

**Town of Kittery
Planning Board Meeting
November 17, 2016**

450 U.S. Route 1 – Site Plan Review

Action: Hold a public hearing. Approve or Deny Preliminary Plan. Owner/Applicant Kitterydom, LLC requests consideration to develop a two-unit commercial building on an approximately 19 acre vacant lot located at 450 U.S. Route 1 (Tax Map 61 Lot 28) in the Mixed Use (MU) Zone. Agent is Paul Avery, Oak Consulting Group, LLC.

PROJECT TRACKING

REQ'D	ACTION	COMMENTS	STATUS
YES	Sketch Plan Review	3/10/2016	APPROVED
NO	Site Visit	11/4/2016	HELD
YES	Preliminary Plan Review Completeness/Acceptance	10/13/2016	GRANTED
YES	Public Hearing	Scheduled for 11/17/2016	PENDING
YES	Preliminary Plan Approval		
YES	Final Plan Review and Decision		

Applicant: Prior to the signing of the approved Plan any **Conditions of Approval** related to the Findings of Fact along with waivers and variances (by the BOA) must be placed on the Final Plan and, when applicable, recorded at the York County Registry of Deeds. **PLACE THE MAP AND LOT NUMBER IN 1/4" HIGH LETTERS AT LOWER RIGHT BORDER OF ALL PLAN SHEETS.** As per Section 16.4.4.13 - Grading/Construction Final Plan Required. - Grading or construction of roads, grading of land or lots, or construction of buildings is prohibited until the original copy of the approved final plan endorsed has been duly recorded in the York County registry of deeds when applicable.

Background

The parcel is a vacant, 19.58 acre lot located in the Mixed Use zone. The proposed development is limited to approximately 3 acres located at the northeasterly corner of the parcel, at the intersection of Route 1 and Lewis Road. The proposed development is a two-unit commercial building, to be occupied by a Domino’s Pizza and a second coffee shop, or similar high turnover restaurant, tenant.

The applicant is seeking preliminary approval for the site plan. Submission of a final plan application is pending a traffic movement permit from MDOT.

Staff Review

Below are staff notes relating to the preliminary plan review. The town peer-review engineer, CMA, has made their review and attached for the Board’s consideration.

1. The proposed development is limited to an approximate 3-acre developable area located at the northeasterly corner of the lot, bounded by the intersection of US Route 1 and Lewis Road to the north and east and expansive wetlands to the south and west.
2. The proposed use of restaurants is a permitted use in the Mixed-Use Zone.
3. The lot is located at the intersection of Route 1 and Lewis Road, therefore the lot is subject to corner lot standards, as defined in 16.2.2, stipulating a side yard setback requirement of no less than the front yard setback. The minimum front yard is 60-feet in the Mixed-Use zone. The site plan conforms to this standard and depicts a 60-foot setback for both the front and side yards. All proposed structures are outside of the front, side and rear setbacks.

4. There are several large wetlands located on the property. The applicant has submitted a boundary survey dated 2/24/2014 with approximate wetland delineation. Wetland boundaries depicted on existing conditions plan (C-1) were delineated on 6/19/2016, therefore the setbacks depicted in relation to the proposed development are confirmed. All proposed structures are outside of the required wetland setbacks.
5. The site plan depicts 58 parking spots. Required off-street parking standards for restaurants is 1 parking space for each three seats, with seating calculated by dividing the total floor area with customer access by 15. Site layout plan C-2 depicts each of the two restaurants will have 1,000 square feet of customer access. A floor plan to support that amount of customer access has not been submitted. Required spaces is a total of 44 $((2,000/15=133.33)/3=44.44$ or 44 spaces). In addition, the proposed Domino's Pizza incorporates a drive-thru pick up window. The required parking for a drive-in restaurant, snack bar and fast food outlets are a minimum of 15 parking spaces, plus 1 space for each three seats, calculated in the same manner described above. The proposed number of spaces almost accommodates the additional 15 spaces. The Board should determine if the "pick-up" window should be considered as a traditional "drive-thru" subject to the additional 15 spaces.
6. All parking must be located at the side or rear of principal buildings, with the exception of 10 (or fewer) spaces, which may be located closer to the front lot line than the principal building. The site plan depicts 12 parking spaces between the principal building and the lot line. The plan needs to be revised to conform to 16.3.2.13.D.4 Location and screening of parking areas. No waiver can be given.
7. The Mixed Use zone requires 35% of the lot to be designated open space. The site plan does not indicate an area of required open space, however the total lot size is 19.58 acres and the buildable area is approximately 3 acres, leaving ample amount of land to meet this standard. However, open space must be shown on the plan with a note dedicating it as "open space". The applicant needs to demonstrate compliance with 16.3.2.13.D.8 Open Space Standards.
8. Plan C-2 depicts three areas for snow removal/storage on the site.
9. A wall may not extend for a length of more than 50-feet without an architectural feature (dormer, cornice, window, etc.). The design sketches submitted by Jason D Gnich Architect are not shown to scale, however the rear and southwesterly side of the building appear to have a large blank wall along approximately half the building. The applicant needs to redesign this portion of the building to avoid a *featureless wall* as stipulated in 16.3.2.13.D.5 Building Design Standards.
10. Landscape plan (L-1) outlines a proposed onsite planting schedule. The proposed planting does not meet the minimum planting requirements for the Mixed Use zone, 16.3.2.13.D.6 (shrubs and flowering perennials a minimum of 10 plants per 40-linear feet of street frontage and street side trees 1 tree for each twenty-five feet of frontage) or screening requirements in 16.3.2.13.D.4. The required street side trees (for approx. 1,500 feet of frontage), however, may be reduced if large existing trees are preserved. Given the large lot size as compared to the total area proposed to be developed, the Board may find it reasonable to consider the preservation of existing vegetation adjacent to the development envelope count toward this requirement. In addition, another review of the proposed grading may reveal some accommodation for preserving existing trees within the limits of developments. In either case the applicant needs to revise the planting plan and demonstrate compliance to the Mixed-Use design standards referenced.

11. Development that has frontage and access on two publicly maintained streets is allowed two freestanding signs. Per Title 16.8.10.3.J, in cases where multiple signs are permitted, each sign must face and be located along separate, publicly maintained, streets. One of the signs is located close to the corner of Route 1 and Lewis Road, which could result in an appearance of two signs along Route 1. The Board may want to require the applicant to relocate that sign closer to the access point to Lewis Road, The applicant did not submit a sketch of the type, size or height of either sign

Recommendation

1. Revise the plan to depict 10 or fewer spaces between the principal building and front lot line.
2. Revise the landscape plan to conform with the design standards.
3. Relocate the sign currently located at the corner of Lewis Road and Route 1.

Action

The proposed site plan is in general conformance with the standards of Title 16 and, pending the traffic study and review by CMA, appears to accommodate the proposed uses. After holding a public hearing, Staff recommends the Board grant conditional preliminary approval of the plan.

Move to approve with conditions the preliminary site plan application dated September 22, 2016 from owner, BJP Corp, and applicant, Kitterydom, LLC, for 450 U.S. Route 1 (Tax Map 61 Lot 28) in the Mixed Use Zone.

Rebecca Spitko

From: Jodie Bray Strickland <jstrickland@cmaengineers.com>
Sent: Wednesday, November 09, 2016 4:44 PM
To: Chris DiMatteo; William Straub
Cc: Rebecca Spitko
Subject: RE: 450 US rt 1 (dominos)

Chris-

We have the following comments on the 450 US Route 1 development:

16.3.2.13 Mixed Use

- A. The purpose of the mixed use zone is “to provide opportunities for a mix of office, service and limited residential and retail uses”. The proposed development is for a “Domino’s Pizza plus a second tenant presumed to be a coffee shop or similar high turnover restaurant”. It is not clear how one building with the same two uses accomplishes the purpose.
- D.2. The provided side yard dimension of +/-670 feet on sheet C-2 does not appear to be correct.
- D.6.a. It is not clear that the landscape planter strip is the proper size.
- D.6.a.i. It is not clear that the landscape planter strip is entirely vegetated.
- D.6.a.ii. It is not clear that the required number of street trees have been provided. Additionally, some of the proposed Maple Autumn Blaze are located on a sloped area northwest of the driveway.
- D.6.a.ii. It is not clear that the required number of shrubs and flowering perennials required have been provided.
- D.8. Open Space is not designated on the plans.

16.8 Design and Performance Standards-Built Environment

Article VII.: Water Supply

- 16.8.6.1 Applicant should show the location of the closest fire hydrant. Is a hydrant required on site?
- 16.8.6.2. Determination that adequate supply and pressure are available is needed. Please clarify.

Article VIII. Surface Drainage

The proposed stormwater management system limits post development flows to levels lower than pre-development flows and is appropriate for this site.

- 16.8.8.2.1 The Applicant should provide a post-construction stormwater management plan.

Article X. Signs

The Applicant should submit details of proposed signs for CEO approval.

Article XXIV. Exterior Lighting

The Applicant should provide a lighting plan to demonstrate conformance with the Ordinance.

Traffic Analysis and Site Access:

We have the following questions/comments regarding site access. A full traffic analyses may be warranted.

The existing and proposed conditions at the entrance on Lewis Road are confusing and do not show the actual alignment of Lewis Road. Please clarify.

The entrance/exit on US Route One should be labeled with signage and pavement markings. Are turning movements in both directions on US Route One proposed?

Is the entrance on Lewis Road proposed to be one way?

Let us know if you have any questions. Hard copy to follow.

Best,
Jodie

Jodie Bray Strickland, P.E.



CMA Engineers, Inc.

35 Bow St.
Portsmouth, NH 03801

p: 603-431-6196

c: 603-817-4716

jstrickland@cmaengineers.com

www.cmaengineers.com

From: Chris DiMatteo [<mailto:CDiMatteo@kitteryme.org>]

Sent: Wednesday, November 09, 2016 4:34 PM

To: William Straub <wstraub@cmaengineers.com>

Cc: Jodie Bray Strickland <jstrickland@cmaengineers.com>; Rebecca Spitko <RSpitko@kitteryme.org>

Subject: RE: 450 US rt 1 (dominos)

No problem, just want to know if I should reference it in the notes

Thanks!

From: William Straub [<mailto:wstraub@cmaengineers.com>]

Sent: Wednesday, November 09, 2016 4:33 PM

To: Chris DiMatteo <CDiMatteo@kitteryme.org>

Cc: Jodie Bray Strickland <jstrickland@cmaengineers.com>; Rebecca Spitko <RSpitko@kitteryme.org>

Subject: RE: 450 US rt 1 (dominos)

Chris,

We are sending review in 15 minutes!

Sorry for cutting it close...

