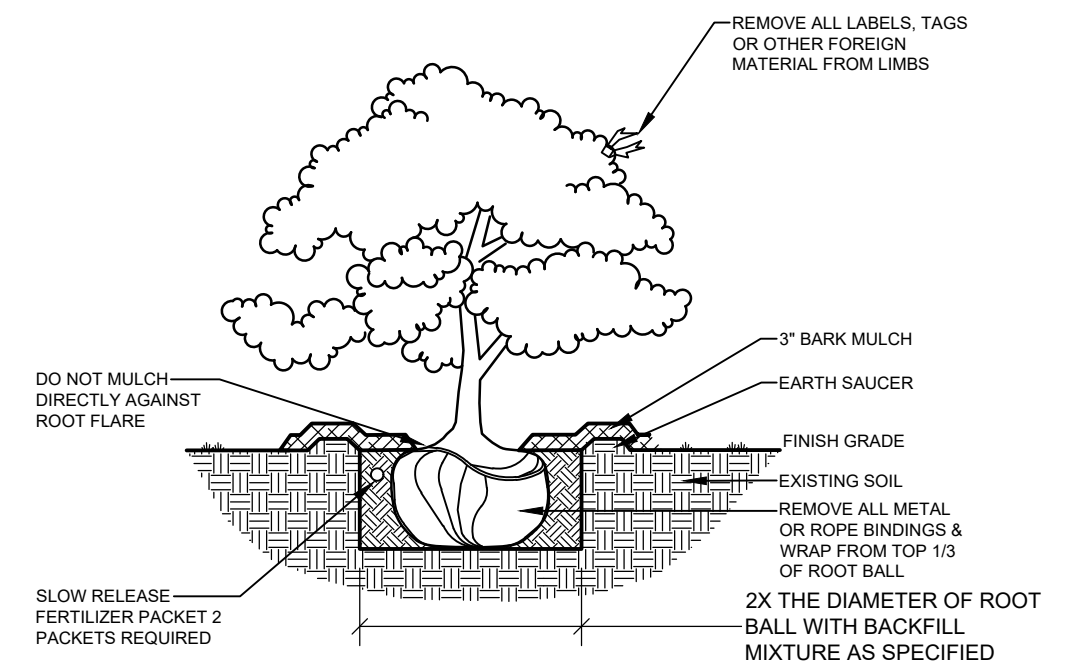


PLANT SCHEDULE			
KEY	BOTANICAL NAME	COMMON NAME	SIZE
AL	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	8' - 10' HGT.
DP	DENNSTAEDTIA PUNCTILOBULA	HAY SCENTED FERN	SOD SPREADER
HA	HYDRANGEA ARBORESCENS	SMOOTH HYDRANGEA	#5 CONT.

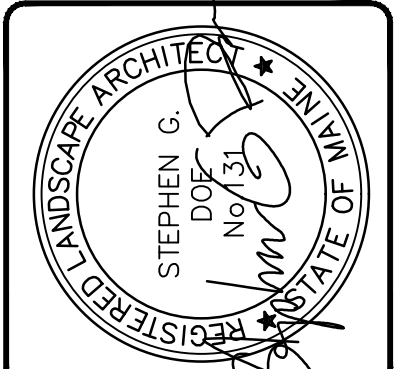
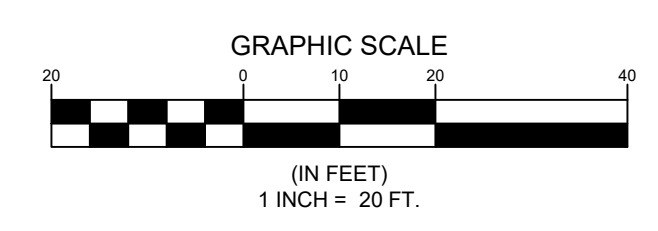


LANDSCAPE NOTES

- PLANT QUANTITIES SHOWN ON PLANS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ABSOLUTE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
- PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
- ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED DARK BROWN BARK MULCH.
- THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SOODED OR SEED. PLANTING AREAS SHALL RECEIVE 12" ROLLED THICKNESS OF LOAM. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTTED BEDS TO A DEPTH OF 8 INCHES.
- DURING CLEANING OF SITE AND PRIOR TO TREE AND SHRUB INSTALLATION, CONTRACTOR SHALL REMOVE INVASIVE PLANTS. AREAS WHERE INVASIVE PLANTS ARE REMOVED AND NOT OTHER PLANTING IS PROPOSED, AREA SHALL BE LOAM AND SEED.



TREE PROTECTION DETAIL
NOT TO SCALE CROSS-SECTION OF TYPICAL PLANT GROUPING



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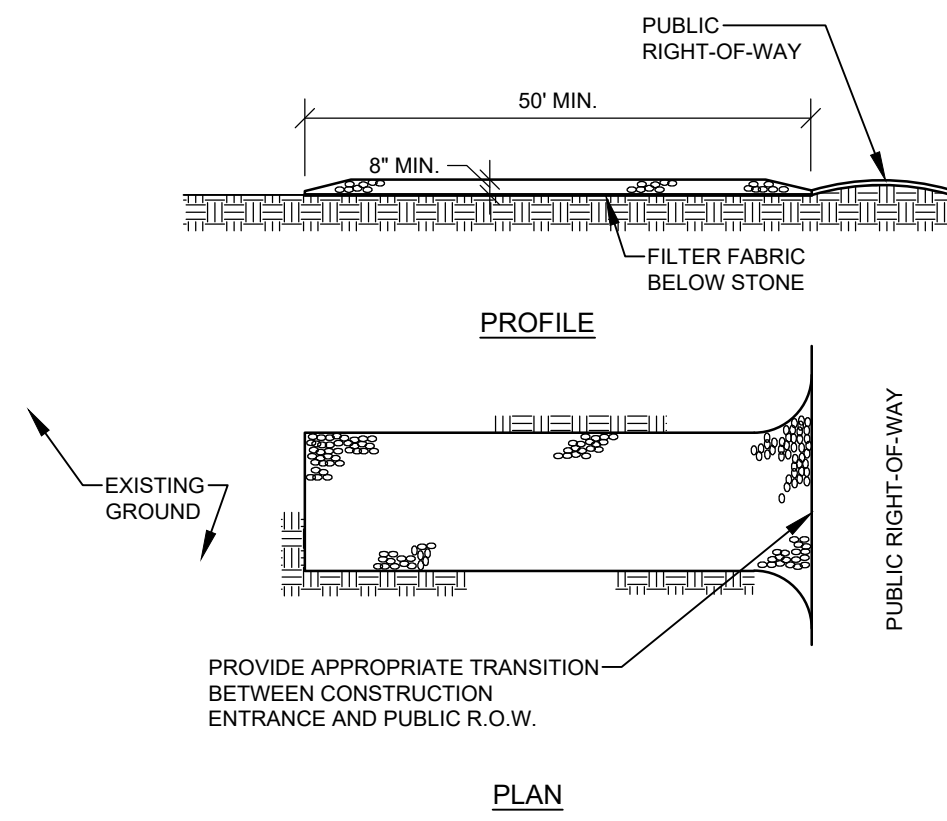
LANDSCAPE PLAN
OF:
8 HOYT'S ISLAND LANE
8 HOYT'S ISLAND LANE
KITTEERY POINT, YORK COUNTY, ME