Best,

Bill



October 19, 2016

Project 16022

Chris Di Matteo, Town Planner
Kittery Planning and Development Department
Town Hall
200 Rogers Road
Kittery, Maine 03904

RE: Site Plan Review Application
450 U.S. Route 1
Kittery, Maine

Dear Mr. Di Matteo:

Pursuant to Application Acceptance on October 13, 2016, we are submitting the following supplemental and revised documents for the Site Plan Review Plan Application for the property located at 450 U.S. Route 1 in Kittery, Maine. Enclosed please find the following:

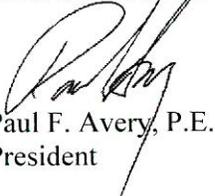
- 13 Sets (12 reduced + 1 full size) site plan drawings C-1 through C-8, and L-1 dated October 18, 2016; plus site survey Plan Showing Zone Boundary Change and Division of Land for BJP Corp, prepared by Anderson Livingston Engineers, Inc and dated February 24, 2014;
- Site Location Map (Attachment A);
- Vicinity map (Attachment A);
- Aerial Site View (Attachment A); and
- Capacity approval letters from the Kittery Water District and Kittery Sewer Department (Attachment B).

In addition to these documents, the Applicant has filed a Traffic Movement Permit Application (Sections 1-6) with the Maine Department of Transportation (MDOT). A hard copy and electronic copy of this application were submitted to the Kittery Planning Board by Maine Traffic Resources on October 17, 2016. We trust that the traffic study included in the MDOT application addresses traffic-related requirements for the Town of Kittery Site Plan Review application.

We look forward to meeting with the Planning Board at the site visit on November 4, 2016 and continuing discussion at the next meeting on November 17, 2016. If you have any immediate questions regarding the project or this application, please feel free to contact me at 978 312-3120.

Sincerely,

OAK CONSULTING GROUP, LLC

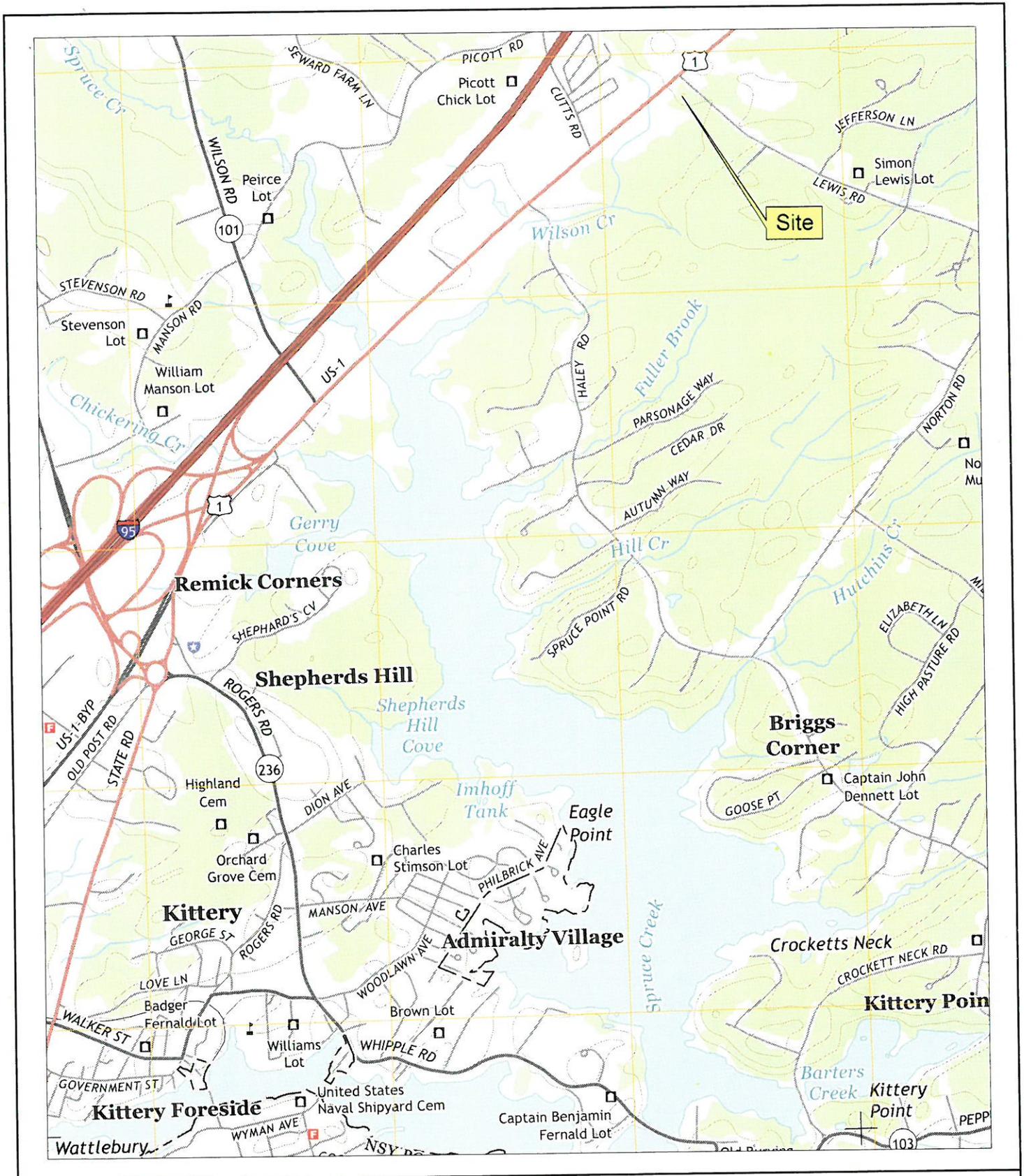


Paul F. Avery, P.E.
President

ATTACHMENT A

Site Figures

Site Plan Review Application
450 U.S. Route 1
Kittery, Maine



OCG

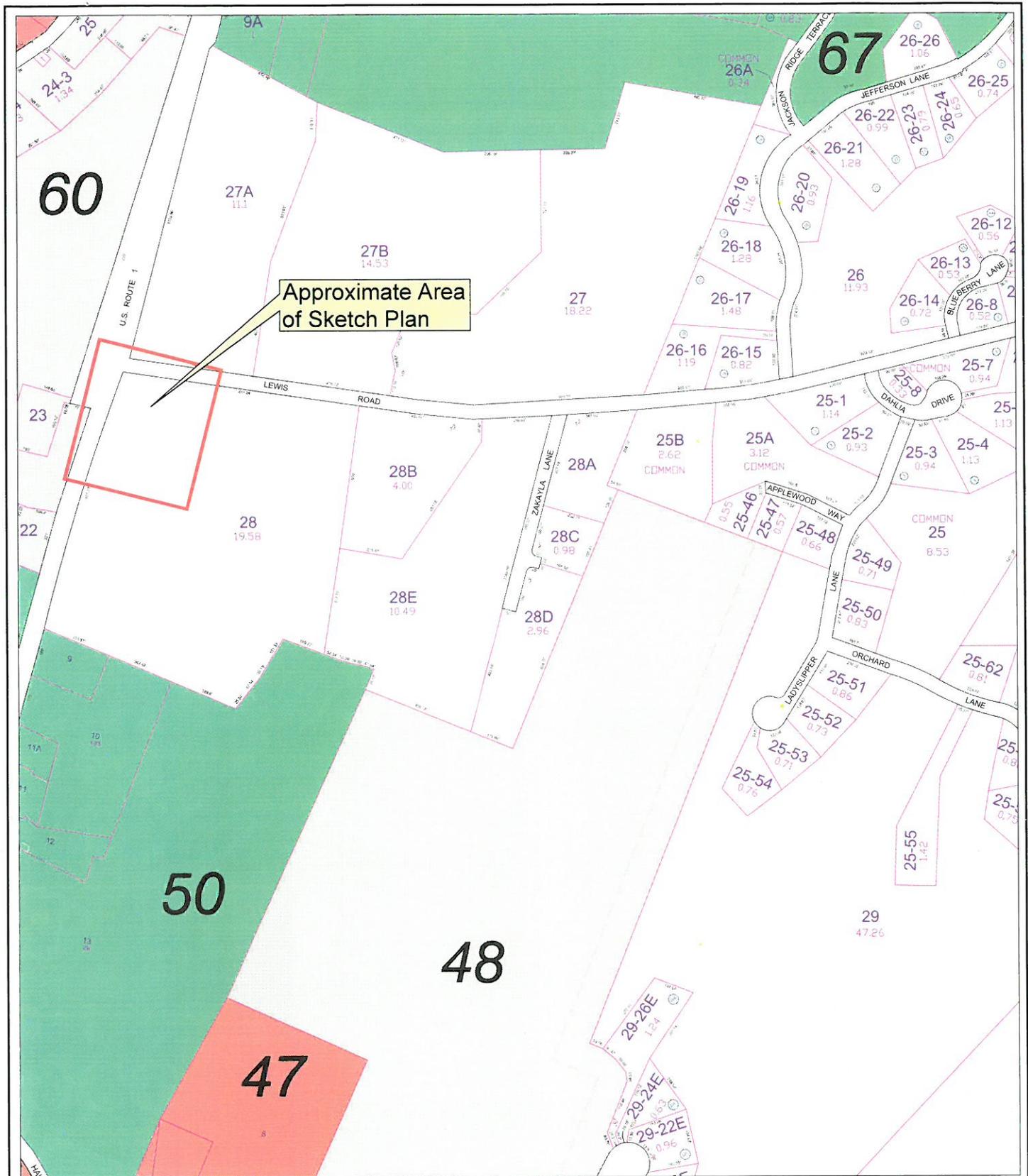
Oak Consulting Group
 P.O. Box 1123
 Newburyport, MA 01950
 Ph. 978 312-3120

SITE LOCATION MAP

450 U.S. Route 1
 Kittery, Maine



Figure 1



OCG

Oak Consulting Group
 P.O. Box 1123
 Newburyport, MA 01950
 Ph. 978 312-3120

ASSESSOR'S MAP

450 U.S. Route 1
 Kittery, Maine



Figure 2



OCG

Oak Consulting Group
P.O. Box 1123
Newburyport, MA 01950
Ph. 978 312-3120

AERIAL SITE VIEW

450 U.S. Route 1
Kittery, Maine



Figure 3

ATTACHMENT B

Department Approval Letters

Site Plan Review Application
450 U.S. Route 1
Kittery, Maine



TOWN OF KITTERY, MAINE

SEWER DEPARTMENT

200 Rogers Road, Kittery, ME 03904

Telephone: (207) 439-4646 Fax: (207) 439-2799

October 12, 2016

David Jenks
Project Manager
450 US Route 1
Kittery ME 03904

REF: Proposed Project

Dear David,

This letter is to confirm that there is sanitary sewer service available for the Proposed Project, located on 450 US Route 1. The sewer system (piping and pumping stations) and the treatment plant will have the capacity and ability to handle the discharge flow estimates of 2 building, combined 60 seat restaurants. 15 seats = 1 unit = 300+ Gallons per day, $60/15=4$ units X 300 = 1200 Gallons of wastewater requiring treatment and disposal. During Engineering and construction plans may change and if they do, consideration for acceptance may change.

Please notify me if changes are made.

If you have further questions or concerns please contact me.