FOR:
DAVID H. MOULTON & FRANCES LEE DE PEYSTER
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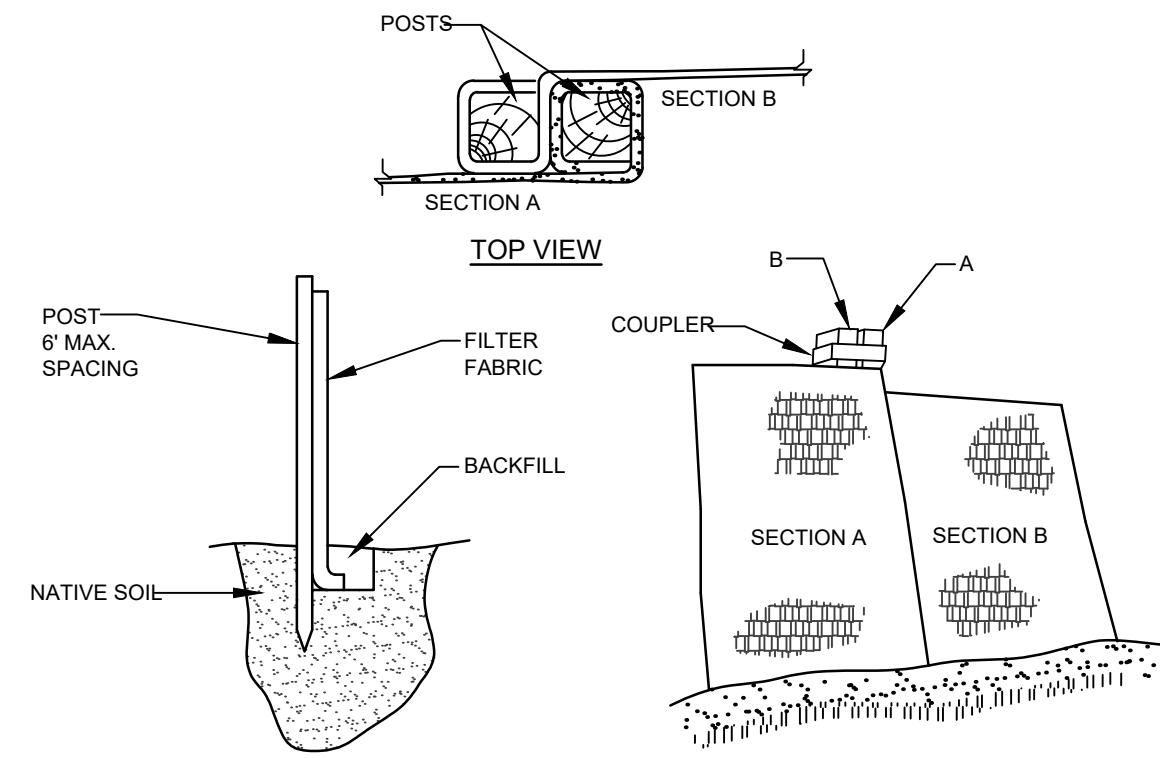
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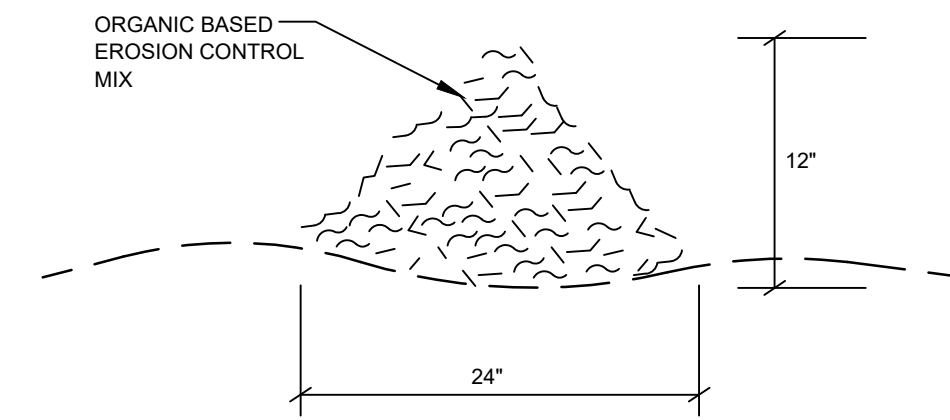
- NOTES:**
1. STONE SIZE- AASHTO DESIGNATION M43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
 2. LENGTH- AS SHOWN ON PLANS, MIN. 50 FEET.
 3. THICKNESS- NOT LESS THAN EIGHT (8) INCHES.
 4. WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
 5. MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION EXIT
NOT TO SCALE



- INSTALLATION NOTES:**
1. EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
 5. JOIN SECTION AS SHOWN ABOVE. 6. BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

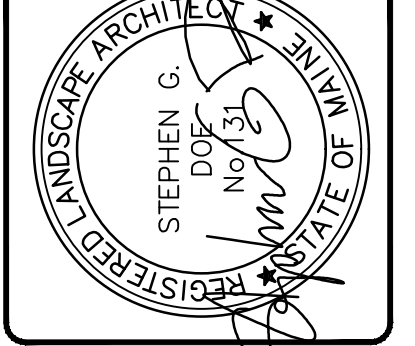
FILTER BARRIER
NOT TO SCALE



COMPOSITION
EROSION CONTROL MIX SHALL BE MANUFACTURED ON OR OFF THE PROJECT SITE SUCH THAT ITS COMPOSITION IS IN ACCORDANCE WITH THE LATEST VERSION OF THE MDEP MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL. IT MUST CONSIST PRIMARILY OF ORGANIC MATERIAL, SEPARATED AT THE POINT OF GENERATION, AND MAY INCLUDE: SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS OR REPROCESSED WOOD PRODUCTS WILL NOT BE ACCEPTABLE AS THE ORGANIC COMPONENT OF THE MIX.

- INSTALLATION:**
1. THE BARRIER MUST BE PLACED ACROSS THE SLOPE, ALONG THE CONTOUR.
 2. EXISTING GROUND SHALL BE PREPARED SUCH THAT THE BARRIER MAY LIE NEARLY FLAT ALONG THE GROUND TO AVOID THE CREATION OF VOIDS AND BRIDGES IN ORDER TO MINIMIZE THE POTENTIAL OF WASH OUTS UNDER THE BARRIER.
 3. THE BARRIER SHALL BE A MINIMUM OF 1 FOOT HIGH (AS MEASURED ON THE UPHILL SIDE) AND 2 FEET WIDE FOR SLOPES LESS THAN 5% IN GRADE AND SHALL BE WIDER TO ACCOMMODATE THE ADDITIONAL RUNOFF.
 4. EROSION CONTROL MIX CAN BE INSTALLED WHERE SILT FENCE IS ILLUSTRATED ON THE DESIGN PLANS IN AREAS EXCEPT IN, BUT NOT LIMITED TO, THE FOLLOWING AREAS: WETLAND AREAS, AT POINTS OF CONCENTRATED FLOW, BELOW CULVERT OUTLET APRONS, AROUND CATCH BASINS AND CLOSED STORM SYSTEMS AND AT THE BOTTOM OF STEEP SLOPES THAT ARE MORE THAN 50 FEET FROM TOP TO BOTTOM.
 5. BERMS COMPOSED OF EROSION CONTROL MIX CAN BE RESHAPED WHEN NECESSARY.

EROSION CONTROL MIX BERM
NOT TO SCALE



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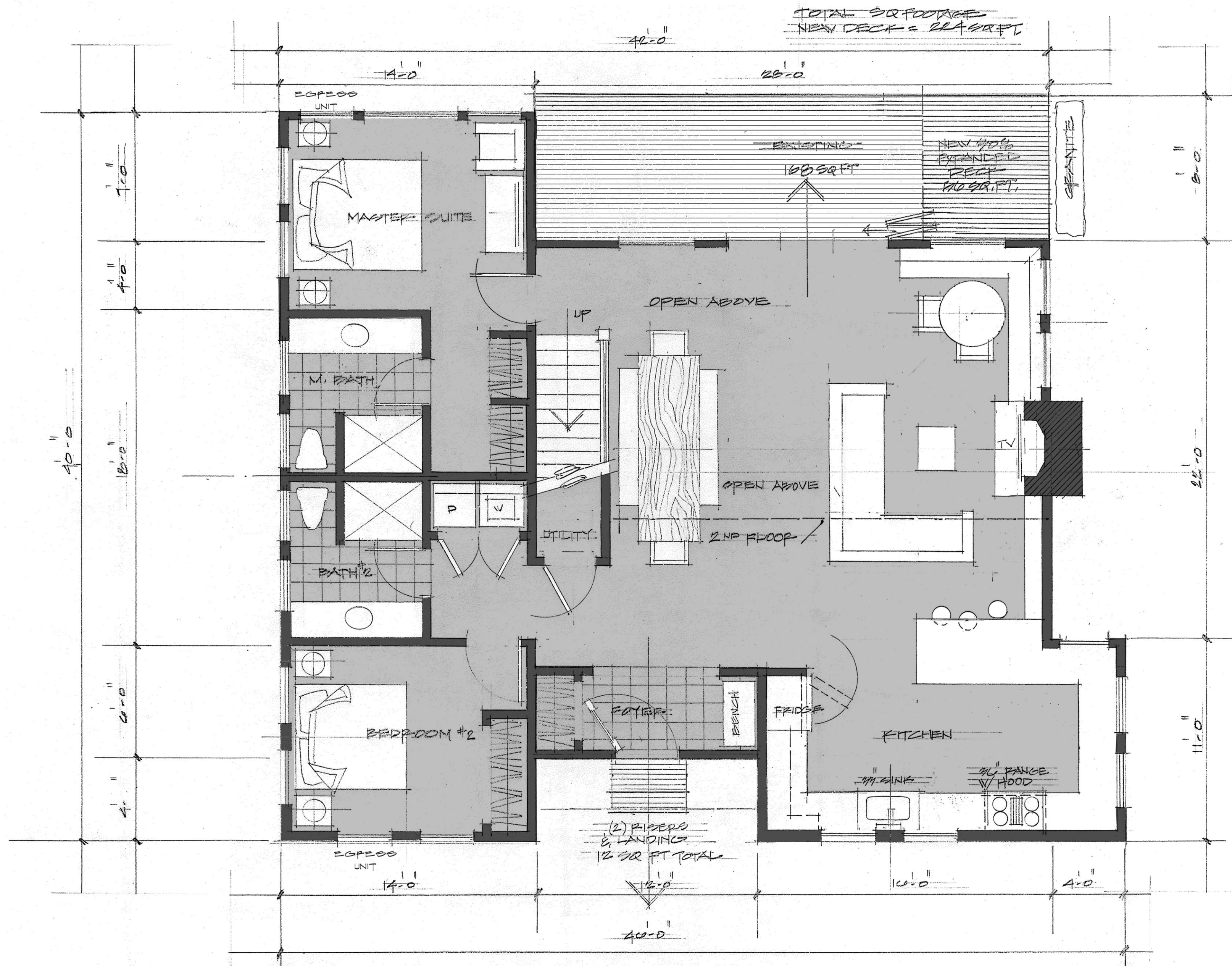
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DETAILS
OF:
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8 HOYT'S ISLAND LANE
KITTEERY POINT, YORK COUNTY, ME
FOR:
DAVID H. MOULTON & FRANCES LEE DE PEYSTER
7209 FAIRFAX ROAD
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220061 Dwg. 7A&D1



First Floor Plan

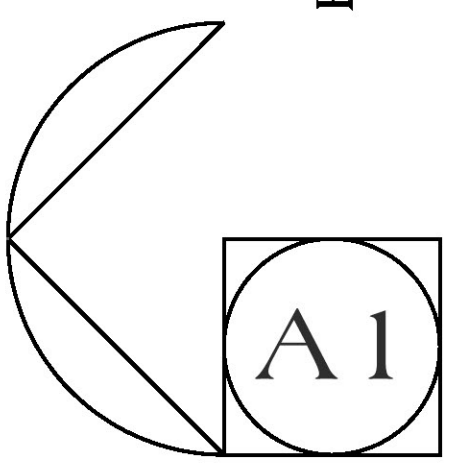
Total allowable footprint with 30% expansion = 1,472 Sq.Ft.
 Total footprint shown above = 1,468 Sq.Ft.

(Existing House Footprint = 1,132 Sq.Ft.)
 1,132 Sq.Ft x 30% = 340 Sq.Ft.
 1,132 Sq.Ft. + 340 Sq.Ft. = 1,472 Sq.Ft.

Total allowable deck & steps with 30% expansion = 236 Sq.Ft.
 Total deck & steps shown above = 236 Sq.Ft.

(Existing deck & steps = 182 Sq.Ft.)
 182 Sq.Ft x 30% = 54 Sq.Ft.
 182 Sq.Ft. + 54 Sq.Ft. = 236 Sq.Ft.

Conceptual Drawings
 - Not for Construction -
 Date: 7/14/22



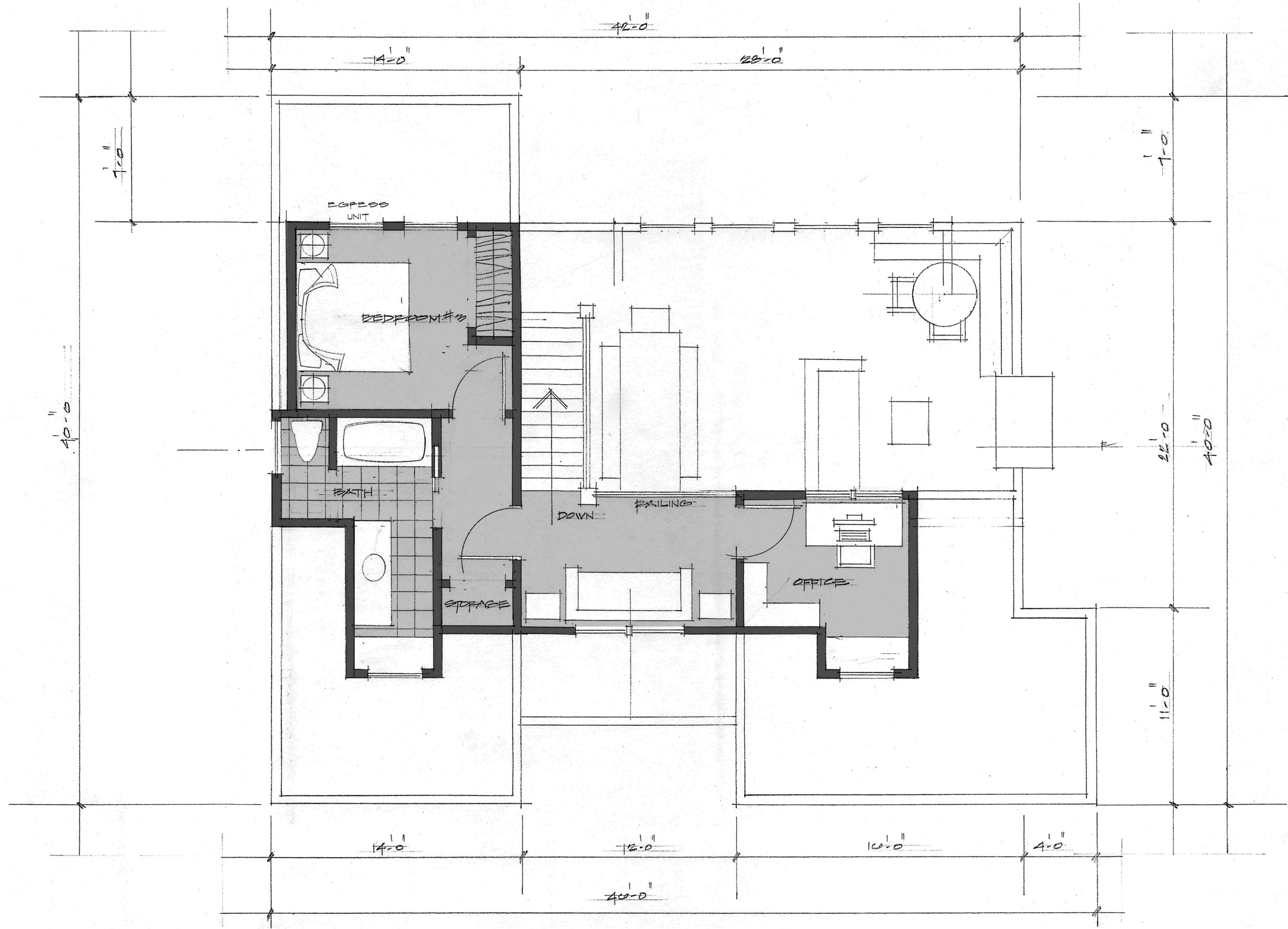
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Moulton / De Peyster Residence
 - Main House -
 8 Hoy's Island Lane
 Kittery Point, Maine