Sincerely,

George Kathios
Town of Kittery
Superintendent of Wastewater Services
1-207-439-4646

Cc/ Chris Dimatteo, Town Planner
Robert Marchi, CEO
Carol Granfield, Interim Town Manager

OFFICE OF
KITTERY WATER DISTRICT

17 State Road
Kittery, Maine 03904-1565
TEL: 207-439-1128
FAX: 207-439-8549
Email: kitterywater@comcast.net

Kittery Planning Board
200 Rogers Road
Kittery, ME 03904

October 12, 2016

Re: Proposed Kitterydom, LLC – Corner of Lewis Road and Route One in Kittery

Dear Planning Board Members,

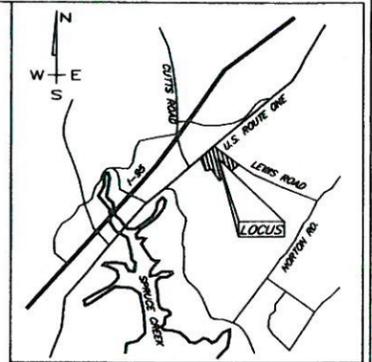
Please accept this letter as verification that the Kittery Water District does have the capacity to supply the proposed building of Kitterydom, LLC to be located on the corner of Lewis Road and Route One in Kittery with municipal water service.

Sincerely,



Michael S. Rogers
Superintendent

cc: David Jenks, President, Boston Pie, Inc.



LOCUS MAP NOT TO SCALE

- NOTES:**
1. THE BOUNDARIES AS DELINEATED ARE THE OPINION OF THIS SURVEYOR AND ARE BASED ON RECORD INFORMATION AND PHYSICAL EVIDENCE. THIS PLAN DOES NOT PURPORT TITLE OR OWNERSHIP.
 2. FIELD MEASUREMENTS FOR THIS SURVEY WERE MADE USING A LEICA TOTAL STATION WITH ELECTRONIC DATA COLLECTION. THE RELATIVE PRECISION OF THE UNADJUSTED CONTROL TRAVERSE IS BETTER THAN 1 IN 15,000.
 3. TEST PITS AND A PORTION OF THE WETLANDS DELINEATED BY KENNETH GARDNER, CSS #51, SE #73 AND WERE FIELD LOCATED BY ANDERSON-LIVINGSTON ENGINEERS JUNE 2007 AND APRIL 2014.
 4. WETLAND LIMITS ARE APPROXIMATE ONLY, DEPICTED AS DIGITIZED FROM REF. PLAN 1.
 5. APPARENT SIDELINES OF U.S. ROUTE 1 AND LEWIS ROAD PER REF. PLAN 1.
 6. A PORTION OF THE PROPERTY IS SUBJECT TO A ZONE A, 100 YEAR FLOOD ZONE PER FEMA RATE MAP COMMUNITY PANEL NO. 230171 0001 C, DATE JULY 5, 1984.
 7. PARCEL B WILL BE SERVED BY MUNICIPAL WATER AND SEWER SERVICES. PARCEL A WILL BE SERVED BY INDIVIDUAL WELL AND SEPTIC SYSTEM.
 8. ON SEPTEMBER 13, 2010 THE KITTERY TOWN COUNCIL PASSED A MOTION TO APPROVE THE AMENDMENT OF THE MIXED USE (MU) AND RESIDENTIAL-RURAL (R-RL) BOUNDARY LINE.
 9. THE PURPOSE OF THIS PLAN IS TO SUPERCEDE DIVISION OF LAND PLAN 2/11/2011 AT THE YORK COUNTY REGISTRY OF DEEDS, PLAN BOOK 347, PAGE 45.
 10. WETLANDS LABELED A1 THRU A19 ADJACENT TO THE PRIMARY BUILDING SITE WERE DELINEATED IN APRIL 2014 AS REQUIRED FOR THE BUILDING PERMIT APPLICATION. WETLANDS IN OTHER AREAS MUST BE DELINEATED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR THOSE AREAS.

LINE	BEARING	DIST
L47	N10°30'30"W	50.33
L48	N21°12'50"W	77.97
L49	N18°55'00"W	25.20
L50	N17°10'28"W	34.97
L51	N73°07'50"E	78.17
L52	N28°32'40"W	41.90
L53	N35°40'48"W	6.94
L54	N42°38'32"W	28.95
L55	N29°21'17"W	50.29
L56	N17°28'34"W	52.54
L57	N18°59'21"W	33.18
L58	N16°48'12"W	25.45
L59	N22°09'42"W	36.41
L60	N10°32'14"W	52.58
L61	N69°23'41"W	33.18
L62	S87°13'50"W	27.14
L63	S78°18'07"W	25.84
L64	N17°28'07"W	97.12
L65	N10°45'15"W	16.49
L66	N14°57'58"W	78.07
L67	N08°50'30"W	40.23
L68	N17°53'22"W	63.67
L69	N14°50'18"W	48.51
L70	N18°18'07"W	28.43
L71	N18°48'18"W	62.63

REFERENCE DEEDS:

1. THE HAROLD L. DURGIN FAMILY TRUST, DATED FEBRUARY 25, 1993, TO BJP CORP.; DATED NOVEMBER 18, 2002; RECORDED Y.C.R.D. BOOK 12221, PAGE 13.
2. OWEN T. HURDLE TO NET&C; DATED SEPTEMBER 12, 1925; RECORDED Y.C.R.D. BOOK 758, PAGE 30.
3. BJP CORP. TO KATHERINE WALKER; DATED SEPTEMBER 4, 2003; RECORDED Y.C.R.D. BOOK 13422, PAGE 87.
4. BJP CORP. TO CMP & VERIZON; DATED JULY, 20, 2005; RECORDED Y.C.R.D. BOOK 14606, PAGE 908.

REFERENCE PLANS:

1. STANDARD BOUNDARY SURVEY OF THE HAROLD H. DURGIN FAMILY TRUST PARCELS, SHEET 1; BY DOUCET SURVEY, INC.; DATED JUNE 8, 2000.
2. PLAT OF LAND FOR RICHARD L. DURGIN; BY DURGIN-SCHOFIELD ASSOC.; DATED DECEMBER 2, 1988; RECORDED Y.C.R.D. PLAN BOOK 176, PAGES 13 & 14.
3. MAINE STATE HIGHWAY COMMISSION RIGHT OF WAY MAP, STATE HIGHWAY "A", S.H.C. FILE NO. 16-81, SHEET NO. 1 OF 2; DATED DECEMBER 1951; RECORDED Y.C.R.D. PLAN BOOK 23, PAGE 45.
4. PROPOSED ZONE CHANGE AND DIVISION OF LAND PLAN FOR BJP CORP.; BY ANDERSON-LIVINGSTON ENGINEERS, INC.; AS REVISED FEBRUARY 3, 2011; RECORDED Y.C.R.D. PLAN BOOK 347, PAGE 45.

PLAN SHOWING ZONE BOUNDARY CHANGE AND DIVISION OF LAND PLAN FOR BJP CORP. 450 U.S. ROUTE 1 & LEWIS ROAD KITTERY, MAINE

- LEGEND**
- UTILITY POLE
 - SEWER MANHOLE
 - HYDRANT
 - OVERHEAD ELECTRICAL UTILITIES
 - DRILL HOLE TO BE SET
 - IRON PIPE

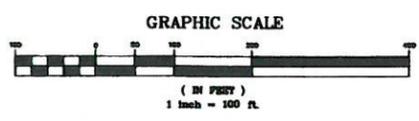
ZONING: MIXED USE

MIN. LOT SIZE (ON RTE. 1).....200,000 SQ. FT.
 MIN. LAND AREA PER DRELLING.....200,000 SQ. FT.
 MIN. STREET FRONTAGE.....250'
 MIN. FRONT SETBACK.....40'
 MIN. SIDE & REAR SETBACK.....60'
 MIN. SIDE & REAR SETBACK.....30'
 MAX. BUILDING HEIGHT.....40'

ZONING: RESIDENTIAL RURAL

MIN. LOT SIZE.....40,000 SQ. FT.
 MIN. STREET FRONTAGE.....150'
 MIN. FRONT SETBACK.....40'
 MIN. SIDE & REAR SETBACK.....20'
 LOT COVERAGE.....15%

STATE OF MAINE
 YORK, SS. REGISTRY OF DEEDS
 RECEIVED May 15 - 2014
 AT 11 49 A.M. AND
 Filed in Plan Book 367 Page 26
 ATTEST _____ REGISTER



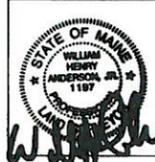
APPROVED BY THE TOWN OF KITTERY, MAINE

ON 9/13/2010 THE KITTERY TOWN COUNCIL APPROVED TO AMEND A LAND USE ZONE BOUNDARY ON THE TOWN ZONING MAP AS RECOMMENDED BY THE PLANNING BOARD CONTINGENT UPON THE TOWN'S APPROVAL OF THE DIVISION OF THE LAND

Suppl. Maine Town Plan 5-8-2014

DATE 5/14

CERTIFICATION:
 This survey conforms to the Maine Board of Licensure For Professional Land Surveyors Chapter 90 Standards of Practice, effective date April 1, 2001 except as noted on this plan.



ANDERSON LIVINGSTON ENGINEERS, INC.

Suite 401 Cottage Place
 433 II U.S. Route One
 York, Maine 03909

Scale: 1 in = 100 ft.