REVISIONS:

5/21/22	
6/15/22	
7/14/22	

TITLE: FIRST FLOOR PLAN
 DATE: 7/14/22
 SCALE: 1/4" = 12"



Second Floor Plan

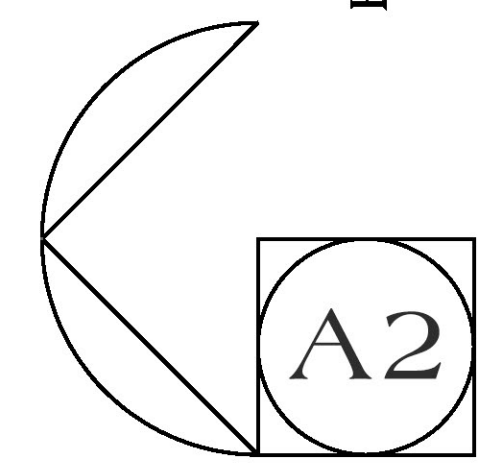
TITLE: SECOND FLOOR PLAN
 DATE: 5/27/22
 SCALE: 1/4" = 12"

REVISIONS:
01/27/22
7/14/22

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Conceptual Drawings
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 Date: 7/14/22





North Elevation

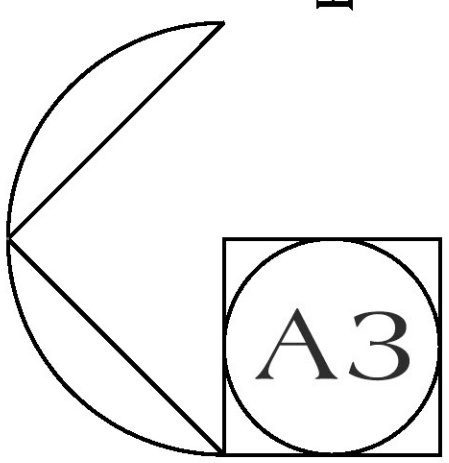
TITLE: NORTH ELEVATION
 DATE: 1/25/22
 SCALE: 1/4" = 12'

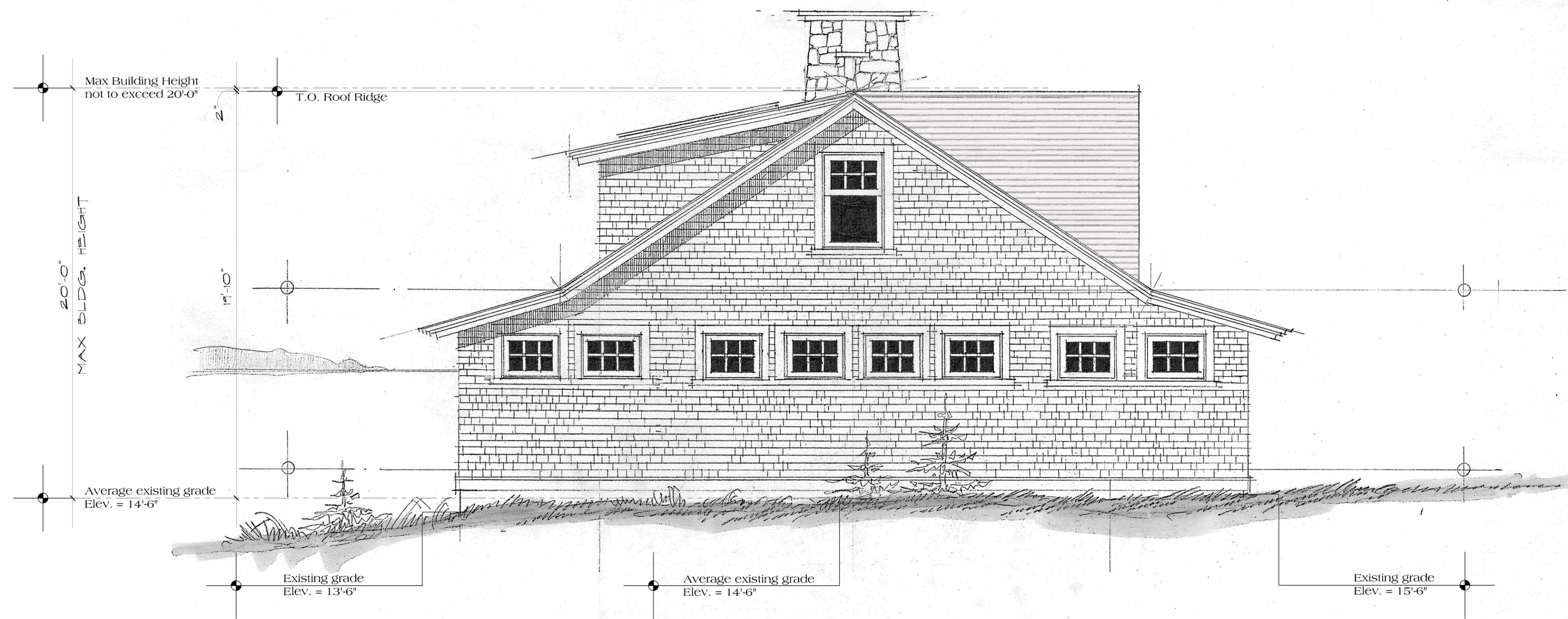
REVISIONS:
 5/21/22
 6/21/22

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Conceptual Drawings
 - Not for Construction -
 Date: 7/14/22





East Elevation

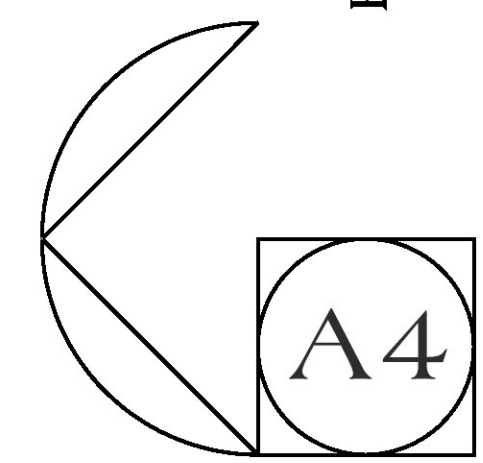
TITLE: EAST ELEVATION
 DATE: 1/25/22
 SCALE: 1/4" = 12'

REVISIONS:

Moulton / De Peyster Residence
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Conceptual Drawings
 - Not for Construction -
 Date: 7/14/22





South Elevation

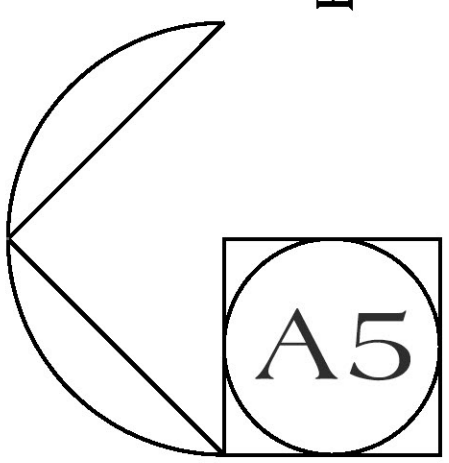
TITLE: SOUTH ELEVATION
 DATE: 1/25/22
 SCALE: 1/4" = 12'

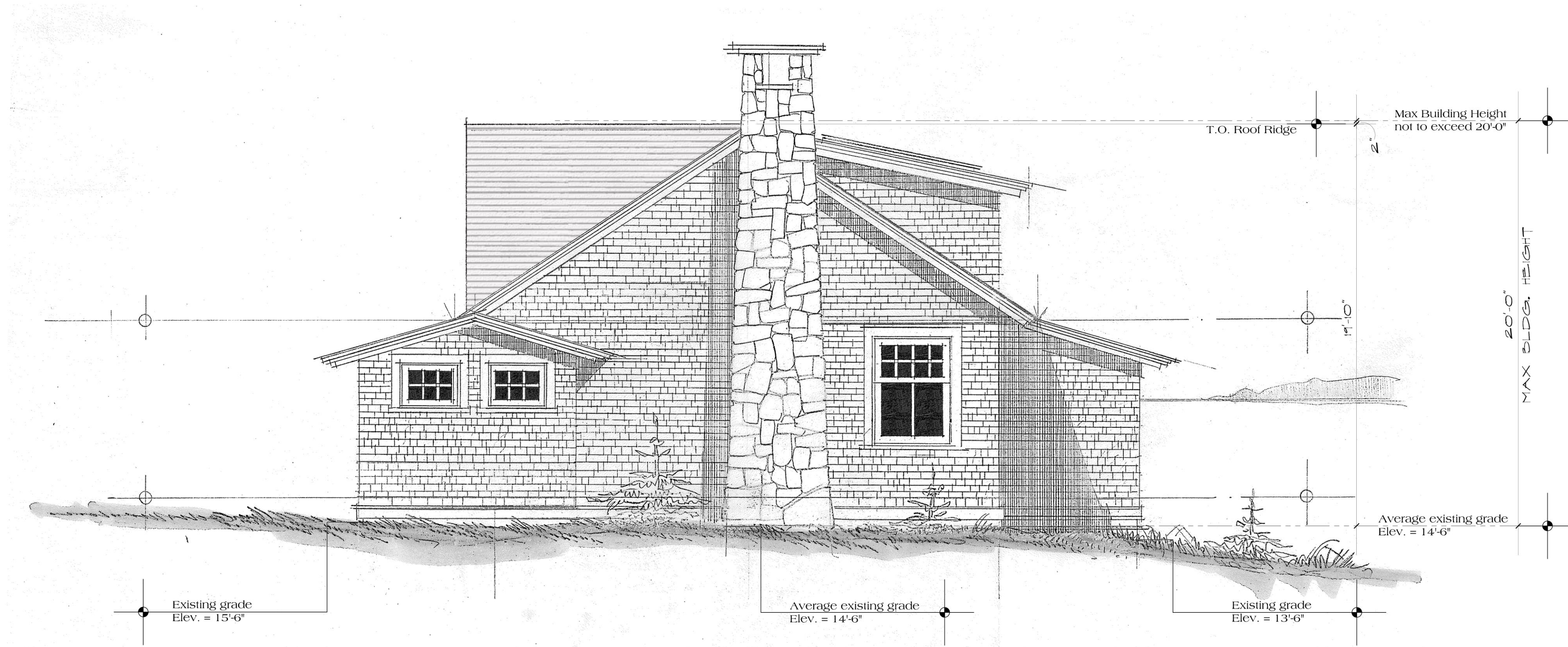
REVISIONS:
 5/21/22
 7/14/22

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 - Main House -
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Conceptual Drawings
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 Date: 7/14/22





West Elevation

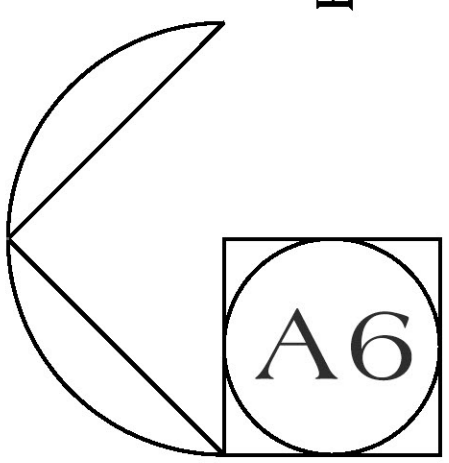
TITLE: WEST ELEVATION
 DATE: 6/27/22
 SCALE: 1/4" = 12'

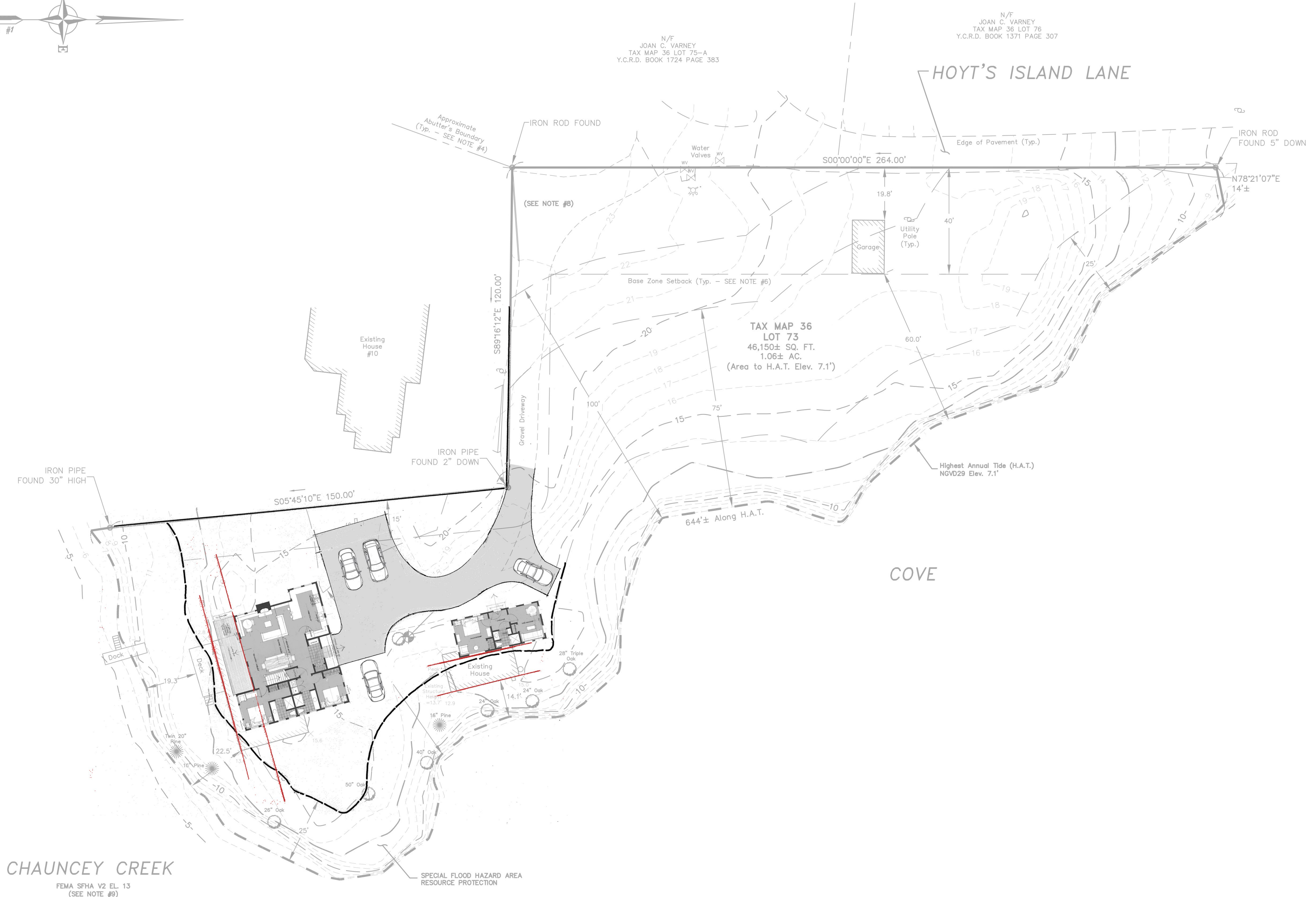
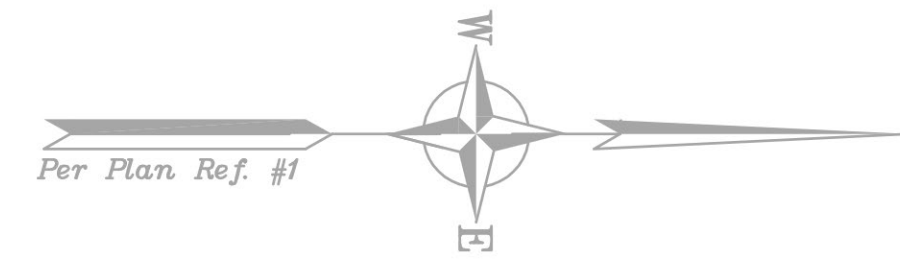
REVISIONS:
7/14/22