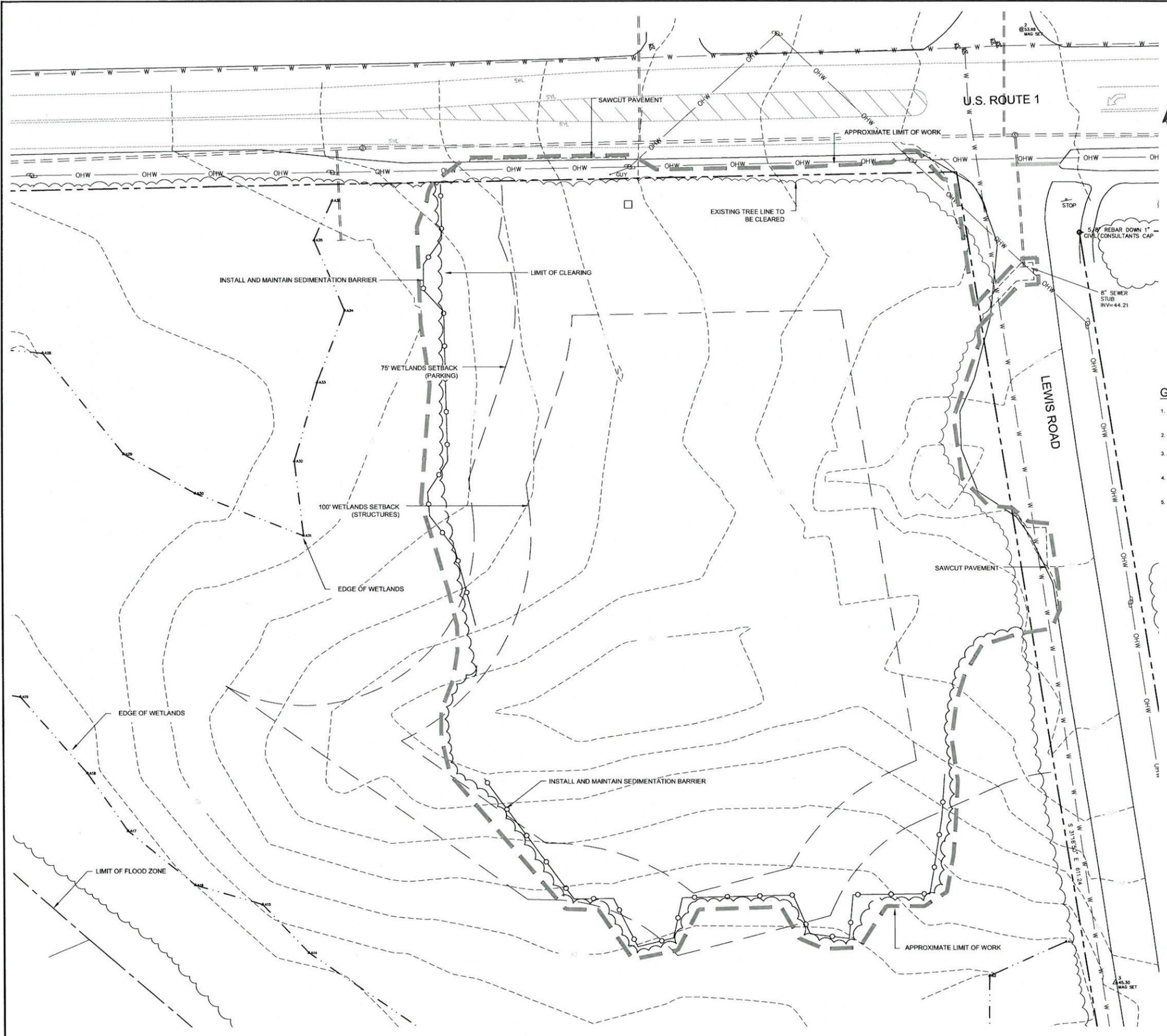
Date: February 24, 2014

REVISIONS:
 03/27/14: NOTES, ETC.
 05/02/14: UPDATE WETLAND

OWNER:
 BJP Corporation
 P.O. Box 483
 Cape Neddick, ME 03902

Sheet 1 of 1

FILE NO: 6033
 PLAN NO: 2076.140201

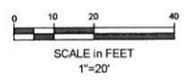


LEGEND

---	PROPERTY LINE
---	CONTOUR
---	EDGE OF WETLAND
---	EDGE OF FLOOD ZONE
---	SETBACK LINE
---	SEWER LINE
---	WATER LINE
OH	OVERHEAD WIRE
⊙	SEWER MANHOLE
⊕	UTILITY POLE
⊖	WATER VALVE

- GENERAL NOTES:**
- EXISTING CONDITIONS, INCLUDING SITE TOPOGRAPHY AND LIMITS OF FLOOD ZONES AS SHOWN WERE OBTAINED FROM AN AUTOCAD DRAWING FILE PROVIDED BY BJP CORP AND PREPARED BY ANDERSON LIVINGSTON ENGINEERS, INC. OF YORK, MAINE.
 - WETLANDS FLAGS AS SHOWN BASED ON UPDATED MAPPING PERFORMED BY KENNETH GARDNER ON JUNE 19, 2016.
 - EXISTING CONDITIONS UPDATED BY LIMITED SITE SURVEY PERFORMED DOUCET SURVEY, INC. PERFORMED DURING JULY 2018 TO REFLECT CURRENT WETLANDS MAPPING AS WELL AS RECENT IMPROVEMENTS TO U.S. ROUTE 1.
 - LOCATION OF UNDERGROUND SEWER STUBS ON LEWIS ROAD AND U.S. ROUTE 1 COMPILED FROM RECORD DRAWING PROVIDED BY THE KITTERY WASTEWATER TREATMENT DEPARTMENT.
 - LOCATION OF WATER MAIN ON LEWIS ROAD IS APPROXIMATE BASED ON VERBAL DESCRIPTION PROVIDED BY THE KITTERY WATER DISTRICT. ACTUAL FIELD LOCATION MAY VARY.

LOT SUMMARY
 MAP/LOT: 61/28
 AREA: 19.58 ACRES
 OWNER: BJP CORP
 P.O. BOX 493
 CAPE NEDDICK, MAINE



Site:
DOMINO'S PIZZA
450 US ROUTE 1
KITTERY, MAINE

Prepared for:
KITTERYDOM, LLC
100 CONIFER HILL DRIVE
DANVERS, MASSACHUSETTS

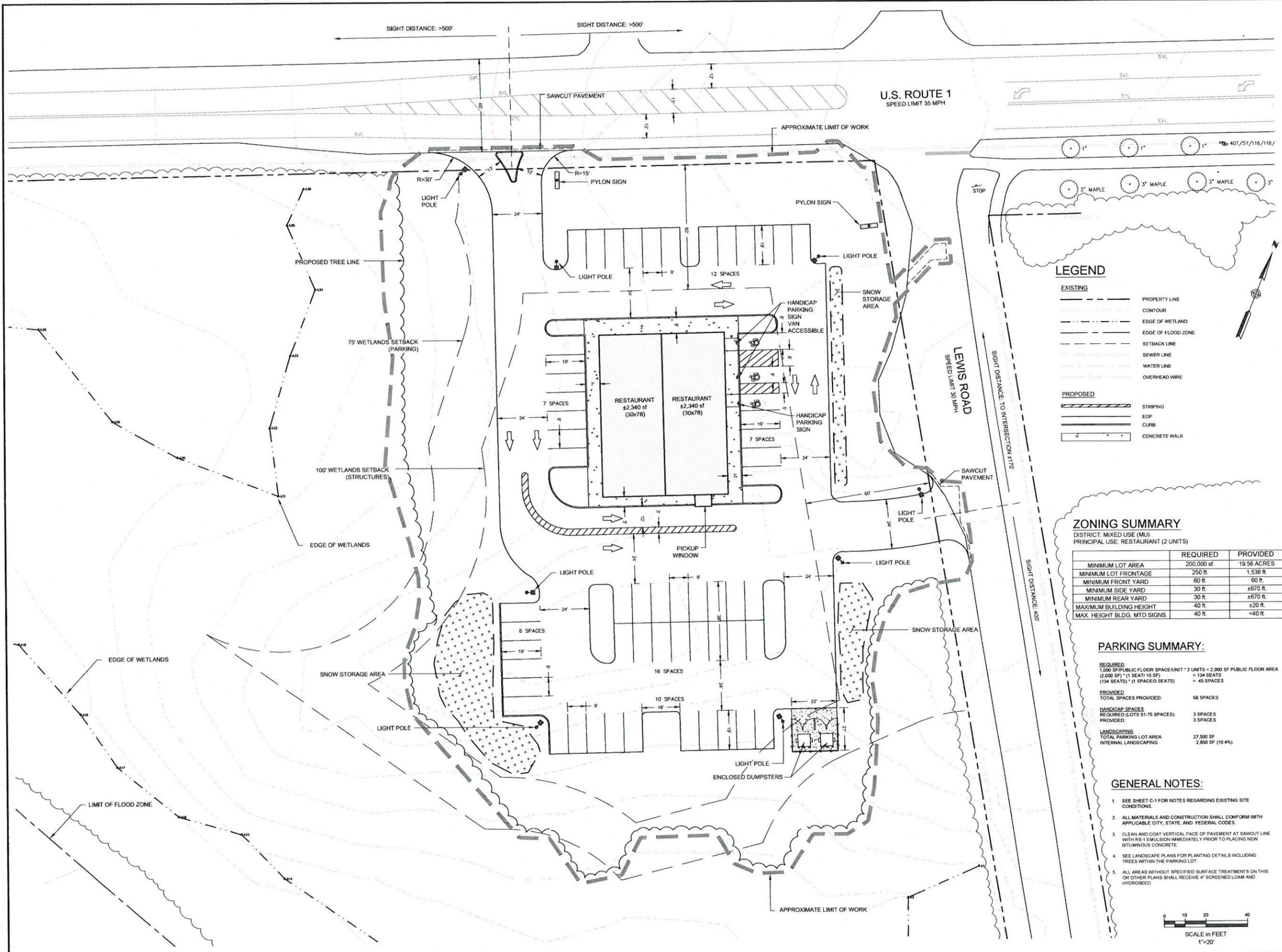


OCG
Oak Consulting Group
P.O. Box 1123
Newburyport, MA, 01950
Ph. 978.312.3120

EXISTING CONDITIONS AND SITE PREPARATION PLAN

No.	Revision/Issue	Date
Design by:	PFA	Checked by: SPM
Drawn by:	PFA	Approved by: PFA
Project:	16022	Date: OCT. 18, 2016

Sheet:
C-1



LEGEND

EXISTING	
(Solid line)	PROPERTY LINE
(Dashed line)	CONTOUR
(Wavy line)	EDGE OF WETLAND
(Dotted line)	EDGE OF FLOOD ZONE
(Long dashed line)	SETBACK LINE
(Short dashed line)	SEWER LINE
(Dotted line)	WATER LINE
(Dash-dot line)	OVERHEAD WIRE

PROPOSED	
(Hatched area)	STRIPING
(Dashed line)	EOP
(Solid line)	CURB
(Dotted line)	CONCRETE WALK

ZONING SUMMARY

DISTRICT: MIXED USE (MU)
 PRINCIPAL USE: RESTAURANT (2 UNITS)

	REQUIRED	PROVIDED
MINIMUM LOT AREA	200,000 sf.	19.58 ACRES
MINIMUM LOT FRONTAGE	250 ft.	1,538 ft.
MINIMUM FRONT YARD	60 ft.	60 ft.
MINIMUM SIDE YARD	30 ft.	±670 ft.
MINIMUM REAR YARD	30 ft.	±670 ft.
MAXIMUM BUILDING HEIGHT	40 ft.	±20 ft.
MAX. HEIGHT BLDG. MTD SIGNS	40 ft.	<40 ft.

PARKING SUMMARY:

REQUIRED:
 1,000 SF/PUBLIC FLOOR SPACE/UNIT * 2 UNITS = 2,000 SF PUBLIC FLOOR AREA
 (2,000 SF) * (1 SEAT/15 SF) = 134 SEATS
 (134 SEATS) * (1 SPACE/3 SEATS) = 45 SPACES

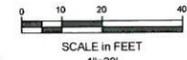
PROVIDED:
 TOTAL SPACES PROVIDED: 58 SPACES

HANDICAP SPACES:
 REQUIRED (LOTS 51-75 SPACES): 3 SPACES
 PROVIDED: 3 SPACES

LANDSCAPING:
 TOTAL PARKING LOT AREA: 27,500 SF
 INTERNAL LANDSCAPING: 2,850 SF (10.4%)

GENERAL NOTES:

- SEE SHEET C-1 FOR NOTES REGARDING EXISTING SITE CONDITIONS.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY, STATE, AND FEDERAL CODES.
- CLEAN AND COAT VERTICAL FACE OF PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- SEE LANDSCAPE PLANS FOR PLANTING DETAILS INCLUDING TREES WITHIN THE PARKING LOT.
- ALL AREAS WITHOUT SPECIFIED SURFACE TREATMENTS ON THIS OR OTHER PLANS SHALL RECEIVE 4" SCREENED LOAM AND HYDROSEED.