Moulton / De Peyster Residence
 - Main House -
 8 Hoy's Island Lane
 Kittery Point, Maine

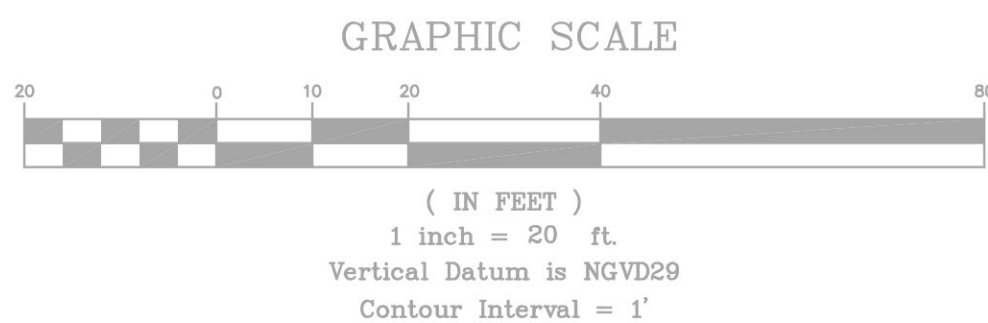
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CHAUNCEY CREEK
 FEMA SFHA V2 EL. 13
 (SEE NOTE #9)



N/F
 JOAN C. VARNEY
 TAX MAP 36 LOT 75-A
 Y.C.R.D. BOOK 1724 PAGE 383

N/F
 JOAN C. VARNEY
 TAX MAP 36 LOT 76
 Y.C.R.D. BOOK 1371 PAGE 307

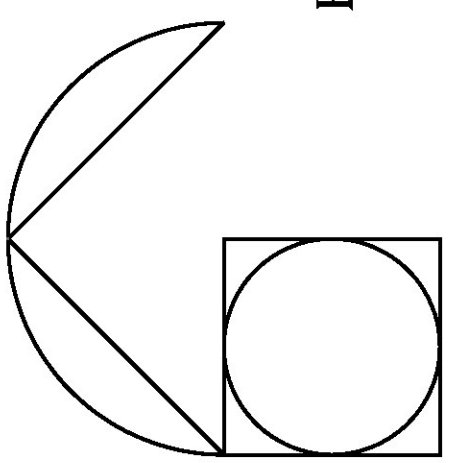
TITLE: PROPOSED SITE PLAN
 DATE: 4/25/22
 SCALE: 1" = 20'

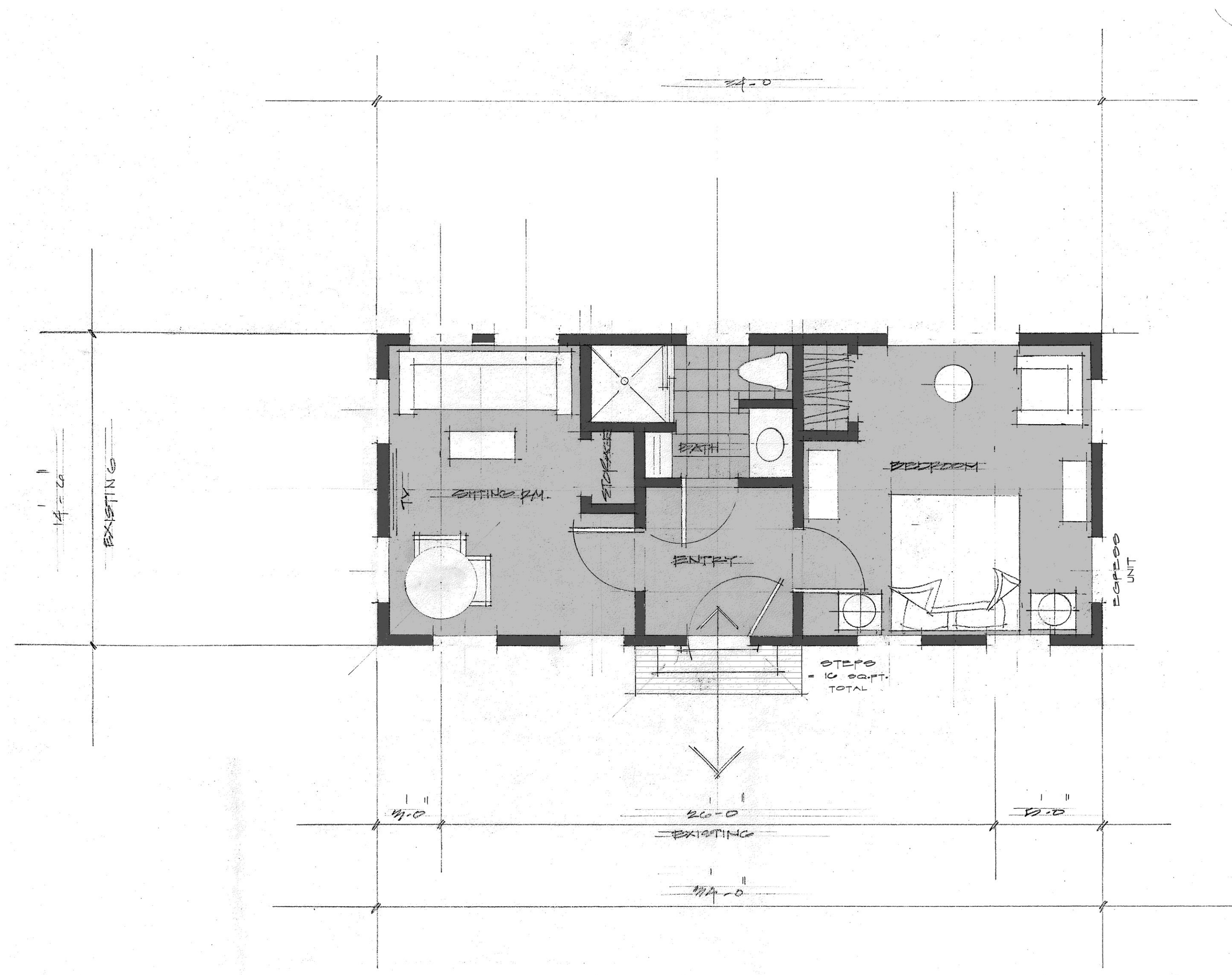
REVISIONS:	DATE	BY
	7/14/22	

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Conceptual Drawings
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 Date: 7/14/22





First Floor Plan

Total allowable footprint with 30% expansion = 498 Sq.Ft.
 Total footprint shown above = 493 Sq.Ft.

(Existing Footprint = 383 Sq.Ft.
 383 Sq.Ft x 30% = 115 Sq.Ft.
 383 Sq.Ft. + 115 Sq.Ft. = 498 Sq.Ft.)

Total allowable steps with 30% expansion = 17 Sq.Ft.
 Total steps shown above = 16 Sq.Ft.

(Existing steps = 13 Sq.Ft.
 13 Sq.Ft x 30% = 4 Sq.Ft.
 13 Sq.Ft. + 4 Sq.Ft. = 17 Sq.Ft.)