DOMINO'S PIZZA

450 US ROUTE 1
 KITTERY, MAINE

Prepared for:
 KITTERYDOM, LLC
 100 CONIFER HILL DRIVE
 DANVERS, MASSACHUSETTS



OCG

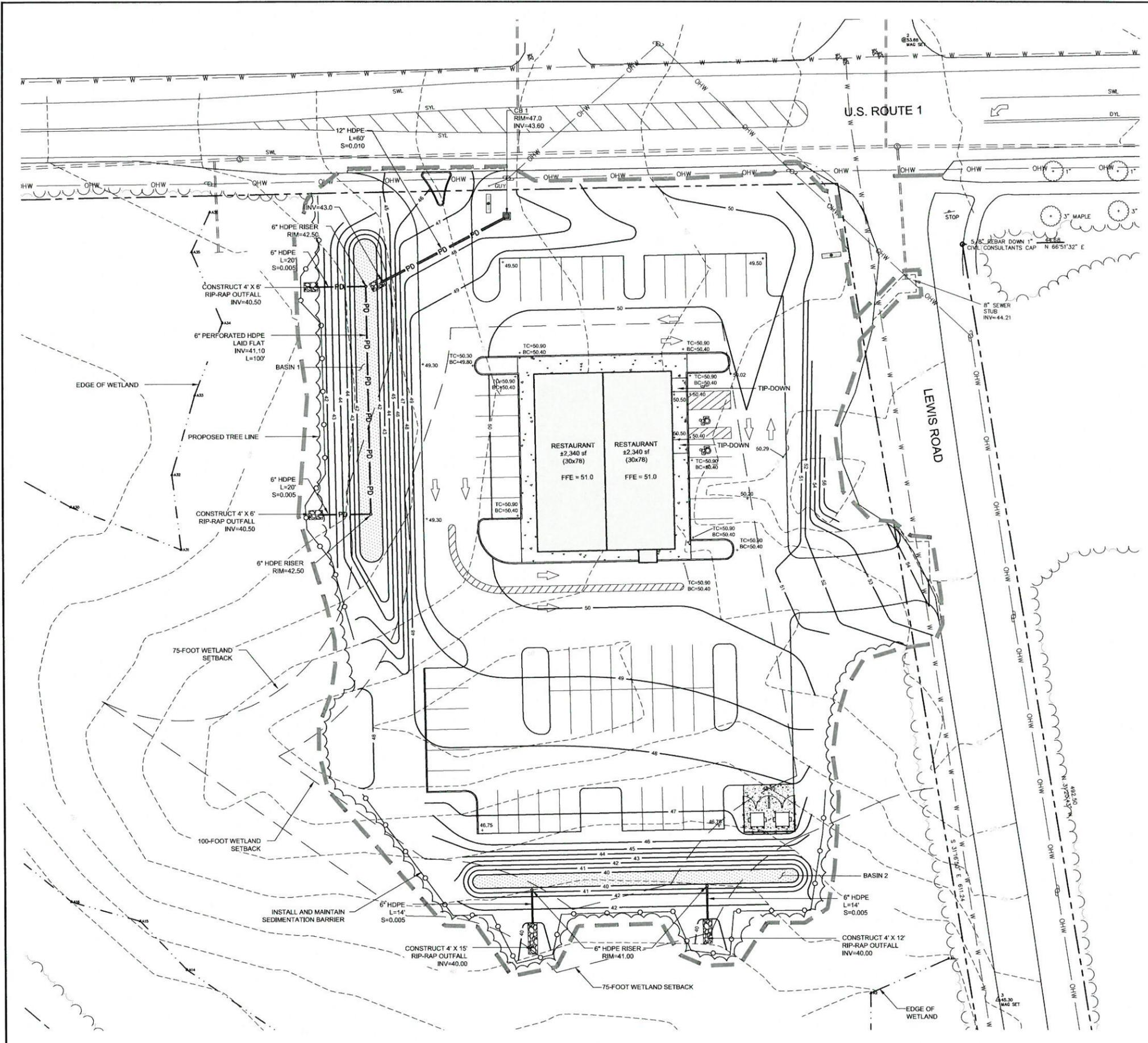
Oak Consulting Group
 P.O. Box 1123
 Newburyport, MA 01950
 Ph. 978.312.3120

SITE LAYOUT PLAN

No.	Revision/Issue	Date

Design by: PFA	Checked by: SPM
Drawn by: PFA	Approved by: PFA
Project: 16022	Date: OCT. 18, 2016

Sheet:
C-2



LEGEND

EXISTING	
---	PROPERTY LINE
---	CONTOUR
---	EDGE OF WETLAND
---	EDGE OF FLOOD ZONE
---	SETBACK LINE
---	SEWER LINE
---	WATER LINE
---	OVERHEAD WIRE
○	SEWER MANHOLE
○	UTILITY POLE
○	WATER VALVE

PROPOSED	
---	PROPOSED CONTOUR
○	SEDIMENTATION BARRIER
---	DRAIN PIPE
□	CATCHBASIN/WQ
+	SPOT GRADE
---	APPROXIMATE LIMIT OF WORK

- GENERAL NOTES:**
- ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL RECEIVE 4" SCREENED LOAM, HYDROSEED & FERTILIZER.
 - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY AND STATE CODES.
 - ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
 - CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE AND EXIT RAMPS AND LOADING AREAS ADJACENT TO THE BUILDING.
 - ALL CATCHBASINS AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER THE UPSTREAM AREA IS STABILIZED.

COMPACTION REQUIREMENTS

LOCATION

BELOW PAVED OR CONCRETE AREAS	95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL	95%
BELOW LOAM AND SEED AREA	90%

* ALL PERCENTAGES SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH AASHTO STANDARD 180. METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH AASHTO STANDARD T-191, T-204, OR T-238 AND T-239.

- EROSION CONTROL NOTES:**
- SEE EROSION CONTROL NOTES & DETAILS FOR ADDITIONAL EROSION CONTROL PROCEDURES AND CONSTRUCTION SEQUENCING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR UPKEEP, MAINTENANCE AND REPLACEMENT (IF REQUIRED) OF ALL EROSION CONTROL MEASURES. CONTRACTOR SHALL REPAIR AND/OR REPLACE EROSION CONTROL MEASURES AS NEEDED.
 - ALL TEMPORARY LOAM STOCKPILES SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES.
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES AT ALL EGRESS TO WORK AREAS.

DOMINO'S PIZZA

450 US ROUTE 1
KITTERY, MAINE

Prepared for:

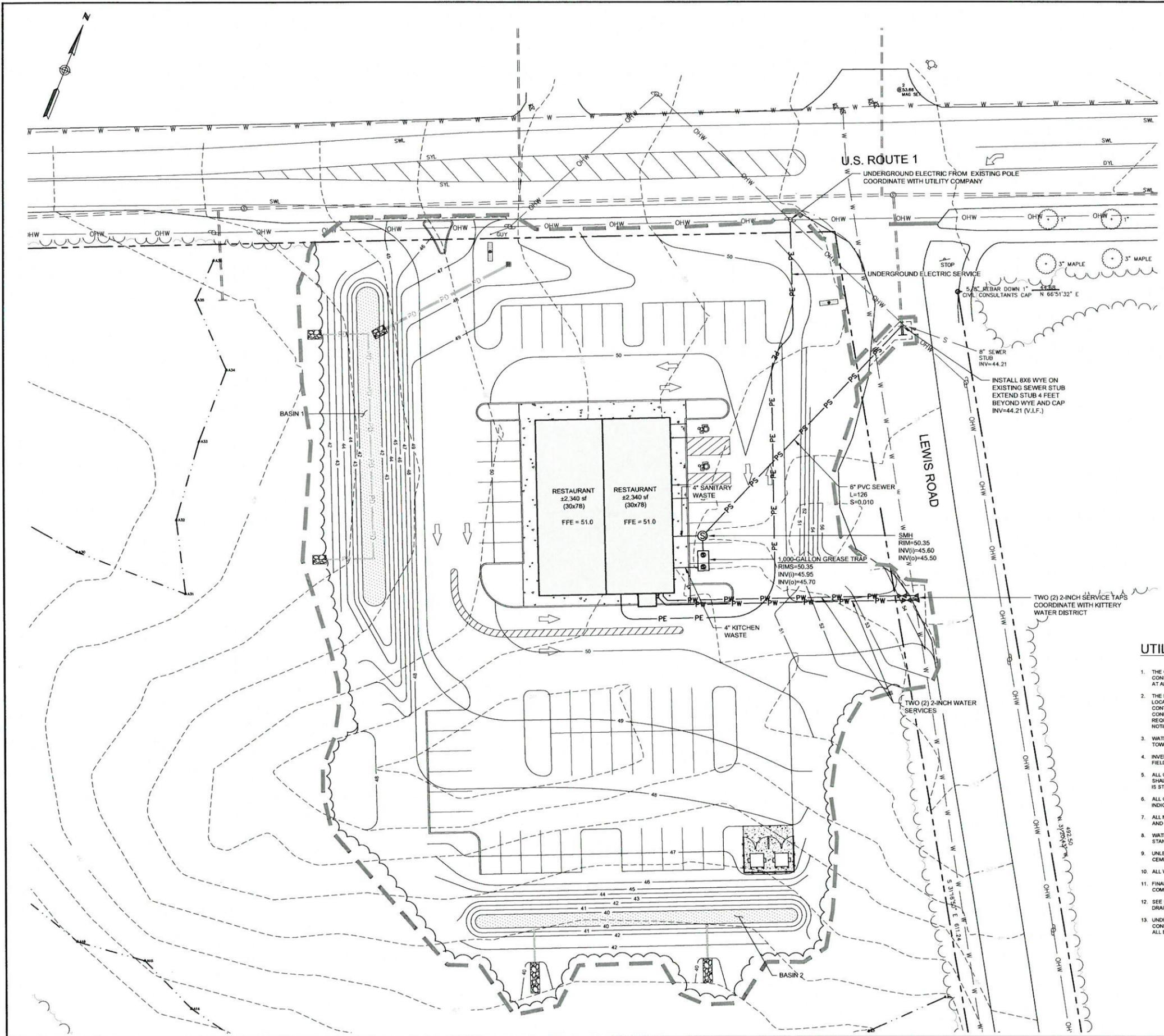
KITTERYDOM, LLC
100 CONIFER HILL DRIVE
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GRADING DRAINAGE AND EROSION CONTROL PLAN

No.	Revision/Issue	Date

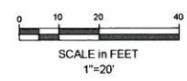
Design by:	PFA	Checked by:	SPM
Drawn by:	PFA	Approved by:	PFA
Project:	16022	Date:	OCT. 18, 2016
Sheet:	C-3		



LEGEND

EXISTING	
---	PROPERTY LINE
- - - -	CONTOUR
- · - · -	EDGE OF WETLAND
- - - -	EDGE OF FLOOD ZONE
- - - -	SETBACK LINE
---	SEWER LINE
W - W	WATER LINE
—	OVERHEAD WIRE
⊙	SEWER MANHOLE
⊕	UTILITY POLE
⊗	WATER VALVE
PROPOSED	
—PS—	SEWER PIPE
—PW—	WATER PIPE
—PE—	UNDERGROUND ELECTRIC
—PD—	DRAIN PIPE
⊙	SEWER MANHOLE
⊕	UTILITY POLE
⊗	WATER VALVE
⊘	THRUST BLOCK
---	APPROXIMATE LIMIT OF WORK

- UTILITIES NOTES:**
1. THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON-SITE AT ALL TIMES.
 2. THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATION IS NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
 3. WATER AND SEWER SERVICE CONNECTIONS SHALL BE COORDINATED WITH THE TOWN OF KITTERY.
 4. INVERTS OF EXISTING TOWN INFRASTRUCTURE SHALL BE CONFIRMED IN THE FIELD AND COORDINATED WITH THE ENGINEER.
 5. ALL CATCH BASINS AND DRAIN LINES WITHIN AND ADJACENT TO THE WORK AREA SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER THE AREA IS STABILIZED.
 6. ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND, UNLESS OTHERWISE INDICATED.
 7. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE TOWN AND STATE CODES.
 8. WATER LINES SHALL HAVE A MINIMUM OF 5' COVER OR PER WATER DISTRICT STANDARDS, WHICHEVER IS MORE STRINGENT.
 9. UNLESS OTHERWISE INDICATED OR SPECIFIED, ALL WATER PIPE SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52.
 10. ALL WATER VALVES TO OPEN PER WATER DISTRICT STANDARDS.
 11. FINAL NUMBER AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY UTILITY COMPANY.
 12. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PROPOSED GRADING, DRAINAGE SYSTEM INVERTS, AND EROSION CONTROL MEASURES.
 13. UNDERGROUND ELECTRICAL, CONDUIT MATERIAL AND INSTALLATION SHALL CONFORM TO POWER COMPANY STANDARDS. SEE SITE ELECTRICAL PLANS FOR ALL ELECTRICAL AND COMMUNICATIONS SERVICE DETAILS.