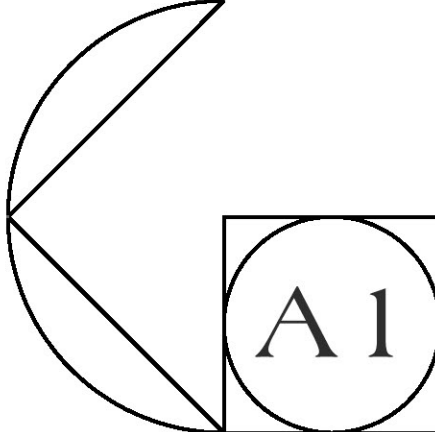
TITLE: FIRST FLOOR PLAN
 DATE: 01/24/22
 SCALE: 1/4" = 12"

REVISIONS:

Moulton / De Peyster Residence
 - Guest Cottage -
 8 Hoyt's Island Lane
 Kittery Point, Maine

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 Date: 7/14/22

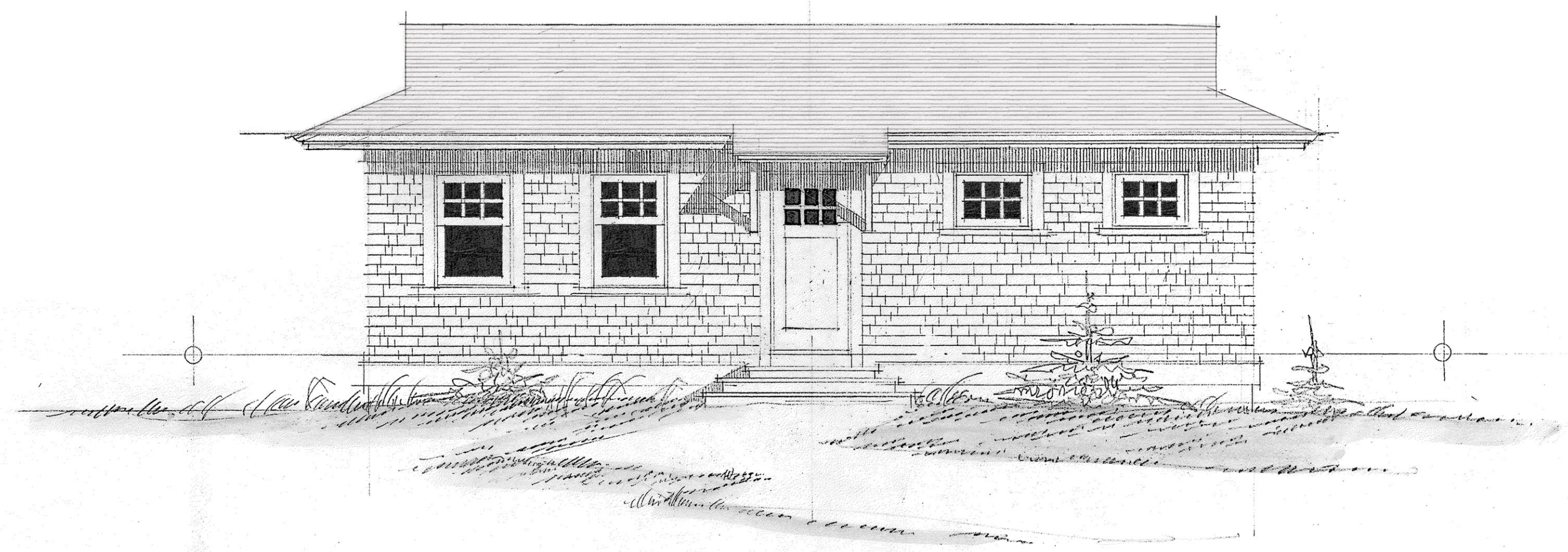


TITLE: S/V ELEVATIONS
 DATE: 6/24/22
 SCALE: 1/4" = 12"

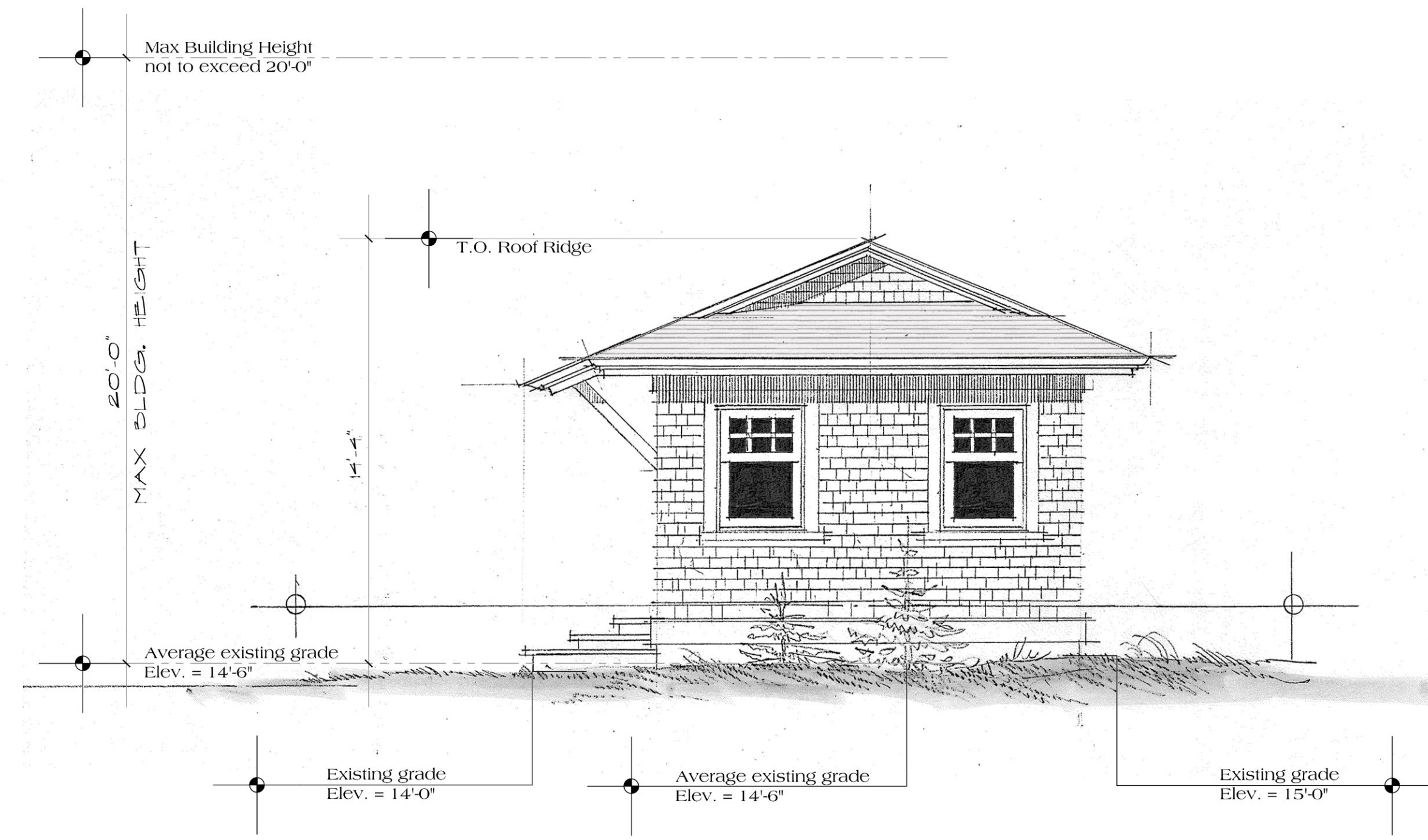
REVISIONS:

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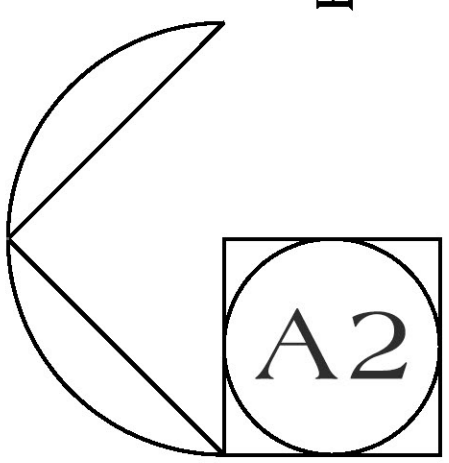


West Elevation



South Elevation

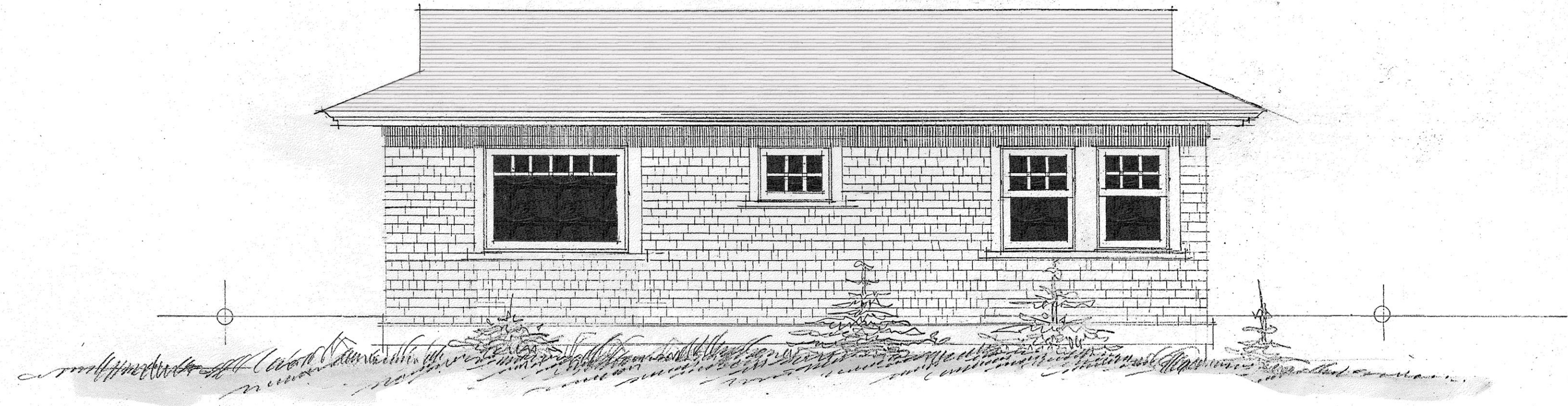
Conceptual Drawings
 - Not for Construction -
 Date: 7/14/22



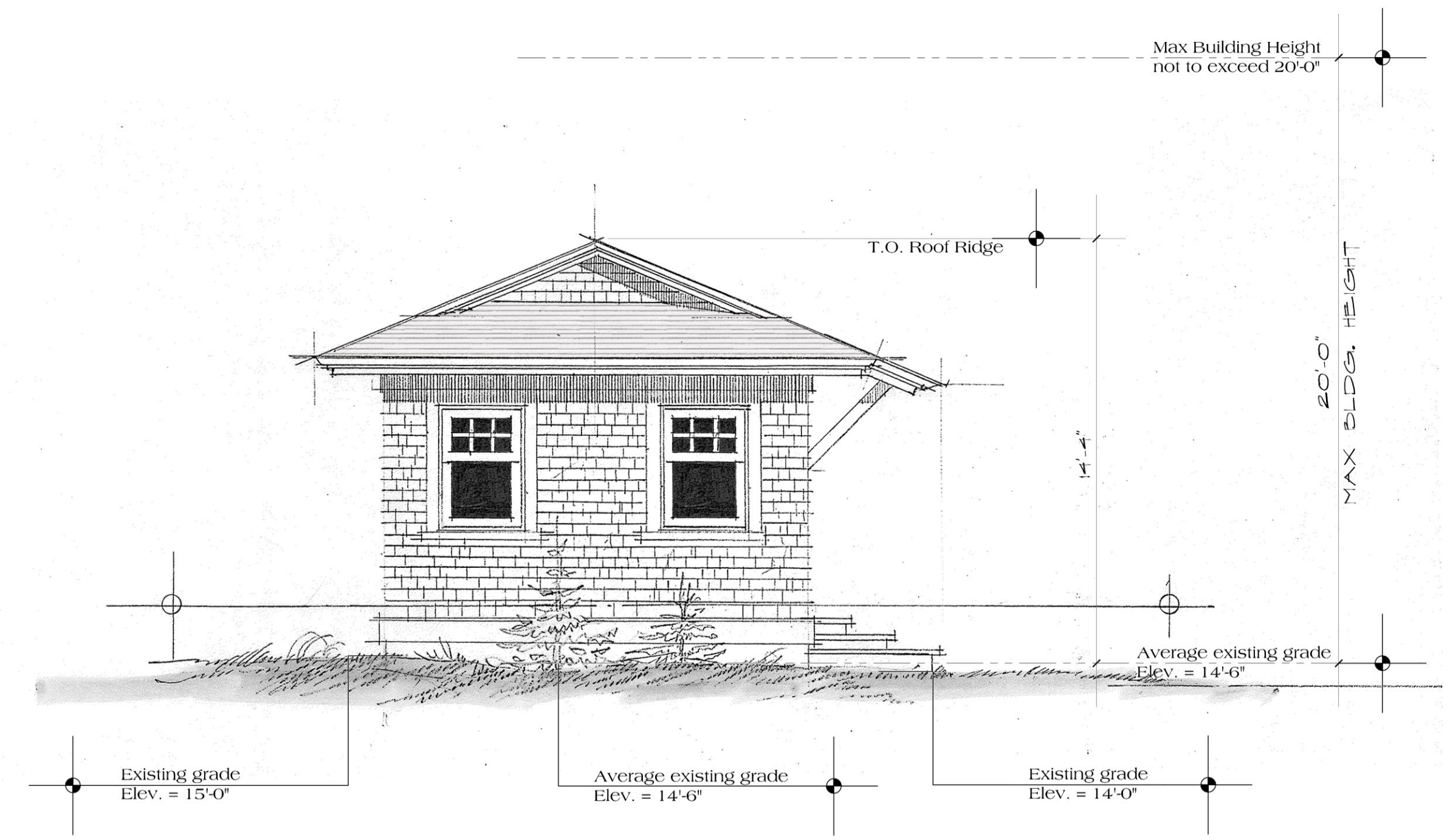
TITLE: N E ELEVATIONS
 DATE: 6/24/22
 SCALE: 1/4" = 12'

REVISIONS:

Moulton / De Peyster Residence
 - Guest Cottage -
 8 Hoy's Island Lane
 Kittery Point, Maine



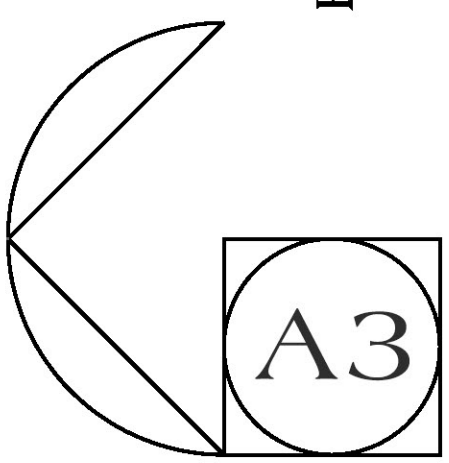
East Elevation



North Elevation

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John C. Perry, President
James E. Golter, Treasurer
Robert A. Gray, Clerk

Julia H. Pelkey, Trustee
Michael S. Rogers, Superintendent

OFFICE OF

KITTERY WATER DISTRICT

17 State Road
Kittery, ME 03904-1565
TEL: 207-439-1128
FAX: 207-439-8549
E-Mail: kitterywater@comcast.net

Kittery Planning Board
200 Rogers Road
Kittery, ME 03904

July 13, 2022

RE: Pending Fire Hydrant Relocation - Hoyts Island Lane, Kittery Point

Dear Planning Board Members,

Please accept this letter as verification that the Kittery Water District does plan to relocate the fire hydrant that is currently on the property of David Moulton, 8 Hoyts Island Lane. The fire hydrant will be relocated to allow for proper setbacks from the proposed septic system.

Sincerely,



Michael S. Rogers
Superintendent

Cc: Stephen G. Doe, RLA, LEED-AP, Sebago Technics