Site: **DOMINO'S PIZZA**
450 US ROUTE 1
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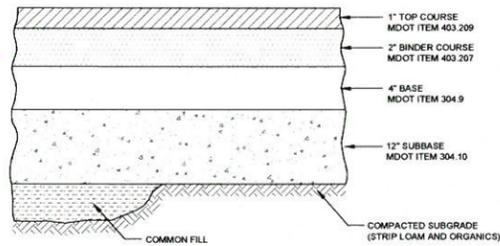
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SITE UTILITIES PLAN

No.	Revision/Issue	Date

Design by: PFA	Checked by: SPM
Drawn by: PFA	Approved by: PFA
Project: 16022	Date: OCT. 18, 2016

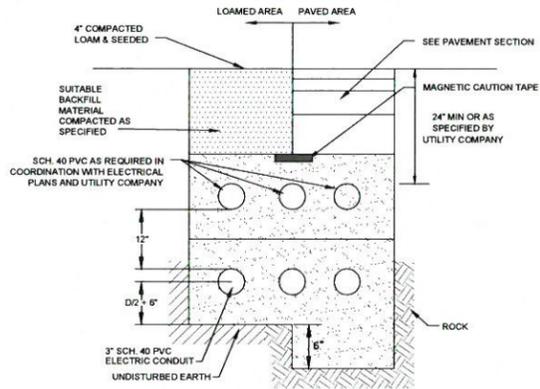
Sheet: **C-4**



NOTE:

1. SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
2. SEE GRADING PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.

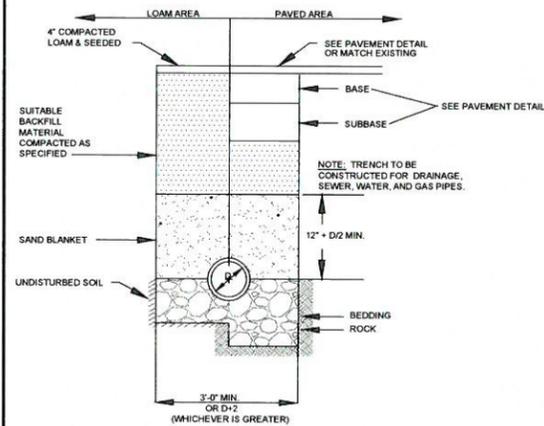
1 BITUMINOUS PAVEMENT DETAIL
NOT TO SCALE



NOTES:

1. THIS DETAIL IS PROVIDED FOR PLANNING PURPOSES. SEE SITE ELECTRICAL DRAWINGS FOR FINAL SIZE, LOCATION, TRENCH DETAIL AND NUMBER OF CONDUITS REQUIRED.
2. ELECTRIC CONDUIT SHALL BE ENCASED IN CONCRETE.

2 TYPICAL ELECTRIC AND COMMUNICATIONS TRENCH
NOT TO SCALE



NOTES:

1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

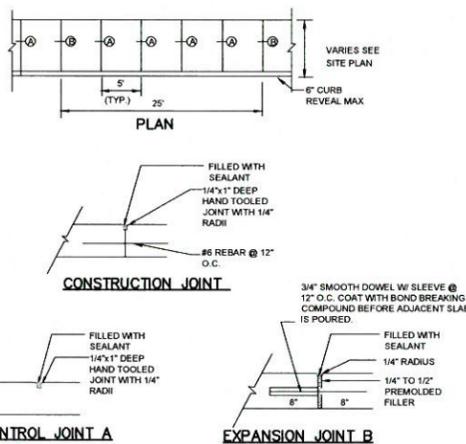
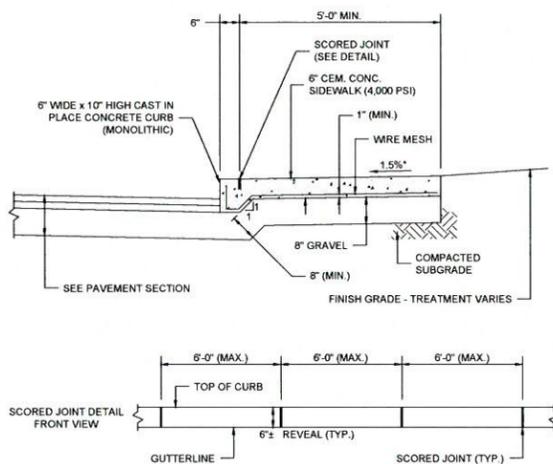
WATER PIPE

SAND BEDDING FOR FULL WIDTH OF THE TRENCH UP TO SPRINGLINE OF PIPE, 6\"/>

STORM DRAINAGE PIPE & SANITARY SEWER PIPE

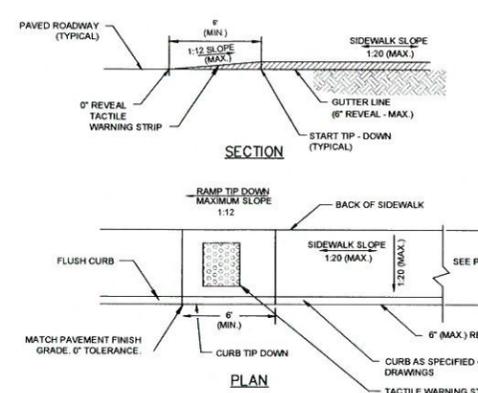
SCREENED GRAVEL BEDDING FOR FULL WIDTH OF THE TRENCH UP TO SPRINGLINE OF PIPE, 8\"/>

3 UTILITY TRENCH
NOT TO SCALE



- NOTES:**
1. MINIMUM COMPRESSION STRENGTH FOR CONCRETE SHALL BE 4,000 PSI.
 2. PROVIDE MINIMUM 1\"/>

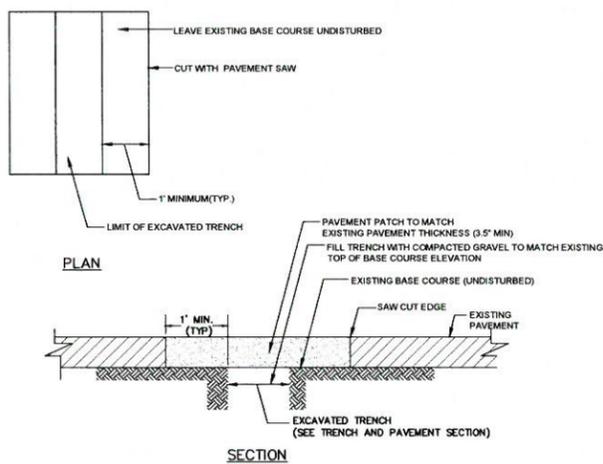
4 CONCRETE WALK DETAIL
NOT TO SCALE



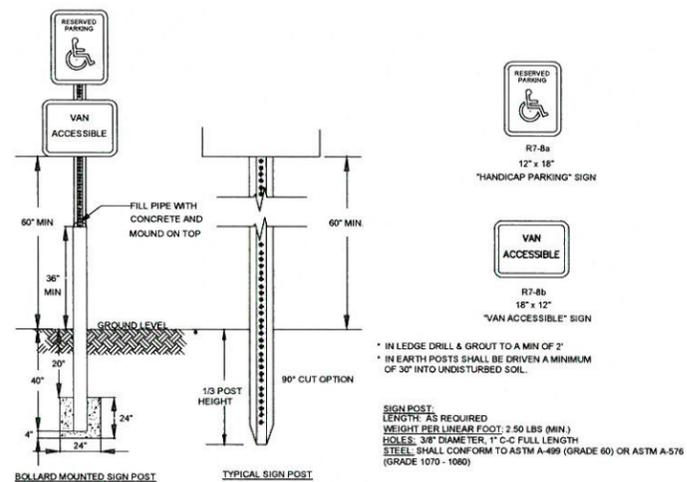
NOTES:

1. SEE SITE PLAN FOR TIP DOWN RAMP AND SIDEWALK WIDTHS AND LOCATIONS.
2. SEE GRADING, DRAINAGE, AND EROSION CONTROL PLANS FOR SIDEWALK SLOPES AND GRADES.

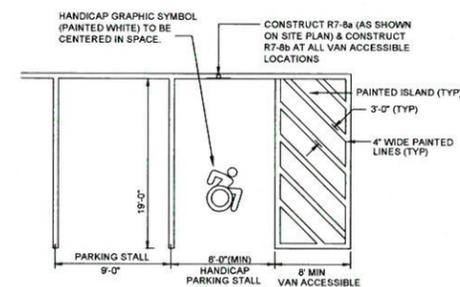
5 SIDEWALK TIP-DOWN RAMP
NOT TO SCALE



6 TRENCH PATCH DETAIL
NOT TO SCALE



7 SIGN POST DETAIL
NOT TO SCALE



NOTES:

1. ALL PAINT SHALL BE FAST DRYING WHITE TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE N. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.
2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT.

8 HANDICAP PARKING LAYOUT
NOT TO SCALE

Site: **DOMINO'S PIZZA**

450 US ROUTE 1
KITTERY, MAINE

Prepared for:

KITTERYDOM, LLC
100 CONIFER HILL DRIVE
DANVERS, MASSACHUSETTS



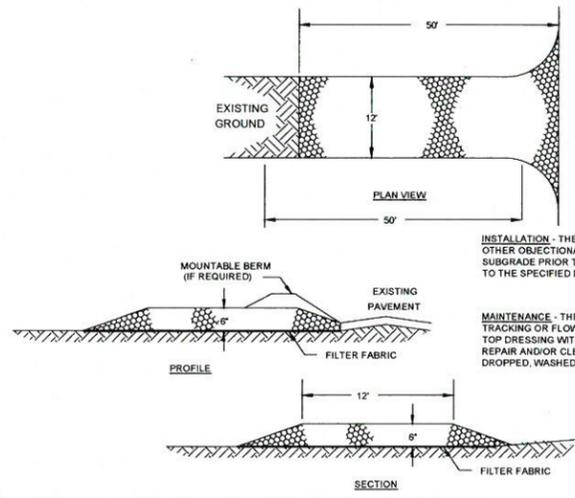
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P.O. Box 1123
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SITE DETAILS

No.	Revision/Issue	Date

Design by: PFA Checked by: SPM
Drawn by: PFA Approved by: PFA
Project: 16022 Date: OCT. 18, 2016
Sheet: **C-6**



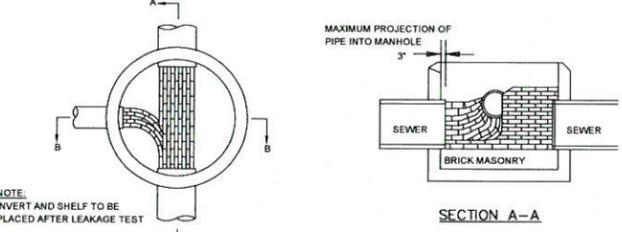
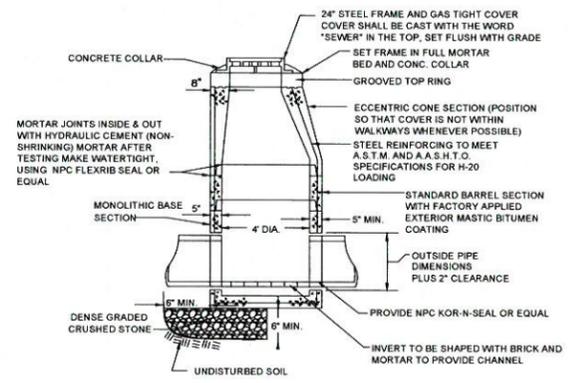
CONSTRUCTION SPECIFICATIONS
STONE SIZE - SEE GRADATION TABLE
LENGTH - 50 FOOT MINIMUM.
THICKNESS - SIX (6) INCHES (MINIMUM).
WIDTH - 12" MINIMUM
FILTER FABRIC - MIRAFI 600X OR APPROVED EQUAL.

INSTALLATION - THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A ROAD STABILIZATION FILTER CLOTH CAN BE PLACED ON THE SUBGRADE PRIOR TO THE GRAVEL PLACEMENT TO PREVENT PUMPING. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS.
MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

CRUSHED STONE GRADATION TABLE

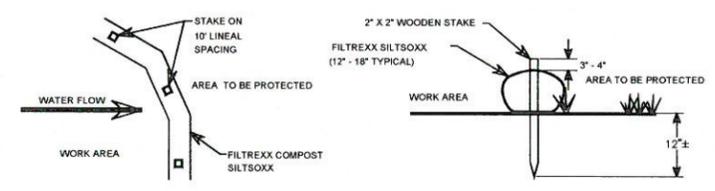
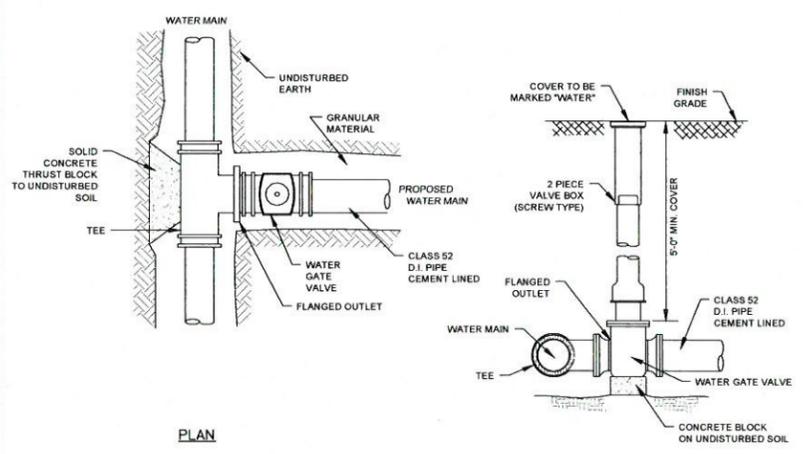
SIEVE SIZE	% PASSING BY WEIGHT
2 inches	100
1 1/2 inches	90-100
1 inch	20-55
3/4 inch	0-15
3/8 inch	0-5

1 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



- NOTES:**
- ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
 - CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAL FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 - THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO .12 SQUARE INCHES PER LINEAL FOOT.
 - BITUMINOUS WATERPROOF COATING TO BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
 - STRUCTURE SHALL BE DESIGNED FOR H20 LOADING.
 - CARE SHALL BE TAKEN TO ENSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
 - INVERT BRICKS SHALL BE LAID ON EDGE.

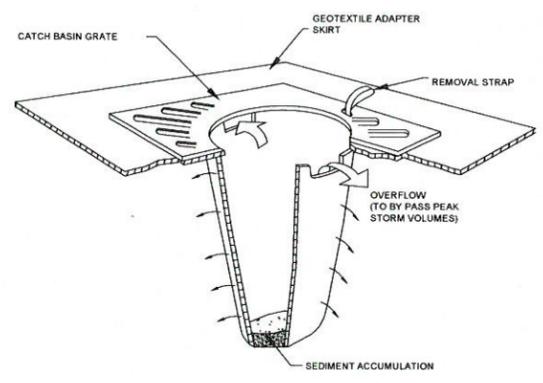
2 SEWER MANHOLE DETAIL
NOT TO SCALE



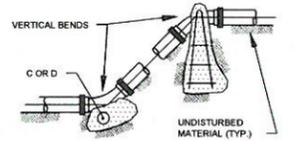
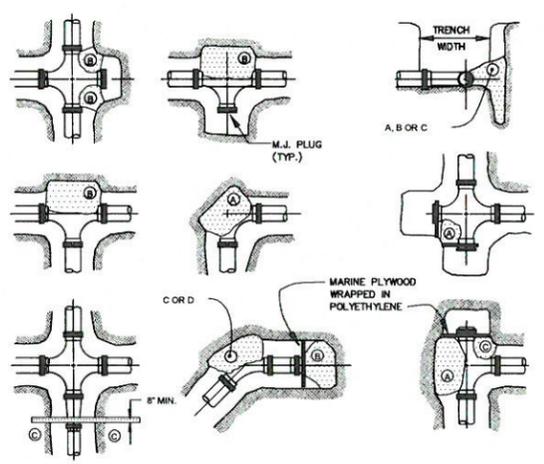
- NOTES:**
- ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS
 - SILTSOXX COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
 - SILTSOXX SHALL BE INSTALLED PERPENDICULAR TO THE SLOPE AND PER MANUFACTURER'S RECOMMENDATIONS
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

3 WATER VALVE DETAIL
NOT TO SCALE

4 SEDIMENTATION BARRIER
NOT TO SCALE



5 CATCH BASIN INLET PROTECTION
NOT TO SCALE



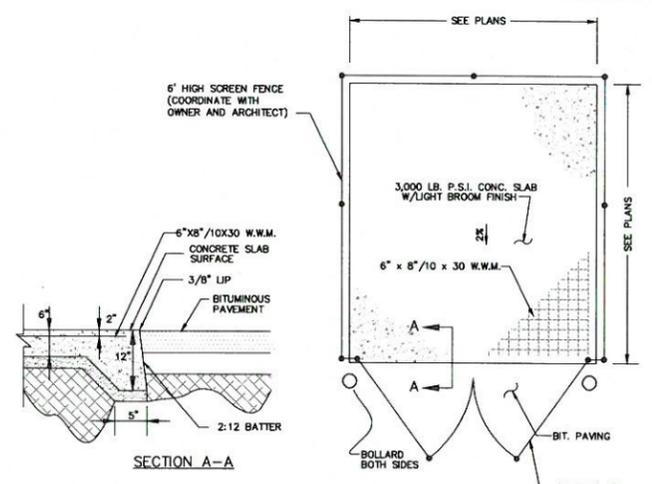
- NOTES:**
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
 - ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
 - PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
 - WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLANDS MUST BE USED, GRIP RING, MEGA-LUG OR STAR GRIP

SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL

REACTION TYPE	PIPE SIZE				
	4"	6"	8"	10"	12"
A 90°	0.89	2.19	3.82	11.14	17.24
B 180°	0.85	1.55	2.78	8.38	12.00
C 45°	0.48	1.19	2.12	6.02	9.32
D 22-1/2"	0.25	0.60	1.06	3.08	4.74
E 11-1/4"	0.13	0.30	0.54	1.54	2.38

TEST PRESSURE = 200PSI

6 THRUST BLOCK DETAIL
NOT TO SCALE



7 DUMPSTER PAD WITH ENCLOSURE
NOT TO SCALE

DOMINO'S PIZZA
450 US ROUTE 1
KITTERY, MAINE

Prepared for:
KITTERYDOM, LLC
100 CONIFER HILL DRIVE
DANVERS, MASSACHUSETTS



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SITE DETAILS

No.	Revision/Issue	Date

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Drawn by: PFA	Approved by: PFA
Project: 16022	Date: OCT. 18, 2016

DOMINO'S PIZZA

450 US ROUTE 1
KITTERY, MAINE

Prepared for:

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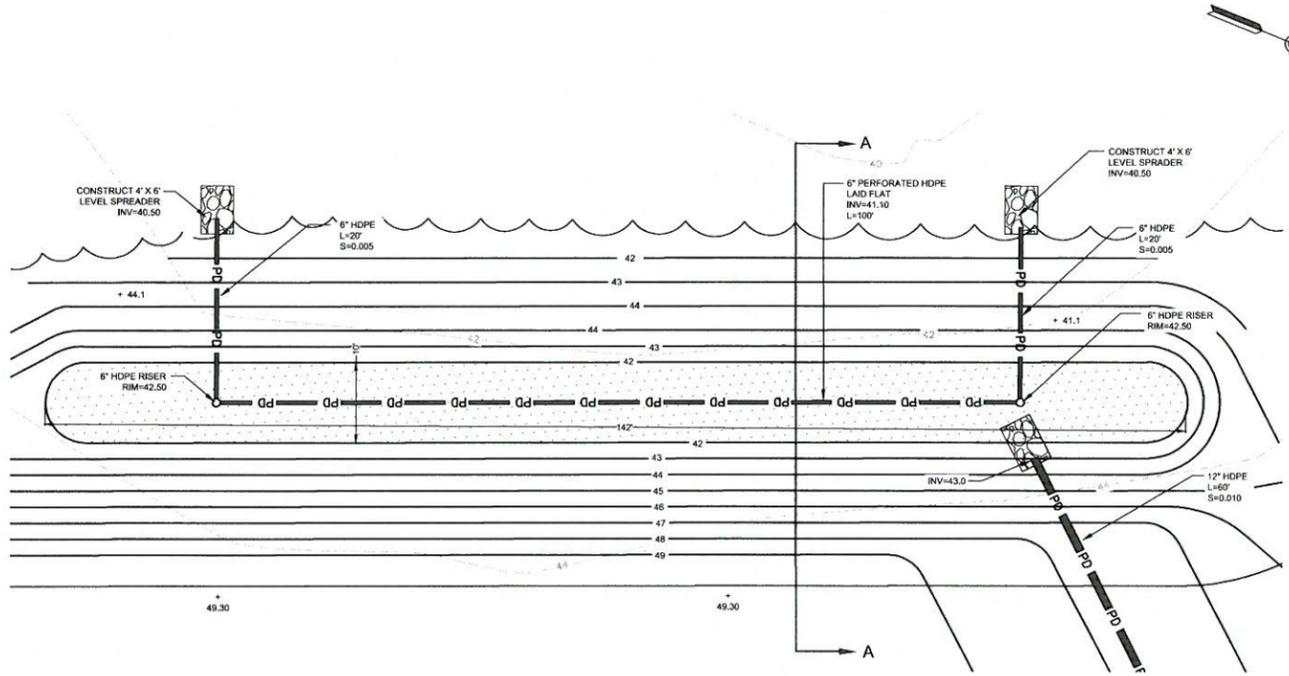
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STORMWATER BASIN DETAILS

No.	Revision/Issue	Date

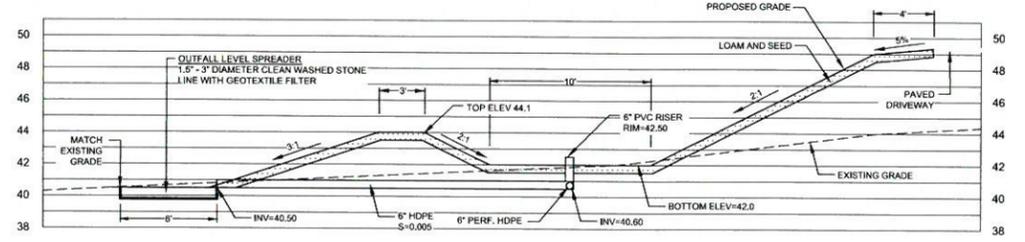
Design by: PFA	Checked by: SPM
Drawn by: PFA	Approved by: PFA
Project: 16022	Date: OCT. 18, 2016

Sheet:
C-8

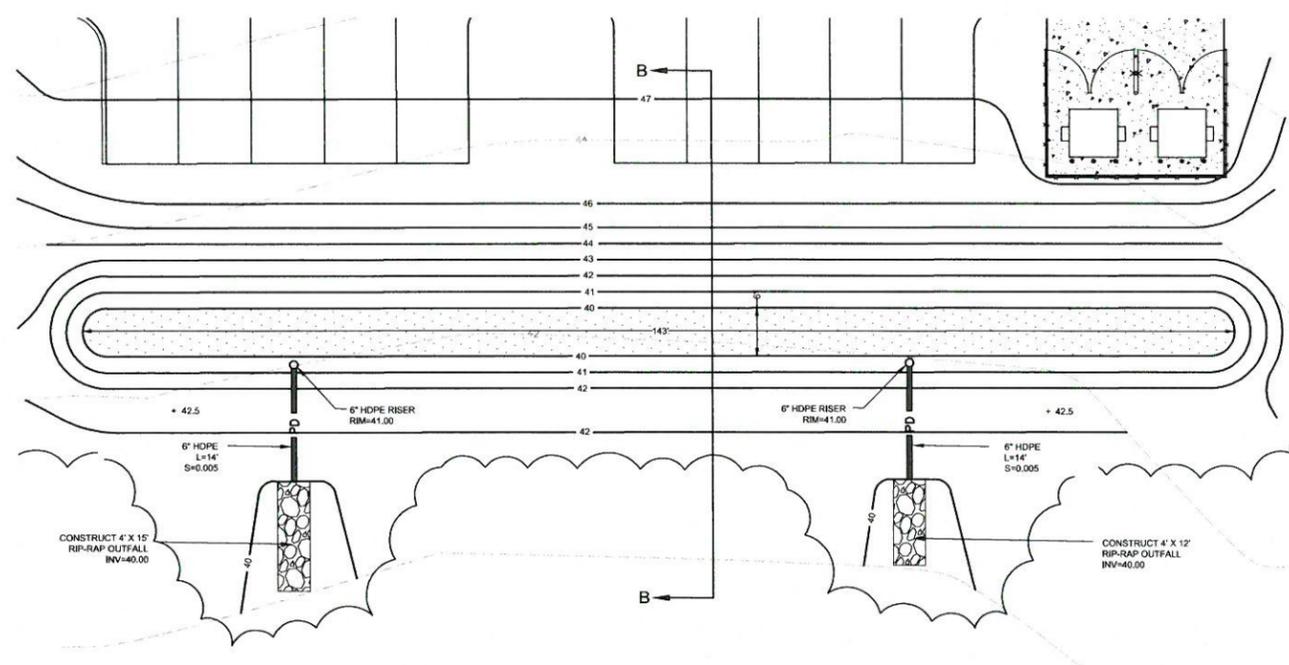


PLAN
1"=10'

1 BASIN 1 DETAIL
AS SHOWN

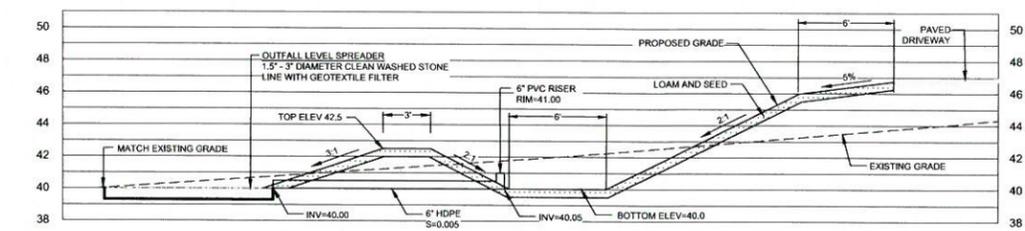


SECTION A-A
1"=5'

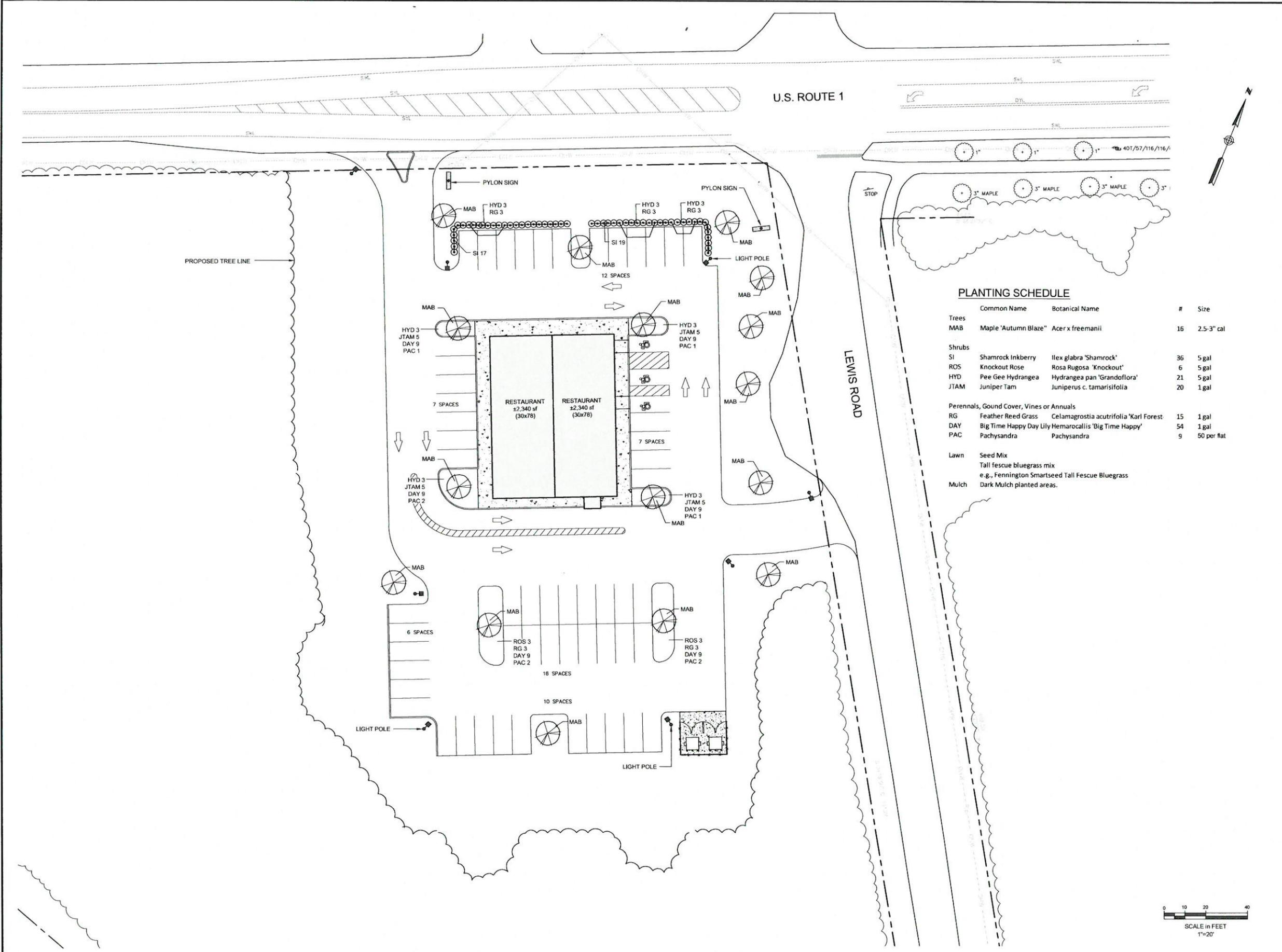


PLAN
1"=10'

2 BASIN 2 DETAIL
AS SHOWN



SECTION B-B
1"=5'



PLANTING SCHEDULE

Common Name	Botanical Name	#	Size
Trees			
MAB	Maple 'Autumn Blaze" Acer x freemanii	16	2.5-3" cal
Shrubs			
SI	Shamrock Inkberry Ilex glabra 'Shamrock'	36	5 gal
ROS	Knockout Rose Rosa Rugosa 'Knockout'	6	5 gal
HYD	Pee Gee Hydrangea Hydrangea pan 'Grandiflora'	21	5 gal
JTAM	Juniper Tam Juniperus c. tamarisifolia	20	1 gal
Perennials, Ground Cover, Vines or Annuals			
RG	Feather Reed Grass Celamagrostia acutifolia 'Karl Forest'	15	1 gal
DAY	Big Time Happy Day Lily Hemarocallis 'Big Time Happy'	54	1 gal
PAC	Pachysandra Pachysandra	9	50 per flat
Lawn			
	Seed Mix		
	Tall fescue bluegrass mix		
	e.g., Fenington Smartseed Tall Fescue Bluegrass		
Mulch			
	Dark Mulch planted areas.		

Site:
DOMINO'S PIZZA

450 US ROUTE 1
KITTERY, MAINE

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100 CONIFER HILL DRIVE
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LANDSCAPE PLAN

No.	Revision/issue	Date

Design by:	PFA	Checked by:	SPM
Drawn by:	PFA	Approved by:	PFA
Project:	16022	Date:	OCT. 18, 2016

Sheet:
L-1

